



**LOCATION MAP**

Project: Taco Bell  
Location: 15110 Hwy 7



## Written Statement – Site Plan Review / C.U.P. / Variance Applications

RE: Taco Bell  
15110 MN 7  
Minnetonka, MN 55345

Border Foods is a franchisee of Taco Bell Corp. and has been operating Taco Bell restaurants since 1996. The existing Taco Bell restaurant located at 15110 MN 7 in Minnetonka has been in operation at this location for a number of years and is in need of updates and improvements. Border Foods believes the best method to continue serving the community with an improved experience and level of service to its patrons would be to remove the existing building and construct a new building which incorporates the latest Taco Bell Corp. image, furnishings, equipment, operations, and service. Along with the new building, Border Foods will also modify the site conditions and layout to accommodate the new building footprint as well as make improvements to the efficiency and operation of the parking and drive-thru lane service to its customers. We believe this new building and site layout will be a great aesthetic improvement to the neighborhood as well.

The proposed improvements require submittals to the City of Minnetonka for consideration in the form of 'Site and Building Plan Review', 'Conditional Use Permit (C.U.P.)', and 'Variance' applications. Below is an outline of the C.U.P. and Variance requests applied for this submittal.

### Conditional Use Permit Standards

General Standards:

- a) The use is consistent with the intent of this ordinance - ***This is an existing use and believed the new design to be consistent with the intent of this ordinance.***
- b) The use is consistent with the goals, policies, and objectives of the comprehensive plan - ***This is an existing use and believed the new design to be consistent with the goals, policies, and objectives of the comprehensive plan***
- c) The use does not have an undue adverse impact on governmental facilities, utilities, services or existing or proposed improvements - ***This is an existing use and believed the new design to not have an undue adverse impact on governmental facilities, utilities, services or existing or proposed improvements.***
- d) The use is consistent with the city's water resources management plan - ***This is an existing use and believed the new design is consistent with the city's water resources management plan.***
- e) The use is in compliance with the performance standards specified in section 300.28 of this ordinance - ***This is an existing use and believed the new design is in compliance with he performance standards specified in section 300.28 with the exception of the requested variance to parking requirements as outlined below.***
- f) The use does not have an undue adverse impact on public health, safety or welfare - ***This is an existing use and believed the new design does not have an undue adverse impact on public health, safety or welfare.***

Specific Standards in B-2, Limited Business District

- a) Outside storage, display, sales or servicing – **Not Applicable**
- b) Service Stations and other automobile related uses having service bays – **Not Applicable**
- c) Non-service station retail facilities having gasoline pumps – **Not Applicable**
- d) Uses having a drive-up window
  - 1) Drive-up windows and stacking areas shall not be located adjacent to any residential parcel - ***This is an existing use, residential parcels are not located directly adjacent to, there is a public street separating as well as screening fence and extensive landscape plantings will be continued as part of the new design.***
  - 2) Stacking areas shall provide for a minimum of six cars per aisle - ***The new design provides stacking area for a minimum of eight cars in the one drive-thru aisle.***
  - 3) Public address system shall not be audible from any residential parcel - ***This is an existing use and the new design will be such that the order point speaker box will not be audible from any residential parcel.***
- e) Storage, assembly or servicing related to the permitted use and occupying between 10 and 25 percent of the gross floor area of the principal structure – **Not Applicable**
- f) Fast food restaurants with or without drive-up facilities, except those located in community or regional shopping centers
  - 1) Shall be located only on sites having direct access to minor arterial streets or service roads - ***This is an existing use and the new design will maintain compliance with this requirement.***
  - 2) Public address systems shall not be audible from any residential parcel - ***This is an existing use and the new design will be such that the order point speaker box will not be audible from any residential parcel.***
  - 3) Stacking for a minimum of six cars per aisle shall be provided within applicable parking lot setbacks - ***The new design provides stacking area for a minimum of eight cars in the one drive-thru aisle.***
  - 4) Shall not be permitted when traffic studies indicate significant impacts on the levels of service as defined by the institute of traffic engineers of adjacent streets and intersections - ***This is an existing use. No change in traffic impacts on adjacent streets and intersections is anticipated.***
  - 5) Building shall be set back at least 100 feet and screened from any adjacent property designated in the comprehensive plan for residential use - ***The new design is in compliance and the building is a minimum of 100 feet and screened from the residential properties to the North.***

Items g) – s) of this section in the city code - **Not Applicable**

## Variance Requests

The variance requests proposed this submittal are for reduced parking and building setback minimums outlined in the city code as well as reduced minimum parking stall requirements as outlined in the city code.

These variance requests are being made due to the unique shape of the property, desire to maintain existing significant trees located on the property, and parking requirements beyond operational needs for the facility.

We believe the below outlined variance requests would still allow the site and building to be in harmony with the general purpose and intent of city ordinances.

### 1) Minimum Quantity of Parking Stalls

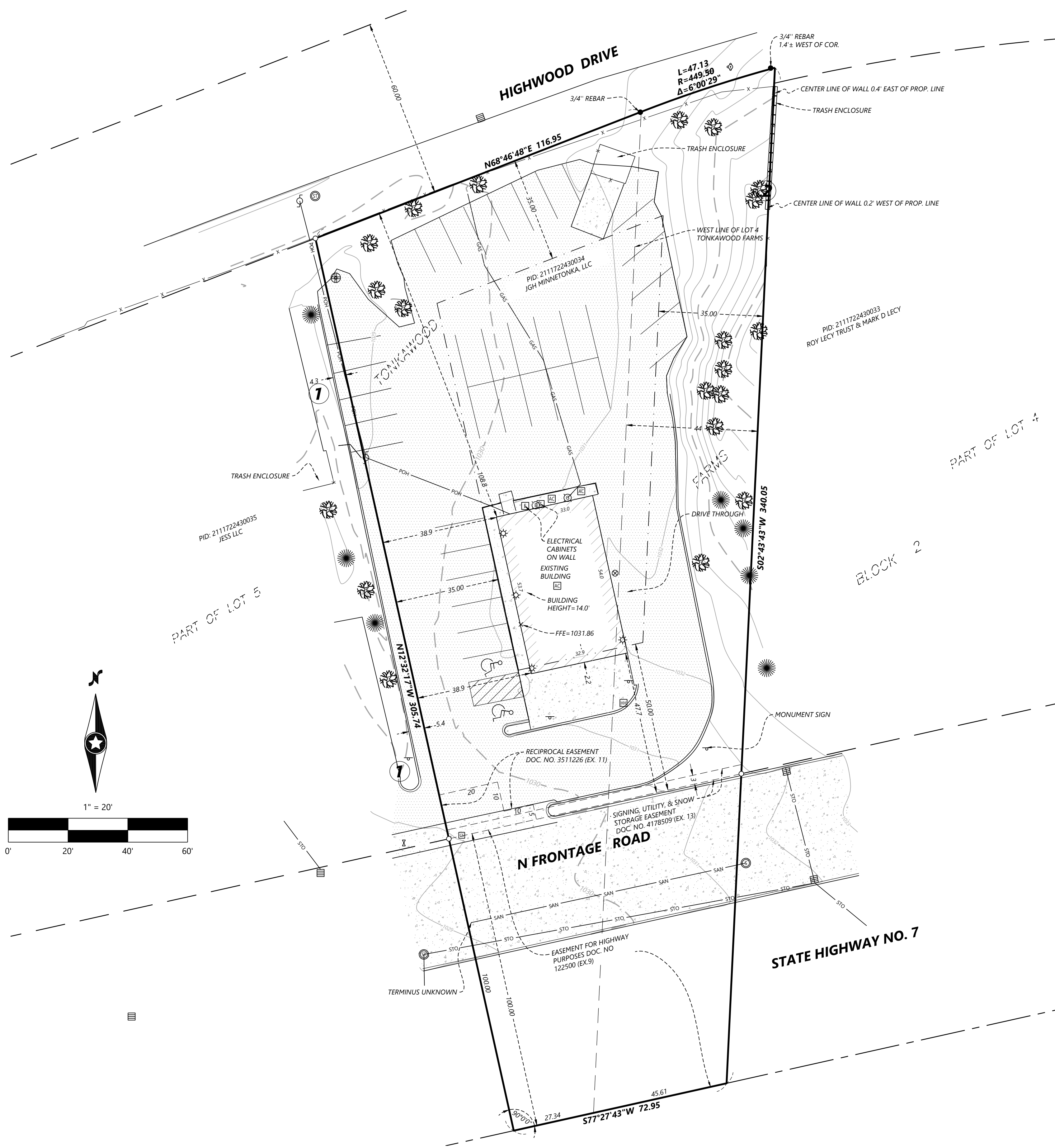
- Per our interpretation of the zoning code for parking – the proposed new 2,591 sq. ft. building would require parking at a rate of 1 per 60 G.S.F. which equates to 43 parking stalls.
  - It should be noted that the existing site layout has an exterior trash/recycling enclosure whereas the proposed new building and site incorporates the trash/recycling within the new proposed building. The area of this room within the building is approximately 400 sq. ft.
  - Eliminating the 400 sq. ft. trash/recycling room from the overall building area would leave 2,191 sq. ft. of remaining building area at  $1/60 = 37$  parking stalls required
- The proposed variance is for a total of 19 total parking stalls provided on site.
- Historical needs at this restaurant location (as well as the over 200 other Taco Bell locations Border Foods operates) reveal that 19 total parking stalls will be adequate for both customer and employee parking needs.
- We also see granting this variance request as a positive for the environment with less ‘heat island’ effect caused by less bituminous/hard surface areas

### 2) Reduction on minimum parking setback requirements along the West and North side of the property

- This request being made as a result of the unique shape of the property as well as the desire to maintain existing significant trees.
- The parking and drive-thru aisle configuration proposed will provide a more efficient operating flow of vehicular traffic through the site than current conditions experience.

### 3) Reduction of minimum building setback requirement along the West side of the property

- This request being made as a result of the unique shape of the property as well as the desire to maintain existing significant trees.
- The parking and drive-thru aisle configuration proposed will provide a more efficient operating flow of vehicular traffic through the site than current conditions experience.



### LEGAL DESCRIPTION(Commitment No. ORTE748156)

The West 44 feet of that part of Lot 4 which lies North of the center line of State Highway No. 7 and that part of Lot 5 which lies North of the center line of State Highway No. 7 and Easterly of a line drawn at a right angle to said center line from a point therein distant 27.34 feet Westerly, measured along said center line from the East line of said Lot 5, Block 2, "Tonkawood Farms", according to the recorded plat thereof, and situate in Hennepin County, Minnesota.

Torrens Property  
Being registered land as is evidenced by Certificate of Title No. 1539548.

### GENERAL NOTES

- This survey was prepared using Old Republic National Title Company, Title Commitment Number ORTE748156 Supplement #1 having an effective date of February 20, 2022 at 7:00 AM.
- The address of the surveyed property is 15110 State Highway No. 7, Minnetonka, MN 55345. (Table A Item 2)
- Subject property appears to be classified as Zone X (Area of minimal flood hazard) when scaled from Flood Insurance Rate Map Community - Panel Number 27053C0336F dated 11/4/2016. (Table A Item 3)
- Subject property contains 28,309± Sq Ft. or 0.65± acres. (Table A Item 4)
- Contours are shown at 1 foot intervals and are based upon NAVD 88. (Table A, Item 5)
- Subject property is currently zoned B-2: Limited Business (Table A Item 6 (a))  
Setbacks:  
Building: Front = 50 Feet, Side = 35 Feet, Rear = 35 Feet (Table A Item 6 (a))
- Subject property contains 30 regular parking stalls and 2 handicapped stalls. (Table A Item 9)
- The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantees that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities. (State One Call Ticket No. 21940285). (Table A Item 11(a))
- Adjacent Ownership information shown per Hennepin County GIS Map. (Table A, Item 13)
- As of the date the field work was completed for this survey, there was no observable evidence of current earth moving work, exterior building construction or building additions. (Table A Item 16)
- As of the date of this survey, there are no proposed changes in street right of way lines, per the City of Minnetonka Project website. As of the date of the field work was completed for this survey, there was no observable evidence of recent street or sidewalk construction or repairs. (Table A, Item 17)
- Based on the information contained within the title commitment listed above and a physical inspection of the subject property, the surveyor is not aware of any off site easements or servitudes other than shown herein. (Table A, Item 18)
- Bearings based on the Hennepin County coordinate system, (NAD 83 - 2011 Adjustment).

### SCHEDULE B II TITLE ITEM NOTES (Commitment No. ORTE748156)

- The following notes correspond to the numbering system of Schedule B II of the above mentioned title commitment. Items 1-7 are not survey matters.
- Final Certificate by and between the State of Minnesota and William T. Kolesh, et al. dated July 9, 1935, filed September 7, 1935, as Document No. 122500. (SHOWN ON SURVEY)
  - Terms and conditions of that certain Lease by and between Wheaton Thomas Investment Company, a partnership, as lessor, and Standard Oil Company, an Indiana corporation, as lessee, dated March 28, 1957, as Document No. 543860. Above lease was assigned by Standard Oil Company an Indiana corporation to The American Oil Company, a Maryland corporation by Assignment of Lease, dated December 31, 1960, filed January 23, 1961, as Document No. 648899. (INTENTIONALLY DELETED)
  - Name Change of above assignee, American Oil Company, on Maryland corporation to Amoco Oil Company, a Maryland corporation dated December 28, 1972, filed July 30, 1973, as Document No. 1079535. (INTENTIONALLY DELETED)
  - The above Lease has been modified by Lease Modification Agreement, dated June 2, 1975 and filed March 4, 1977 as Document No. 1210859. (INTENTIONALLY DELETED)
  - Terms and conditions of that certain lease by and between Net Lease Development LLC, a Delaware limited liability company, as lessor, and Border Foods, Inc., a Minnesota corporation, as lessee, as evidenced by Memorandum of Lease dated October 25, 2001, filed November 7, 2001, as Document No. 3456320. (AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE, NOT SHOWN)
  - Assignment and Assumption of Lease by and between Net Lease Development LLC, a Delaware limited liability company and Gene O. Hilgers and Janis M. Burton Hilgers, as Trustees of the Hilgers Family Trust dated December 28, 2001, filed March 6, 2002, as Document No. 3511224. (AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE, NOT SHOWN)
  - Reciprocal Easement Agreement by and between Twin Cities Stores, Inc., a Delaware corporation and Gene O. Hilgers and Janis M. Burton Hilgers, as Trustees of the Hilgers Family Trust, dated February 6, 2002, filed March 6, 2002, as Document No. 3511226. (SHOWN ON SURVEY)
  - Notice of Lis Pendens by the City of Minnetonka, a municipal corporation under Minnesota Law, Petitioner and Twin Cities Stores, Inc., a Delaware corporation, et al., Respondents dated April 27, 2005, filed April 27, 2005, as Document No. 4107165. (INTENTIONALLY DELETED)
  - Easements from Gene O. Hilgers and Janis M. Burton Hilgers, as Trustees of the Hilgers Family Trust granted to the City of Minnetonka, a municipal corporation under the laws of Minnesota dated July 12, 2005, filed October 26, 2005, as Document No. 4178509. (SHOWN ON SURVEY)

### CERTIFICATION

To: JGH Minnetonka, LLC; Old Republic National Title Insurance Company; Citizens Bank, N.A., national banking association; Border Foods, LLC.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-5, 6(a), 8, 9, 11(a), 13, 16, 17, and 18 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON 02/14/2022.

CHRISTOPHER R. FOLEY, PLS DATE 03/18/2022  
MN LICENSE NO. 55343 EXPIRATION 06/30/2022  
CHRIS.FOLEY@WESTWOODPS.COM

### POSSIBLE ENCROACHMENTS

- WEST EDGE OF PARKING LOT CROSSES OVER PROPERTY LINE
- RETAINING WALL CROSSES OVER PROPERTY LINE

### LEGEND

	SANITARY MANHOLE		BOUNDARY LINE
	STORM MANHOLE		RIGHT-OF-WAY LINE
	BEEHIVE CATCH BASIN		LOT LINE
	CATCH BASIN		SETBACK LINE
	HYDRANT		GAS LINE
	GATE VALVE		POWER OVERHEAD
	CURB STOP BOX		SANITARY SEWER
	HAND HOLE/JUNCTION BOX		STORM SEWER
	STREET LIGHT		FENCE LINE
	POWER POLE		CURB & GUTTER
	AIR CONDITIONER		CONCRETE SURFACE
	STEEL/WOOD POST		RETAINING WALL
	SIGN		BITUMINOUS SURFACE
	HANDICAPPED STALL		DECIDUOUS TREE
			CONIFEROUS TREE

- FOUND MONUMENT (SEE LABEL)
- SET MONUMENT 1/2" IRON PIPE LS 55343

### VICINITY MAP



NOT FOR CONSTRUCTION

DESIGNED:	
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	20'
VERTICAL SCALE:	20'
INITIAL ISSUE:	03/29/2022
REVISIONS:	

PREPARED FOR:  
**BORDER FOODS, INC.**  
5425 BOONE AVENUE N  
NEW HOPE, MN 55428

VERIFY THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA

DATE: \_\_\_\_\_ LICENSE NO. \_\_\_\_\_

**TACO BELL**  
**HIGHWAY 7**  
MINNETONKA, MN

**Westwood**  
12701 Whitehawk Drive, Suite 6000  
Phone (852) 937-5100  
Fax (852) 937-5022  
Minnetonka, MN 55343  
www.westwoodps.com  
Westwood Professional Services, Inc.

**ALTA NSPS**  
**LAND TITLE**  
**SURVEY**

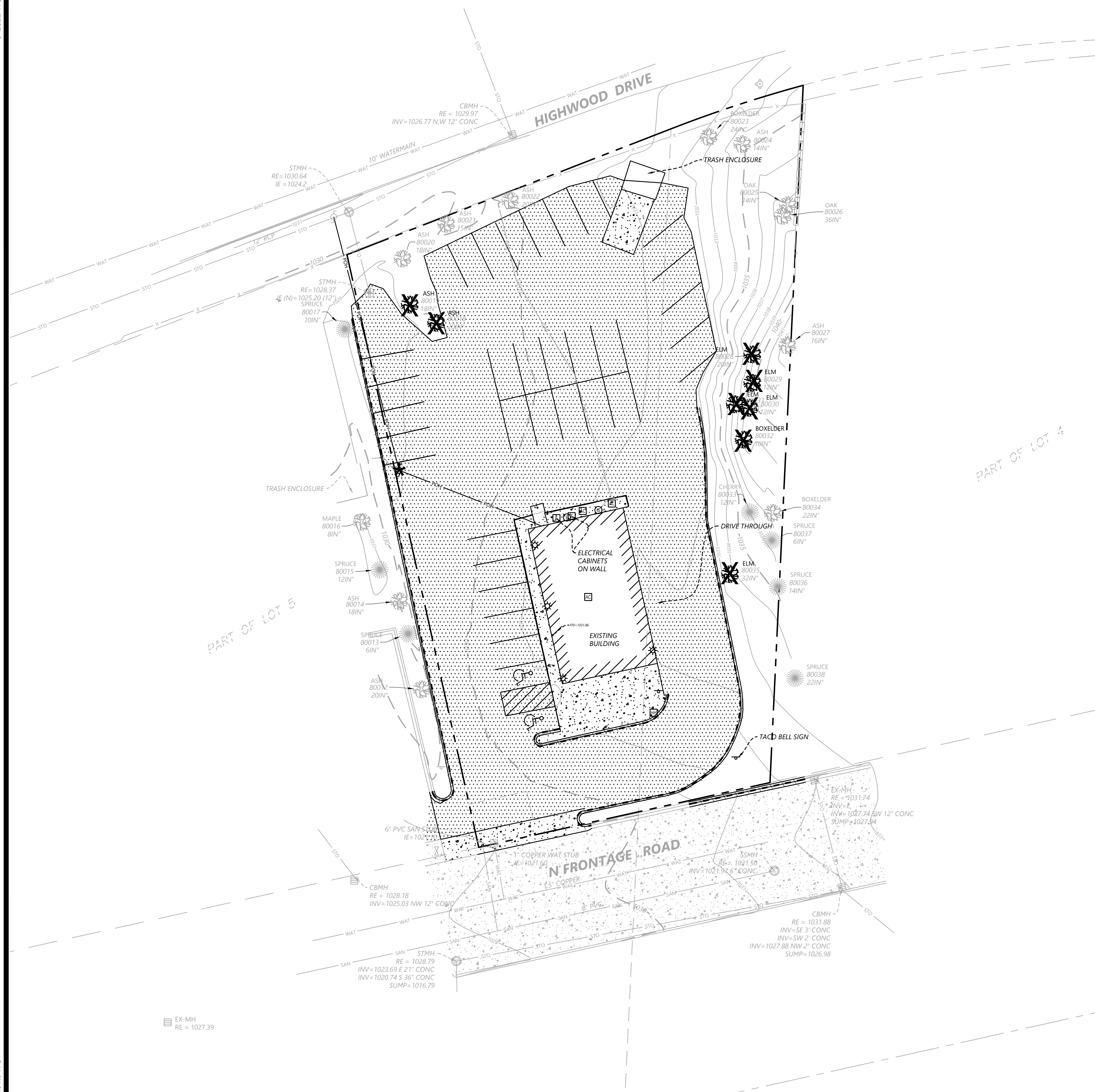
SHEET NUMBER:

V100

DATE: 03/29/2022

PROJECT NUMBER: 0033247.00

TACO BELL HIGHWAY 7



**REMOVAL LEGEND**

EXISTING	PROPOSED	
SAH	REMOVALS	PROPERTY LINE
WAT		SAW CUT PAVEMENT
WAT		CURB & GUTTER
STO		SANITARY SEWER
GAS		WATER MAIN
PUG		HYDRANT
POH		STORM SEWER
TUG		GAS
TOH		UNDERGROUND ELECTRIC
FO		OVERHEAD ELECTRIC
CTV		UNDERGROUND TELEPHONE
		OVERHEAD TELEPHONE
		TELEPHONE FIBER OPTIC
		CABLE TELEVISION
		RETAINING WALL
		FENCE
		CONCRETE
		BITUMINOUS
		BUILDING
		TREE
		LIGHT POLE
		TRAFFIC SIGN
		CONSTRUCTION BARRICADE
		SOIL BORING LOCATION

**LEGEND**

○	SANITARY MANHOLE	⊗	STEEL/WOOD POST
⊙	SEWER CLEANOUT	⊕	SIGN
⊚	SEPTIC COVER	⊞	MAIL BOX
⊛	STORM MANHOLE	⊟	FLAG POLE
⊜	BEEHIVE CATCH BASIN	⊠	HANDICAPPED STALL
⊝	CATCH BASIN	⊡	BENCH
⊞	FLARED END SECTION	⊢	OIL MANHOLE
⊟	CULVERT	⊣	OIL PUMP JACK
⊠	CATCH BASIN MANHOLE	⊤	OIL WELL
⊡	DOWNSPOUT	⊥	MET TOWER
⊢	DRYWELL	⊦	WEATHER STATION
⊣	STORM INTERCEPTOR	⊧	TURBINE
⊤	HYDRANT	⊨	IRRIGATION MANHOLE
⊥	GATE VALVE	⊩	IRRIGATION SH
⊦	WATER METER	⊪	IRRIGATION SP
⊧	FIRE DEPARTMENT CONNECTION	⊫	IRRIGATION VALVE
⊨	CURB STOP BOX	⊬	SOIL BORING
⊩	WATER MANHOLE	⊭	PERC TEST
⊪	WELL	⊮	MONITORING WELL
⊫	POST INDICATOR VALVE	⊯	PIEZOMETER
⊬	DOUBLE DETECTOR CHECK VALVE	⊰	BUSH/SHRUB
⊭	FARM HYDRANT	⊱	CONIFEROUS TREE
⊮	REDUCE PRESSURE VALVE	⊲	DECIDUOUS TREE
⊯	STOCK TANK	⊳	SAGURA
⊰	WINDMILL	—	BOUNDARY LINE
⊱	ELECTRIC BOX	---	RIGHT-OF-WAY LINE
⊲	ELECTRIC METER	- - -	LOT LINE
⊳	ELECTRIC MANHOLE	- · - · -	EASEMENT LINE
⊴	ELECTRIC TOWER	- - - - -	SECTION LINE
⊵	STREET LIGHT	~ ~ ~ ~ ~	TREE LINE
⊶	POWER POLE WITH LIGHT	— CTV —	CABLE TELEVISION LINE
⊷	GUY WIRE	— GAS —	GAS LINE
⊸	POWER POLE	— POH —	POWER OVERHEAD
⊹	MAST ARM	— PUG —	POWER UNDERGROUND
⊺	MAST ARM W/ LIGHT	— SAN —	SANITARY SEWER
⊻	TRAFFIC SIGNAL	— STO —	STORM SEWER
⊼	TELEPHONE BOX	— TOH —	TELEPHONE OVERHEAD
⊽	TELEPHONE MANHOLE	— TUG —	TELEPHONE UNDERGROUND
⊾	HAND HOLE/JUNCTION BOX	— WAT —	WATERMAIN
⊿	CABLE TV BOX	— FO —	FIBER OPTIC
⊿	CABLE TV MANHOLE	— X —	FENCE LINE
⊿	FIBER OPTIC MANHOLE	— Δ —	CONTROLLED ACCESS
⊿	FIBER OPTIC PEDESTAL	▒	CURB & GUTTER
⊿	NATURAL GAS METER	■	CONCRETE SURFACE
⊿	NATURAL GAS VALVE	■	BITUMINOUS SURFACE
⊿	NATURAL GAS MANHOLE	■	GRAVEL SURFACE
⊿	NATURAL GAS RISER/SERVICE	■	WETLAND
⊿	NATURAL GAS VENT PIPE	●	FOUND MONUMENT (SEE LABEL)
⊿	NATURAL GAS WELL	○	SET MONUMENT (SEE LABEL)
⊿	AIR CONDITIONER		
⊿	UNKNOWN MANHOLE		
⊿	MISCELLANEOUS METER		
⊿	MISCELLANEOUS PEDESTAL		

**REMOVAL NOTES**

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTOR SHALL COORDINATE LIMITS OF REMOVALS WITH PROPOSED IMPROVEMENTS AND FIELD VERIFY CONDITION OF EXISTING APPURTENANCES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING OR REPLACING MISCELLANEOUS ITEMS (SUCH AS FENCES, SIGNS, IRRIGATION HEADS, ETC.) THAT MAY BE DAMAGED BY CONSTRUCTION.
- CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY PROVIDERS FOR REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES AFFECTED BY SITE DEVELOPMENT. ALL PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

**TREE INVENTORY**

CODE	SPECIES	DBH	CONDITION	STATUS	MITIGATION INCHES	LOCATION
80012	ASH	20		SAVED		OFF SITE
80013	SPRUCE	6		SAVED		OFF SITE
80014	ASH	18		SAVED		OFF SITE
80015	SPRUCE	12		SAVED		OFF SITE
80016	MAPLE	8		SAVED		OFF SITE
80017	SPRUCE	10		SAVED		OFF SITE
8018	ASH	20		REMOVED	0	ON SITE
80019	ASH	18		REMOVED	0	ON SITE
80020	ASH	18		SAVED		ON SITE
80021	ASH	15		SAVED		ON SITE
80022	ASH	20	POOR	SAVED		ON SITE
80023	BOXELDER	24		SAVED		ON SITE
80024	ASH	14		SAVED		ON SITE
80025	OAK	14		SAVED		ON SITE
80026	OAK	36		SAVED		ON SITE
80027	ASH	16		SAVED		ON SITE
80028	ELM	20		REMOVED	20"	ON SITE
80029	ELM	12		REMOVED	12"	ON SITE
80030	ELM	12		REMOVED	12"	ON SITE
80031	ELM	12		REMOVED	12"	ON SITE
80032	ELM	10	TOP DEAD	REMOVED	0 - DUE TO HEALTH	ON SITE
80033	CHERRY	12		SAVED		ON SITE
80034	BOXELDER	22		SAVED		ON SITE
80035	ELM	32		REMOVED	32"	ON SITE
80036	SPRUCE	14		SAVED		ON SITE
80037	SPRUCE	6		SAVED		ON SITE
<b>TOTAL MITIGATION REQUIRED</b>				Dec.	<b>88"</b>	
				Con.	<b>0</b>	

Call 48 Hours before digging:  
**811 or call811.com**  
 Common Ground Alliance

DESIGNED: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_  
 INITIAL ISSUE: 03/29/2022  
 REVISIONS: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_  
 HORIZONTAL SCALE: 20'  
 VERTICAL SCALE: \_\_\_\_\_

PREPARED FOR:  
**BORDER FOODS, INC.**  
 5425 BOONE AVENUE N  
 NEW HOPE, MN 55428

TYLER D. WAXSON  
 DATE: 03/29/2022 LICENSE NO.: 59234

**TACO BELL  
 HIGHWAY 7**  
 MINNETONKA, MN

**Westwood**  
 (828) 937-5100 12701 Whitewater Drive, Suite 8000  
 (828) 937-5022  
 Phone  
 (828) 937-5022  
 Fax  
 Westwood Professional Services, Inc.

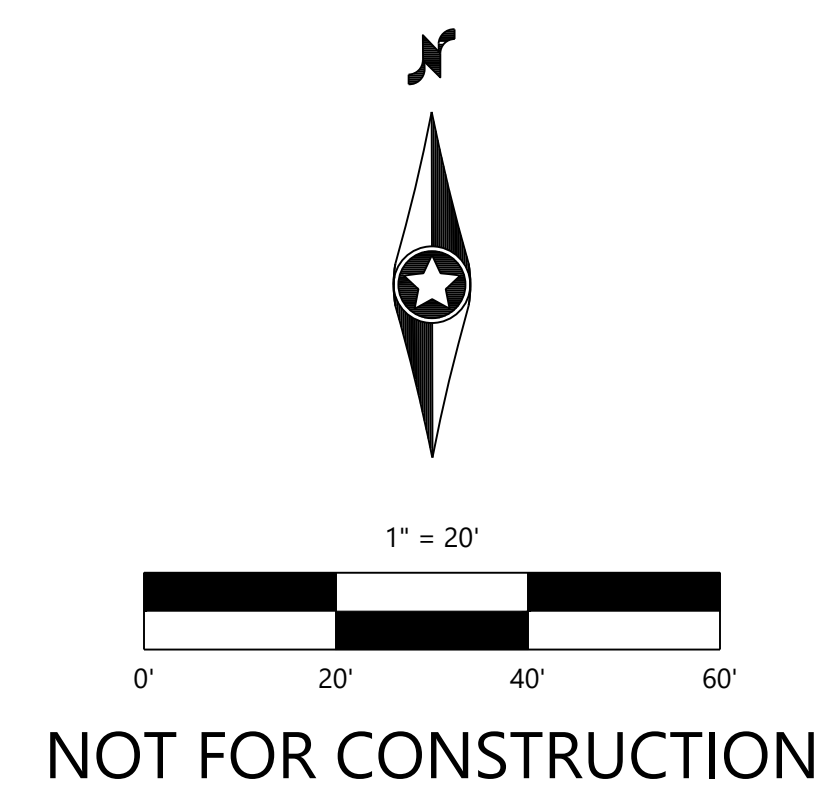
**EXISTING  
 CONDITIONS &  
 REMOVALS PLAN**

SHEET NUMBER:

**C100**

DATE: 03/29/2022

PROJECT NUMBER: 0033247.00





Perspective 1

03.25.2022



Perspective 2

03.25.2022





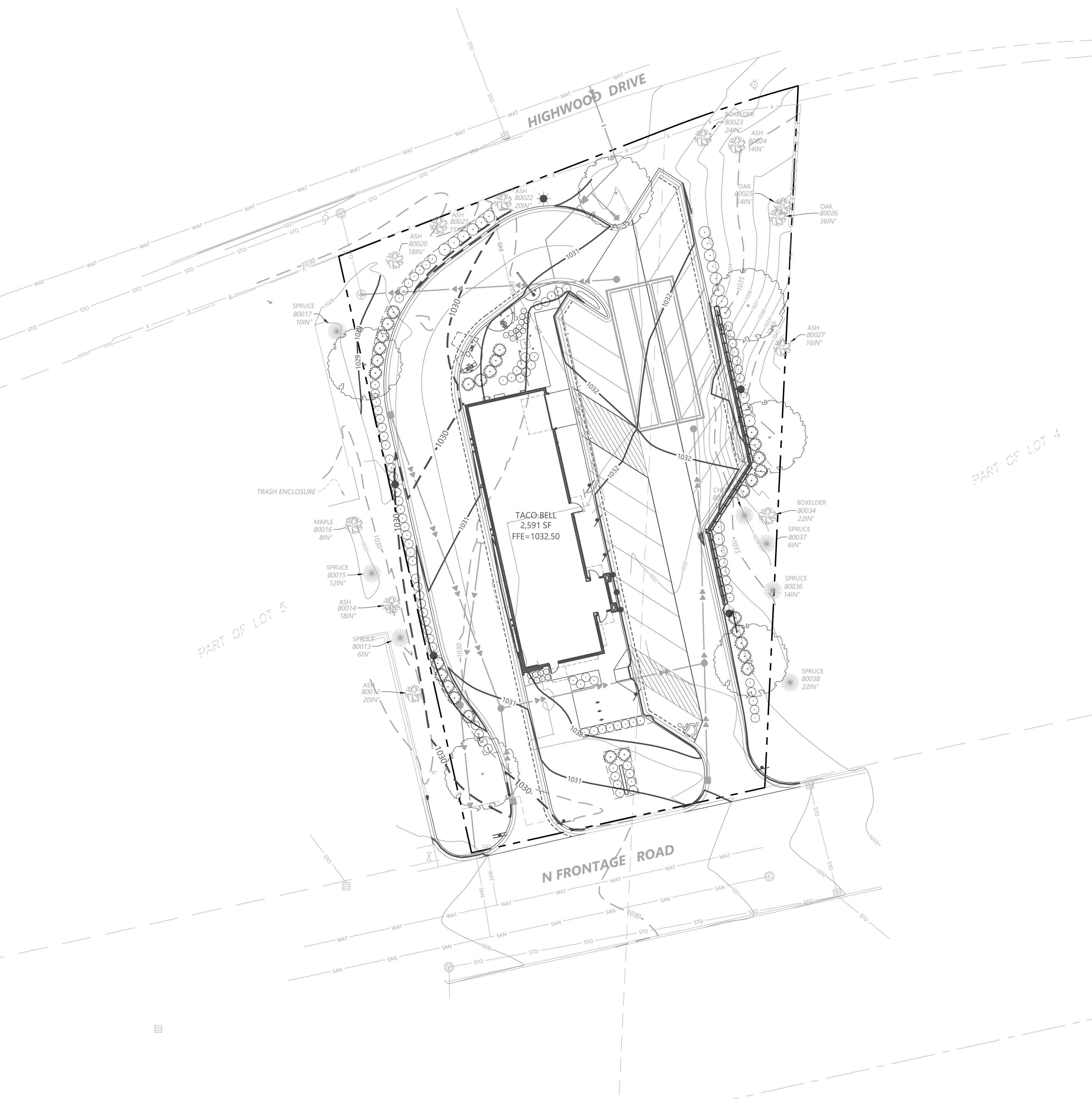
Perspective 3

03.25.2022

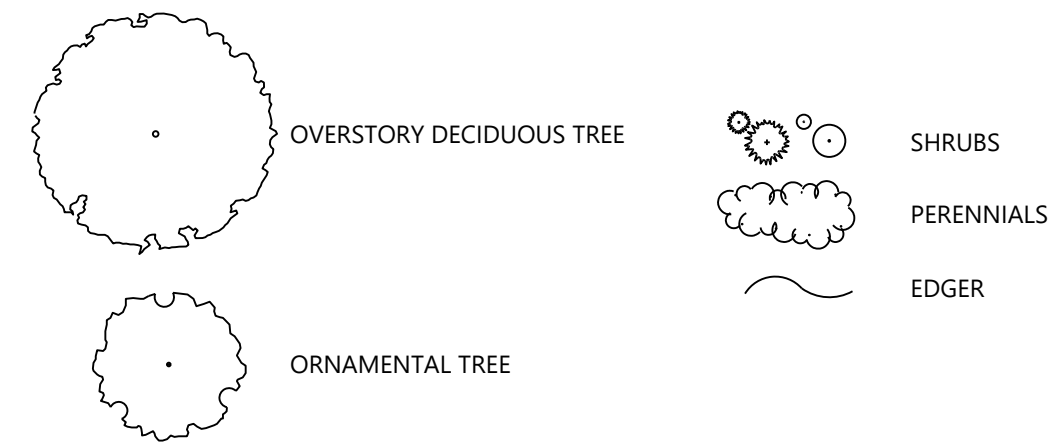


Perspective 4

03.25.2022



### LANDSCAPE LEGEND



### LANDSCAPE KEYNOTES A

- A ROCK MULCH (TYP.)
- B EDGER (TYP.)
- C SOD (TYP.)
- D SHRUB HEDGE - 4' MIN HEIGHT

### LANDSCAPE SUMMARY

TREE REPLACEMENTS	REQUIRED	PROVIDED	
<b>CONIFERS</b> NO CONIFERS REMOVED			
<b>DECIDUOUS</b> 5 ELM TREES REMOVED THAT ARE OVER 10" CAL. EACH WITH TOTAL OF 88" CODE REQUIRES 1" PROPOSED PER 1" REMOVED WITH LIKE SPECIES	88 CALIPER INCHES	88 CALIPER INCHES	
<b>TOTAL CALIPER INCHES</b>	88 CALIPER INCHES	88 CALIPER INCHES	
<b>CALIPER INCHES PROPOSED</b>	<b>QUANTITY</b>	<b>MULTIPLIER</b>	<b>TOTAL CAL INCHES</b>
TREES (2" MAX CREDIT PER TREE)	6	2	12
SHRUBS (ONE SHRUB = 5 CAL. INCHES)	140	5	700
PERENNIALS (ONE PERENNIAL = .25 CAL. INCHES)	27	25	675
			<b>TOTAL CALIPER INCHES PROPOSED</b>
			887.5 CALIPER INCHES

### PLANT SCHEDULE

CODE	QTY	COMMON	BOTANICAL NAME	SIZE	ROOT	SPACING
<b>OVERSTORY TREE 6</b>						
CHB	-	COMMON HACKBERRY	CELTIS OCCIDENTALIS	2.0" CAL.	B&B	AS SHOWN
SWO	-	SWAMP WHITE OAK	QUERCUS ALBA	2.0" CAL.	B&B	AS SHOWN
IMH	-	IMPERIAL HONEYLOCUST	GLEDITSIA TRIACANTHOS VAR. INERMIS 'IMPCOLE'	2.0" CAL.	B&B	AS SHOWN
<b>DECIDUOUS SHRUB 111</b>						
BCB	-	BLACK CHOKEBERRY	ARONIA MELANOCARPA ELATA	#5	CONT.	4'-0" O.C.
DBH	-	DWARF BUSH HONEYSUCKLE	DIERVILLA LONICERA	#5	CONT.	3'-0" O.C.
CPV	-	COMPACT VIBURNUM	VIBURNUM TRILOBUM 'BAILEY COMPACT'	#5	CONT.	5'-0" O.C.
<b>CONIFEROUS SHRUB 29</b>						
HSA	-	HOLMSTRUP ARBORVITAE	THUJA OCCIDENTALIS 'HOLMSTRUP'	#5	CONT.	4'-0" O.C.
BNS	-	BIRD'S NEST SPRUCE	PICEA ABIES 'NIDIFORMIS'	#5	CONT.	4'-0" O.C.
<b>PERENNIALS 27</b>						
KFG	-	KARL FOERSTER GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	#1	CONT.	24" O.C.
AJS	-	AUTUMN JOY SEDUM	SEDUM X 'AUTUMN JOY'	#1	CONT.	18" O.C.
PMD	-	PARDON ME DAYLILY	HEMEROCALLIS 'PARDON ME'	#1	CONT.	18" O.C.

ABBREVIATIONS: B&B = BALLED AND BURLAPPED CAL = CALIPER HT. = HEIGHT MIN. = MINIMUM O.C. = ON CENTER SP. = SPREAD QTY. = QUANTITY CONT. = CONTAINER NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

Call 48 Hours before digging:  
811 or call811.com  
Common Ground Alliance

DESIGNED:	03/29/2022
CHECKED:	
DRAWN:	
HORIZONTAL SCALE: 20'	
VERTICAL SCALE: 4' OF 2'	

PREPARED FOR:  
**BORDER FOODS, INC.**  
5425 BOONE AVENUE N  
NEW HOPE, MN 55428

DESIGNED BY:  
JEFFERY R. WESTENDORF  
DATE: 03/29/2022 LICENSE NO. 44018

**TACO BELL  
HIGHWAY 7**  
MINNETONKA, MN

**Westwood**  
12701 Whitehawk Drive, Suite 6000  
Minnetonka, MN 55343  
Phone: (952) 937-5100  
Fax: (952) 937-5022  
www.westwoodps.com  
Westwood Professional Services, Inc.

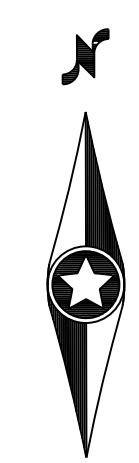
**LANDSCAPE  
PLAN**

SHEET NUMBER:

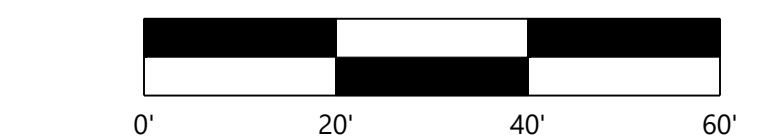
**L100**

DATE: 03/29/2022

PROJECT NUMBER: 0033247.00



1" = 20'



NOT FOR CONSTRUCTION

TACO BELL HIGHWAY 7



15110 MN 7  
MINNETONKA, MN 55345

Owner:  
JGH MINNETONKA, LLC  
14822 HIDDEN TERRACE LOOP  
LITCHFIELD PARK, AZ 85340

Applicant/Tenant:  
BORDER FOODS, LLC  
5425 BOONE AVE. N  
NEW HOPE, MINNESOTA 55428

Contact: NATE WENGER  
Phone: 763-489-3004

ENDEAVOR  
26 SEATS / 2,591 S.F.

PROJECT NO.: TB21-21

DRAWN BY: KDI

CHECKED BY: GGD

ISSUES AND REVISIONS:

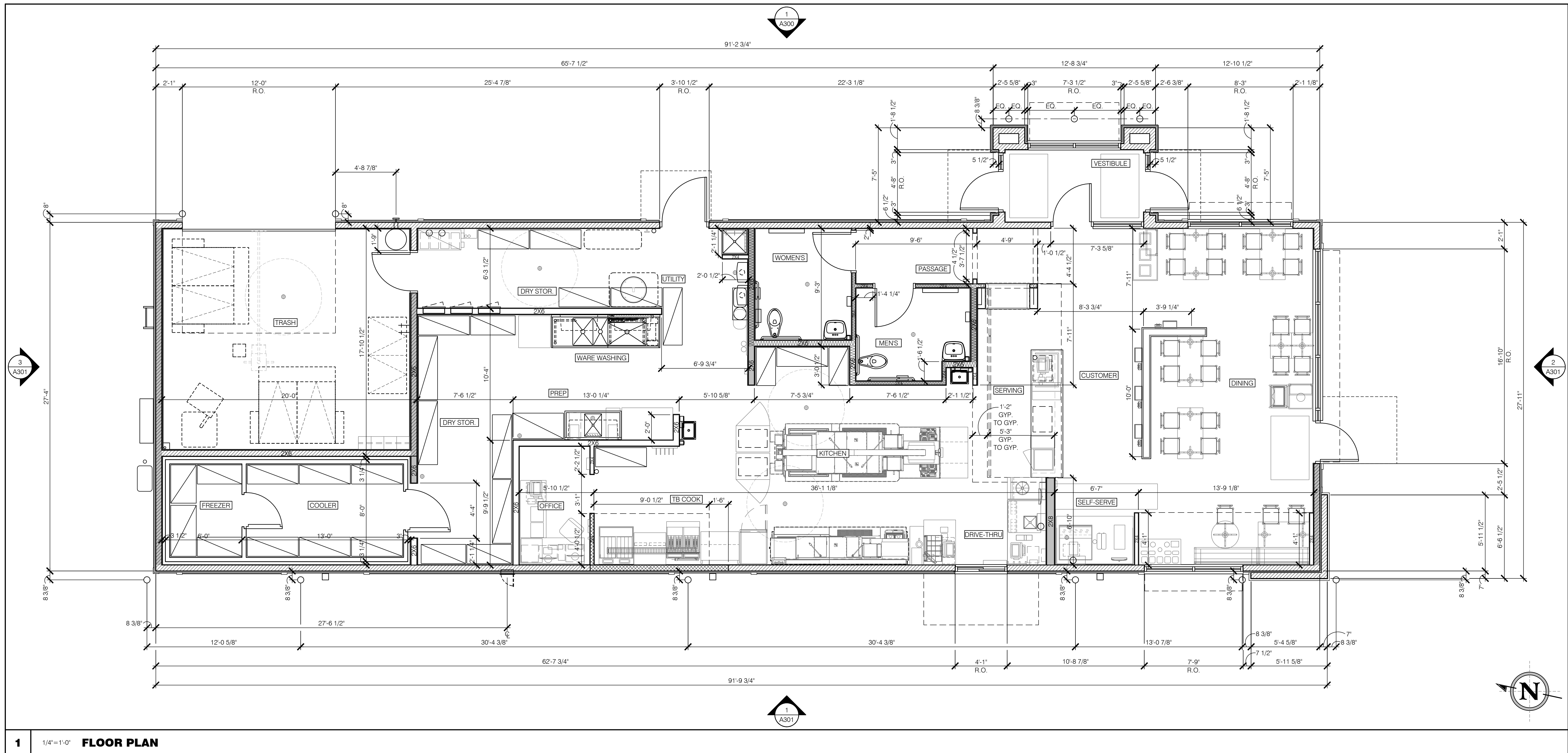
SITE PLAN REVIEW: 03.29.2022

**PRELIMINARY -  
NOT FOR  
CONSTRUCTION**

**FLOOR  
PLAN**

**A200**

TACO BELL, MINNETONKA, MN



**1** 1/4"=1'-0" **FLOOR PLAN**

	TYPICAL EXTERIOR WALL: 2X6 WD. STUDS AT 16" O.C. WITH SHEATHING AS SCHEDULED (SEE STRUCTURAL DRAWINGS) AND R-21 FIBERGLASS BATT INSULATION U.N.O. FULLERTON SHALL PROVIDE EXTERIOR AIR BARRIER.
	TYPICAL INTERIOR WALL: 2X4 WD. STUDS AT 16" O.C. (2X6 OR 2X8 WHERE NOTED).
	INTERIOR SOUND-RATED WALL: TYPICAL INTERIOR WALL WITH 3 1/2" OR 5 1/2" UNFACED FIBERGLASS BATT INSULATION.
	HOOD WALL: TYPICAL EXTERIOR WALL WITH METAL STUDS, 1/2" CEMENT WALL BOARD AND 20 GA. S.S. PANEL BEHIND HOOD.
	SHEAR WALL: (SHOWN SHADED- VERIFY LOCATIONS WITH FULLERTON PLANS) PLYWOOD SHEAR WALL SHEATHING FROM SILL PLATE TO TOP PLATE PER FULLERTON PLANS. INSTALL SECOND LAYER OF SHEATHING PER WALL SUBSTRATE OUTLINE BELOW AS REQUIRED TO ACCOMMODATE FINISHES SCHEDULED. (WHERE WALL FACE EXTENDS BEYOND SHEAR WALL- EXTEND SECOND LAYER OF SHEATHING SO FINISHES RUN CONTINUOUS.
WALL SUBSTRATES: SEE FULLERTON BUILDING SYSTEMS FOR ADDITIONAL INFORMATION	
- DINING ROOM: 1/2" GYPSUM WALLBOARD FROM TOP OF SLAB TO 6" ABOVE CEILING HEIGHT U.N.O. SEE 17 & 19/A503. (NOTE: 1/2" CEMENT BOARD IS TO BE SUBSTITUTED FOR GYPSUM WALLBOARD FOR THE FIRST 5' A.F.F. FOR BASE TILE APPLICATION. (SEE ELEVATION DRAWING SHEET A600 FOR LOCATIONS)	
- KITCHEN & WALK-IN COOLER/FREEZER WALLS: 1/2" CEMENT WALLBOARD FROM TOP OF SLAB TO 12" A.F.F. SEE 20/A503. 1/2" CDX PLYWOOD WITH F.R.P. SURFACE FINISH FROM 12" A.F.F. TO 6" ABOVE CEILING HEIGHT U.N.O. 1/2" CEMENT WALLBOARD FULL HEIGHT ON METAL STUD WALLS AT HOOD WITH STAINLESS STEEL WALL PANEL LOCATIONS. SEE HOOD WALL LEGEND ABOVE.	
- RESTROOM WALLS: 1/2" CEMENT WALLBOARD FROM TOP OF SLAB TO TOP OF CERAMIC WALL TILE FINISH, WITH 1/2" HI-IMPACT BRAND XP WALLBOARD, TYPE X CORE FROM TOP OF CEMENT BOARD TO 6" ABOVE CEILING HEIGHT U.N.O. (SEE SHEET A201 FOR HEIGHTS AND LOCATIONS) NO SUBSTITUTIONS ALLOWED. FINISH AS SCHEDULED. SEE 18/A503.	
- TRASH ROOM WALLS: FIRE RATED WALLS TO RECEIVE FULL HEIGHT GYPSUM WALLBOARD ALL OTHER WALLS TO RECEIVE 1/2" PLYWOOD FROM FINISHED FLOOR TO 6'-0" A.F.F. THEN 1/2" GYPSUM WALLBOARD FROM PLYWOOD TO CEILING. FIRE RATED WALLS TO RECEIVE 1/2" PLYWOOD OVER GYPSUM WALLBOARD AND ALL WALLS TO RECEIVE WHITE F.R.P. FROM FINISHED FLOOR TO 3'-0" A.F.F. WITH HORIZONTAL F.R.P. TRIM CAP. (SEE KEYNOTES #38 & #43)	
- ALL OTHER FRAME WALL CONDITIONS: 1/2" CEMENT WALLBOARD FROM TOP OF SLAB TO HEIGHT OF CERAMIC TILE FINISH, WITH 1/2" GYPSUM WALLBOARD FROM TOP OF CEMENT BOARD TO 6" ABOVE CEILING HEIGHT U.N.O. FINISH AS SCHEDULED.	

**WALL LEGEND**

<b>DIMENSIONS:</b>	
1. ALL DIMENSIONS ARE TO FACE OF STUD U.N.O. REFER TO FOUNDATION PLAN FOR FACE OF CONCRETE DIMENSIONS.	
2. DIMENSIONS NOTED AS "CLEAR" OR "HOLD" ARE MINIMUM REQUIRED NET CLEARANCE FROM FACE OF WALL / WANSICOT FINISH. VERIFY FINAL EQUIPMENT SIZES WITH VENDOR PRIOR TO INTERIOR WALL FRAMING.	
<b>WINDOWS / DOORS:</b>	
1. SEE SHEET A000 FOR WINDOW TYPES AND DOOR SCHEDULE.	
2. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENINGS.	
<b>FINISH SUBSTRATES:</b>	
1. PROVIDE 1/2" THICK CEMENT WALL BOARD, FROM FLOOR SLAB TO 5" OR 12" A.F.F. MINIMUM (SEE WALL LEGEND) IN LIEU OF GYPSUM WALLBOARD AT WALLS EXCEPT SHEARWALL SURFACES, U.N.O.	
2. ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH "NSF INTERNATIONAL" APPROVED SEALANTS.	
3. ALL BACK OF HOUSE AND OFFICE WALLS SHALL HAVE 1/2" CDX PLYWOOD SUBSTRATE, U.N.O.	
<b>DECOR:</b>	
1. SEE A203 FOR FLOOR FINISHES.	
2. SEE A204 FOR CEILING FINISHES.	
3. SEE A205 FOR SEATING PLAN AND DETAILS.	
4. SEE A600, A601 AND A602 FOR WALL FINISHES.	
<b>GENERAL:</b>	
1. FULLERTON BUILDING SYSTEMS TO ENSURE THAT ALL NAIL / SCREW FASTENING POINTS ARE CLIPPED OFF / REMOVED WITHIN WALL CAVITY PRIOR TO INSTALL OF WALL INSUL. AND VAPOR BARRIER. G.C. TO COORDINATE.	
2. FULLERTON BUILDING SYSTEMS TO ENSURE ALL "L" ROOF TRUSS CLIPS AND FASTENERS ARE INSTALLED CORRECTLY WITHIN THEIR RESPECTIVE CLIP SLOTS. G.C. TO COORDINATE. G.C. TO PROVIDE UNFACED FIBERGLASS BATT INSULATION R-21 WITH POLY VAPOR BARRIER AT EXTERIOR WALL STUD CAVITY. TAPE AND SEAL ALL VAPOR BARRIER SEAMS. OWNER TO PROVIDE THREE FIRE EXTINGUISHERS - (2) 10 LB. ABC AND (1) K CLASS - TO COMPLY WITH LOCAL FIRE CODE. LOCATE PER DIRECTION OF FIRE MARSHALL OR LOCAL AUTHORIZING AGENT.	
3. THESE DRAWINGS ARE BASED UPON WOOD FRAMING. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFITS IS ACCEPTABLE.	
4. ALL ATTACHMENTS MADE THROUGH WALLS SHALL BE SLEEVED OR GROMMET SET IN SEALANT TO PREVENT DAMAGE TO THE FINISH.	
5. ALL PENETRATIONS THROUGH WALLS & CEILINGS SHALL BE SEALED USING MFRS. APPROVED METHOD.	
6. ALL WALL AND CEILING PENETRATIONS IN TRASH ROOM TO BE SEALED WITH A FIRE RATED SEALANT.	
7. PAINT ALL EXTERIOR EXPOSED PIPING TO MATCH ADJACENT WALL.	
8. PROVIDE 3" RIGID INSULATION R-15 WITH 1/2" BILDRITE PROTECTION BOARD ON EXTERIOR FACE OF RIGID INSULATION ON THE FOUNDATION, FROM TOP OF FOOTING TO TOP OF FOUNDATION CONTINUOUSLY AROUND PERIMETER OF FOUNDATION.	

**FLOOR PLAN NOTES**

1	STARTING POINT. ALL SUB-TRADES SHALL USE THIS POINT AS A BEGINNING LAY-OUT (INSIDE FACE OF EXTERIOR WALL STUDS).
2	6" STUD INTERIOR WALL, FINISHED PER WALL LEGEND.
3	ELECTRICAL MAIN SWITCH BOARD. REFER TO ELECTRICAL DRAWINGS.
4	HOOD WALL. SEE WALL LEGEND.
5	ALUMINUM ROOF LADDER AND SECURITY GATE. SEE DETAILS 9, 19 AND 20/A500.
6	INSTALL OWNER SUPPLIED CO2 FILL BOX. SEE EXTERIOR ELEVATIONS 1/A300 AND DETAIL 4/A502. COORDINATE LOCATION WITH OWNER.
7	ALUMINUM THRESHOLD, SEE DETAIL 1 AND 8/A501.
8	MOP SINK. REFER TO SHEET A002 AND A205.
9	PROVIDE STEEL PIPE BOLLARD AND INSTALL OWNER SUPPLIED YELLOW PROTECTIVE COVER. SEE CIVIL DRAWINGS. SEE DETAILS 4/A101.
10	INSTALL OWNER SUPPLIED S.S. CORNER GUARD / WALL CAP. TYP. ALL CORNERS IN BACK OF HOUSE FROM REAR WALL TO THE KITCHEN SIDE OF THE SERVICE COUNTER. SEE DETAILS 11 AND 13/A503.
11	ELECTRICAL PANELS RECESSED IN WALL. SEE ELECTRICAL DRAWINGS.
12	NOT USED.
13	INSTALL 6" DIA. PVC CHASE THRU CEILING FOR SYRUP LINES. SEE DETAIL 2/A504.
14	INSTALL OWNER SUPPLIED WALL MOUNTED WATER HEATER. CONTRACTOR TO PROVIDE REQUIRED FLUE VENTING.
15	PROVIDE DOOR SWEEPS AT ALL EXTERIOR DOORS. SEE SHEET A000.
16	KEEP CLEAR FOR UTILITIES AND SYRUP LINES. SEE DETAIL 3/A504.
17	PROVIDE 6" DIA. PVC STUB THROUGH CEILING. SEE DETAILS 2, 3 & 6/A504. COORDINATE LOCATION WITH OWNER.
18	DASHED LINE INDICATES CONCRETE STOOP. SEE STRUCTURAL DRAWINGS.
19	WALL / BASE DETAIL AT HOOD WALL. SEE 9/A503.
20	WALL / BASE DETAIL AT TOILET ROOM WALLS. SEE 18/A503.
21	METAL STUDS AT WIDTH OF KITCHEN HOOD - EXTEND 1'-6" MIN. BEYOND EDGE OF HOOD.
22	INSULATE TRASH ROOM WALLS AND CEILING.
23	THRU WALL ROOF SCUPPER AND DOWNSPOUT.
24	3'-4'X7'-0" FINISHED OPENING. G.C. TO INSTALL OWNER SUPPLIED STAINLESS STEEL WRAP AT JAMBS AND HEAD.
25	PROVIDE GREASE INTERCEPTOR. COVER PLATE TO BE FLUSH WITH FLOOR FINISH. SEE CIVIL AND PLUMBING DRAWINGS.

**FLOOR PLAN KEY NOTES**

26	WATER METER LOCATION. TO BE LOCATED AS TIGHT AS POSSIBLE TO EXTERIOR WALL.
27	PARTIAL HEIGHT WALLS. SEE 5/A602 AND ELEVATIONS ON A600 FOR HEIGHT. PROVIDE 1/2" GYP. BD. SHEATHING AT ALL SURFACES AT CUBBY FIXTURE OPENING. FINAL COORDINATE FINISHED OPENING WITH DECOR VENDOR.
28	INSTALL OWNER SUPPLIED WINDOW SHADES AT LOCATIONS AND QUANTITIES VERIFIED THROUGH OWNER. WINDOW SHADES TO BE: MANUFACTURER: ROLL-A-SHADE. PHONE: 1.888.245.5077. MODEL: LEGACY SYSTEMS, MANUAL OPERATION. MATERIAL: MERMET KOOL BLACK, 5" OPENNESS. COLOR: T.B.D. (BY OWNER). BRACKETS AND BOTTOM RAIL TO BE POWDERED COATED BLACK CLUTCHES TO BE BLACK WITH STAINLESS STEEL CHAIN AND BLACK CHILD SAFETY TENSION DEVICE. VERIFY WINDOW DIMENSIONS.
29	PROVIDE NO SMOKING SIGNAGE ON ENTRY DOORS.
30	PROVIDE 8" H. WHITE VINYL ADDRESS NUMBERS ON WINDOW AT TOP. SEE 1/A300.
31	PULL STATION FOR HOOD FIRE SUPPRESSION SYSTEM.
32	GAS METER.
33	G.C. TO PROVIDE FIRE DEPARTMENT KNOX LOCK BOX. COORDINATE FINAL LOCATION WITH L.A.H.J.
34	PROVIDE STEEL PLATE JAMBS AND HEAD AT OVERHEAD DOOR. EPOXY PAINT. SEE 2/A402.
35	O.H. DOOR AS SCHEDULED.
36	HOT AND COLD WATER HOSE BIB. SEE PLUMBING DRAWINGS.
37	PROVIDE 1/2" PLYWOOD AND WHITE FRP WALL FINISH WITH TRIM FROM FINISHED FLOOR TO PLYWOOD BUMP RAIL, PAINT WALL AND BUMP RAILS ABOVE. SEE 14/A600.
38	PROVIDE TREATED 3/4" PLYWOOD BUMP RAIL. SEE 14/A600
39	RECYCLE AND TRASH CONTAINERS PROVIDED BY OWNER
40	PROVIDE OVERHEAD CEILING MOUNTED GAS FIRED UNIT HEATER. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
41	SERVICE COUNTER PROVIDED BY OWNERS DECOR VENDOR.
42	WATER CONDITIONING SYSTEM. SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR. SEE EQUIPMENT PLAN AND SCHEDULE.
43	ONE-HOUR FIRE RATED WALL (SECTION 722.6-6 TIME ASSIGNED TO WALLBOARD MEMBRANE)- G.C. TO INSTALL (2) LAYERS 5/8" TYPE X GYP- BD- APPLIED TO TRASH ROOM SIDE OF STUB WALL PANEL- PROVIDED BY FULLERTON- TAPED AND FINISHED AS REQUIRED- INSTALL 1/2" PLYWOOD W.F.R.P. FINISH TO 4'-0" AS NOTED IN WALL LEGEND OVER GYP. BD.

44	ONE-HOUR FIRE RATED CEILING- UL DESIGN NO. F522- SEE REFLECTED CEILING PLAN A204 AND KEY NOTES.
45	PROVIDE THRU WALL FRESH AIR IN-TAKE LOUVER AND SCREEN WITH BACK DRAFT DAMPER. SEE EXTERIOR AND MECHANICAL DRAWINGS.
46	PROVIDE THRU CEILING / ROOF EXHAUST FAN. FAN CONTROLLED BY WALL SWITCH. SEE ROOF, REFLECTED CEILING, ELEC. AND MECH. DWGS. COORDINATE LOCATION.
47	AUTOMATIC GARAGE DOOR OPENER MOUNTED TO CEILING AS SCHEDULED. SEE ALSO ELECTRICAL DRAWINGS.
48	IF GAS SHUT OFF REQUIRED BY LOCAL INSPECTOR TO BE INTERIOR OF BUILDING (VERIFY). PROVIDE PROTECTIVE PIPE GUARD OR SHEET ROCK ENCLOSURE WITH ACCESS PANEL TO GAS SHUT OFF FROM B.O. GAS PIPE TO CEILING AS REQUIRED.
49	GREASE COLLECTION SYSTEM TANK BY SANIMAX. PROVIDED AND INSTALLED BY OWNER.
50	PARTIAL HEIGHT WALL. SEE DETAILS FOR ADDITIONAL INFORMATION.
51	INSTALL VAPOR BARRIER ON FACE OF EXTERIOR 2X6 WALL STUDS TYP. FULL HEIGHT. INSTALL INTERIOR 2X4 WALL OVER VAPOR BARRIER TO BOTTOM OF SOFFIT FRAMING.
52	6'-0" DIAMETER SLOPED FLOOR TO DRAIN. SEE A203 FLOOR FINISH PLAN.
53	DASHED LINE DENOTES METAL CANOPY ABOVE WITH LIGHTS.
54	PROPOSED LOCATION OF 'ABC' CLASS FIRE EXTINGUISHER. (PROVIDED BY OWNER, INSTALLED BY G.C.) COORDINATE FINAL LOCATION WITH LOCAL INSPECTOR PRIOR TO INSTALL.
55	PROPOSED LOCATION OF 'K' CLASS FIRE EXTINGUISHER. (PROVIDED BY OWNER, INSTALLED BY G.C.) COORDINATE FINAL LOCATION WITH LOCAL INSPECTOR PRIOR TO INSTALL.
56	DASHED LINES DENOTE GYPSUM BOARD CEILING OR BULKHEAD ABOVE. SEE REFLECTED CEILING PLAN A204.
57	OWNER SUPPLIED EASIWASH EQUIPMENT. INSTALL BY G.C.
58	INSTALL OWNER SUPPLIED EASIWASH (EQUIP. #B-500) REMOTE VALVE & CONTROL STAINLESS STEEL ENCLOSURE. SEAL WALL PENETRATION AIR & WEATHER TIGHT. FINAL COORDINATE LOCATION WITH OWNER. G.C. TO PROVIDE PVC SLEEVE IN OFFICE WALL FRAMING.



15110 MN 7  
MINNETONKA, MN 55345

Owner:  
JGH MINNETONKA, LLC  
14822 HIDDEN TERRACE LOOP  
LITCHFIELD PARK, AZ 85340

Applicant/Tenant:  
BORDER FOODS, LLC  
5425 BOONE AVE. N  
NEW HOPE, MINNESOTA 55428

Contact: NATE WENGER  
Phone: 763-489-3004

ENDEAVOR  
26 SEATS / 2,591 S.F.

PROJECT NO.: TB21-21

DRAWN BY: KDI

CHECKED BY: GGD

ISSUES AND REVISIONS:

SITE PLAN REVIEW: 03.29.2022

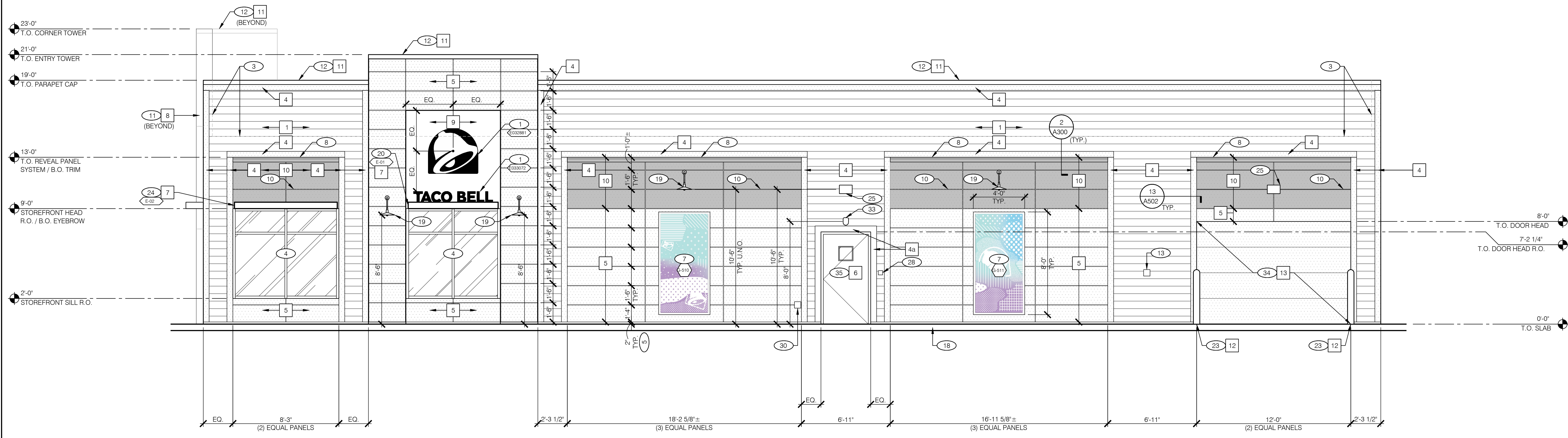
**PRELIMINARY -  
NOT FOR  
CONSTRUCTION**

**EXTERIOR  
ELEVATIONS**

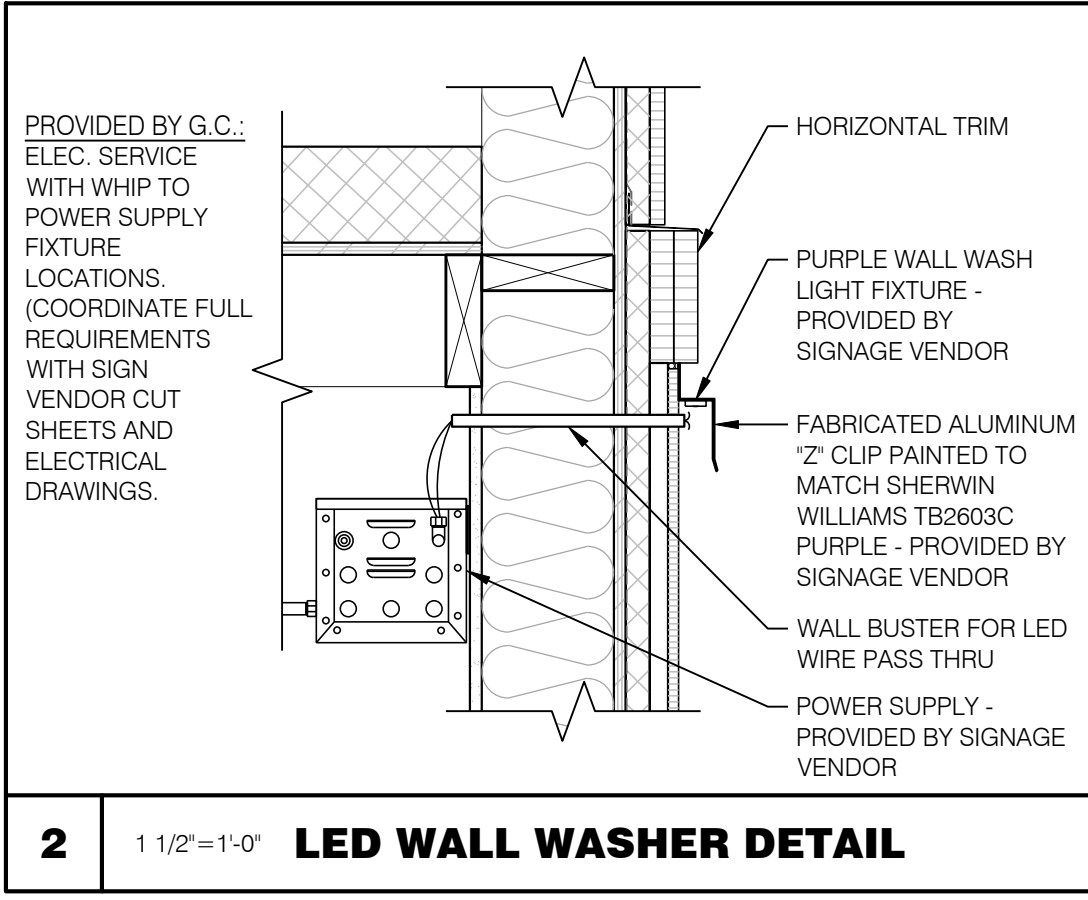
**A300**

TACO BELL, MINNETONKA, MN

NOTE:  
1. FULLERTON BUILDING SYSTEMS TO PROVIDE AND INSTALL FIBER CEMENT SIDING (FACTORY PRIMED) AND METAL T-GROOVE PANELS.  
2. G.C. TO PAINT ALL FIBER CEMENT SIDING IN FIELD PER FINISH SCHEDULE.



**1** 1/4"=1'-0" **EAST ELEVATION**



**2** 1/2"=1'-0" **LED WALL WASHER DETAIL**

QTY.	ITEM
2	CAMO PATTERN - PURPLE - EXPRESSION PANEL
2	CAMO PATTERN - PURPLE - EXPRESSION PANEL
1	CAMO PATTERN - PURPLE - EXPRESSION PANEL

**EXTERIOR ARTWORK SCHEDULE**

**MISCELLANEOUS:**  
1. SEE SHEET A000 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

**SEALERS (REFER TO SPECIFICATIONS):**  
1. SEALANT AT ALL WALL AND ROOF PENETRATIONS.  
2. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL AT WINDOWS.  
3. APPLY NEOPRENE GASKET (CONTINUOUS) BETWEEN BUILDING AND CANOPY.

**"CRITICAL" DIMENSIONS:**  
1. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE / BUILDING ELEMENTS DIMENSIONS.

**PAINTING:**  
1. APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.  
PRIMER: 1 COAT SW A24W8300  
FINISH: 2 COATS SW A82-100 SERIES, MATCH COLORS FROM MATERIAL SCHEDULE. A-100 EXTERIOR LATEX SATIN.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

**GENERAL NOTES**

QTY	ITEM DESCRIPTION	ELEC.
1	DRIVE-THRU AWNING 9'-0" X 4'-0" BLACK	X
1	FRONT EYEBROW (WINDOW) 16'-7"L. X 6'H. X 1'-4"D. BLACK	X
1	D.T. EYEBROW (WINDOW) 7'-8"L. X 6'H. X 1'-4"D. BLACK	X
1	VESTIBULE AWNING 7'-0"L. X 6'H. X 3'-0"D. BLACK (CUSTOM)	
1	SIDE EYEBROW (WINDOW) 8'-0"L. X 6'H. X 1'-4"D. BLACK	
9	PURPLE ACCENT WALL WASH LIGHT FIXTURE. LENGTH AS REQUIRED AT PURPLE ACCENT WALLS. PROVIDED AND INSTALLED BY SIGN VENDOR.	

**CANOPY AND BUILDING ACCENT SCHEDULE**

QTY	ITEM DESCRIPTION	ELEC.
1	TACO BELL PYLON / BREAKFAST SIGN 10'-0"W X 5'-2"H SIGN FACE - T.O. SIGN AT 15'-0" ABOVE GRADE (52 S.F.)	X
3	42" SWINGING BELL PURPLE LOGO - FACE LIT (13.53 S.F.)	X
2	14" WHITE CHANNEL LETTERS - WALL MOUNTED (9.9 S.F.)	X
1	10" WHITE CHANNEL LETTERS - AWNING MOUNTED (5.01 S.F.)	X

**SIGN SCHEDULE**

SYMBOL	AREA	MANUFACTURER	COLOR	CONTACT INFORMATION
1	SIDING	JAMES HARDIE	PLANK LAP SIDING - PRIMED FOR PAINT COLLECTION; 144"L. X 8.25"W. - 7" EXPOSURE. PAINT WORLDLY GRAY (SW7043) SEMI-GLOSS	SEE SHEET A001 FOR CONTACT INFORMATION
2	SCUPPERS	-	PRE-FINISHED - BLACK, SEMI-GLOSS	-
3	DOWNSPOUTS	-	PRE-FINISHED - BLACK, SEMI-GLOSS	-
4	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH 1" X 5.5" - PAINT CYBERSPACE (SW7076) SEMI-GLOSS	SEE SHEET A001 FOR CONTACT INFORMATION
4a	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH 1" X 5.5" - PAINT WORLDLY GRAY (SW7043) SEMI-GLOSS	SEE SHEET A001 FOR CONTACT INFORMATION
5	REVEAL PANEL	NICHIHA	ILLUMINATION DESIGNER SERIES; 17 7/8"H. X 71 9/16"L. (CUT TO PLAN DIMENSIONS) FACTORY PRIMED. PAINT CYBERSPACE (SW7076) SEMI-GLOSS	SEE SHEET A001 FOR CONTACT INFORMATION
6	HOLLOW METAL DOOR / ELECTRICAL EQUIPMENT	-	PAINT WORLDLY GRAY (SW7043) SEMI-GLOSS	-
7	AWNINGS	SIGNAGE VENDOR	BLACK BY SIGNAGE VENDOR	-
8	CORNER TOWER	WESTERN STATE	T-GROOVE 24 GA. PAINTED 18" PANEL - WEATHERED RUSTIC	SEE SHEET A001 FOR CONTACT INFORMATION
9	RECESS OF SIDE ENTRY PORTAL	WESTERN STATE	T-GROOVE 24 GA. PAINTED 18" PANEL - WEATHERED RUSTIC	SEE SHEET A001 FOR CONTACT INFORMATION
10	REVEAL PANEL	NICHIHA	ILLUMINATION DESIGNER SERIES; 17 7/8"H. X 71 9/16"L. (CUT TO PLAN DIMENSIONS) FACTORY PRIMED. PAINT SW PURPLE TB2603C SEMI-GLOSS	SEE SHEET A001 FOR CONTACT INFORMATION
11	METAL PARAPET CAP	-	24 GA. GALVANIZED - CYBERSPACE (SW7076) KYNAR 500 COATING	-
12	PIPE BOLLARDS	STREET SMART	YELLOW - 1/4" THICK PLASTIC COVER (US.POSTMAN.COM) OR EQUAL	COVER PROVIDED BY OWNER, INSTALLED BY G.C.
13	OVERHEAD DOOR	-	PRE-FINISHED (COLOR TO MATCH CYBERSPACE (SW7076)) PROVIDE COLOR SAMPLE TO ARCHITECT FOR APPROVAL.	-

**EXTERIOR FINISH SCHEDULE**

- 1 BUILDING SIGN, BY VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS.
  - 2 DRIVE-THRU WINDOW. SEE SHEET A000 AND A200.
  - 3 DASHED LINE INDICATES ROOF BEYOND.
  - 4 STOREFRONT, TYPICAL.
  - 5 HOLD FIBER CEMENT FINISH ABOVE FINISHED GRADE PER MANUFACTURERS RECOMMENDATIONS. (2" MIN. AT CONCRETE / BITUMINOUS; 6" MIN. AT SOIL / TURF / LANDSCAPING).
  - 6 SWITCH GEAR. PAINT TO MATCH WALL.
  - 7 EXPRESSION PANEL. SUPPLIED BY OWNER, INSTALLED BY G.C.
  - 8 PURPLE LED WALL WASH LIGHT FIXTURE FULL WIDTH BETWEEN TRIM BOARDS, AS SHOWN, PROVIDED AND INSTALLED BY SIGNAGE VENDOR.
  - 9 ASSUME DRIVE-THRU LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING AND SITE PLAN.
  - 10 TYPICAL REVEAL LOCATION AS DIMENSIONED. SEE 12/A502.
  - 11 TOWER WITH METAL PANEL FINISH PROVIDED BY FULLERTON.
  - 12 PREFINISH PARAPET COPING.
  - 13 CO2 FILLER VALVE AND COVER. SEE DETAIL 4/A502 SIMILAR.
  - 14 EASIWASH EXTERIOR ACCESS PANEL. SEAL AIR & WEATHER TIGHT TO WALL WITH SEALANT TO MATCH ADJACENT EXTERIOR WALL FINISH.
  - 15 GAS SERVICE. DO NOT PAINT.
  - 16 WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR.
  - 17 SCUPPER, COLLECTOR AND OPEN FACE DOWNSPOUT. PROVIDE WITH FACTORY POWDER COAT OR KYNAR 500 PAINT FINISH - COLOR AS SCHEDULED. (BOTTOM OF DOWNSPOUT TO BE 6'-8" ABOVE GRADE) G.C. TO PROVIDE HEAT TAPE FULL LENGTH.
  - 18 CONCRETE CURB.
  - 19 SCENCE LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
  - 20 METAL AWNING OVER VESTIBULE WINDOW PROVIDED AND INSTALLED BY SIGN VENDOR.
  - 21 NOT USED.
  - 22 NOT USED.
  - 23 BOLLARD. SEE DETAIL 4/A101.
  - 24 METAL EYEBROW OVER WINDOWS PROVIDED AND INSTALLED BY SIGN VENDOR.
  - 25 WALL PACK LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
  - 26 NOT USED.
  - 27 ADDRESS SIGN. 8" HIGH WHITE VINYL LETTERS APPLIED TO GLASS SURFACE.
  - 28 FIRE DEPARTMENT KNOX BOX.
  - 29 STOREFRONT DOOR. REFER TO DOOR SCHEDULE.
  - 30 HOSE BIBB LOCATION. REFER TO PLUMBING AND DETAIL 19/A502.
  - 31 NOT USED.
  - 32 DRIVE-THRU CANOPY BY VENDOR.
  - 33 EMERGENCY LIGHT FIXTURE WITH BATTERY BACK UP. SEE ELECTRICAL DRAWINGS.
  - 34 O.H. DOOR AS SCHEDULED.
  - 35 INSULATED HOLLOW METAL DOOR AND FRAME. PAINT TO MATCH WALL.
  - 36 ALUMINUM ROOF ACCESS LADDER AND DOOR. (DO NOT PAINT) SEE DETAILS 9, 19 AND 20/A500.
  - 37 12"x12" FRESH AIR INTAKE METAL GRILL. PAINT TO MATCH WALL AND SEAL AIR AND WEATHER TIGHT. VERIFY LOCATION. PAINT TO MATCH WALL.
  - 38 OVERFLOW SCUPPER BY G.C. FULLERTON TO PROVIDE OPENING SIZED PER MINNESOTA STATE PLUMBING CODE AT HEIGHT NOT TO EXCEED MAXIMUM PONDING WATER FOR WHICH THE ROOF STRUCTURE WAS DESIGNED FOR BY CODE.
- EXTERIOR ELEVATION KEY NOTES**



15110 MN 7  
MINNETONKA, MN 55345

Owner:  
JGH MINNETONKA, LLC  
14822 HIDDEN TERRACE LOOP  
LITCHFIELD PARK, AZ 85340

Applicant/Tenant:  
BORDER FOODS, LLC  
5425 BOONE AVE. N  
NEW HOPE, MINNESOTA 55428

Contact: NATE WENGER  
Phone: 763-489-3004

ENDEAVOR  
26 SEATS / 2,591 S.F.

PROJECT NO.: TB21-21

DRAWN BY: KDI

CHECKED BY: GGD

ISSUES AND REVISIONS:

SITE PLAN REVIEW: 03.29.2022

**PRELIMINARY -  
NOT FOR  
CONSTRUCTION**

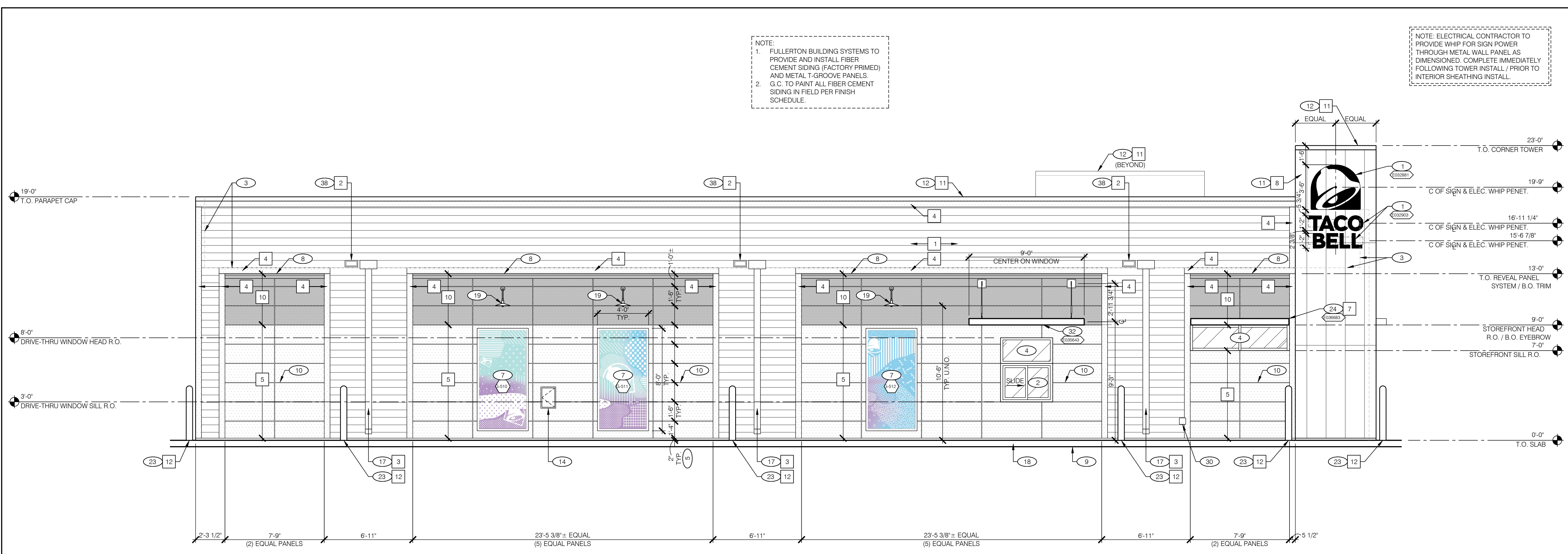
**EXTERIOR  
ELEVATIONS**

**A301**

TACO BELL, MINNETONKA, MN

NOTE:  
1. FULLERTON BUILDING SYSTEMS TO PROVIDE AND INSTALL FIBER CEMENT SIDING (FACTORY PRIMED) AND METAL T-GROOVE PANELS.  
2. G.C. TO PAINT ALL FIBER CEMENT SIDING IN FIELD PER FINISH SCHEDULE.

NOTE: ELECTRICAL CONTRACTOR TO PROVIDE WHIP FOR SIGN POWER THROUGH METAL WALL PANEL AS DIMENSIONED. COMPLETE IMMEDIATELY FOLLOWING TOWER INSTALL / PRIOR TO INTERIOR SHEATHING INSTALL.

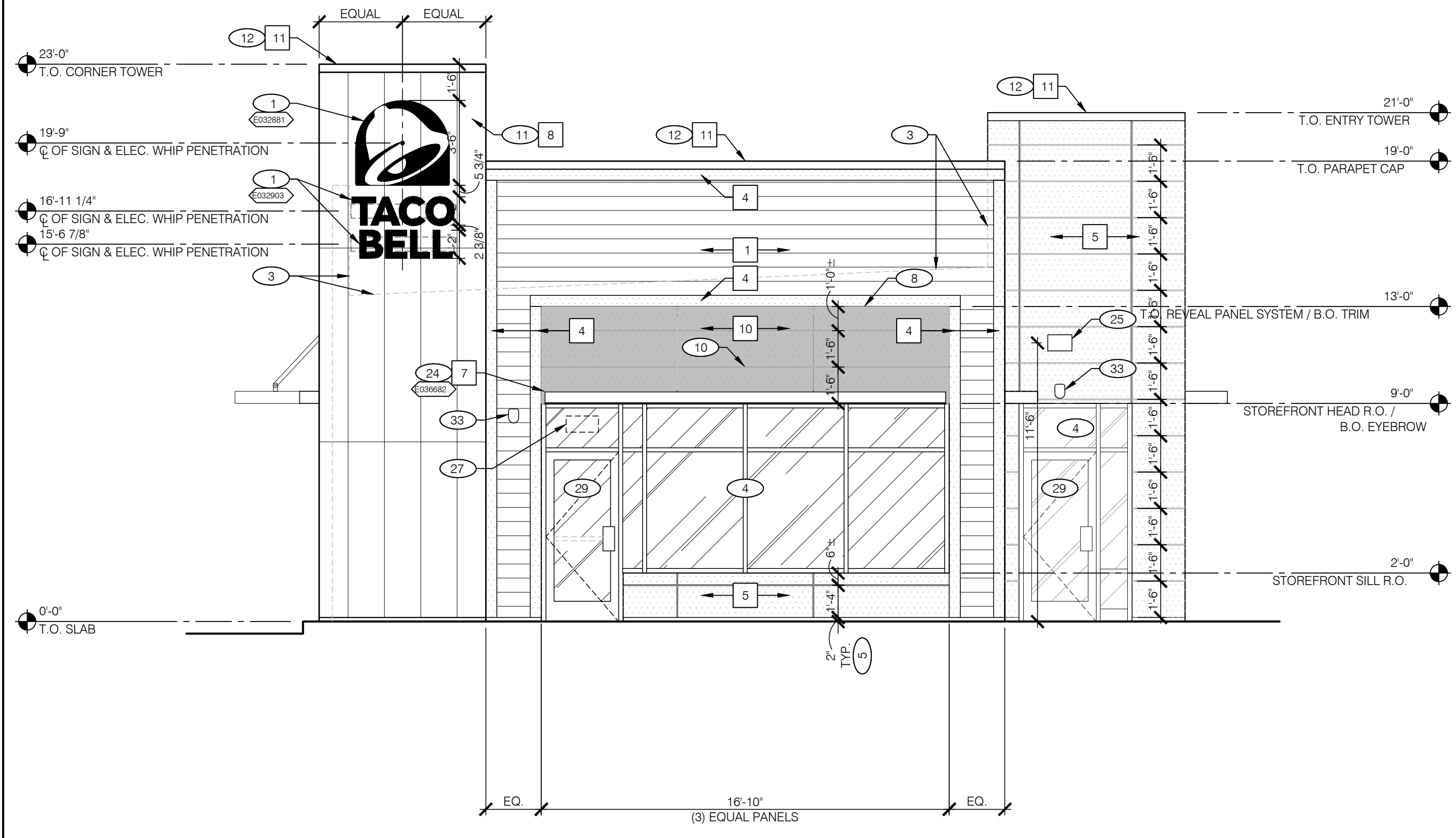


**1** 1/4"=1'-0" **WEST ELEVATION**

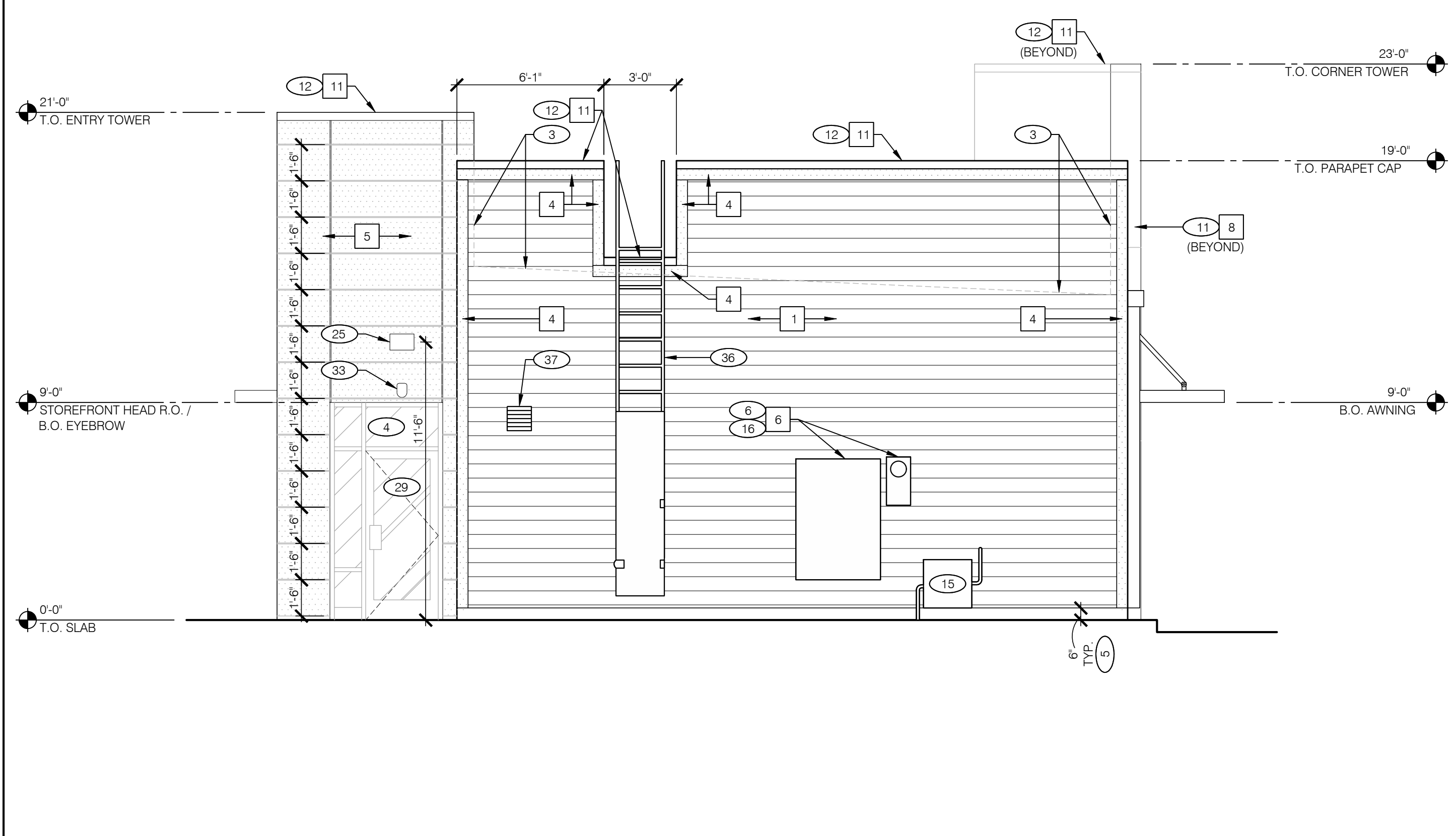
NOTE:  
1. FULLERTON BUILDING SYSTEMS TO PROVIDE AND INSTALL FIBER CEMENT SIDING (FACTORY PRIMED) AND METAL T-GROOVE PANELS.  
2. G.C. TO PAINT ALL FIBER CEMENT SIDING IN FIELD PER FINISH SCHEDULE.

NOTE:  
1. FULLERTON BUILDING SYSTEMS TO PROVIDE AND INSTALL FIBER CEMENT SIDING (FACTORY PRIMED) AND METAL T-GROOVE PANELS.  
2. G.C. TO PAINT ALL FIBER CEMENT SIDING IN FIELD PER FINISH SCHEDULE.

NOTE: ELECTRICAL CONTRACTOR TO PROVIDE WHIP FOR SIGN POWER THROUGH METAL WALL PANEL AS DIMENSIONED. COMPLETE IMMEDIATELY FOLLOWING TOWER INSTALL / PRIOR TO INTERIOR SHEATHING INSTALL.



**2** 1/4"=1'-0" **SOUTH ELEVATION**



**3** 1/4"=1'-0" **NORTH ELEVATION**