

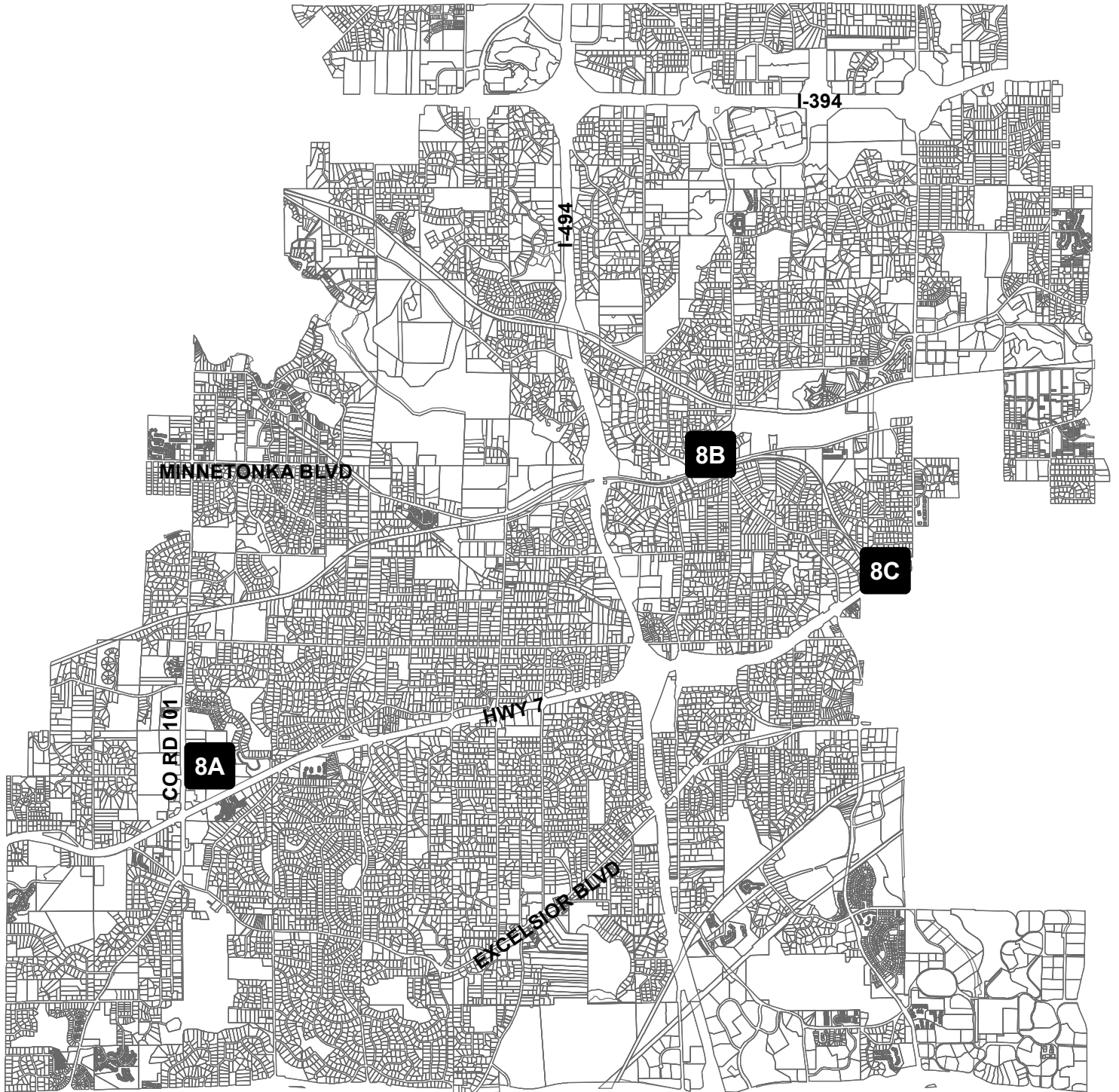


CITY OF
MINNETONKA

PLANNING COMMISSION

APRIL 28, 2022

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**Planning Commission Agenda
April 28, 2022**

City Council Chambers – Minnetonka Community Center

- 1. Call to Order**
- 2. Roll Call**
- 3. Approval of Agenda**
- 4. Approval of Minutes:** April 7, 2022
- 5. Report from Staff**
- 6. Report from Planning Commission Members**
- 7. Public Hearings: Consent Agenda.** None
- 8. Public Hearings: Non-Consent Agenda Items**
 - A. Resolution approving a parking variance for Goldfish Swim School at 4729 and 4733 Co Rd 101.

Recommendation: Adopt the resolution. (5 votes)
 - Final decision, subject to appeal
 - Project Planner: Bria Raines
 - B. Items concerning the Holiday Gas station at 12908 Minnetonka Blvd.

Recommendation: Adopt the resolution. (4 votes)
 - Final decision, subject to appeal
 - Project Planner: Ashley Cauley
 - C. Resolution denying a conditional use permit for a freestanding ATM for Chase Bank at 11400 Hwy 7.

Recommendation: Recommend the city council adopt the resolution denying the request. (4 votes)
 - Recommendation to City Council (April 25, 2022)
 - Project Planner: Susan Thomas
- 9. Adjournment**

Notices

1. Please call the planning division at (952) 939-8290 to confirm meeting dates as they are tentative and subject to change.
2. There following applications are tentatively schedule for the May 12, 2022 agenda.

Project Description	Taco Bell, multiple
Project Location	15110 Hwy 7
Assigned Staff	Bria Raines
Ward Councilmember	Bradley Schaeppi, Ward 3

Project Description	Crest Ridge Corporate Center, sign plan review
Project Location	11055 and 10995 Wayzata Blvd
Assigned Staff	Ashley Cauley
Ward Councilmember	Rebecca Schack, Ward 2

**Unapproved
Minnetonka Planning Commission
Minutes**

April 7, 2022

1. Call to Order

Chair Sewall called the meeting to order at 6:30 p.m.

2. Roll Call

Commissioners Maxwell, Waterman, Banks, Henry, and Sewall were present. Powers and Hanson were absent.

Staff members present: Community Development Director Julie Wischnack, City Planner Loren Gordon, Assistant City Planner Susan Thomas, Senior Planner Ashley Cauley and Planner Bria Raines.

3. Approval of Agenda

Waterman moved, second by Henry, to approve the agenda as submitted with the postponement of Item 8B, a resolution denying the application for a conditional use permit for a freestanding ATM for Chase Bank at 11400 Hwy 7, to the April 28, 2022 planning commission meeting at the request of the applicant; addition of comments provided in the change memo dated April 7, 2022; and moving review of a resolution approving final building plans and a sign plan amendment for Planet Fitness at 12437 Wayzata Blvd. from Item 8A of the agenda to Item 7A on the consent agenda.

Maxwell, Waterman, Banks, Henry, and Sewall voted yes. Powers and Hanson were absent. Motion carried.

4. Approval of Minutes: March 17, 2022

Maxwell moved, second by Henry, to approve the March 17, 2022 meeting minutes as submitted.

Maxwell, Waterman, Banks, Henry, and Sewall voted yes. Powers and Hanson were absent. Motion carried.

5. Report from Staff

Gordon briefed the commission on land use applications considered by the city council at its meeting on March 24, 2021:

- Reviewed a concept plan for Woodhaven, a subdivision of 2424 and 2440 Plymouth Road.

The State of the City address is scheduled to take place on April 20, 2022, at 7 a.m.

The next planning commission meeting is scheduled to be held on April 28, 2022.

6. **Report from Planning Commission Members:** None

7. **Public Hearings: Consent Agenda**

No item was removed from the consent agenda for discussion or separate action.

Banks moved, second by Henry, to approve the item listed on the consent agenda as recommended in the respective staff report as follows:

A. Resolution approving final building plans and a sign plan amendment for Planet Fitness at 12437 Wayzata Blvd.

Adopt the attached Resolution 2022-02 approving final building plans and a sign plan amendment for Planet Fitness at 12437 Wayzata Blvd.

Maxwell, Waterman, Banks, Henry, and Sewall voted yes. Powers and Hanson were absent. Motion carried, and the item on the consent agenda was approved as submitted.

8. **Public Hearings**

A. Resolution approving a conditional use permit for replacement of an accessory structure in excess of 1,000 square feet at 15518 Minnetonka Blvd.

Chair Sewall introduced the proposal and called for the staff report.

Raines reported. She recommended approval of the application based on the findings and subject to the conditions listed in the staff report.

Maxwell asked for the size of the other existing accessory structure. Raines answered approximately 240 square feet. Raines confirmed that if the proposal would be approved, then the site would have approximately 250 square feet more than the allowed amount of total square footage of detached structures on a site.

Christie Brusvan, the applicant, stated that the existing barn is no longer safe and needs repairs. Rebuilding the barn would keep its charm but in a usable and safe manner. She thanked Raines for walking them through the process and helping them with the details. She was available for questions. She appreciated the commissioners' time.

In response to Waterman's question, Ms. Brusvan answered that the barn is used for storage of the lawnmower, bikes, and future additional vehicles when her children reach driving age. There is a gravel turnaround area in the rear yard. The door to the barn

would be turned so that it would no longer face the neighbors and be accessible from the interior of the yard.

The public hearing was opened. No testimony was submitted, and the hearing was closed.

Waterman moved, second by Banks, to recommend that the city council adopt the resolution approving a conditional use permit for an accessory structure in excess of 1,000 square feet at 15518 Minnetonka Blvd.

Maxwell, Waterman, Banks, Henry, and Sewall voted yes. Powers and Hanson were absent. Motion carried.

B. Resolution denying a conditional use permit for a freestanding ATM for Chase Banks at 11400 Hwy. 7.

Review of this item was postponed until the April 28, 2022 planning commission meeting.

C. Resolution denying variances to increase building height and floor area ratio requirements for a new house at 4299 Annika Court.

Chair Sewall introduced the proposal and called for the staff report.

Cauley reported. She recommended denial of the application based on the findings listed in the staff report.

Henry confirmed with Cauley that the square footage of a full basement would not be included in the FAR calculation.

Thomas stated that a neighboring house does not meet the FAR requirement because of an error that occurred during the building permit review process, which failed to catch the noncompliance. Such an error does not set a precedent to allow other houses to be noncompliant with FAR requirements.

Aaron Clark, the applicant, stated that:

- He is excited to have a house in Minnetonka.
- He was unaware of the FAR requirements.

Matt Duffy, attorney for the applicant, stated that:

- He appreciated the work done by the staff.
- The lot is the third biggest lot in the development. The proposed house would be the third-largest house in the development.

- Removing the third garage stall would make the proposal compliant with FAR requirements but make it out of character with some of the other houses in the neighborhood. The house next door is the largest in the neighborhood. If the proposed house would be constructed to meet FAR requirements, then it would be smaller than the house next door.
- The applicant requested the builder redesign the plans to meet the 26-foot-height requirement.
- The “design needs of the family” is the reason for the variance request.
- Neighboring properties would not want a giant retaining wall, and it would cause drainage problems.
- The lot is designed for a walk-out basement. A non-walk-out basement would not be practical or reasonable. If there were no walk-out basement, then the variance would not be needed.
- There would be no neighbor facing the backyard.
- The applicants are willing to explore other options.

Mr. Clark stated that:

- He was told by a builder that it would be unlikely that the city engineer would approve a plan that would not include a walk-out basement.
- He asked if a window instead of a door to create a look-out instead of a walk-out basement would meet FAR requirements.
- A neighboring house was built on a smaller lot 857 square feet over the FAR requirement due to an error during the building permit process.
- There is another house that looks similar to the proposed house, but the other house is larger because its full basement is not included in the FAR calculation.

The public hearing was opened. No testimony was submitted, and the hearing was closed.

Chair Sewall confirmed with Cauley that replacing the basement walk-out door with a basement look-out window would not change the FAR calculation.

Waterman clarified with Cauley that if a significant amount of the basement would be exposed, then it would qualify as a look-out or walk-out basement and would be included in the FAR calculation.

Maxwell found this to be a tough decision. She saw no practical difference between a walk-out basement and a full basement from the neighbors' view. The rear yard abuts a highway rather than residential houses. There is only one other open lot that could request a similar variance. She would be o.k. with approving a house with a maximum height of 25 feet and a variance to allow the requested amount of square footage.

Henry appreciated the applicant explaining the situation to commissioners. He sympathizes with the applicant. He agrees with staff and following the spirit of the law because the site is zoned R-1a, which allowed the property to be subdivided into more smaller lots that would be required to have smaller houses. The difficulty was not created by the city. The city has been consistent with honoring the regulations. He favors compliance with R-1a zoning regulations.

Banks felt the responsibility is on the builder to understand the regulations and process. There is a reason why the limits are created. He sympathized with the applicant. He understood that the process is tough. He hopes the builder could make some adjustments to make the building plan meet the requirements.

Waterman agreed that this is a frustrating situation. A homeowner trusts an architect to create a building plan that meets code requirements, and then the homeowner finds out that the plan is not compliant. The city code is specific for the lot. For an R-1a district, it is critical to maintain strict conformance with ordinance requirements. Overall, he regretfully agreed with the staff's recommendation to deny the variance.

Chair Sewall noted that he has learned an enormous amount of information that he did not know since he bought his house 13 years ago. He agreed that regrading would be a terrible option. He favored following the FAR regulations. A large house could still be built. He welcomed the applicant and his family to the community.

Waterman motioned, seconded by Maxwell, to adopt Resolution 2022-03, denying the application for floor area ratio and building height variances for a new house at 4299 Annika Court.

Maxwell, Waterman, Banks, Henry, and Sewall voted yes. Powers and Hanson were absent. Motion carried.

Chair Sewall stated that an appeal of the planning commission's decision must be made in writing to the planning division within ten days.

D. Resolution denying the application for Weber Three, a three-lot subdivision with variances, at 2326 Oakland Road.

Chair Sewall introduced the proposal and called for the staff report.

Thomas reported. She recommended denial of the application based on the findings listed in the staff report.

Waterman confirmed with Thomas that a private street would not eliminate the need for variances.

Jim MacKinnon, the applicant, stated that:

- The application is for the non-road, non-cul-de-sac plan. The cul-de-sac option would not meet tree ordinance or water drainage requirements.
- The glitch is the unusual shape of the property. The shape is unique to this property. It is not something the applicant created. The lots would not have 110 feet at the 50-foot setback because of the long driveways needed for the shape of the property.
- There are 11 lots close to the site that do not have 110 feet at the 50-foot setback. Some lots only have driveway easements to the road. Some lots have only 20 feet on the road.
- The proposal would be a beautiful project.
- The city's method of measuring the lot width setback is a one-size-fits-all formula. He did not agree that one size fits all.
- The ordinance gives commissioners the right to give the applicant a variance. He supports the city in approving a variance for the project.
- He creates lots and sells them to builders.

The public hearing was opened.

William Dunne, 13758 Birdsong Court, stated that:

- His main concern is the driveway easement behind his house.
- He was concerned with the two lots west of the proposed site that could be developed in the future.
- His main concern is to limit as much traffic as possible on the driveway that would be on the easement behind his property. It would be very close to his house.
- He appreciated the opportunity to speak.

Lindsay Arthur, 2400 Oakland Road, stated that:

- He appreciated the opportunity to speak.
- He supports the staff's recommendation to deny the application.
- He agrees that the applicant failed to justify the variances.
- He opposes the plan, which would need three setback variances and possibly a tree removal variance; include two contiguous driveways serving three houses with a shared driveway; have irregular gerrymandering lot lines, and require two awkward driveway easements. It does not have to be that way.
- He provided two drawings showing how the property could be developed into three lots without the need for variances.
- This is an opportunity to make the properties conform to current regulations by providing street access and allowing the developer to create three lots without variances.

Thomas placed Mr. Arthur's drawings included in the agenda packet on the presentation monitor.

Mr. Arthur continued:

- His plan would be a win-win for the applicant and neighbors.
- He proposed that there be one street that would go diagonally through the property from Oakland Road to the border of the Cohen property that is adjacent to his property.
- His Option One would require the removal of 10 trees. The proposal's two-driveway option would require the removal of 19 trees. His Option Two would require the removal of 19 trees.
- His plan would eliminate the need for the Arthur and Cohen properties to share a driveway once a street is added. The existing shared driveway is too narrow for two vehicles to pass each other.
- His plan would eliminate the shared driveway included in the proposal. The Arthurs and Cohens have a long, respectful, trusting relationship dealing with their shared driveway, but shared driveways are definitely a potential source of irritation between neighbors when it comes to maintenance and snowplow removal.
- His proposed lots would be far less gerrymandered and would be more regularly shaped than the proposed lots.
- His proposal would eliminate the awkward driveway easement across adjoining lots included in the applicant's plan.
- A city street would be more desirable than two contiguous driveways, with one of the driveways serving two houses. It would be more consistent with what is happening in the neighborhood. Bird Song, Crown Hill, Westernness, and Cherry Hill developments all added a nice street when the property was developed. His plans would allow that to happen.
- He opposes the two driveways next to each other, with one of them serving two houses. He would prefer one city street to end in a cul-de-sac on his property and create three lots.
- His options would correct the nonconforming nature of his property and address a commitment the city made to him when Bird Song was developed. As described in the history provided in the agenda packet, he requested a driveway easement from the Bird Song cul-de-sac be added to connect to his property when its subdivision application was being considered. The city council decided that he would get access when the Weber property would be developed. That is now. This anomaly may now be corrected.
- He has 2.34 acres of land that could accommodate three lots with minimal tree loss and would meet all city ordinance requirements.
- If the current proposal is approved, then he would be prohibited from developing his property, and his property would be relegated to the status of a nonconforming property. His property met all ordinance requirements

- when it was created, but the city created its nonconforming status when it adopted new regulations in 1967.
- This is an opportunity to find a solution that would work for everyone. The current proposal does not work for the city because it would require variances. It does not work for adjoining property owners because it would allow the driveway easements to be located near the backdoors of all of the proposed lots in the Bird Song development. It does not work for him because it would not solve the anomaly created before. The proposal should be denied, not just because the variances are inappropriate, but because there are much better options that need to be worked out.
 - He would be more than happy to work with city staff and the developer to find a solution.
 - Mr. Martineau told him that he could sell his property for a much higher price if it would be sold for development rather than as a single-family house. The current proposal violates the applicant's contractual and fiduciary obligations to develop the property in a way to assist the Arthurs and another neighboring property in subdividing their properties.

No additional testimony was submitted, and the hearing was closed.

Waterman appreciated that the proposal would meet tree ordinance requirements. After reviewing the data regarding how many lots over ten years did not require variances, he agrees with the staff's recommendation to deny the variances. There is no circumstance unique to the property that justifies the variances.

Banks agreed with Waterman. The property is undeveloped. The site is a blank canvas. He did not want to set a precedent to allow the creation of new lots that do not meet ordinance requirements. He supports the staff's recommendation to deny the variance application.

Henry thanked the applicants and neighbors for their presentations. He supports the staff's recommendation to deny the variance application.

Maxwell supports the staff's recommendation to deny the variance application. An application to subdivide an undeveloped property should meet the tree protection ordinance and lot-width-at-setback ordinance requirements.

Chair Sewall supports the staff's recommendation to deny the variance application.

Henry moved, second by Banks, to recommend that the city council adopt the resolution denying the application for a preliminary plat, with lot-width-at-setback variances, for a three-lot subdivision at 2326 Oakland Road.

Maxwell, Waterman, Banks, Henry, and Sewall voted yes. Powers and Hanson were absent. Motion carried.

This item is scheduled to be reviewed by the city council at its meeting on April 25, 2022.

There was a five-minute recess.

9. Other Business

A. Concept plan for Mills Church properties associated with 13215 Minnetonka Drive.

Gordon reported.

David Landt, the senior pastor of Mills Church, representing the concept plan, appreciated everyone staying late. He stated that:

- He appreciated Gordon's presentation. Pastor Landt provided a presentation on the history of the site. The site consists of five-and-a-half acres utilized by four organizations: Mills Church, Small World School, Peace Congregation, and St. David's Center.
- He received feedback from neighbors from two meetings held in 2020, which shaped the current concept plan.
- The building is old and has accessibility and environmental issues.
- The concept plan focuses on the undeveloped portions of the property, providing affordable housing.
- Twin Cities Habitat for Humanity will be the developer who will present the concept proposal.
- The homes would be owner-occupied.
- The two houses on Elm would be single-family, single-story houses keeping with the character of the neighborhood.
- The upper portion of the parking lot currently goes unused.
- There is a grade on the property that causes rain runoff.
- The plan would maintain some of the aspects of the property that have already been developed. The 40-tree apple orchard and town hall, which was recently added to the registrar of historic buildings, would be preserved.

Chad Dittman, land development director of Habitat for Humanity, provided a presentation and stated that:

- Habitat for Humanity's mission is to bring together people to create and preserve affordable homes and advance racial equity in housing and has been operating in the twin cities since 1985. There are many donors and volunteers in the community.
- There is currently a housing crisis in Minnesota and throughout the country. Incomes are not keeping up with housing costs.
- The average household size is four to five family members. The average income is \$58,000 earned from being employed.

- Research done in 2015 shows how homeownership improves many facets of life, including education, health, and financial success.
- The two buildings are guided for institutional use, and the rest of the site is guided for low-density residential. The zoning is an R-1 district.
- There are two existing single-family lots. He reviewed the existing site.
- The concept plan consists of two single-family houses and two six-unit townhome buildings in the southwest corner of the property.
- He noted the flexibility given in the comprehensive guide plan for the provision of affordable housing.
- He anticipated utilizing planned unit development (PUD) zoning.
- Twin Cities Habitat for Humanity is listed as one of the tools for affordable housing.
- The entrance to the townhomes would access Inverness Road.
- Water management and retention is one of the goals of the project.
- The trees would be preserved as much as possible, including the apple orchard, but some would be removed. Landscaping requirements would be met.
- He provided a 3D rendering of the proposal. The buildings would be set into the grade. The front of the buildings would be two stories on the street side, and garages would be below grade in the rear.
- Additional trees would be planted.
- He provided renderings of the proposed single-family house at 13201 Minnetonka Blvd. He hoped to build that house this summer.
- Detailed plans for the single-family house at 3522 Elm have not been settled on yet.
- He provided a picture of similar townhome buildings Habitat for Humanity built in Woodbury. Each building would have six townhomes.
- He was available for questions.

Chair Sewall invited the public to share their comments on the concept plan.

Mel Koenig, 13108 Inverness Road, stated that:

- He was o.k. with the single-family houses.
- He was o.k. with the townhouses, but not the way they would be arranged. He would like them to run along Baker Road.
- The traffic on Inverness backs up from Minnetonka Blvd. to Hwy. 7. Drivers do not even like letting a bicyclist cross there. Drivers speed on Inverness.
- There are many kids who live in the area.
- He would like a park or green space in the middle.
- He would like the driveway entrance setback from the property.
- The surrounding area has single-family houses.

Holly Bayer, 13016 Inverness Road, stated that:

- She supports the alternative plan to have the townhouses on Baker Road.
- She does not oppose affordable housing. She understood the need for it.
- She wants the history preserved. There are no structures above two stories in the area.
- She wants the plan to consider the architecture and aesthetics of the neighborhood.
- It is nearly impossible to make a left turn onto Inverness Road because the vehicles are backed up. Twelve families would cause too much traffic.
- She appreciated Habitat for Humanity speaking with her and decreasing the density.
- The area has single-family residences and one-story buildings.

David Hoyt, 3629 Farmington Road, stated that:

- He was worried about the change in zoning allowing multi-family residences to be built if the church were torn down.
- He supports affordable housing and Habitat for Humanity.
- He supports the R-1 single-family houses on the property, which would not disrupt the neighborhood or change its appearance to an incongruent look.

David Pitera, 3740 Farmington Road, stated that:

- He likes the aesthetic of the neighborhood.
- The homeowner would own the house, but the land would be owned by a trust.
- He was concerned about what would happen if the church had a financial setback.
- He supports affordable housing, but the townhouse buildings would be too large and out of place.

Joyce Block, 13705 Minnetonka Drive, stated that:

- She encourages a traffic study to be done on Baker Road. It is hard to get onto Baker Road from Minnetonka Drive, especially at rush hour.
- The height of the townhouse buildings would be out of proportion with the neighborhood.

Theresa Traut, 12919 Inverness Road, stated that:

- She has no opposition to affordable housing.
- Townhouses would impact the neighborhood. She prefers single-family houses.
- She was concerned with the impact on traffic and the environment.

- It would be nice to have affordable townhomes seniors could move into, but she was concerned additional multifamily-residential housing could be added in the future.

Aili Langseth, 3514 Kohnens Circle, stated that:

- Supports the concept plan.
- Affordable housing is a great way to use the land that is mostly empty a lot of the time.
- She understood the concerns with traffic. She has a nine-year-old who runs around outside with neighbor kids.
- She saw this as a way to get more neighbors and diversity into the neighborhood.
- She supports the proposal.

Mike Ramsden, 13627 Inverness Road, stated that:

- He was concerned with the process because plans never end up being followed to create what they are supposed to be.
- He was concerned that the site would change if the church would no longer be there.
- The zoning should stay R-1. He did not agree with rezoning things.

Mike Mahady, 3700 Baker Road, stated that:

- Affordable housing is needed.
- He did not support changing the R-1 zoning to accommodate one project.
- He was concerned about what would happen with the church property if the church closed.
- He would have no problem with single-family houses.

Larry Sharpe, 3726 Farmington Road, stated that:

- He supports single-family-housing zoning staying that way.
- He was concerned with the church selling its land to create high-density residential housing.

Chair Sewall thanked everyone for sharing their comments.

Waterman stated that:

- The proposed townhomes would be better on the site than large apartments. He would not support a large, multi-family-apartment building.

- He likes the two single-family houses. The proposed density could work. The area has single-family housing.
- He appreciated the effort to keep the height of the townhomes to a minimum on the Baker Road and Inverness Road sides. The drop in grade for parking would face into the property, so it would not affect neighbors as much.
- The proposal could be a great use of the land.
- There is definitely a need for owner-occupied affordable housing.

Banks stated that:

- He appreciates Pastor Landt and Mr. Dittman working with staff and neighbors since 2020.
- He appreciates the neighbors' feedback that includes being supportive of affordable housing but concerned with the size of the proposed townhouse buildings; rezoning allowing more-dense developments in the future, and traffic.
- The site would be perfect for multi-family density.
- He likes the entry being located on Inverness Road. Connecting to Baker Road would be worse.
- Two single-family residences would be a great addition.
- Affordable housing is needed.

Henry stated that:

- He supports affordable housing.
- Twelve townhouses would be too dense.
- The building design is o.k. He suggested villa-style houses or all R-1 single-family houses.

Maxwell stated that:

- She appreciated Pastor Landt and Mr. Dittman's presentation and their meeting with the neighbors.
- Affordable housing for the site makes a lot of sense.
- Twelve townhouses would be too dense.
- Moving the structure further internally into the site might decrease its appearance near the street.
- She agreed with the access connecting to Inverness Road.
- She would like to see data on the exact height of the proposed buildings compared to the single-family houses across from Inverness Road.

Chair Sewall stated that:

- The use would be appropriate.

- The mass of the buildings would feel out of place for the area.
- He agreed with more density than R-1, but not such large buildings.
- He agreed with the access being located on Inverness Road.
- The future of the church property is not in the purview of this concept plan.
- He loves the two affordable single-family houses. It is nice to see diversity in affordable housing stock, which is terribly cost-prohibitive right now. It should be one of many feathers in Minnetonka's affordable-housing cap.
- Overall, the concept plan is a good starting point. The good news is that the concept plan is typically as bad as a proposal gets, and most proposals usually get better with each review.
- He appreciated everyone being respectful.

Gordon stated that the city council is scheduled to review this item on April 25, 2022.

10. Elections

Henry moved, second by Waterman, to elect Sewall to serve as chair of the Minnetonka Planning Commission for 2022.

Maxwell, Waterman, Banks, Henry, and Sewall voted yes. Powers and Hanson were absent. Motion carried.

Henry moved, second by Maxwell, to elect Hanson to serve as vice-chair of the Minnetonka Planning Commission for 2022.

Maxwell, Waterman, Banks, Henry, and Sewall voted yes. Powers and Hanson were absent. Motion carried.

Banks moved, second by Maxwell, to elect Henry to serve as planning commission liaison to the Minnetonka Sustainability Commission for 2022.

Maxwell, Waterman, Banks, Henry, and Sewall voted yes. Powers and Hanson were absent. Motion carried.

11. Planning Commission Bylaws and Policies

Waterman moved, second by Maxwell, to adopt the Minnetonka Planning Commission bylaws and policies provided in the staff report for 2022. Motion carried unanimously.

12. Adjournment

Banks moved, second by Waterman, to adjourn the meeting at 10:03 p.m. Motion carried unanimously.

By: _____
Lois T. Mason
Planning Secretary

Minnetonka Planning Commission Meeting

Agenda Item 8

Public Hearing: Non-Consent Agenda

MINNETONKA PLANNING COMMISSION
April 28, 2022

Brief Description Parking variance for Goldfish Swim School at 4729 and 4733 County Road 101.

Recommendation Adopt the resolution approving the variance request.

Background

Goldfish Swim School is proposing to operate a swim school in the existing building of the Westwind Plaza at 4729 and 4733 County Road 101.

In 2019, the site received a parking variance for Chase Bank, reducing the total required parking spaces from 477 to 419 parking spaces. By city code, a variance is only valid for the project for which it was approved. The previous variance for Chase Bank would not transfer to Goldfish Swim School. With the Goldfish Swim School, the site would require 487 parking spaces by city code.

Proposal Summary

The following is intended to summarize the applicant's proposal. Additional information can be found in the "Supporting Information" section of this report.

- **Existing Site Conditions.**

The subject property, Westwind Plaza, is roughly 10 acres in size and improved with three one-story buildings. Surface parking surrounds the buildings on all sides. Access to the site is shared to the south with Shoppes 101/Cub Foods and a right-in/right-out access to the north. The parking lot currently has 419 total parking stalls.



- **Proposed Building.**

Goldfish Swim School would occupy two tenant spaces within the northwestern-most building of the commercial center. To accommodate the new business, the interior of the existing tenant spaces would be remodeled. The spaces would be combined to accommodate a four-lane swimming pool, reception area, changing room, and two viewing areas. These spaces are currently vacant.

- **Proposed Use.**

Goldfish Swim School would be a commercial business providing aquatic fitness services. General retail and service is a permitted use in the B-2 zoning district. Swimming lessons would be provided for children four months to 12 years old with an occasional open swim for families.

The anticipated hours of operation are Weekdays, 9 a.m. to 12 p.m. and 4-8 p.m., Saturdays, 8 a.m. to 1 p.m., and Sundays, 1-7 p.m. Classes are an estimated 30 minutes with the student to teacher ratio depending on the age of the child; 3:1 for ages 2 to 3, or 4:1 typically for ages three and older. The applicant approximates that 6 to 8 classes will occur at a single time. The swimming pool has four swimming lanes, is 4 feet deep, and is roughly 70 by 24 feet.

Primary Questions and Analysis

A land-use proposal is comprised of many details. In evaluating a proposal, staff first reviews these details and then aggregates them into a few primary questions or issues. The following outlines both the primary questions associated with the proposed Goldfish Swim School and the staff's findings.

- **Are the proposed building changes reasonable?**

Yes. From the staff's perspective, the exterior would largely remain as existing. This would be consistent with the other tenants at Westwind Plaza with the same facades. The façade would be maintained in "clean, like-new condition" and infilled with masonry matching the existing brick façade.

- **Is the proposed parking variance appropriate?**

Yes. The swim school would be roughly 7,420 square feet, meet the city code for permitted B-2 District uses and is consistent with the land use designated in the 2040 Comprehensive Guide Plan. The proposed use and parking variance are reasonable; the subject property is completely developed, Purgatory Creek prevents expanding the existing parking lot, and any available additional parking spaces have been included in this proposal.

- **Can anticipated parking demands be accommodated?**

Yes. Westwind Plaza currently contains 419 parking spaces. The Institute of Transportation Engineers (ITE) parking demand data suggests that the average parking demand for a commercial center of 91,621 square feet could be accommodated with 267 parking spaces. This calculation is general and does not consider the higher parking ratio associated with fitness, restaurants, and apparel uses. Instead, an ITE calculation per use would suggest parking demand for this plaza could be accommodated by 356 parking spaces. (See supporting documents.)

	Parking Stalls
Existing	419
Proposed, with new striping	423
Institute of Transportation Engineers (ITE) calculation	356
Ordinance requirement	487

Staff Recommendation

Adopt the resolution approving a parking variance for Goldfish Swim School.

Originator: Bria Raines, Planner

Through: Susan Thomas, AICP, Assistant City Planner

Loren Gordon, AICP, City Planner

Supporting Information

Surrounding Land Uses

Northerly: Open Space, Purgatory Creek
Easterly: Open Space, Purgatory Creek, residential beyond
Southerly: Retail area zoned B-2
Westerly: Retail area zoned PUD, across County Road 101

Planning

Guide Plan designation: Commercial
Existing Zoning: B-2, limited business

City Actions

By City Code §330.18 Subd.2(b), general retail and service commercial uses occurring within an enclosed building are permitted uses in the B-2 zoning district. One of the additional requirements regulates parking requirements pursuant to City Code §330.28. The commercial center site would not contain the total number of parking stalls required, as such a variance is necessary. (See the Variance Standard section of this report.)

Traffic

The proposed aquatic fitness facility would be unlikely to have an undue adverse impact on the existing site. The tenant space is existing and would not require a significant amount of additional parking; only ten (10) parking spaces per city ordinance.

Parking

The site was approved for a parking variance in 2019. The 58 stall variance allowed 419 parking when 477 stalls were required by code. The Goldfish Swim School proposal has changed the use of two tenant spaces, triggering a recalculation of the parking demand. The site now requires 487 parking stalls pursuant to the fitness center. As the available number of parking stalls does not meet the city code requirement, a parking variance is required.

ITE suggests that actual parking demand rates for the commercial center would be less than required by city code. It is important to note that neither city code nor ITE has a specific requirement/information for every use in Westwind Plaza. Rather, the requirement/demand for "shopping center," "fitness center," "high-turnover restaurant," and "fast food restaurant without drive-through window" was used by staff to calculate demand.

	Use	Area	Rate	Required
CODE	Restaurants	9,110 sq.ft	1/60 sq. ft.	152
	Goldfish Swim School	7,605 sq.ft.	1/225 sq. ft.	34
	Other fitness tenants	5,053 sq.ft.	1/250 sq. ft.	21
	Apparel	18,165 sq.ft.	1/250 sq. ft.	73
	Commercial Center	51,688 sq.ft.	1/250 sq. ft.	207
	TOTAL			
ITE AVERAGE	Restaurants	9,110 sq.ft	Range from 9.91 to 12.28/1000 sq. ft.	98
	Goldfish Swim School	7,605 sq.ft.	4.73/1000 sq. ft	36
	Other fitness tenants	5,053 sq.ft.	4.73/1000 sq.ft.	24
	Apparel*	18,165 sq.ft.	2.66/1000 sq. ft.	48
	Commercial Center*	51,688 sq.ft.	2.91/1000 sq. ft.	150
	TOTAL			

*Saturday p.m. peak hour = highest demand rate

The proposed 423 parking spaces at the subject property would meet the average parking demand suggested by the ITE; 356 parking spaces.

Variance Standard

A variance may be granted from the requirements of the zoning ordinance when: (1) it is in harmony with the general purposes and intent of the ordinance; (2) it is consistent with the comprehensive plan; and (3) when an applicant establishes that there are practical difficulties in complying with the ordinance. Practical difficulties mean that the applicant proposes to use a property in a reasonable manner not permitted by the ordinance, the plight of the landowner is due to circumstances unique to the property not created by the landowner, and the variance, if granted, would not alter the essential character of the locality. (City Code §300.07)

The requested variances would meet the variance standard:

1. The request is in harmony with the general purposes and intent of the ordinance.

Finding: The intent of the ordinance as it pertains to parking requirements is to ensure adequate parking is provided to meet anticipated parking demand. With the restriping of the parking lot on the subject property, the anticipated parking stalls would meet the ITE suggested parking demand.

2. The request is consistent with the comprehensive plan.

Finding: The subject property is located in the Westwind Plaza, a community village center. One of the overall themes outlined in the comprehensive plan is to “provide development and redevelopment opportunities that encourage vitality, promote identity, and improve livability” in village centers. The requested variances would result in the reuse of an existing space as a new and unique gathering space, consistent with the goals of the comprehensive plan.

3. The request is caused by practical difficulties.

- a) Reasonableness and Unique Circumstance.

Finding: The requested parking variance is reasonable. While code-required parking would not be met, the ITE anticipated parking demand could be met on the site. The existing site has been developed with no additional available space to meet the parking ordinance. This circumstance is unique to the businesses in this area and is not common in other areas of the community.

- b) Character of the Neighborhood.

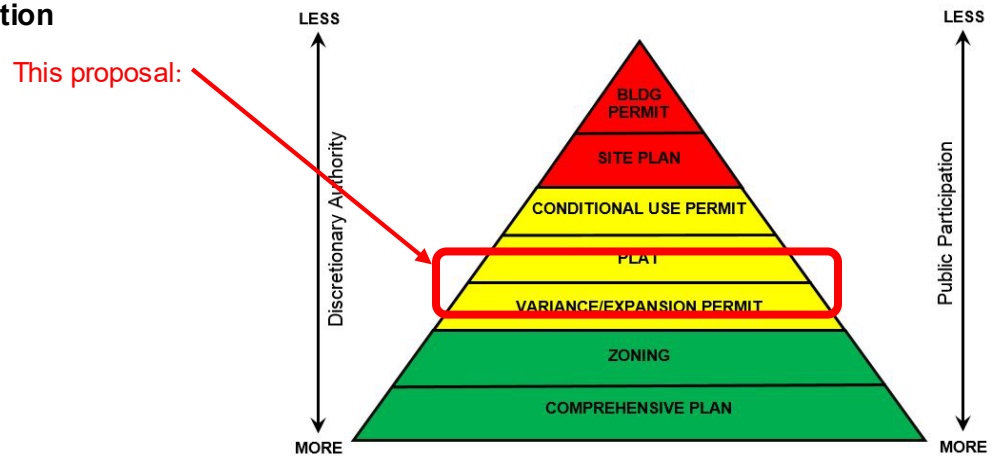
Finding: The proposed aquatic fitness center would be a similar recreational use to two other tenants at Westwind Plaza. The use would not set precedence or alter the character of the neighborhood.

Motion Options

The planning commission has three options:

1. Concur with the staff recommendation. In this case, a motion should be made recommending the city council adopt the resolution approving the request.
2. Disagree with the staff's recommendation. In this case, a motion should be made recommending the city council deny the request. This motion must include a statement as to why denial is recommended.
3. Table the requests. In this case, a motion should be made to table the item. The motion should include a statement as to why the request is being tabled with direction to staff, the applicant, or both.

Pyramid of Discretion



Voting Requirement

The planning commission's action on the applicant's request is final subject to appeal. Approval requires the affirmative vote of five commissioners.

Any person aggrieved by the planning commission's decision about the requested variance may appeal such a decision to the city council. A written appeal must be submitted to the planning staff within ten days of the date of the decision.

Neighborhood Comments

The city sent notices to 43 property owners and has received no comment to date.

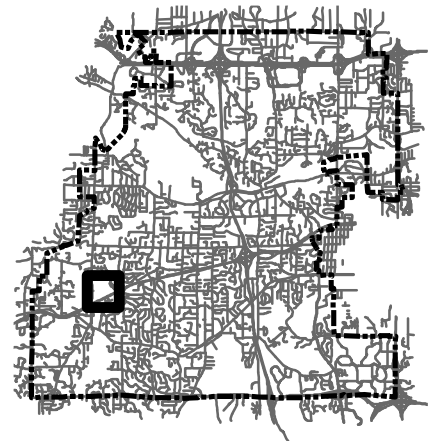
Deadline for Action

June 27, 2022



LOCATION MAP

Project: Goldfish Swim School
Location: 4729 and 4733 Co Rd 101.



PRACTICAL DIFFICULTIES WORKSHEET

By state law, variances may be granted from the standards of the city's zoning ordinance only if:

- 1) The proposed variance is in harmony with the general purpose and intent of the zoning ordinance;
- 2) The proposed variance is consistent with the comprehensive plan; and
- 3) An applicant establishes that there are practical difficulties in complying with the ordinance standard from which they are requesting a variance. Practical difficulties means:
 - The proposed use is reasonable;
 - The need for a variance is caused by circumstances unique to the property, not created by the property owner, and not solely based on economic considerations; and
 - The proposed use would not alter the essential character of the surrounding area.

PRACTICAL DIFFICULTIES	
Describe why the proposed use is reasonable	THE PROPOSED GOLDFISH SWIM SCHOOL IS A PERMITTED HEALTH AND FITNESS USE IN THE B-2 ZONING DISTRICT AND IS CONSISTENT WITH OTHER GENERAL RETAIL AND SERVICE USE IN THE WESTWIND PLAZA, WHICH IS A FULLY DEVELOPED COMMUNITY SHOPPING CENTER. THE VARIANCE OF 6 SPACES WITHIN THE 471 SPACE PARKING LOT IS ITSELF REASONABLE, AND BARELY PRECEPTIBLE, ESPECIALLY IN LIGHT OF THE HOURS OF OPERATION OF THE PROPOSED USED. (SEE ATTACHED STATEMENT IN SUPPORT OF APPLICATION FOR VARIANCE.)
Describe: <ul style="list-style-type: none"> • circumstances unique to the property; • why the need for variance was not caused by the property owner; and • and why the need is not solely based on economic considerations. 	THE EXISTING COMMUNITY SHOPPING CENTER IS FULLY DEVELOPED, WITH NO AVAILABLE LAND FOR ADDITIONAL PARKING, EXCEPT FOR THE (4) FOUR ADDED SPACES INDICATED ON THE SITE PLAN. GOLDFISH SWIM SCHOOL IS REPLACING TWO EXISTING RETAIL USES WITH LOWER PARKING RATIOS, CAUSING AN INCREASE IN PARKING REQUIREMENTS. THE VARIANCE IS REQUIRED DUE TO LACK OF SPACE, NOT EXPENSE.
Describe why the variance would not alter the essential character of the neighborhood	THE VARIANCE WOULD NOT CAUSE ANY PHYSICAL CHANGE TO THE CHARACTER OF THE NEIGHBORHOOD, AND WOULD IN FACT ENHANCE AND IMPROVE THE ESSENTIAL CHARACTER OF THE NEIGHBORHOOD BY FACILITATING THE ADDITION OF A PLACE FOR LEARNING, RECREATION, AND PHYSICAL FITNESS WITHIN THE EXISTING COMMUNITY SHOPPING

VARIANCE APPLICATIONS WILL NOT BE ACCEPTED IF THIS WORKSHEET IS NOT COMPLETE

PROCESS



STATEMENT IN SUPPORT OF APPLICATION FOR VARIANCE

Parrish Swim School, LLC, doing business as Goldfish Swim School Minnetonka, submits this Statement in Support of Application for Variance in support for its request for a variance from the parking requirements of the City of Minnetonka for the Westwind Plaza.

Goldfish Swim School proposes to lease Spaces 7 and 8 in Westwind Plaza, an existing Community Shopping Center, located 4729 and 4733 County Road 101, Minnetonka, Minnesota. Westwind Shopping Center and the proposed Goldfish Swim School are permitted uses in the B-2 District in which Westwind Plaza is located. The parking variance is the only zoning approval Goldfish Swim School requires.

The variance will facilitate adding a valuable educational and recreational resource, and employment opportunities, to the Minnetonka community. Goldfish Swim School provides swim lessons and water safety instruction to children. We provide children with life-saving skills for use in and around the water that are focused on safety and well-being of children. For Westwind Plaza, we provide diversity and mixed use in the retail center. The school's busiest operational hours will be weekday evenings (4-8PM), Saturday mornings (8-1PM) and Sundays (1-7 PM) - off hours for most retailers and banking institutions. We are a great addition to Minnetonka as we provide a life changing skill to children, as well as meaningful employment opportunities in a fun work atmosphere for those who will become our team members.

The variance is required to address a deficit of 6 cars in a 471 car parking lot. Goldfish Swim School proposes to lease Spaces 7 and 8 in Westwind Plaza. The combined premises has a gross area of 7,605 square feet. Goldfish Swim School is a health and fitness use, with a parking ratio of 1 car per 225 square feet. The previous tenants of Spaces 7 and 8 were retail uses, with a parking ratio of 1 car per 250 square feet. According to the Westwind Plaza Parking Tabulation prepared by Minnetonka planning staff and attached to the Application, (1) Westwind Plaza has 471 actual parking places and "proof of parking" for 4 parking spaces, yielding a total of 423 parking spaces available to satisfy parking requirements for all of Westwind Plaza, and a 2019 parking variance allowing a deficit of 58 parking spaces, which together establish a lawful limit of required parking of 481 spaces, and (2) with the addition of Goldfish Swim School, the parking required parking for Westwind Plaza will be 487, 6 more than currently allowed without a variance. The variance amounts to about 1.27% of the parking requirement for the center.

The requested variance meets the requirements of City Code Section 300.07, Subdivision 1, which provides: "A variance is only permitted when it is in harmony with the general purposes and intent of this ordinance and when the variance is consistent with the comprehensive plan. A variance may be granted when the applicant establishes that there are practical difficulties in complying with this ordinance. Practical difficulties means that the property owner proposes to use the property in a reasonable manner not permitted by this ordinance, the plight of the landowner is due to circumstances unique to the property





not created by the landowner, and the variance, if granted, would not alter the essential character of the locality. Economic considerations alone do not constitute practical difficulties."

a. The variance is in harmony with the general purposes and intent of the ordinance. The proposed use is itself a permitted use, and therefore by definition is in harmony with the literal purpose and intent of the City Code. The variance will facilitate the addition of a use that will serve the fundamental purpose of City Code Section 300.01, Subdivision 2, which is promoting "public health, safety and general welfare," by teaching children to swim and observe essential safety principles in and around water, and the following specific examples listed in that Section:

- a) encouraging the planned and orderly development of residential, commercial, industrial, recreational and public uses of land;

The variance will allow for efficient use of existing development, and avoid unnecessary construction of new paved parking areas.

- e) providing for the compatible integration of different land uses and the most appropriate use of land;

The variance will add to the diversity of goods and services available at Westwind Plaza and thereby increase the number of goods and services that can be obtained in one trip, and reduce the number of trips required to obtain those goods and services.

- f) encouraging development in accordance with the city's comprehensive plan;

See "b" below.

The variance is in harmony with the general purpose and intent of the specific ordinance from which Goldfish seeks a variance, Section 300.28.12, which is to ensure adequate parking for the shopping center, because the variance is very small in proportion to the actual number of parking spaces – 6/471, about 1.27% – and the hours of peak demand for Goldfish do not coincide with the peak hours of demand for typical retail uses.

b. The variance is consistent with the comprehensive plan.

The variance will facilitate the installation of a new use in an existing traditional Community Shopping Center, which is consistent with the following policies of the 2030 Comprehensive Plan:

- Policy No. 1: Encourage a diversity of land uses within the city to ensure a broad range of housing and employment choice, shopping and other services for residents and businesses.





Policy No. 7: Support existing commercial areas and encourage new development techniques that contribute to the vitality and diversity of the area.

The variance is also consistent with Chapter 3 – Land Use, of the Draft 2040 Comprehensive Guide Plan, which recognizes the need to support "a hierarchy of commercial centers of the city" and encourage higher density development. Page 3-4.

c. There are practical difficulties in complying with this ordinance.

1. The property owner proposes to use the property in a reasonable manner not permitted by this ordinance. The proposed use of Spaces 7 and 8 of Westwind Plaza by Goldfish Swim School as a private swimming school for children is a reasonable use of the property because the use is permitted by the City Code. The variance is necessary because, with the addition of Goldfish Swim School, the entire 471 space parking lot, after application of the 2019 variance of 58 parking spaces for Chase Bank and proof of parking for 4 spaces, will be short 6 parking spaces. That is 1.27% of the actual spaces in the whole parking lot. Applied to the 34 parking spaces required for Goldfish Swim School, 1.27% is 0.433 parking spaces. Using Spaces 7 and 8 with a deficit of less than one-half parking space is more than reasonable.

2. The plight of the landowner is due to circumstances unique to the property not created by the landowner. The "plight" of a 1.27% deficit in required parking is due to the lack of space for additional pavement within the boundaries of Westwind Plaza and trends away from brick and mortar retail (with a 1/250 parking ratio) and toward service uses (1/225) and restaurant use (1/60), both not created by the landowner or its tenant.

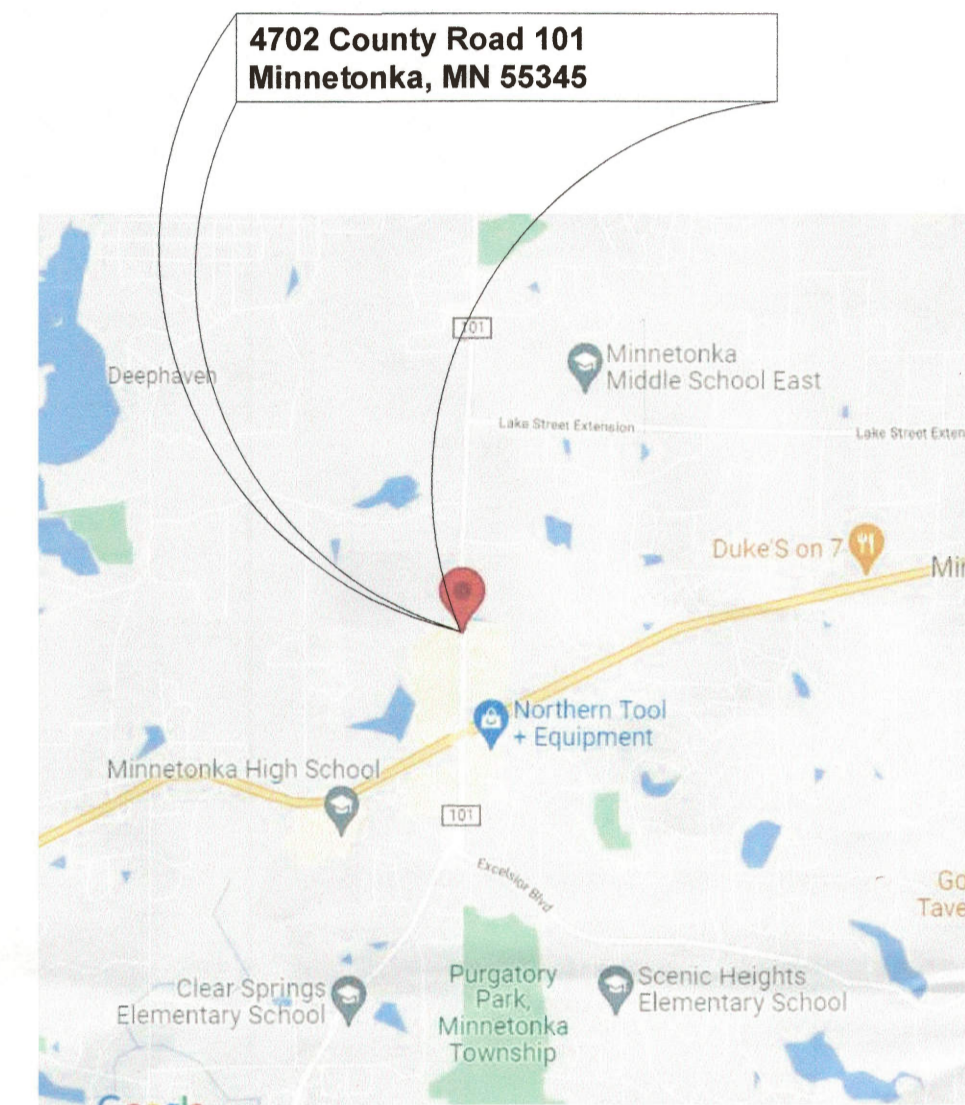
3. The variance, if granted, would not alter the essential character of the locality. The variance, if granted will not cause any physical change at all, and will prevent an increase pavement on the site. The parking deficit of 1.27% will not be perceptible in any respect.

4. Economic considerations alone do not constitute practical difficulties. The variance is required solely due to lack of space to add parking to the existing parking lot. There are no relevant economic considerations.





Interior Build-Out
 Goldfish Swim School
 4729,4733 County Road 101
 Minnetonka, MN 55345



Project Site Location Plan

N.T.S.

Project Team

Tenant (Client) FA # 159

Parrish Swim School, LLC
 1445 LaSalle Road
 Canton, Michigan 48187

Architect

Brian S. Gill
 79 Oakland Avenue
 Pontiac, MI 48342
 P. (248)874-1420 F. (248)758-9926

GFSS Construction Advisor

Mosher Dolan Inc. (Steve Marszalek)
 2725 Nakota
 Royal Oak, MI 48073
 P. (248)258-9453 F. (248)258-6514

Sheet Index

Sheet No	Title	3-9-22 Variance Application			
G.001	Title Sheet	X			
1 of 1	Boundary, Location, Topographic and Utility Survey	X			
SP.100	Site Plan	X			
A.100	Floor Plan	X			
A.200	Exterior Elevation (Front Partial)	X			



TDGArchitects.com
 79 Oakland Avenue
 Pontiac, Michigan 48342
 P. (248) 874-1420



Project
Goldfish Swim School
 4729,4733 County Road 101
 Minnetonka, MN 55345
 Client
 Parrish Swim School, LLC
 1445 LaSalle Road
 Canton, MI 48187

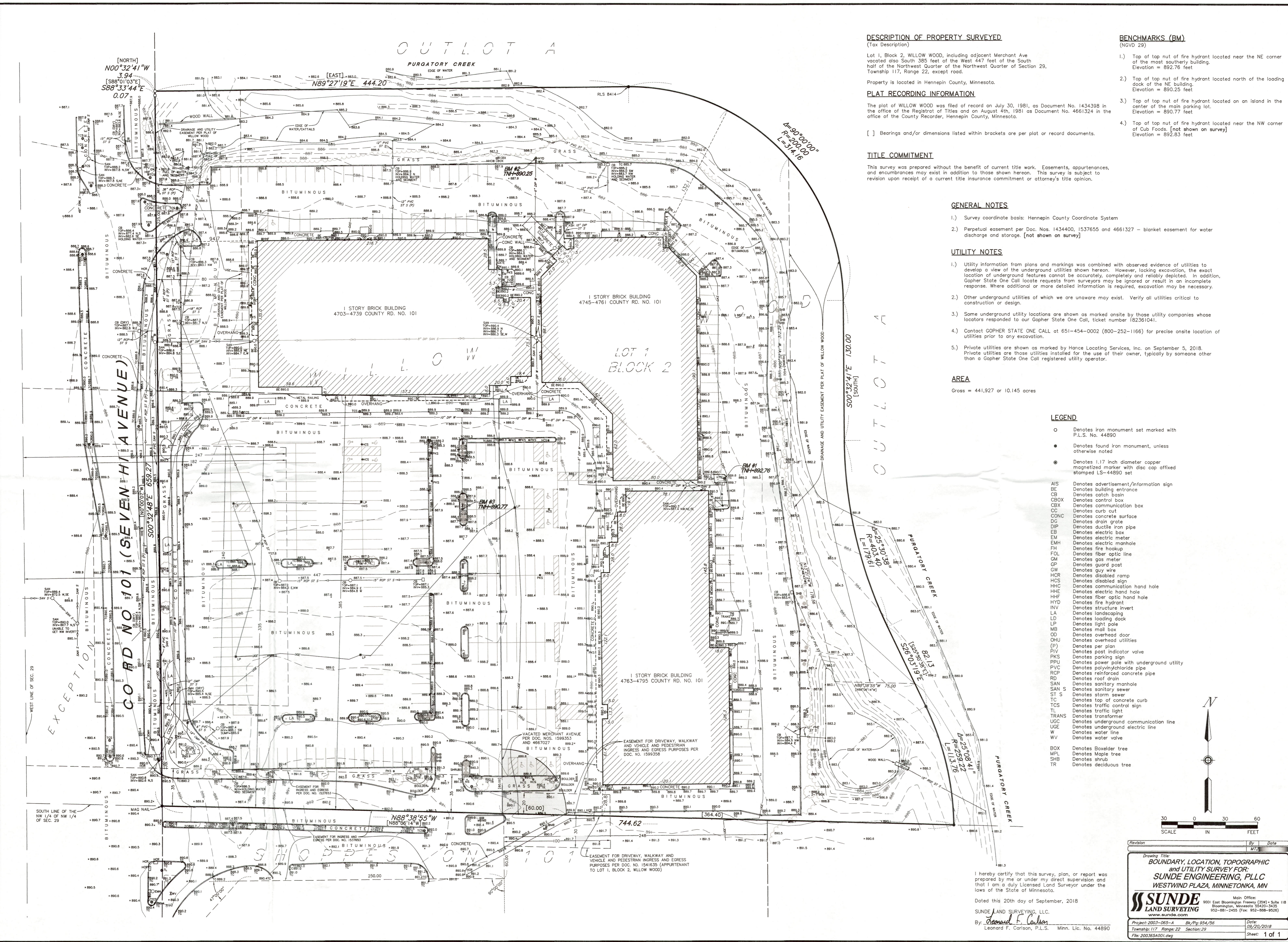
REVISION SCHEDULE	
DATE	DESCRIPTION
10/21/2021	TEST FIT CONCEPT
11/16/2021	TEST FIT CONCEPT
11/17/2021	TEST FIT CONCEPT
11/19/2021	CORPORATE APPROVAL
1/4/2022	BIDS AND PERMITS
1/18/2022	HEALTH DEPARTMENT
2/10/2022	PARKING RESPONSE
3/9/2022	VARIANCE APPLICATION



DRAWN BY: MEH
 CHECKED BY: BGG

Drawing Title
TITLE SHEET
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Project Number
21-206
 Drawing Number
G.001



DESCRIPTION OF PROPERTY SURVEYED

(Tax Description)
 Lot 1, Block 2, WILLOW WOOD, including adjacent Merchant Ave vacated also South 385 feet of the West 447 feet of the South half of the Northwest Quarter of the Northwest Quarter of Section 29, Township 117, Range 22, except road.

Property is located in Hennepin County, Minnesota.

PLAT RECORDING INFORMATION

The plat of WILLOW WOOD was filed of record on July 30, 1981, as Document No. 1434398 in the office of the Registrar of Titles and on August 4th, 1981 as Document No. 4661324 in the office of the County Recorder, Hennepin County, Minnesota.

[] Bearings and/or dimensions listed within brackets are per plat or record documents.

TITLE COMMITMENT

This survey was prepared without the benefit of current title work. Easements, appurtenances, and encumbrances may exist in addition to those shown hereon. This survey is subject to revision upon receipt of a current title insurance commitment or attorney's title opinion.

BENCHMARKS (BM)

- (NGVD 29)
- 1.) Top of top nut of fire hydrant located near the NE corner of the most southerly building. Elevation = 892.76 feet
 - 2.) Top of top nut of fire hydrant located north of the loading dock of the NE building. Elevation = 890.25 feet
 - 3.) Top of top nut of fire hydrant located on an island in the center of the main parking lot. Elevation = 890.77 feet
 - 4.) Top of top nut of fire hydrant located near the NW corner of Cub Foods. [not shown on survey] Elevation = 892.83 feet

GENERAL NOTES

- 1.) Survey coordinate basis: Hennepin County Coordinate System
- 2.) Perpetual easement per Doc. Nos. 1434400, 1537655 and 4661327 - blanket easement for water discharge and storage. [not shown on survey]

UTILITY NOTES

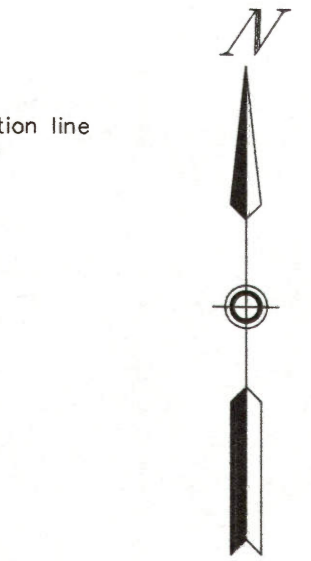
- 1.) Utility information from plans and markings was combined with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. In addition, Gopher State One Call locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, excavation may be necessary.
- 2.) Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
- 3.) Some underground utility locations are shown as marked onsite by those utility companies whose locators responded to our Gopher State One Call, ticket number 182361041.
- 4.) Contact GOPHER STATE ONE CALL at 651-454-0002 (800-252-1166) for precise onsite location of utilities prior to any excavation.
- 5.) Private utilities are shown as marked by Hance Locating Services, Inc. on September 5, 2018. Private utilities are those utilities installed for the use of their owner, typically by someone other than a Gopher State One Call registered utility operator.

AREA

Gross = 441,927 or 10.145 acres

LEGEND

- Denotes iron monument set marked with P.L.S. No. 44690
- Denotes found iron monument, unless otherwise noted
- ⊙ Denotes 1.17 inch diameter copper magnetized marker with disc cap affixed stamped LS-44890 set
- AIS Denotes advertisement/information sign
- BE Denotes building entrance
- CB Denotes catch basin
- CBX Denotes control box
- CC Denotes communication box
- CCW Denotes curb cut
- CONC Denotes concrete surface
- DG Denotes drain grate
- DIP Denotes ductile iron pipe
- EB Denotes electric box
- EM Denotes electric meter
- EMH Denotes electric manhole
- FH Denotes fire hookup
- FOL Denotes fiber optic line
- GM Denotes gas meter
- GP Denotes guard post
- GW Denotes guy wire
- HCR Denotes disabled ramp
- HCS Denotes disabled sign
- HHC Denotes communication hand hole
- HHE Denotes electric hand hole
- HHF Denotes fiber optic hand hole
- HYD Denotes fire hydrant
- INV Denotes structure invert
- LA Denotes landscaping
- LD Denotes loading dock
- LP Denotes light pole
- MB Denotes mail box
- OD Denotes overhead door
- OHU Denotes overhead utilities
- (P) Denotes per plan
- PV Denotes post indicator valve
- PKS Denotes parking sign
- PPV Denotes power pole with underground utility
- PVC Denotes polyvinylchloride pipe
- RCP Denotes reinforced concrete pipe
- RD Denotes roof drain
- SAN Denotes sanitary manhole
- SAN S Denotes sanitary sewer
- ST S Denotes storm sewer
- TC Denotes top of concrete curb
- TCS Denotes traffic control sign
- TL Denotes traffic light
- TRANS Denotes transformer
- UGC Denotes underground communication line
- UPE Denotes underground electric line
- W Denotes water line
- WV Denotes water valve
- BOX Denotes Boxelder tree
- MPL Denotes Mopple tree
- SHB Denotes shrub
- TR Denotes deciduous tree



Revision: _____ By: _____ Date: _____

Drawing Title:
**BOUNDARY, LOCATION, TOPOGRAPHIC
 and UTILITY SURVEY FOR:**
SUNDE ENGINEERING, PLLC
 WESTWIND PLAZA, MINNETONKA, MN

SUNDE
 LAND SURVEYING
 www.sunde.com

Main Office: 9001 East Bloomington Freeway (29W) • Suite 118
 Bloomington, Minnesota 55420-3430
 952-881-2455 (Fax: 952-888-9526)

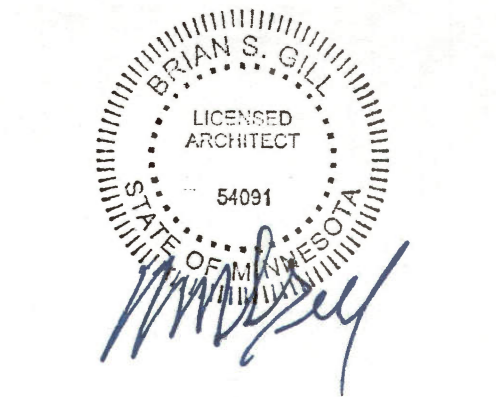
Project: 2003-065-A By: Prg 954/56 Date: 09/20/2018
 Township: 117 Range: 22 Section: 29
 File: 200354A01.dwg Sheet: 1 of 1

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 20th day of September, 2018

SUNDE LAND SURVEYING, LLC.
 By: *Leonard F. Carlson*
 Leonard F. Carlson, P.L.S. Minn. Lic. No. 44890

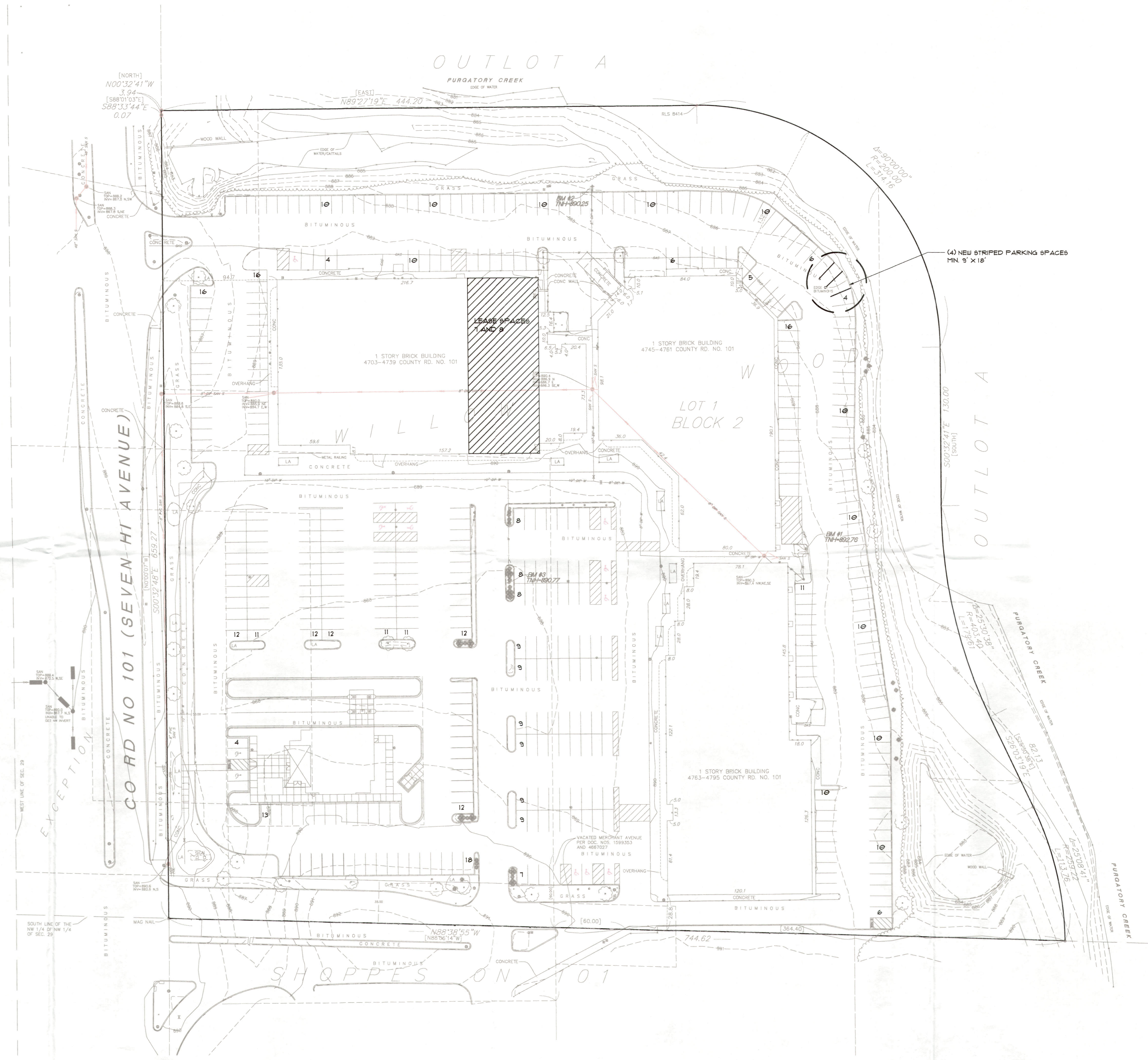
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11/8/2022	HEALTH DEPARTMENT
2/10/2022	PARKING RESPONSE
3/9/2022	VARIANCE APPLICATION



DRAWN BY: MEH
CHECKED BY: B&G

PROPOSED SITE PLAN

Project Number
21-206
Drawing Number
SP.100



**PARKING REQUIREMENTS
 REQUIRED 480-58 = 422**

EXISTING 419

PROPOSED 423

**58 SPACE PARKING VARIANCE
 WAS GRANTED FOR THE CHASE BANK.**

Site Plan
 1" = 40'-0"

General Floor Plan Notes:

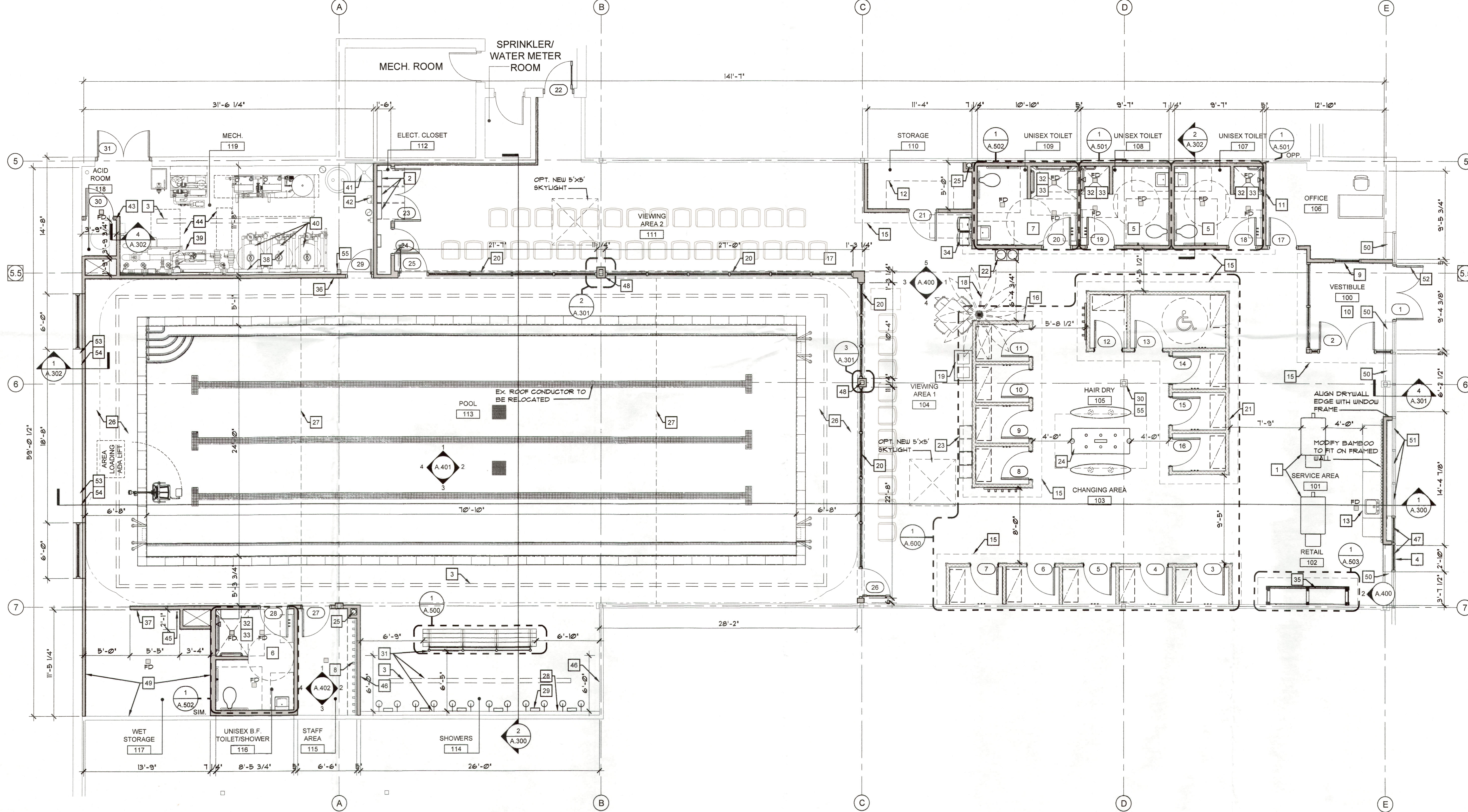
- GLAZING CONTRACTOR IS TO PROVIDE SHOP DRAWINGS FOR OWNER'S REVIEW BEFORE PURCHASING.
- ALL MECHANICAL ROOMS CONTAINING CONTROLS FOR AIR CONDITION SYSTEMS, SPRINKLER RISERS, AND VALVES, OR OTHER FIRE DETECTION, SUPPRESSION OR CONTROL DEVICES SHALL BE PROVIDED WITH APPROVED SIGNAGE IDENTIFYING THE ROOMS FOR USE BY THE FIRE DEPT.
- ALL ENTRANCE AND EXIT DOORS WILL HAVE BARRIER FREE ACCESSIBILITY.
- ALL INTERIOR FINISHES IN EXIT ACCESS CORRIDORS, OTHER EXIT WAYS, ROOMS, AND ENCLOSED SPACES IN USE OR INTENDED TO BE USED AS SUCH SHALL BE FINISHED TO HAVE AT LEAST A CLASS C FLAME SPREAD 10-200. BACKSPLASH DEVELOPED 8-1/2" RATING AS LISTED IN THE BUILDING CODE AS LISTED ON SHEET 0.600.
- SEATING, TABLES AND COUNTERS ARE TO COMPLY WITH ALL APPLICABLE CODES AS LISTED ON SHEET 0.600.
- ALL SAFETY GLAZING MUST COMPLY WITH SECTION 2406.2 HAZARD IMPACT LOADS. PROVIDE LABEL AND/OR IDENTIFICATION ON GLASS AS REQUIRED.
- PROVIDE A DIRECT DIALED HARD WIRED PHONE THAT IS FULLY OPERATIONAL WITHIN THE POOL AREA PER SECTION 451-2.202. THE PHONE SHALL BE IMMEDIATELY ACCESSIBLE FROM THE POOL DECK AND BE LOCATED SO THAT A CLEAR, UNOBSTRUCTED VIEW OF THE POOL IS PROVIDED - FINAL LOCATION T.B.D. SEE ELECTRICAL.
- PROVIDE WALL MOUNTED FIRE-FAB HOLD DOWN CHANGING SURFACE - TYP # EACH TOILET ROOM. PROVIDE IN WALL LOCKING FOR ATTACHMENT AS REQUIRED PER MANUFACTURE SPECIFICATIONS.
- SEE NOTES FIRE EXTINGUISHER LOCATIONS @ MAX SPACING OF 75' PER FIRE CODE. SPACING LOCATIONS TO BE IN THE DIRECTION OF THE FIRE MARSHAL. PROVIDE SENSORIZED METAL CABINET BOX (PRE-FINISHED WHITE) W/ CLEAR ACRYLIC VERTICAL (NARROW) PANEL & SQUARE TRAN-SIM OR APPROVED EQUAL TO A LISTED COSMOPOLITAN. VERIFY ALL LOCATIONS W/ FIRE MARSHAL PRIOR TO INSTALLATION.
- EXTERIOR STOREFRONT WINDOW SYSTEM (TYP) - 2' X 4'17" THERMALLY BROKEN FRAME - 7" INSULATED, LOW-E GLAZING - FINISH TYP SERIES OR KAMBER 70-FAB W/ SERIES, CENTER GLAZING - COLOR TYP SAMPLE FOR APPROVAL.
- VARIANCE RETAINED. SEE SHEET A.101 & A.004 FOR DETAILS.
- PROVIDE F.R.T. SOLID BLOCKING IN WALL AS REQUIRED FOR ALL WALL MOUNTED ACCESSORIES.
- ALL HAZARDOUS MATERIALS SHALL NOT EXCEED ALLOWABLE QUANTITIES LISTED IN IBC TABLE 307.10.
- PROVIDE 5/8" GYP. BRD. (HOLD TOUGH TYPE "X" NET AREA) ON 3/8" (DIP GA.) METAL FURRING @ 16" O.C. IF GREAT FACED INSULATION IS INTEGRATED. PROVIDE NON-FACED BATT INSULATION @ ALL AREAS WHERE HEAVY DUTY VAPOR RETARDER IS PRESENT.
- DOOR REVERSALS ARE LOCATED 4" FROM THE PERPENDICULAR WALL ON THE HINGE SIDE OF THE DOOR UNLESS NOTED OTHERWISE.
- VERIFY DIMENSIONS BEFORE COMMENCING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- ALL RATED WALLS ARE TO EXTEND TO DECK WITH SUMP TRACKS AND TO BE SEALED TIGHT TO DECK WITH GEOMETRICAL SEALANT. DECK FLUTE JOINTS AT TOP OF WALL TO BE FILLED WITH MINERAL WOOL FIBER METAL DECK FLUTE FILLER.
- ALL DRYWALL SHOULD BE CUT TO 1/2" DECK / MID AND TAPE / SAND TO FINISH - PAINTED MINERAL WOOL INSERTS ARE NOT ACCEPTABLE ANYWHERE.
- CONCRETE TO PITCH TOWARDS ALL DRAINS, INCLUDING BATHROOMS.

Legend:

- EXISTING STOREFRONT TO REMAIN
- EXISTING WALL TO REMAIN
- NEW WALL
- FIRE EXTINGUISHER SEE GENERAL NOTE # 5
- NEW STOREFRONT

Keyed Floor Plan Notes:

- O.B.R. SUPPLIED CUSTOMER SERVICE KIOSKS
- ELECTRICAL PANELS - REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR ALL ELECTRICAL INFORMATION (PANELS, TRANSFORMER, ETC.)
- CONTIGUOUS FLOOR DRAIN / TRENCH DRAIN - SEE PLUMBING FOR DETAILS.
- INSTALL EXTERIOR GPU WALL. PAINT EXTERIOR TO MATCH EXISTING FINISH.
- SEE TYPICAL BALANCED RESTROOM PLAN SHEET A.501.
- SEE BALANCED PLAN SHEET A.501, SIMILAR.
- SEE BALANCED PLAN SHEET A.501.
- DRYING HOOKS MOUNTED ON 1/4" BACKER BOARDS ON FRM WALL. COVERING, SEE INTERIOR ELEVATIONS 6/A.460 FOR MORE DETAILS.
- NEW ROUND 47" DIA. CLEAR TEMP. GLASS WOOD WINDOW. "LED-GEN" BOTTLE SERIES [EQUARED] 1" OR APPROVED EQUAL. GLAZING CONTRACTOR TO PROVIDE SHOP DRAWINGS TO OWNER FOR FINAL APPROVAL PRIOR TO FINAL ORDER. ADD 1X TRIM TO BOTH SIDES OF WINDOW.
- SEE ELEVATIONS 6/A.340.
- 4" X 4" PLYWOOD BACKBOARD AS REQUIRED FOR PHONE / DATA SYSTEMS.
- OWNER SUPPLIED STORAGE RACKS.
- O.B.R. SUPPLIED SERVICE CENTER & BACK COUNTER - SEE SHOP DRAWINGS AS PROVIDED BY O.B.R. FOR MORE INFORMATION. SERVICE CENTER IS TO COMPLY WITH ANI A1111 WITH A MAXIMUM OF 34" COUNTER HEIGHT.
- NOT USED.
- DASHED LINE INDICATES EDGE OF METAL ROOF (ABOVE).
- CHALK BOARD. VERIFY FINAL PLACEMENT WITH OWNER. SEE RESPONSIBILITY MATRIX FOR PRODUCT INFORMATION.
- 30" X 42" WHEELCHAIR SPACE & COMPANION SEAT.
- 1/4" (V-SHED) TALL PAULI PAULI TREE - PROVIDE VERT. 2'X3'-0" RICH 40 PIPE SUPPORT 6'-0" ABOVE FIN. FLR. W/ THREADED END AS REQ'D - INSTALL FINE TRANS. SPECS - VERIFY FINAL LOCATION PRIOR TO FORMING NEW CONC. FLOOR. SEE RESPONSIBILITY MATRIX 6/A.002 FOR CONTACT INFO.
- O.B.R. SUPPLIED AQUARIUM SURROUND - SEE SHOP DRAWINGS AS PROVIDED BY O.B.R. FOR MORE INFORMATION.
- ALUMINUM STOREFRONT DOOR & GLAZING SYSTEM W/ 3/8" THERMALLY BROKEN FRAME IN CLEAR ADDED ALUM. RASH - REFER TO GENERAL FLOOR PLAN NOTES FOR ADDITIONAL INFO.
- CORK BOARD (VERIFY EXACT SIZE)
- WALL MTD. "ATHLETE" 1/8" / 48" HX" HUMID WATER EXTRACTOR W/ WALL DRAIN - REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFO. POINT THE TOP OF THE UNIT 47" A.P.F.
- O.B.R. SUPPLIED CURBES.
- HAIR DRYER STATION AS DETAILED BY O.B.R. (ONE SOURCE RETAIL) - G.C. TO VERIFY EXACT SPECS NEEDED PRIOR TO WORK. EXACT LOCATION TO BE VERIFIED BY OWNER - G.C. TO PROVIDE & INSTALL UNISEX 1# GROUND LEVEL TO SUPPORT DECORATIVE ROOF SYSTEM. VERIFY REQUIREMENTS WITH O.B.R. PROVIDED SHOP DRAWINGS. INSTALL BENCHES 17" FROM FACE OF CABINET.
- STORM CONDUCTOR.
- BROOM FINISH CONCRETE FLOOR FINISH @ POOL AREA. ENSURE MIN. 1" PER 10' SLOPE TO NEAREST DRAIN (MAX. 15'-0" RUN). 4" CONCRETE SLAB ON GRADE WITH AVOIDANCE 4" W/ 1/4" HD-DENSITY MET. ON 4" VAPOR BARRIER ON 4" COMPACTED GRANULAR FILL WHERE REMOVED FROM POOL DECK. SLOPE SLAB TO FLOOR DRAIN. PROVIDE FINISH SCHEDULE FOR HS ACTIVITIES, ETC.
- LINE OF OWNER SUPPLIED BACKSTROKE SUPPORTING FLAGS (ABOVE) STRIPS FROM WALL TO WALL - PROVIDE METAL EYE-HOOK SCREWS @ 16" A.P.F. (CONFORM W/ OWNER) FOR EACH END OF FLAG LINE. G.C. TO PROVIDE IN-WALL SOLID BLOCKING FOR PROPER SCREW ATTACHMENT.
- 6'-0" TIE W/ SANGOT @ SHOWER WALLS. USE 5/8" CEMENT BOARD BACKER AT ALL TIE LOCATIONS - CONFORM LENGTH OF RETURNS AT ENDS WITH OWNER.
- 8.8 SHOWER @ 24" O.C. W/ CONTROLS @ EA. SHOWER HEAD TO BE LOCATED 1'-0" A.P.F. (REFER TO MEP DOCUMENTS)
- PROVIDE REBUILT COLUMN WRAP
- ALIGN THE SHOWER BENCH, SHOWER TRENCH FLOOR DRAIN, AND SHOWER HEADS. FINAL LOCATION TO BE COORDINATED IN FIELD.
- SHOWER TO COMPLY W/ 2009 ICC (ANSI A117.1) SPECS. SLOPE FLOOR TO DRAIN - REFER TO DETAILS W/ SHEETS 6/A.300 & 6/A.302. POOR SHOWER FLOOR INDEPENDENTLY. NO EXCEPTIONS.
- SHOWER WALLS TO BE 6'-0" A.P.F. TALL. 3/8" METAL STUDS @ 16" O.C.
- DUAL UNIT DRINKING FOUNTAIN UNIT (ONE STANDARD, ONE ADA COMPLIANT) - REFER TO POINTING HEIGHTS SCHEDULE. DASHED LINE INDICATES 30" X 48" CLEAR WHEELCHAIR SPACE.
- SEE ENLARGED PLAN SHEET A.503.
- LOCATION OF EMERGENCY POWER-OFF (EPO) FOR POOL EQUIPMENT AND TELEPHONE OUTLET. REFER TO E201 FOR MORE INFORMATION.
- NEEDED MORE BID - COORDINATE FINAL LOCATION W/ OWNER & PLUMBING ENGINEER.
- POOL EQUIPMENT SHOWN FOR REFERENCE ONLY. REFER TO POOL DRAWINGS FOR MORE INFORMATION.
- NEW 35" TALL CONC. HOUR KEEPING PAD FOR POOL PUMP. COORDINATE FINAL SIZE & FIELD WITH POOL EQUIPMENT.
- REFER TO POOL/PLUMBING DRAWINGS FOR FILTER BACKWASH TANK DETAIL - SHOWN FOR REFERENCE ONLY.
- SERVICE MOP SINK - REFER TO PLUMBING DRAWINGS.
- PORTABLE EMERGENCY EYE WASH - VERIFY FINAL LOCATION WITH MEP DOCUMENTS/OWNER.
- ACID ROOM WALLS TO BE MAX. 6'-0" A.P.F. - INSTALL 2 X 8 FRT. CEILING JOIST WITH 3/4" PLYWOOD DECK & DRYWALL CEILING.
- PROVIDE FRP WALL COVERING ON 3/8" F.R.T. PLYWOOD FROM FINISHED FLOOR TO 5'-0" A.P.F. ON ALL FRAMED WALLS WITHIN THE PUMP AND MECHANICAL ROOMS.
- 7" CORE HOLE FOR ADA POOL LIFT TRD ON SITE. POOL CONTRACTOR TO INSTALL ANCHOR FOR POOL LIFT PRIOR TO CONCRETE POUR.
- INSTALL WALL TILE TO MATCH SHOWER WALL TILE.
- INSTALL EXISTING DOOR WITH NEW GLAZING AND FRAME TO MATCH EXISTING CONDITION.
- COLUMN. BOX-OUT WITH 5/8" GYP. BRD. BOARD PANELS ON 5/8" GAUGED STEEL STUDS @ COLUMN CORNERS. JOINTS FINISHED. PROVIDE HOLD TOUGH BOARD, VAPOR BARRIER & BATT INSULATION ON POOL SIDE (TYP) WRAP COLUMN WITH VAPOR BARRIER. SEE DETAIL 3/A.300.
- INSTALL INSTALL 2X8 BLOCKING @ 8" HIGH, 4" HIGH, AND 4" HIGH ALL WALLS OF SET STORAGE ROOM.
- NEW CORIAN SILL SEE DETAIL 6/A.301.
- CLEAN GLAZING TO LIKE-NEW CONDITION. FURNISH & INSTALL WINDOW FILM. COORDINATE WITH CONSTRUCTION MANAGER AND OWNER.
- INSTALL EXISTING DOOR SAVED FROM DEMOLITION. GO TO VERIFY HARDWARE IS WORKING CONDITION.
- NEW 6'-0" X 3'-4" WINDOW. SEE 6/A.302 FOR MORE INFORMATION.
- NEW CORIAN SILL SEE DETAIL 6/A.302.
- EXISTING STEEL COLUMN TO BE SANDED, CLEANED, & PAINTED P-1.



TDGArchitects.com
79 Oakland Avenue
Pontiac, Michigan 48342
P.(248) 874-1420



Project
Goldfish Swim School
4729.4733 County Road 101
Minnetonka, MN 55345

Client
Parrish Swim School, LLC
1445 LaSalle Road
Canton, MI 48187

REVISION SCHEDULE	
DATE	DESCRIPTION
10/21/2021	TEST FIT CONCEPT
11/16/2021	TEST FIT CONCEPT
11/17/2021	TEST FIT CONCEPT
11/19/2021	CORPORATE APPROVAL
11/4/2022	BIDS AND PERMITS
11/8/2022	HEALTH DEPARTMENT
2/10/2022	PARKING RESPONSE
3/9/2022	VARIANCE APPLICATION

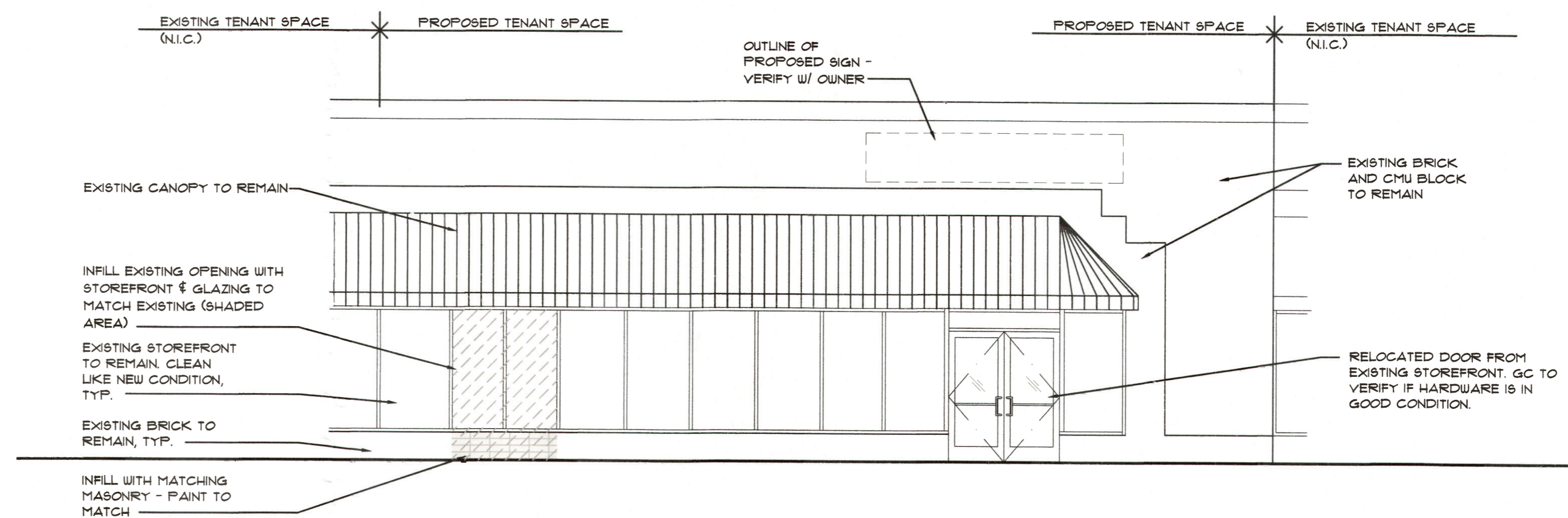


DRAWN BY: MEH
CHECKED BY: B&G

FLOOR PLAN

Project Number
21-206
Drawing Number

A.100

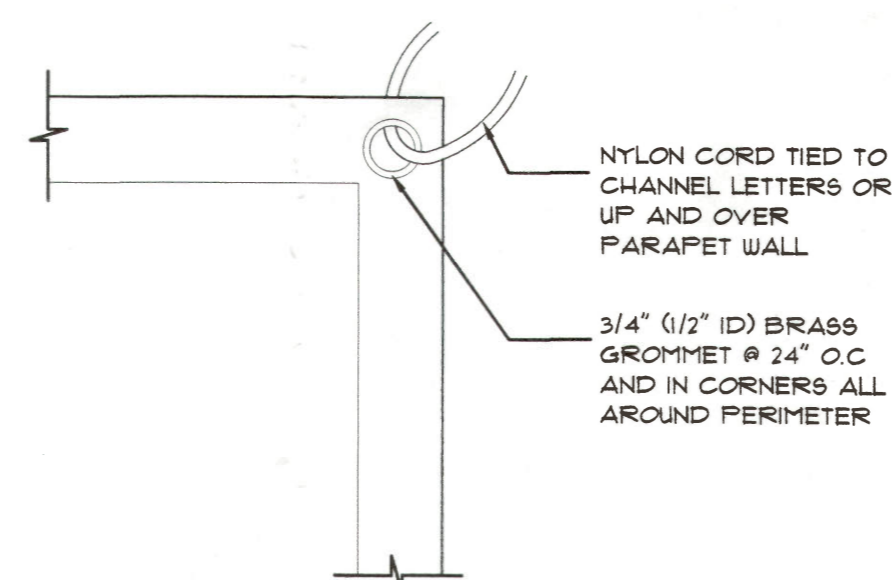


1 Existing Exterior Elevation
 3/16" = 1'-0"

Temporary Signage



2 Exterior S/F Banner Layout Detail
 1/2" = 1'-0"



3 Vinyl Banner Detail
 NTS

NOTE:
 SIGNAGE SHOWN FOR REFERENCE ONLY. SIGNAGE APPROVALS SHALL BE REQUIRED UNDER SEPARATE PERMIT SUBMISSION. UNDER SIGNAGE COVER SIGNAGE IS NOT INDICATED IN THE SCOPE OF WORK FOR THIS SUBMITTAL.

NOTE:
 PROVIDE BARRICADES AND FENCING IF REQUIRED. COORDINATE WITH CITY FOR BARRICADE REQUIREMENTS. COORDINATE WITH OWNER FOR GOLDFISH MARKETING BRAND BANNER TO BE POSTED ON BARRICADE AND OR FENCING.

NOTE:
 EXTERIOR GLAZING TO BE 1" INSULATED TEMPERED GLASS - COLOR TO MATCH EXISTING

Project
Goldfish Swim School
 4729, 4733 County Road 101
 Minnetonka, MN 55345
Client
 Parrish Swim School, LLC
 1445 LaSalle Road
 Canton, MI 48187

REVISION SCHEDULE	
DATE	DESCRIPTION
10/21/2021	TEST FIT CONCEPT
11/16/2021	TEST FIT CONCEPT
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1/18/2022	HEALTH DEPARTMENT
2/10/2022	PARKING RESPONSE
3/9/2022	VARIANCE APPLICATION



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CHECKED BY: B&G

EXTERIOR ELEVATION (FRONT PARTIAL)
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Project Number
21-206
Drawing Number
A.200

Westwind Plaza

Minneapolis-St. Paul-Bloomington, MN-WI

44.9168, -93.502

4703 - 4795 County Road 101 | Minnetonka, MN 55345-2634



Available Space

7	5,303 SF
8	2,303 SF
12	2,772 SF
23	2,902 SF

Current Retailers

N.A.P.	Cub Foods	0 SF
N.A.P.1	Shenwin-Williams	0 SF
N.A.P.2	Potbelly Sandwich Shops	0 SF
N.A.P.3	Sprint	0 SF
N.A.P.4	The Joint	0 SF
N.A.P.5	Sport Clips	0 SF
N.A.P.6	CherryBerry Self-Serve Yogurt Bar	0 SF
N.A.P.7	Noodles & Company	0 SF
N.A.P.8	Target	0 SF
PAD	Chase	0 SF
1	Orangetheory Fitness	2,964 SF
2A	Subway	1,090 SF
3	UBREAKiFIX	1,183 SF
4	Chipotle Mexican Grill	2,880 SF
5A	\$5 Tan	3,007 SF
5B	Chuck & Don's Pet Food Outlet	5,630 SF
6	O'Reilly Automotive	6,200 SF
9	The UPS Store	1,602 SF
10	Dynamic Family Chiropractic	1,454 SF
13	Bethesda Lutheran Thrift Store	18,165 SF
14	Eclectic Martial Arts	2,089 SF
15	All Seasons Wild Bird Store	1,440 SF
16	Great Clips	1,440 SF
17	State Farm	1,418 SF
18	H&R Block	1,328 SF
19	Royal Nails	751 SF
20	Viet Hoa Restaurant	3,032 SF
21	Banfield Pet Hospital	2,984 SF
22	Bruegger's Bagels	2,108 SF
24	Mathnasium	1,496 SF
25	Lakeside Tobacco	1,512 SF
26	MGM Wine & Spirits	11,009 SF

4190

WESTWIND PLAZA PARKING TABULATION

SPACE	TENANT	GROSS AREA	RATIO	REQUIRED PARKING
1	Orange Theory Fitness	2,964	225	13
2A	Subway	1,090	60	18
3	UBREAKiFIX	1,183	250	5
4	Chipotle	2,880	60	48
5A	\$5 Tan	3,007	250	12
5B	Chuck and Don's	5,630	250	23
6	O'Reilly Automotive	6,200	250	25
7	Goldfish	5,303	225	24
8	Goldfish	2,302	225	10
9	UPS Store	1,602	250	6
10	Dynamic Chiropractic	1,454	250	6
12	Modern Acupuncture	2,772	250	11
13	Bethesda	18,165	250	73
14	Eclectic Martial Arts	2,089	250	8
15	All Seasons Wild Bird	1,440	250	6
16	Great Clips	1,440	250	6
17	State Farm	1,418	250	6
18	H&R Block	1,328	250	5
19	Royal Nails	751	250	3
20	Viet Hoa Restaurante	3,032	60	51
21	Banfield Pet Hospital	2,984	250	12
22	Brueggers Bagels	2,108	60	35
23	Vacant	2,902	250	12
24	Mathnasium	1,496	250	6
25	Lakeside Tobacco	1,512	250	6
26	MGM Wine and Spirits	11,009	250	44
	Chase Bank	3,560	250	14
	TOTAL	91,621	-	487

GOLDFISH PROPOSAL	
TOTAL REQUIRED PARKING	487
TOTAL AVAILABLE PARKING	423
DEFICIT	64

CHASE BANK APPROVAL	
TOTAL REQUIRED PARKING	477
TOTAL AVAILABLE PARKING	419
DEFICIT	58

SPACE	TENANT	GROSS AREA	ORDINANCE REQUIRED	ITE PARKING DEMAND
1	Orange Theory Fitness	2,964	13	14
2A	Subway	1,090	18	11
3	UBREAKiFIX	1,183	5	4
4	Chipotle	2,880	48	29
5A	\$5 Tan	3,007	12	9
5B	Chuck and Don's	5,630	23	16
6	O'Reilly Automotive	6,200	25	18
7	Goldfish	5,303	24	25
8	Goldfish	2,302	10	11
9	UPS Store	1,602	6	5
10	Dynamic Chiropractic	1,454	6	4
12	Modern Acupuncture	2,772	11	8
13	Bethesda	18,165	73	48
14	Eclectic Martial Arts	2,089	8	10
15	All Seasons Wild Bird	1,440	6	4
16	Great Clips	1,440	6	4
17	State Farm	1,418	6	4
18	H&R Block	1,328	5	4
19	Royal Nails	751	3	3
20	Viet Hoa Restaurante	3,032	51	37
21	Banfield Pet Hospital	2,984	12	9
22	Brueggers Bagels	2,108	35	21
23	Vacant	2,902	12	8
24	Mathnasium	1,496	6	4
25	Lakeside Tobacco	1,512	6	4
26	MGM Wine and Spirits	11,009	44	32
	Chase Bank	3,560	14	10
	TOTAL	91,621	487	356

City Code Parking Requirements	
TOTAL REQUIRED PARKING	487
TOTAL AVAILABLE PARKING	423
DEFICIT	64

ITE Parking Demand	
TOTAL REQUIRED PARKING	356
TOTAL AVAILABLE PARKING	423
SURPLUS	67

Planning Commission Resolution No. 2022-
Resolution approving a parking variance for Goldfish Swim School
at 4729 and 4733 County Road 101

Be it resolved by the Planning Commission of the City of Minnetonka, Minnesota, as follows:

Section 1. Background.

1.01 Sarah Parrish, on behalf of Goldfish Swim School, is requesting a parking variance to reduce the required amount of parking at Woodwind Plaza from 487 stalls to 423 stalls.

1.02 The property is located at 4729 and 4733 Co Rd 101. It is legally described as follows:

Lot 1, Block 2, WILLOW WOOD, including adjacent Merchant Ave vacated also South 385 feet of the West 447 feet of the South half of the Northwest Quarter of the Northwest Quarter of Section 29, Township 117, Range 22, except road.

The property is located in Hennepin County, Minnesota.

1.03 On July 8, 2019, the city approved Resolution No. 2019-052 regarding a parking variance for Chase Bank at 4795 County Road 101. The parking variance for Chase Bank would not be applicable to Goldfish Swim School as the change from the previous tenant use to this fitness center has increased the aggregate parking requirement to 487 parking spaces.

Section 2. Standards.

2.01 By City Code §300.07 Subd.1, a variance may be granted from the requirements of the zoning ordinance when: (1) the variance is in harmony with the general purposes and intent of this ordinance; (2) when the variance is consistent with the comprehensive plan; and (3) when the applicant establishes that there are practical difficulties in complying with the ordinance. Practical difficulties mean: (1) The proposed use is reasonable; (2) the need for a variance is caused by circumstances unique to the property, not created by the property owner, and not solely based on economic considerations; and (3) the proposed use would not alter the essential character of the surrounding area.

Section 3. FINDINGS.

3.01 The proposal would meet the variance standard as outlined in City Code §300.07 Subd. 1:

1. Intent of the Ordinance. The intent of the ordinance as it pertains to parking requirements is to ensure adequate parking is provided to meet anticipated parking demand. The city code requires 487 stalls to accommodate the parking demand on the subject property. The ITE estimates the site would require 356 stalls to meet the parking demand. The Institute of Transportation Engineers (ITE) suggests that actual parking demand rates for the commercial center would be less than required by city code.
2. Consistent with Comprehensive Plan. The subject property is located in the Westwind Plaza, a community village center. One of the overall themes outlined in the comprehensive plan is to "provide development and redevelopment opportunities that encourage vitality, promote identity, and improve livability" in village centers. The requested variances would result in the reuse of an existing space as a new and unique gathering space, consistent with the goals of the comprehensive plan
3. Practical Difficulties. There are practical difficulties in complying with the ordinance:
 - a) Reasonableness and Unique Circumstance. The requested parking variance is reasonable. By city ordinance, the site would not have enough available parking. However, the Institute of Transportation Engineers anticipates that the parking demand could be accommodated by the proposed parking spaces.
 - b) Character of the Neighborhood. The parking variance would allow a permitted use similar to those of other tenants at Westwind Plaza.

Section 4. Planning Commission Action.

4.01 The above-described parking variance is approved.

1. Subject to staff approval, the property must be developed and maintained in substantial conformance with the following plans unless modified by the conditions below:
 - Floor plans, revision dated March 9, 2022
 - Renderings, revision dated March 9, 2022
2. Prior to issuance of a building permit:

- a) A copy of this resolution must be recorded with Hennepin County.
 - b) Install erosion control, tree and wetland protection fencing and any other measured as identified as the SWPPP for staff inspection. These items must be maintained throughout the course of construction.
3. Employees must park in the rear of the building and will have access to a rear entrance into the building.
 4. State and City Environmental Health Codes must be followed and necessary permits obtained.
 5. A building permit is required. Prior to the issuance of the building permit, this resolution must be recorded with Hennepin.
 5. This variance does not guarantee approval of future parking variances for the site.
 6. The city may place additional conditions on the Goldfish Swim School or Westwind Plaza if the city regularly observes parking issues onsite.

Adopted by the Planning Commission of the City of Minnetonka, Minnesota, on April 28, 2022.

Joshua Sewall, Chairperson

Attest:

Fiona Golden, Deputy City Clerk

Action on this resolution:

Motion for adoption:

Seconded by:

Voted in favor of:

Voted against:

Abstained:

Absent:

Resolution adopted.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the Planning Commission of the City of Minnetonka, Minnesota, at a duly authorized meeting held on April 28, 2022.

Fiona Golden, Deputy City Clerk

MINNETONKA PLANNING COMMISSION
April 22, 2022

Brief Description

Items concerning the Holiday Gas station at 12908 Minnetonka Blvd:

- 1) Expansion permit to increase the heights of the convenience and car wash buildings:
- 2) Expansion permit for a new cooler in the rear of the convenience store: and
- 3) Setback variance for pylon sign.

Recommendation

Adopt the resolution approving the proposed requested expansion permit.

Proposal

Tony Rammer, on behalf of Minnetonka Properties Group, is proposing to remodel the existing gas station – currently Glenn’s 1 Stop – for Holiday Gas Station.

Proposal Summary

The following is intended to summarize the applicant’s proposal:

- **Existing Site Conditions.**

The property is located within Minnetonka Mills. Minnetonka Mills is the site of Minnetonka’s earliest permanent settlement. The area contains historic buildings and reflects the cultural character of the first commercial area within the city. Pedestrian access and circulation throughout the area are important as it has access to the city’s primary loop trail on the south side of Minnetonka Blvd and sidewalks and trails that connect to Big Willow and other city parks.¹



Figure 1: 1957 Aerial

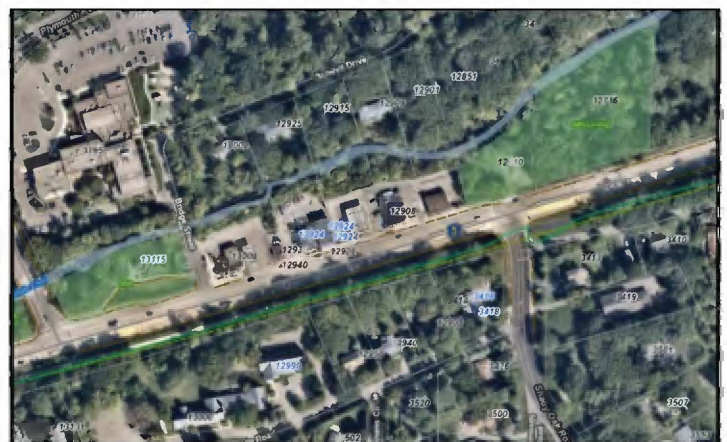


Figure 2: Current Aerial

¹ 2030 Comprehensive guide plan. Please note that the city has adopted the 2040 Comprehensive Guide Plan. The 2030 plan is referenced only for historical context purposes.

The property is roughly 36,000 square feet in size and is improved with three structures, a gas canopy with pumps, a convenience store, and a car wash. City records indicate that the store was originally constructed in 1947. Since its construction, the previous owner had purchased adjacent properties that were formerly occupied by a small engine repair shop, which was later expanded with gas pumps, and a liquor store with apartments, which became the car wash in 2000.

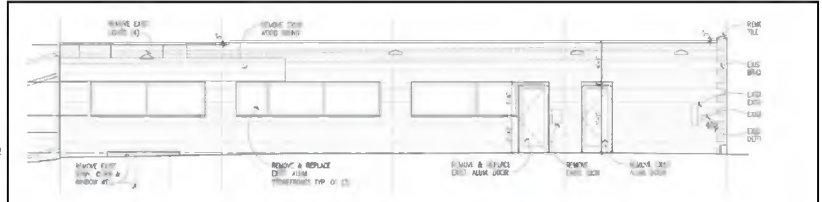


Figure 4: Existing West Store Elevation

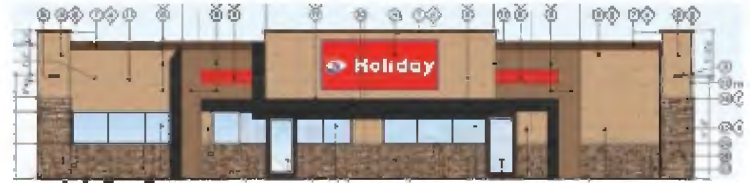


Figure 3: Proposed West Store Elevation

The property is relatively flat and is bordered by Minnehaha Creek to the north and Minnetonka Blvd. to the south.

- **Proposal**

The proposal would “refresh” and “rebrand” the existing buildings. The following changes are proposed:

Site Improvements: No major site changes are proposed at this time, other than maintenance corrections. As a condition of approval, a landscaping plan is required. This plan will be reviewed to ensure compliance with minimum landscaping and mitigation requirements.

Convenience Store and Car Wash: The façade on both buildings would be removed and replaced. New building materials include block, Nichiha panels, and glass. The existing cooler in the rear of the convenience store would be removed and replaced with a new stucco-coated cooler. A new freezer box would be located adjacent to the cooler.

The applicant has removed the mansard roof shown in the existing elevations. New architectural bump-outs would be added to the corners of the building. These bump-outs would protrude up to six inches from the existing building.

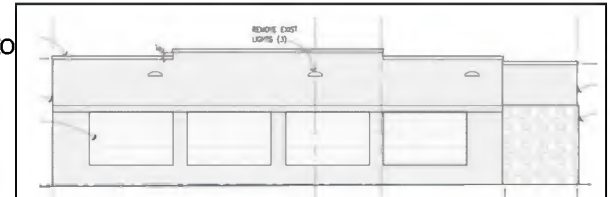


Figure 5: Existing South Store Elevation



Figure 6: Proposed South Store Elevation

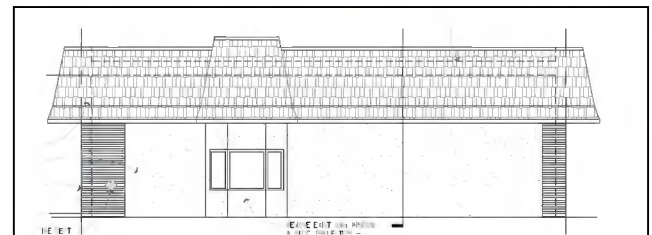


Figure 7: Existing South Car Wash Elevation

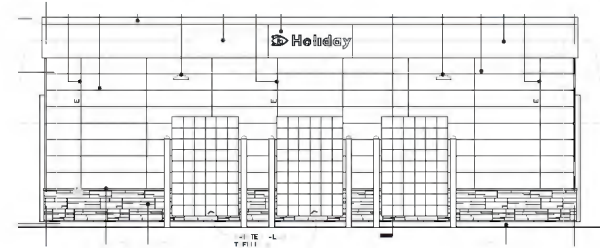


Figure 8: Proposed South Car Wash Elevation

After reviewing the originally submitted plans, staff encouraged the applicant to consider opportunities to continue and enhance the pedestrian environment of Minnetonka Mills.

The applicant revised the plans to include a pergola with an outdoor patio and added a trellis for plantings to break up the southern elevation on the car wash.

Gas Canopy: The canopy would be rebranded from Minnoco Green to Holiday Red.

Signage: The applicant has submitted a sign package for staff review. The package includes signage on the canopy, convenience store, and car wash buildings.

Primary Questions and Analysis

A land-use proposal is comprised of many details. In evaluating a proposal, staff first reviews the details and then aggregates them into a few primary questions or issues. The following outlines the primary questions associated with the proposal and the staff's findings:

- **Are the proposed expansion permits and variance reasonable:**

Yes. The existing structures have non-conforming setbacks, as shown in the table below. The proposal requires expansion permits to increase the height of the structure within the required front yard setbacks and an expansion permit to add a freezer in the rear of the convenience store. The freezer would not encroach further into the required rear yard setback but would occupy space not previously occupied. A variance is also required to formally recognize the façade bump-outs at the corners.

	Required	Gas Canopy		Convenience store		Car Wash	
		Existing	Proposed	Existing	Proposed	Existing	Proposed
Front Yard Setback	50 ft.	14 ft.		9 ft. 0 ft. for deck	8.5 ft * 0 ft. for pergola	6 ft.	6 ft.
East Side Yard Setback	35 ft.	-	-	-	-	43 ft.	43 ft.
West Side yard Setback	35 ft.	43 ft.	43 ft.	-	-	-	-
Rear Yard Setback	35 ft.	39 ft.	39 ft.	23 ft.	23 ft **	50 ft.	50 ft.
Building Height	35 ft.	17 ft.	17 ft.	13 ft.	16 ft **	17 ft.	18 ft. **
Lot coverage	85 percent	92 percent					
* requires variance ** requires expansion permit							

Staff finds the requests reasonable as:

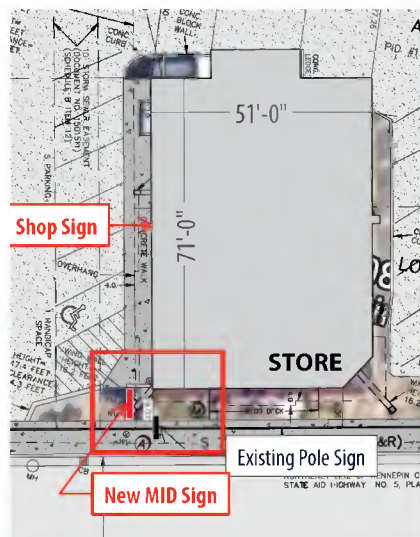
1. But for the façade protrusions, the buildings would not encroach further into the non-conforming front or rear yard setbacks than the existing structures.

2. The structures were constructed before the adoption of the city's first zoning ordinance. If the buildings met current setback requirements, the vertical expansion would have only required a building permit.
3. The building previously had a roughly three-foot mansard roof overhang. The façade protrusions occupy less space than the overhangs did. Despite this, the variance is required because setbacks are measured to the foundation, not a roofline.
4. The proposal would result in a building design that is cohesive and consistent with the Minnetonka Mills area.

• **Is the proposed signage appropriate?**

Yes. City staff encouraged the applicant to consider signage as part of the review process, as the existing pylon sign is located within the sidewalk – and right-of-way of Minnetonka Blvd.

The applicant has continued to work with staff to provide a sign package that could predominately be approved with just sign permits and without variances to the city's sign ordinance.



The current sign package provides signage on the canopy, convenience store, and car wash buildings. The plans are attached to this report for reference. All wall signs could be approved with a sign permit as currently shown.

The proposed pylon sign would require a setback variance and would be larger than what would be allowed under the current sign ordinance for the property. The following is intended to summarize the applicant's current signage request:

	Allowed by City Code	Existing	Proposed
Setback	10 ft.	In ROW	3 ft. *
Sign height	15 ft.	20.5 ft.	20.5 ft.
Sign size	60 sq. ft.	63.9 sq. ft.	63.9 sq. ft. *
Dynamic Sign	50 percent	25 percent	47 percent
			* Requires a variance

Staff is supportive of the variance request, as the size would be no larger than what was previously approved for the property, and the location would result in a significant improvement over existing conditions.

Summary Comments

Staff would like to commend the applicant for working with staff to propose a project that would fit into the context of Minnetonka Mills and would enhance the pedestrian environment. The applicant considered all of the staff's comments and yielded several plan iterations resulting in the final proposal presented for consideration.

Staff Recommendation

Adopt the resolution approving expansion permits and variances for Minnetonka Properties Group at 12908 Minnetonka Blvd.

Originator: Ashley Cauley, Senior Planner
Through: Loren Gordon, AICP, City Planner

Supporting Information

Surrounding Land Uses

Northerly: Minnehaha Creek and residential home, zoned R-1, beyond
Easterly: City parking Lot and Mills Landing beyond
Southerly: Minnetonka Blvd.
Westerly: Commercial, zoned B-2, guided commercial

Planning

Guide Plan designation: Commercial
Zoning: B-2

Variance Standard

A variance may be granted from the requirements of the zoning ordinance when: (1) it is in harmony with the general purposes and intent of the ordinance; (2) it is consistent with the comprehensive plan; and (3) when an applicant establishes that there are practical difficulties in complying with the ordinance. Practical difficulties mean that the applicant proposes to use a property in a reasonable manner not permitted by the ordinance, the plight of the landowner is due to circumstances unique to the property not created by the landowner, and the variance, if granted, would not alter the essential character of the locality. (City Code §300.07)

Burden of Proof

By city code, an expansion permit for a non-conforming use may be granted but is not mandate, when an applicant meets the burden of proving that:

1. The proposed expansion is reasonable use of the property, considering such things as:
 - Functional and aesthetic justifications for the expansions;
 - Adequacy of off-street parking for the expansion;
 - Absence of adverse off-site impacts from such things as traffic, noise, dust odors, and parking;
 - Improvement to the appearance and stability of the property and neighborhood.
2. The circumstances justifying the expansion are unique to the property, are not caused by the landowner, are not solely for the landowner's convenience, and are not solely because of economic considerations; and
3. The expansion would not adversely affect or alter the essential character of the neighborhood.

Natural Resources

Best management practices must be followed during the course of site preparation and construction activities. This would include the installation and maintenance of a temporary rock driveway, erosion control, and tree protection fencing. As a condition of approval, the applicant must submit a construction management plan detailing these management practices.

Appeals

Any person aggrieved by the planning commission's decision about the requested permit may appeal such a decision to the city council. A written appeal must be submitted to the planning staff within ten days of the date of the decision.

**Neighborhood
Comments**

The city sent notices to 45 area property owners and received no comments.

**Deadline for
Decision**

June 9, 2022



Subject Property



LOCATION MAP

Project: Minnetonka Properties Group
Location: 12908 Minnetonka Blvd



12908 Minnetonka Blvd
Proposed Remodel Narrative
2022-02-06

OVERVIEW

This project consists of an existing convenience store with fuel and a detached two-bay carwash at 12908 Minnetonka Blvd. that will be modified and developed to include: a remodeled convenience store within the existing building, updating the convenience store and car wash building exterior façades with new materials and architectural details, replacing the existing fuel canopy fascia, and providing new Holiday brand signage.

Project Summary

The project will consist of remodeling and converting the existing facilities located at 12908 Minnetonka Blvd to a new franchise Holiday Stationstore location. The store will typically be staffed during business hours with an average of two (2) to six (6) employees at a time. The conversion will include a full interior remodel of the existing c-store. This will provide consumers a more user-friendly experience for shopping and allowing a better product selection. The exterior of the existing convenience store will be remodeled and upgraded to refresh the buildings look. Upgrades to the building exterior will include increasing the existing parapet heights enough to aid in screening rooftop equipment as well as provide architectural interest to the facility.

The existing two-bay car wash building will receive the same remodel detailing as the convenience store while also upgrading the interior finishes and supporting equipment and/or infrastructure as detailed on the provided plans.

The existing fuel canopy will be remodeled at the same time, replacing existing fascia with new on-brand materials and signage.

No site changes are proposed at this time to modify from current conditions aside from possible maintenance corrections to concrete pitting or trip hazards.

Variances Requested

There are no specific variance requests at this time. We are submitting for an expansion permit to account for the increase in building height due to the change in parapet details.

SECTION 15, T.17N., R.22W.



CAR WASH AT 12908 N MINNETONKA BOULEVARD, CITY OF MINNETONKA, HENNEPIN COUNTY, MINNESOTA

VICINITY MAP (NO SCALE)

ALTA/NSPS SURVEY OF 12908 MINNETONKA BOULEVARD CITY OF MINNETONKA, HENNEPIN COUNTY, MINNESOTA



FRONT OF 12908 MINNETONKA BOULEVARD CITY OF MINNETONKA, HENNEPIN COUNTY, MINNESOTA

NO SCALE AS SHOWN

DATE FOR RECORDS: 08/28/2020
COMPILED BY: TERRY E. KEMPER
DATE: 08/28/2020
NO ALTA/NSPS SURVEY HAS BEEN CONDUCTED BY THE SURVEYOR

ZONING REQUIREMENTS

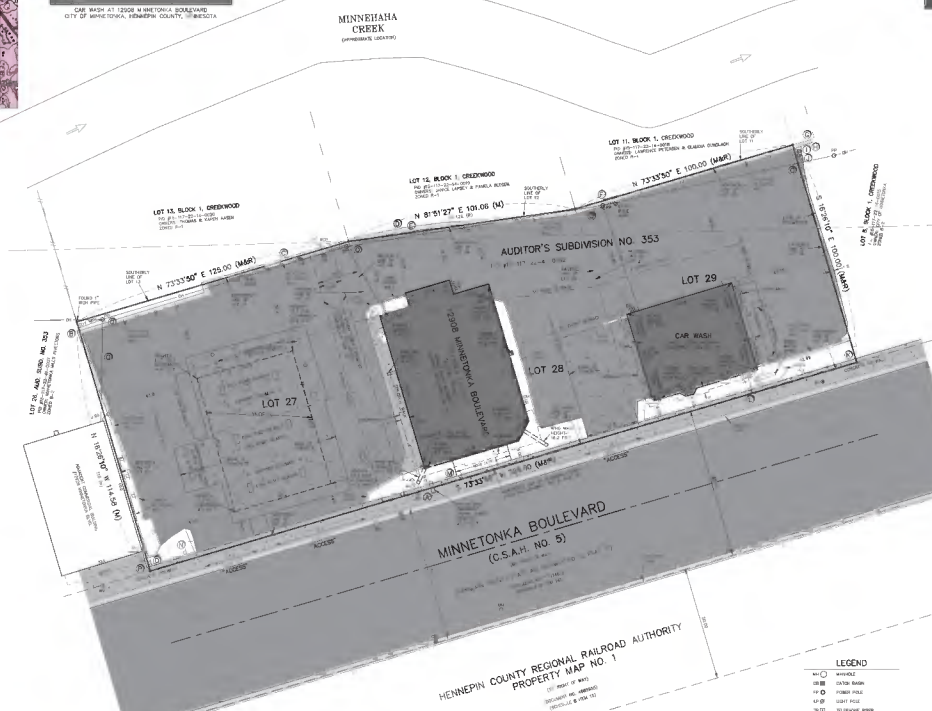
- 1. SUBJECT TO SUBSTITUTION OF THE ZONING DISTRICTS, THE FOLLOWING ZONING DISTRICTS APPLY TO THE SUBJECT PROPERTY:
 - 1.1. MINNETONKA ZONING DISTRICT (MZ-60)
 - 1.2. MINNETONKA ZONING DISTRICT (MZ-60)
 - 1.3. MINNETONKA ZONING DISTRICT (MZ-60)
 - 1.4. MINNETONKA ZONING DISTRICT (MZ-60)
 - 1.5. MINNETONKA ZONING DISTRICT (MZ-60)
 - 1.6. MINNETONKA ZONING DISTRICT (MZ-60)
 - 1.7. MINNETONKA ZONING DISTRICT (MZ-60)
 - 1.8. MINNETONKA ZONING DISTRICT (MZ-60)
 - 1.9. MINNETONKA ZONING DISTRICT (MZ-60)
 - 1.10. MINNETONKA ZONING DISTRICT (MZ-60)
- 2. THE FOLLOWING ZONING REQUIREMENTS APPLY TO THE SUBJECT PROPERTY:
 - 2.1. MAXIMUM BUILDING HEIGHT: 35 FEET
 - 2.2. MAXIMUM LOT COVERAGE: 60%
 - 2.3. MAXIMUM FLOOR AREA: 150,000 SQ. FT.
 - 2.4. MAXIMUM GROUND COVER: 60%
 - 2.5. MINIMUM SETBACKS: 10 FEET (FRONT), 5 FEET (SIDE AND REAR)
 - 2.6. MAXIMUM LOT AREA: 100,000 SQ. FT.
 - 2.7. MAXIMUM LOT AREA: 100,000 SQ. FT.
 - 2.8. MAXIMUM LOT AREA: 100,000 SQ. FT.
 - 2.9. MAXIMUM LOT AREA: 100,000 SQ. FT.
 - 2.10. MAXIMUM LOT AREA: 100,000 SQ. FT.
- 3. THE FOLLOWING ZONING REQUIREMENTS APPLY TO THE SUBJECT PROPERTY:
 - 3.1. MAXIMUM BUILDING HEIGHT: 35 FEET
 - 3.2. MAXIMUM LOT COVERAGE: 60%
 - 3.3. MAXIMUM FLOOR AREA: 150,000 SQ. FT.
 - 3.4. MAXIMUM GROUND COVER: 60%
 - 3.5. MINIMUM SETBACKS: 10 FEET (FRONT), 5 FEET (SIDE AND REAR)
 - 3.6. MAXIMUM LOT AREA: 100,000 SQ. FT.
 - 3.7. MAXIMUM LOT AREA: 100,000 SQ. FT.
 - 3.8. MAXIMUM LOT AREA: 100,000 SQ. FT.
 - 3.9. MAXIMUM LOT AREA: 100,000 SQ. FT.
 - 3.10. MAXIMUM LOT AREA: 100,000 SQ. FT.

STATEMENT OF APPARENT ENCROACHMENTS

- 1. ENCROACHMENT ON ADJACENT PROPERTY TO THE WEST: 10 FEET
- 2. ENCROACHMENT ON ADJACENT PROPERTY TO THE EAST: 10 FEET
- 3. ENCROACHMENT ON ADJACENT PROPERTY TO THE SOUTH: 10 FEET
- 4. ENCROACHMENT ON ADJACENT PROPERTY TO THE NORTH: 10 FEET
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- 16. ENCROACHMENT ON ADJACENT PROPERTY TO THE NORTH: 10 FEET
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- 20. ENCROACHMENT ON ADJACENT PROPERTY TO THE NORTH: 10 FEET
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- 53. ENCROACHMENT ON ADJACENT PROPERTY TO THE WEST: 10 FEET
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- 55. ENCROACHMENT ON ADJACENT PROPERTY TO THE SOUTH: 10 FEET
- 56. ENCROACHMENT ON ADJACENT PROPERTY TO THE NORTH: 10 FEET
- 57. ENCROACHMENT ON ADJACENT PROPERTY TO THE WEST: 10 FEET
- 58. ENCROACHMENT ON ADJACENT PROPERTY TO THE EAST: 10 FEET
- 59. ENCROACHMENT ON ADJACENT PROPERTY TO THE SOUTH: 10 FEET
- 60. ENCROACHMENT ON ADJACENT PROPERTY TO THE NORTH: 10 FEET

NOTES

1. THIS SURVEY WAS CONDUCTED WITH A LEICA DISTO D5 DISTANCE MEASUREMENT SYSTEM AND LEICA TOTAL STATION.
2. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE MINNESOTA SURVEYING ACT AND THE MINNESOTA SURVEYING BOARD RULES.
3. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE MINNESOTA SURVEYING ACT AND THE MINNESOTA SURVEYING BOARD RULES.
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10. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE MINNESOTA SURVEYING ACT AND THE MINNESOTA SURVEYING BOARD RULES.



LEGAL DESCRIPTION

STEWART TITLE QUARANTY COMPANY
COMMITMENT NO. 503885
DATED JULY 14, 2020

Parcel A,
Lots 27 and 29, Auditor's Subdivision No. 353,
Hennepin County, Minnesota

Parcel B,
Lot 28, Auditor's Subdivision No. 353,
Hennepin County, Minnesota

Tenant Property
Certificate of Title No. 100311-Parcel A and
Parcel B dated 07/14/2020

AREA SUMMARY

SUBJECT PROPERTY = 20,000 SQ. FT. OF
8,000 SQUARE FEET

NOTES CORRESPONDING TO SCHEDULE B

- STEWART TITLE QUARANTY COMPANY
COMMITMENT NO. 503885
DATED JULY 14, 2020
1. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE MINNESOTA SURVEYING ACT AND THE MINNESOTA SURVEYING BOARD RULES.
 2. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE MINNESOTA SURVEYING ACT AND THE MINNESOTA SURVEYING BOARD RULES.
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 10. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE MINNESOTA SURVEYING ACT AND THE MINNESOTA SURVEYING BOARD RULES.

LEGEND

- 1. ADJACENT PROPERTY
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- 10. ADJACENT PROPERTY

SURVEYOR'S CERTIFICATE

By Andrew C. Potvin,
Surveyor
Surveyor License No. 10242

This is to certify that this map or plat and the survey on which it is based were made in accordance with the MINNESOTA SURVEYING ACT AND THE MINNESOTA SURVEYING BOARD RULES. THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE MINNESOTA SURVEYING ACT AND THE MINNESOTA SURVEYING BOARD RULES. THE SURVEY WAS CONDUCTED ON SEPTEMBER 15, 2020.

Date: SEPTEMBER 15, 2020

Andrew C. Potvin
Surveyor License No. 10242
1211 Oak Highway S.W.
Lake Minnetonka, Minnesota 55122
PH: 414-481-8888
WWW.POTVINANDASSOCIATES.COM



KEMPER & ASSOCIATES INC.
PROFESSIONAL LAND SURVEYORS

PARKING SUMMARY

- 1. TOTAL PARKING SPACES: 10
- 2. HANDICAP SPACES: 0
- 3. VISUAL PARKING SPACES: 0

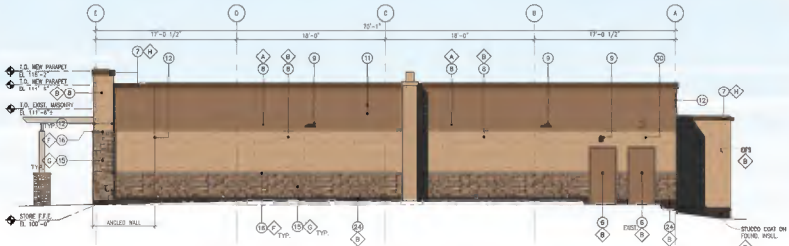
FLOOD ZONE

SUBJECT PROPERTY IS WITHIN FLOOD ZONE "A" (AREAS INTENTIONALLY BEING OVERTOPPED BY THE FLOODING CHANNEL). FLOODING OCCURS DURING FLOODING OF THE ADJACENT CHANNEL. FLOODING OF THE ADJACENT CHANNEL IS CAUSED BY HIGH WATER IN THE ADJACENT CHANNEL. FLOODING OF THE ADJACENT CHANNEL IS CAUSED BY HIGH WATER IN THE ADJACENT CHANNEL. FLOODING OF THE ADJACENT CHANNEL IS CAUSED BY HIGH WATER IN THE ADJACENT CHANNEL.

2 EAST ELEVATION

EXISTING

3/16" = 1'-0"



3 EAST ELEVATION

PROPOSED

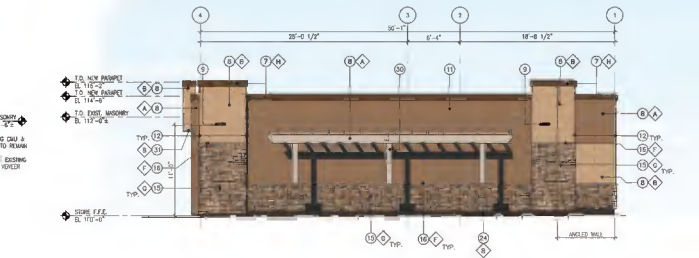
3/16" = 1'-0"



4 WEST ELEVATION

PROPOSED

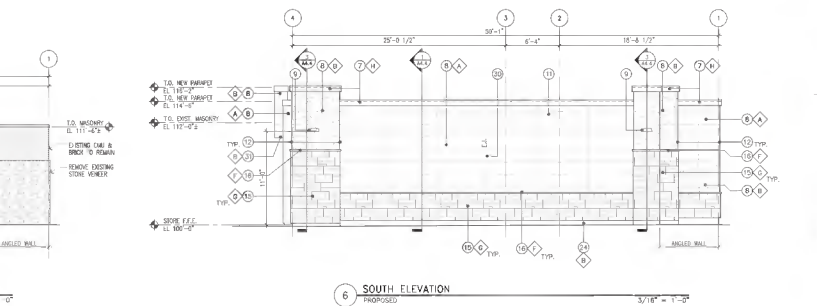
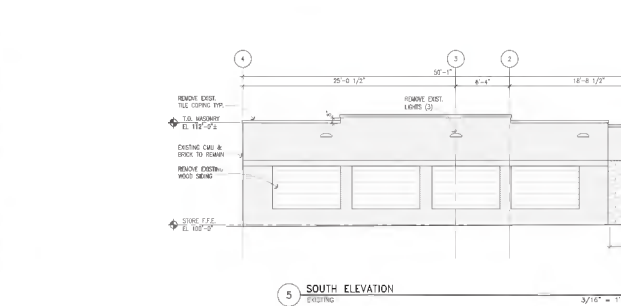
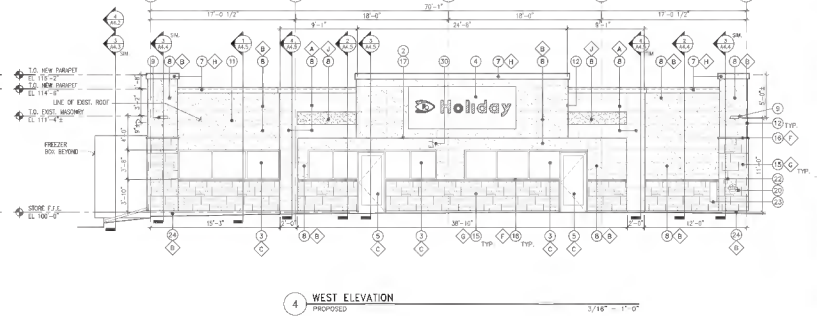
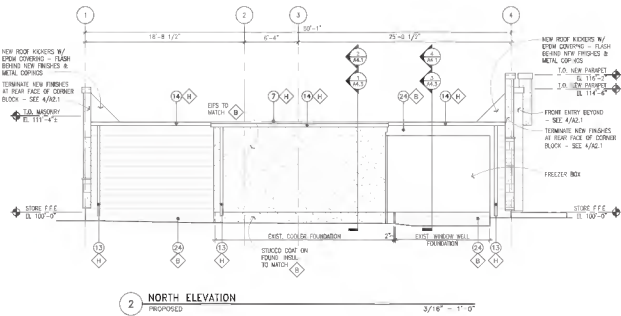
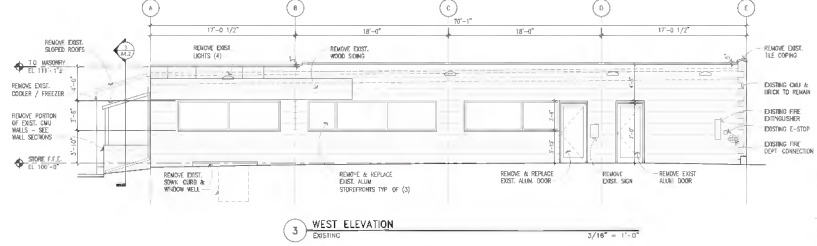
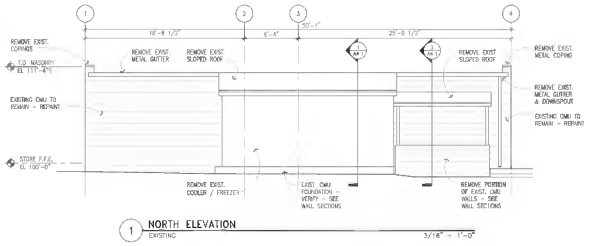
3/16" = 1'-0"



6 SOUTH ELEVATION

PROPOSED

3/16" = 1'-0"



KEY NOTES (C) = 1/8" SHOT AL2

01/2022 1001013

PROFESSIONAL SEAL
 I am a duly Licensed Architect under the laws of the State of Minnesota and that I am only Licensed Architect under the laws of the State of Minnesota.
 Printed Name: Cathy L. Asterker

Signature
 License # 22253
 Date: 01/2022

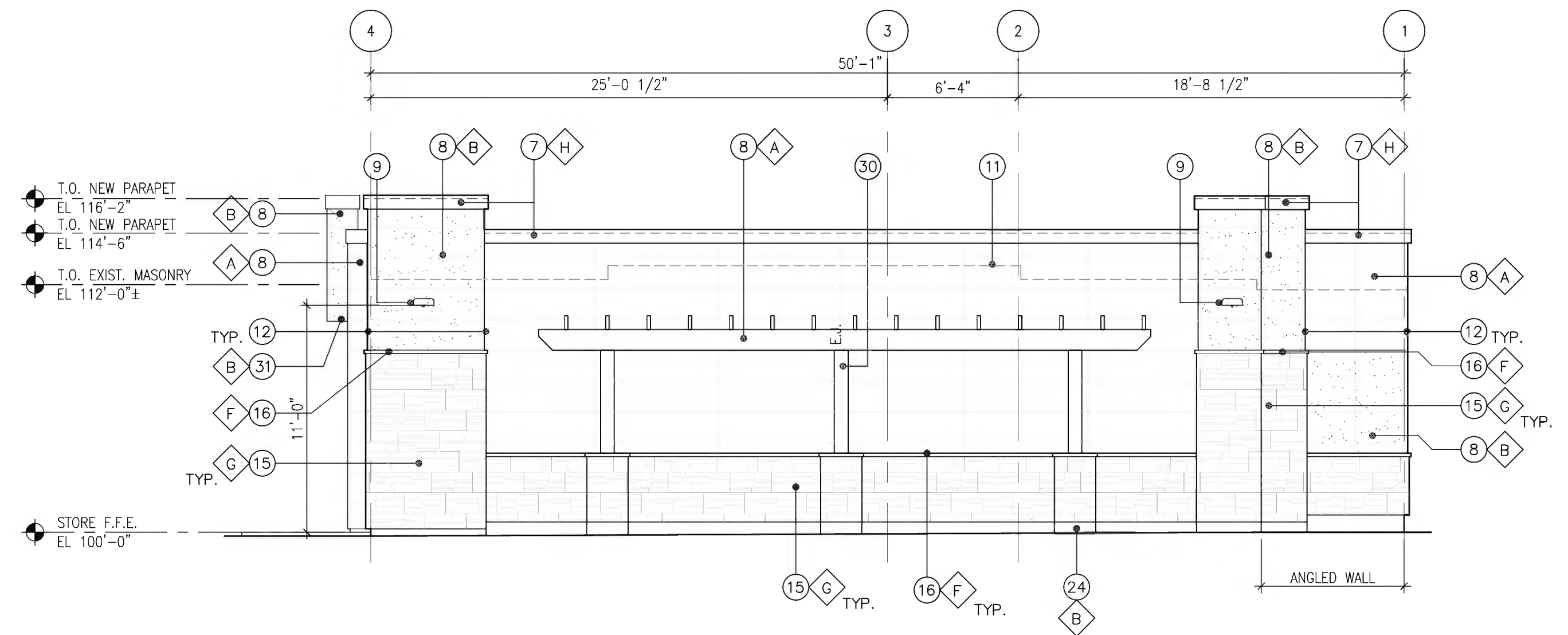
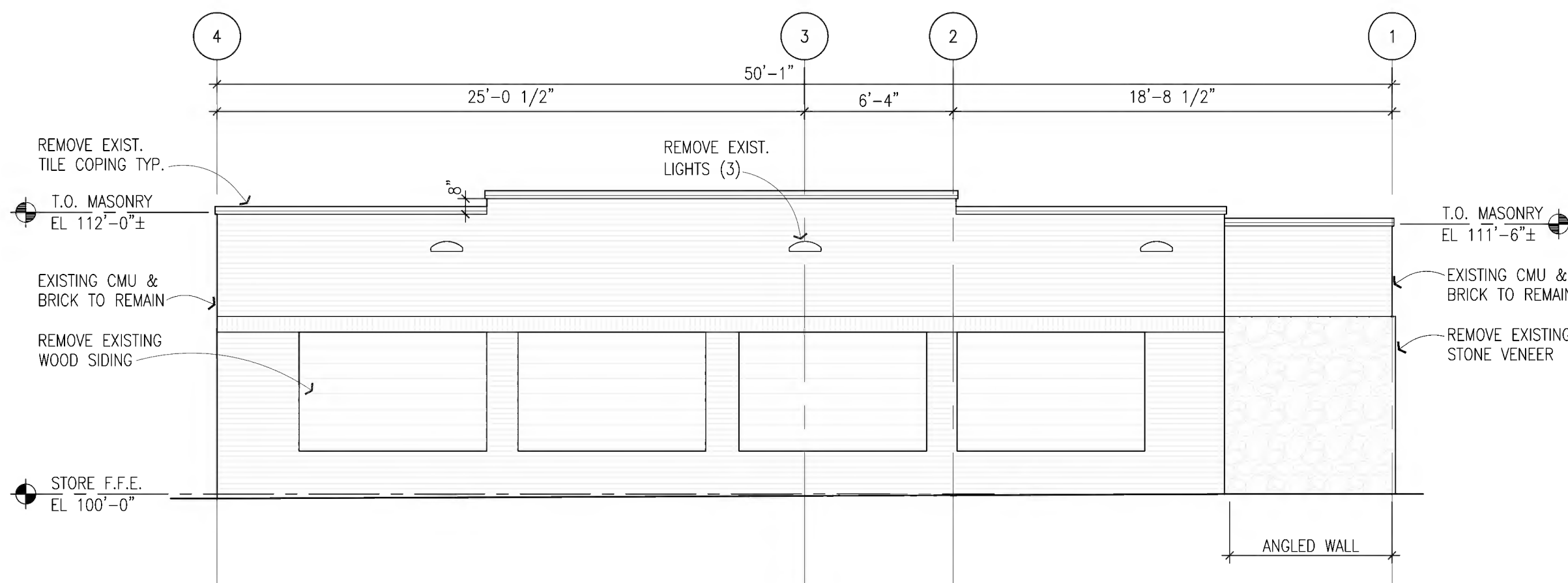
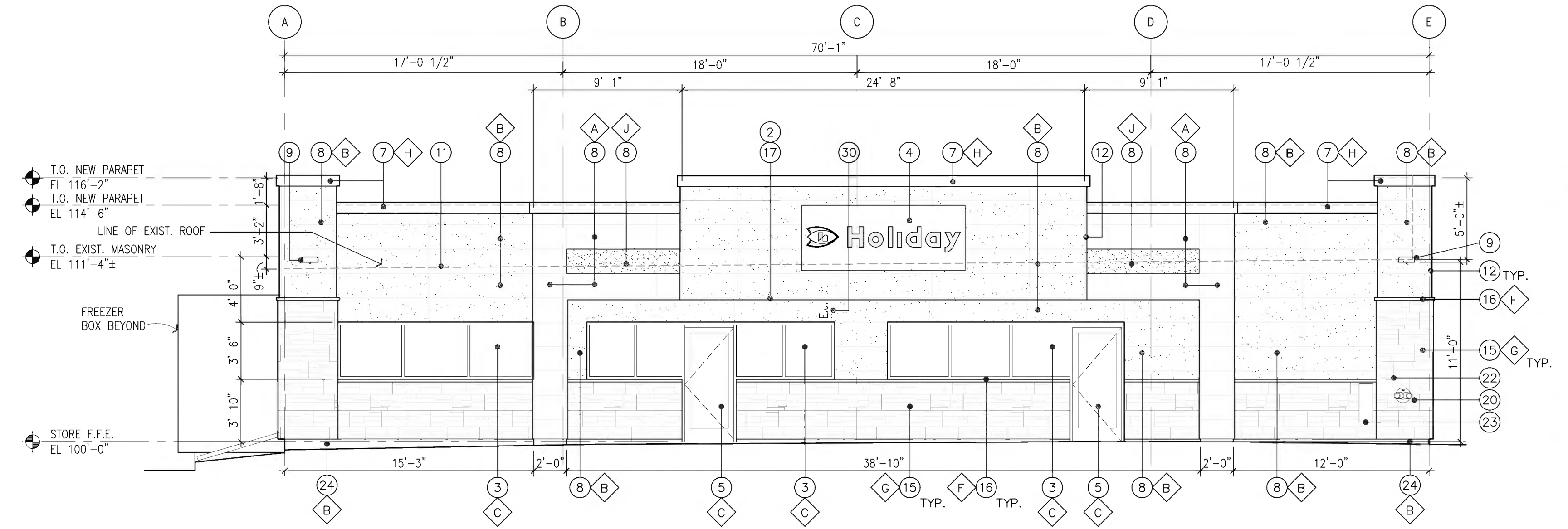
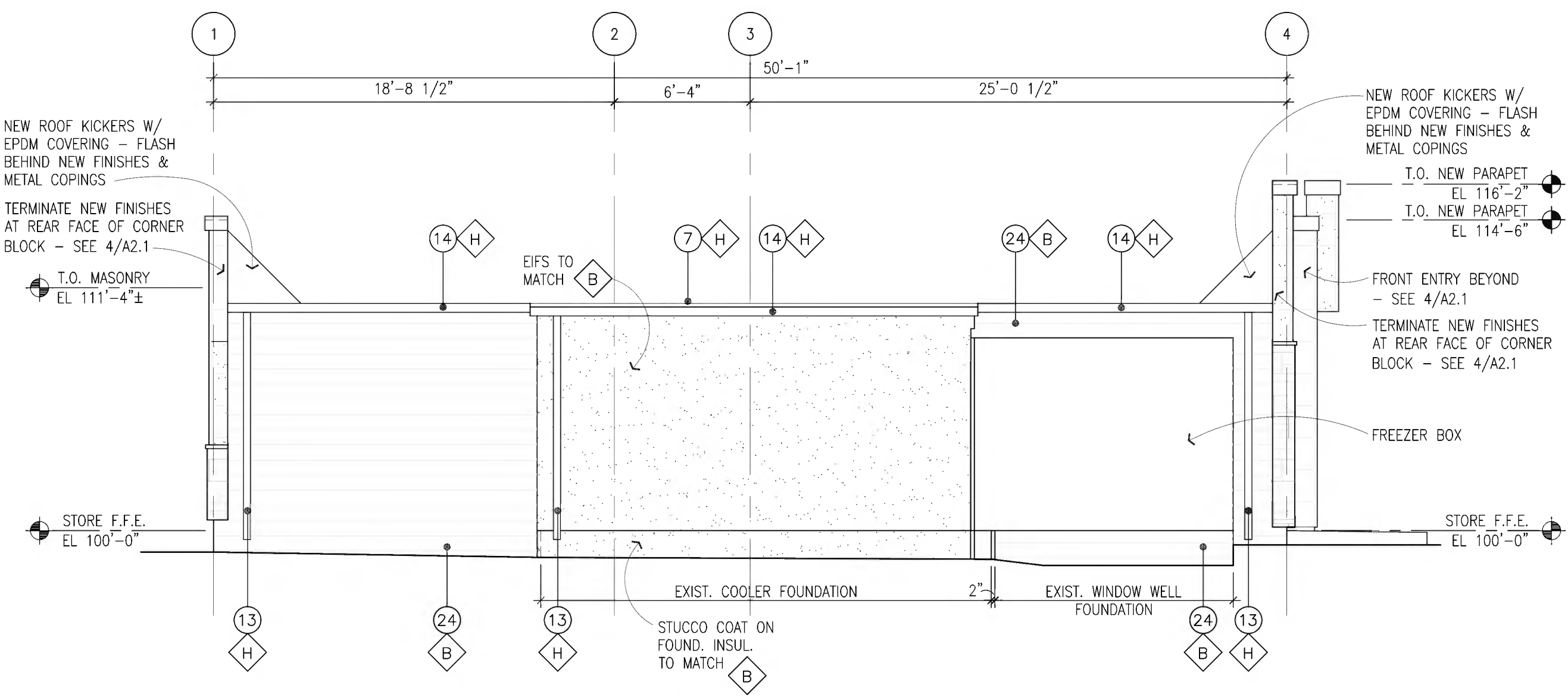
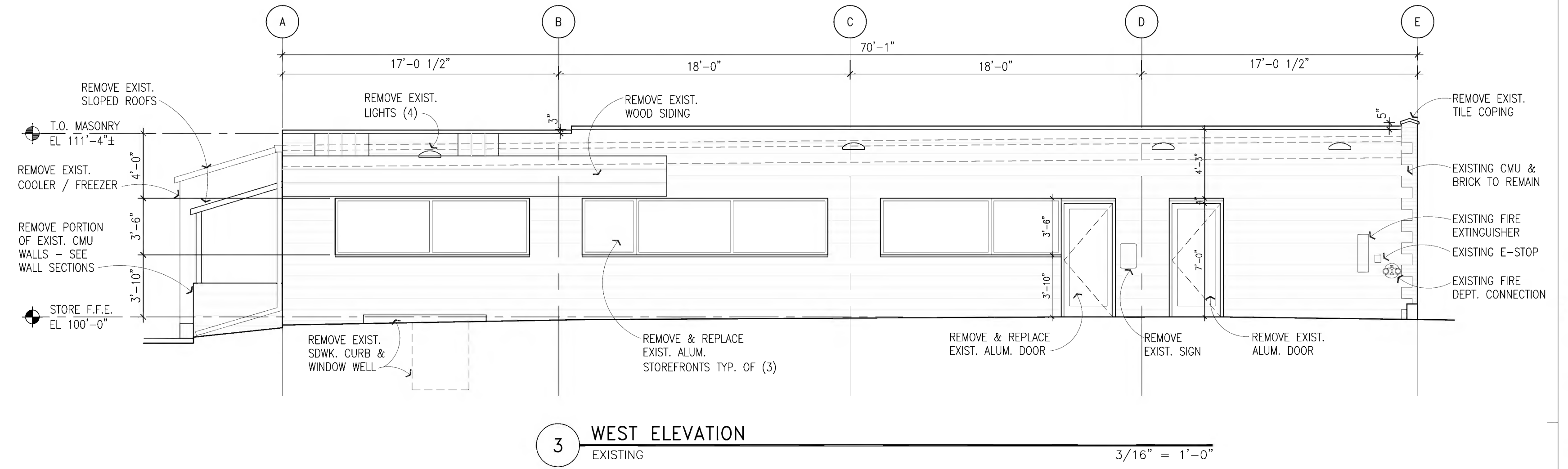
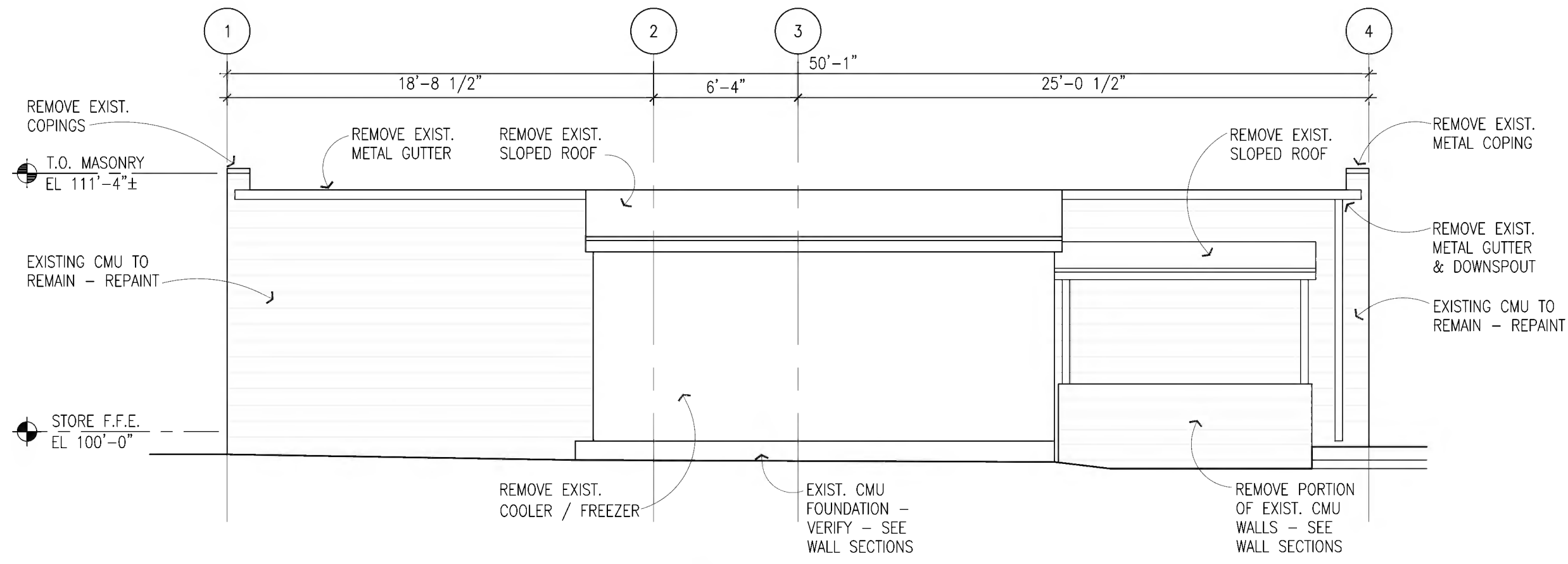
PROFESSIONAL IN CHARGE
 PROJECT NUMBER: 21-0101-01
 QUALITY CONTROL:
 DRAWN BY:

PROJECT NAME
HOLIDAY STATIONSTORE #3856
MINNETONKA MN
 12298 M KRETIONKA BLVD.
 MINNETONKA MN 55305



PROJECT NUMBER
 21-0101-01
SHEET TITLE
 EXTERIOR ELEVATIONS - C-STORE

SHEET NUMBER
 A2.1



KEY NOTES X - SEE SHEET A2.2

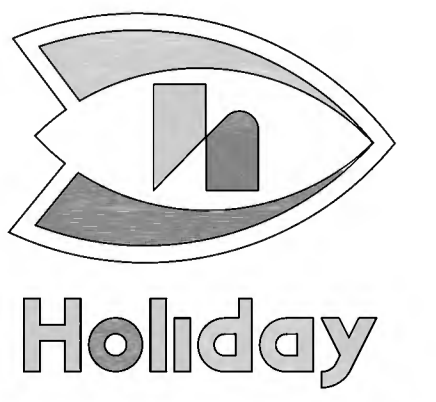
01/26/22 PERMIT SET
04/20/22 CITY SUBMITTAL

PROFESSIONAL SEAL
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Architect under the laws of the State of Minnesota.
Printed Name: Kathy L. Anderson

Signature:
License #: 22285
Date: 01-26-22

PROFESSIONAL IN CHARGE
KA
PROJECT MANAGER
KA
QUALITY CONTROL
BL
DRAWN BY
BL

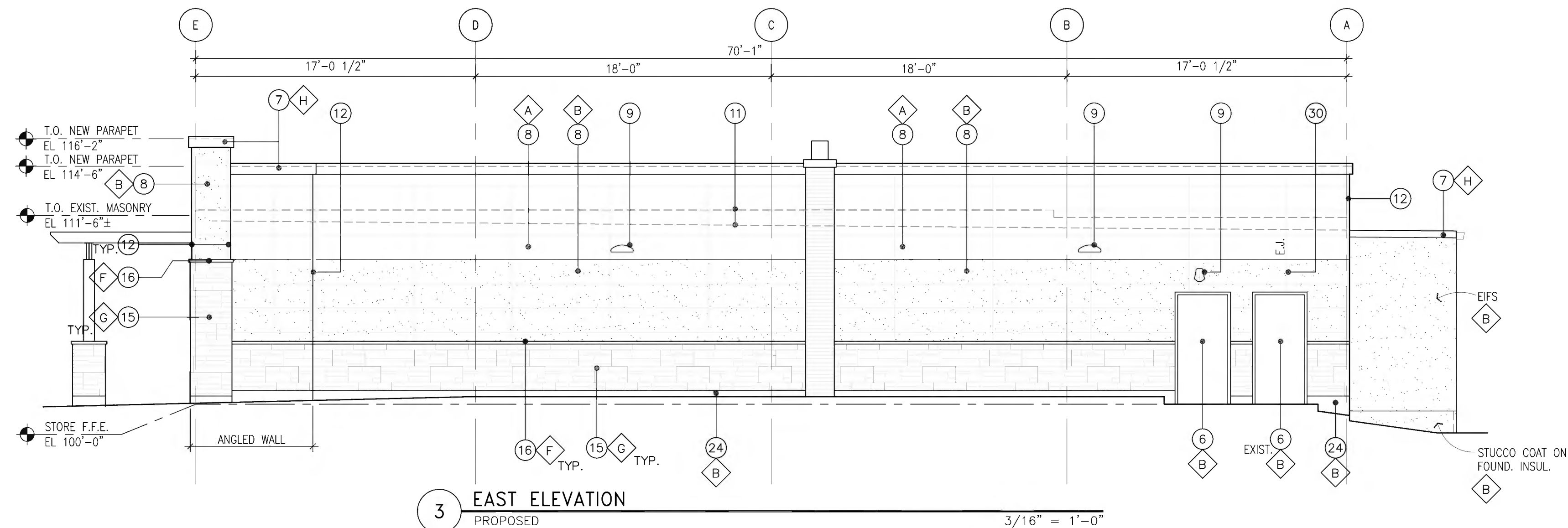
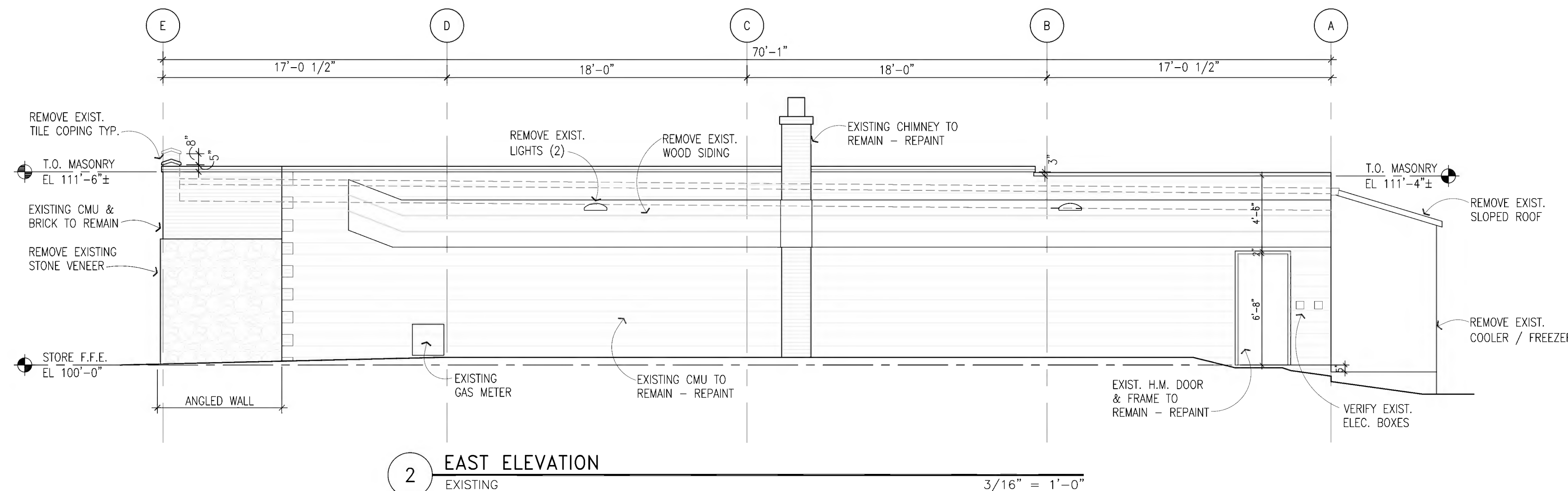
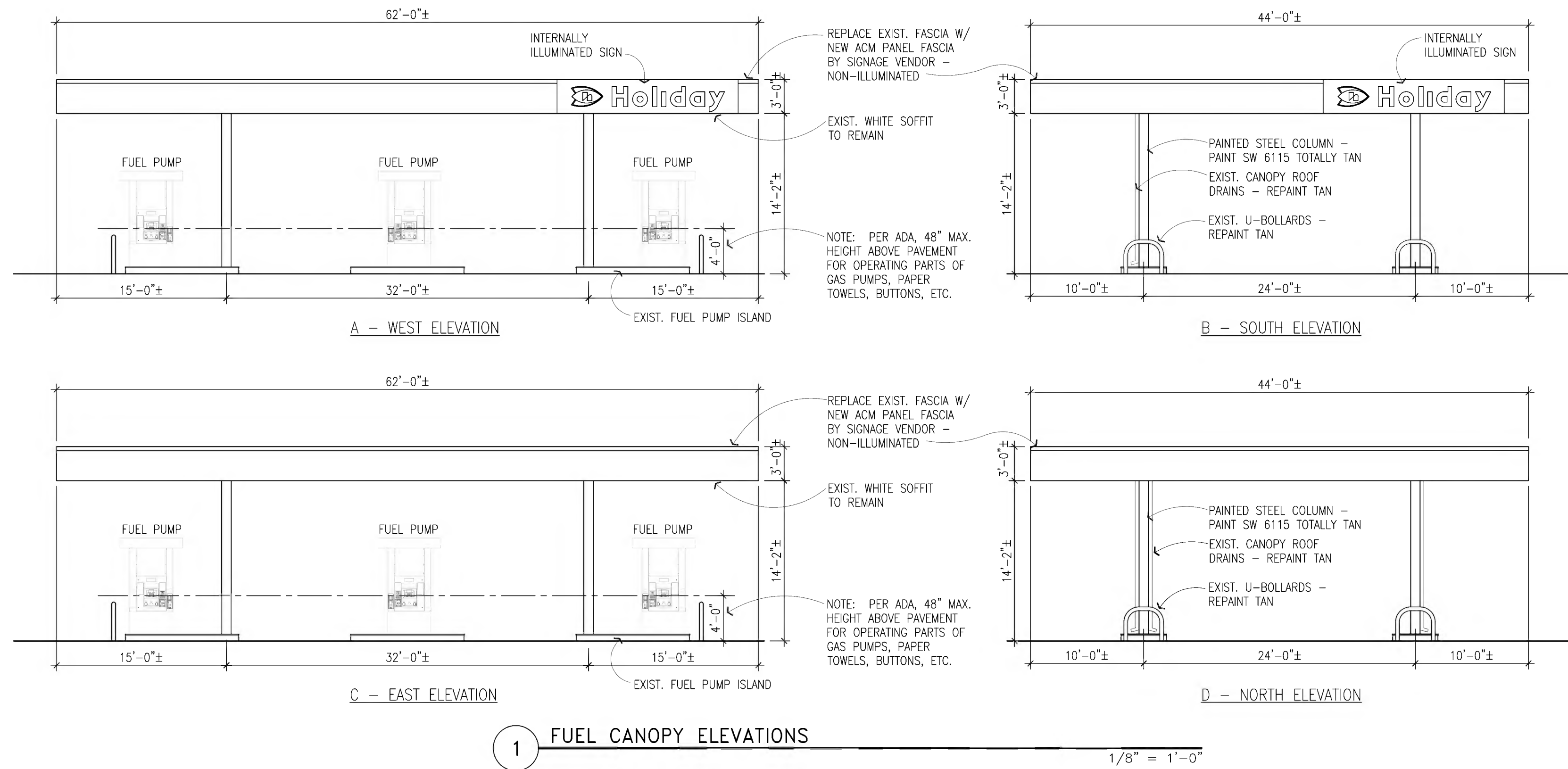
PROJECT NAME
HOLIDAY STATIONSTORE #3856
MINNETONKA MN
12908 MINNETONKA BLVD. MINNETONKA MN 55305



PROJECT NUMBER
21-1073-01

SHEET TITLE
EXTERIOR ELEVATIONS - C-STORE

SHEET NUMBER
A2.1



KEY NOTES (X)

- NOT USED
- LINE OF CANOPY / SOFFIT
- DARK BRONZE ANODIZED WINDOW FRAME W/ INSUL GLASS PER SOLARBAN SPECS, SEE GLAZING SCHEDULE ON SHEET A6.0
- INTERNALLY ILLUMINATED SIGN (UNDER SEPARATE PERMIT)
- DARK BRONZE ANODIZED DOOR W/ CLEAR INSUL. GLASS STOREFRONT SYSTEM
- HOLLOW METAL INSULATED SERVICE DOOR, PAINT TO MATCH SURROUNDING WALL
- PRE-FINISHED METAL COPING
- NICHHA FIBER CEMENT WALL PANEL SYSTEM
- WALL MOUNTED LIGHT FIXTURE, COLOR: BRONZE.
- NOT USED
- LINE OF EXISTING ROOF LINE AND PARAPETS
- 1-1/2" NICHHA CORNER KEY EDGE, TYP. TO ALL CORNERS (U-MOLD AT SHALLOW RETURN CORNERS - SEE A5.2)
- PREFIN. METAL DOWNSPOUT W/ HEAT TAPE
- PREFIN. METAL GUTTER W/ HEAT TAPE
- 1 3/8" THK. X 6" NICHHA KURASTONE HIGH FIBER CEMENT WANSOT
- 1-1/2" HIGH NICHHA FIBER CEMENT CAP INSTALL PER MFR. SPECS.
- OVERHANG DRIP TRIM, SEE DETAIL 2/A1.6
- NOT USED
- NOT USED
- EXISTING FIRE DEPARTMENT CONNECTION
- NOT USED
- EXISTING EMERGENCY FUEL SHUT-OFF SWITCH, MODIFY AT NEW WALL FINISHES
- EXISTING FIRE EXTINGUISHER, REMOUNT ON NEW WALL FINISHES
- PAINT EXPOSED CMU
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- CONTROL/EXPANSION JOINT "E.J." LOCATION, SEE DETAIL 5/A5.2
- NICHHA FIBER CEMENT PANELS, SEE WALL SECTIONS

FINISH SCHEDULE (X)

NOTE - NOT ALL COLORS MAY BE USED

- A - **NICHHA TUFF BLOCK - COLOR TO MATCH #SW 6095 TOASTY
- B - **NICHHA TUFF BLOCK - COLOR TO MATCH #SW 6115 TOTALLY TAN
- C - 1" INSULATED, DOUBLE PANED CLEAR LOW-E GLASS
- D - *SHERWIN WILLIAMS #SW 4081 - **SAFETY RED
- E - *SHERWIN WILLIAMS #SW 7005 - CIRCLE K WHITE
- F - **NICHHA CHISELED SILL TAN
- G - **NICHHA LEDGESTONE BLUFF
- H - *SHERWIN WILLIAMS #SW 6090 - JAVA - FIRESTONE MANSARD BROWN SR (USE FOR PRE-FINISHED METAL COPING)
- I - CIRCLE K ORANGE #PMS 144
- J - **NICHHA TUFF BLOCK - COLOR TO MATCH #SW 4081 SAFETY RED

* USE SHERWIN WILLIAMS MANUFACTURER ONLY
 ** COLOR TO BE PRE-ORDERED TO ENSURE AVAILABILITY AT TIME OF CONSTRUCTION
 *** PURCHASED BY CIRCLE K/INSTALLED BY G.C.
 G.C. TO COORDINATE WITH CK FM AND OWNER'S REP circlek@nichha.com

NOTE: EXISTING CONCRETE BLOCK SPACING DOES NOT CONFORM TO MODERN MODULAR DIMENSIONS.

01/26/22 PERMIT SET
 04/20/22 CITY SUBMITTAL

PROFESSIONAL SEAL

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Printed Name: Kathy L. Anderson

Signature:

License #: 22285

Date: 01-26-22

PROFESSIONAL IN CHARGE

KA

PROJECT MANAGER

KA

QUALITY CONTROL

BL

DRAWN BY

BL

PROJECT NAME

**HOLIDAY
 STATIONSTORE
 #3856**

**MINNETONKA
 MN**

**12908 MINNETONKA BLVD.
 MINNETONKA
 MN 55305**



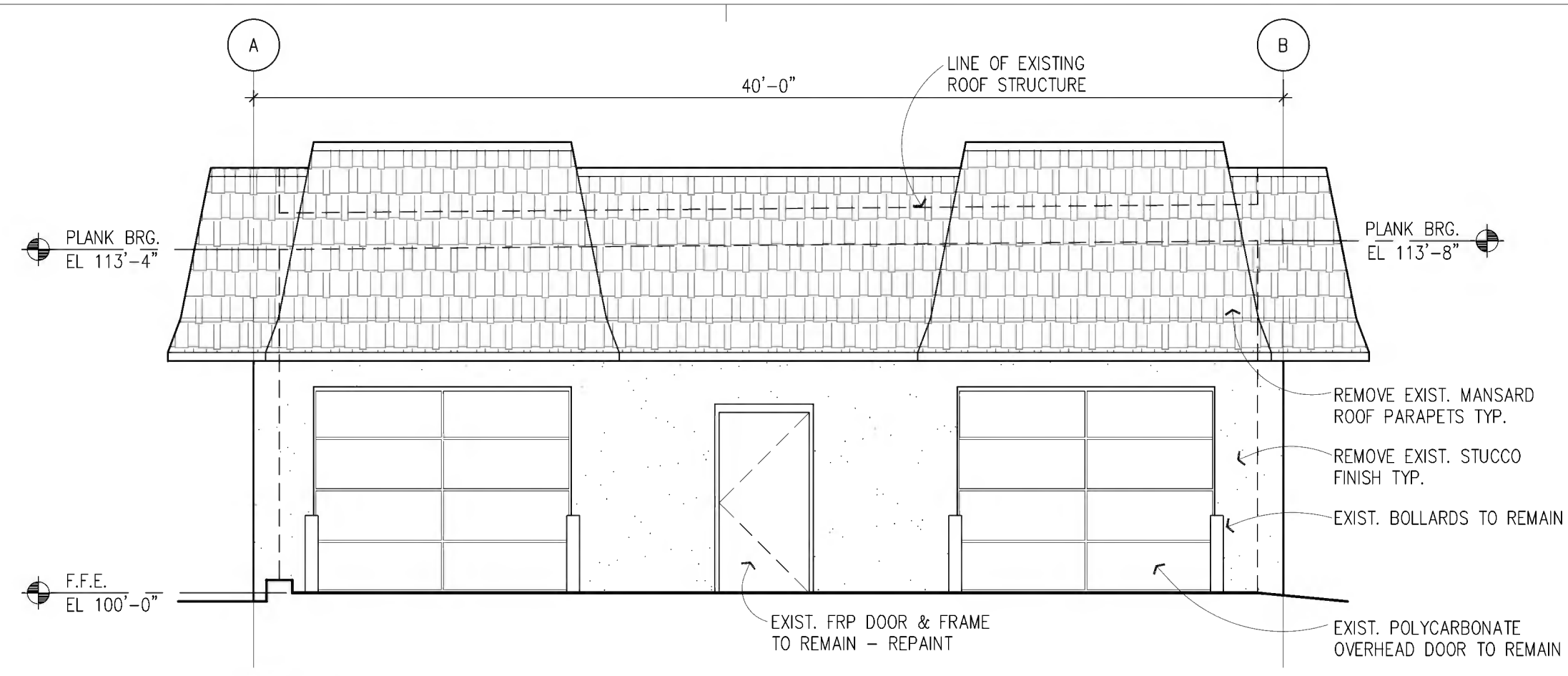
PROJECT NUMBER
 21-1073-01

SHEET TITLE

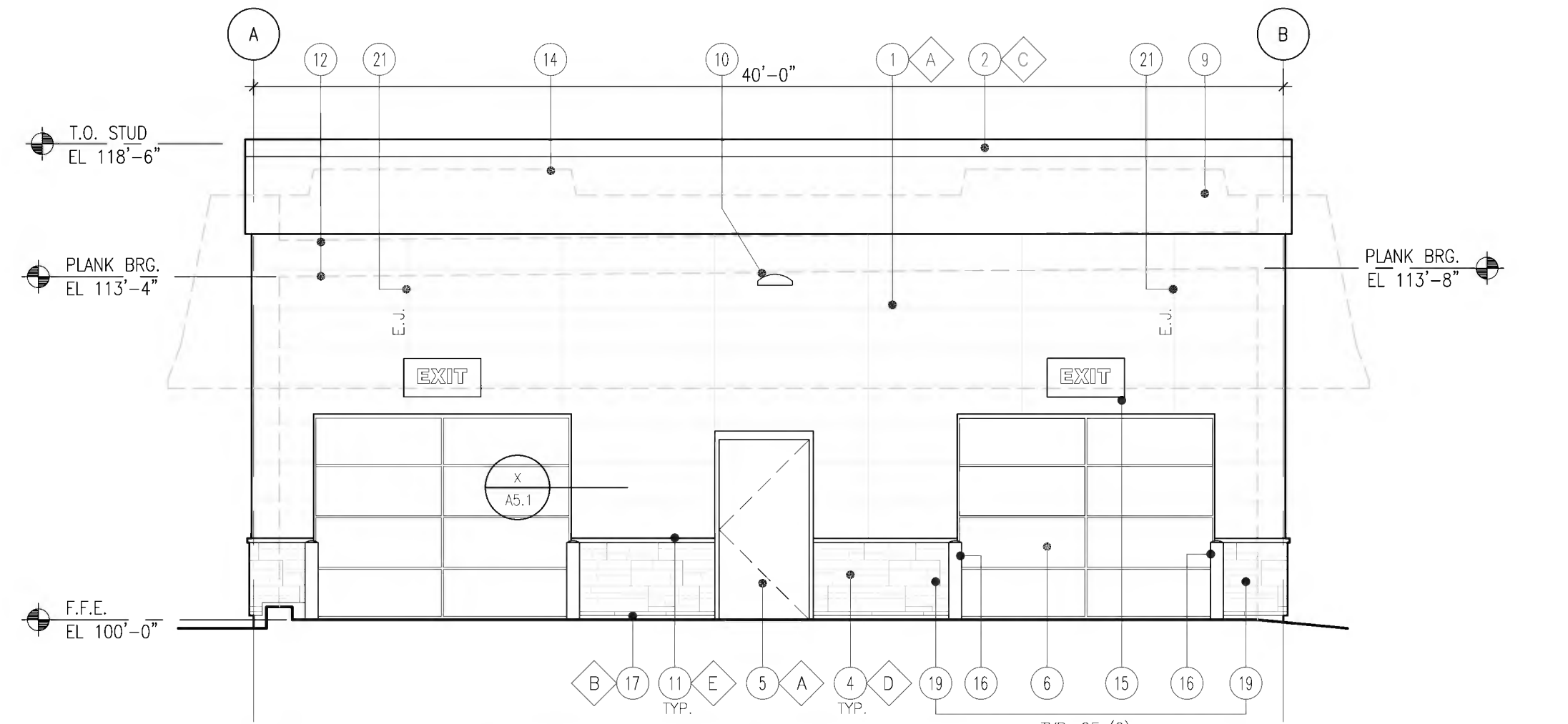
**EXTERIOR
 ELEVATIONS -
 C-STORE &
 FUEL CANOPY**

SHEET NUMBER

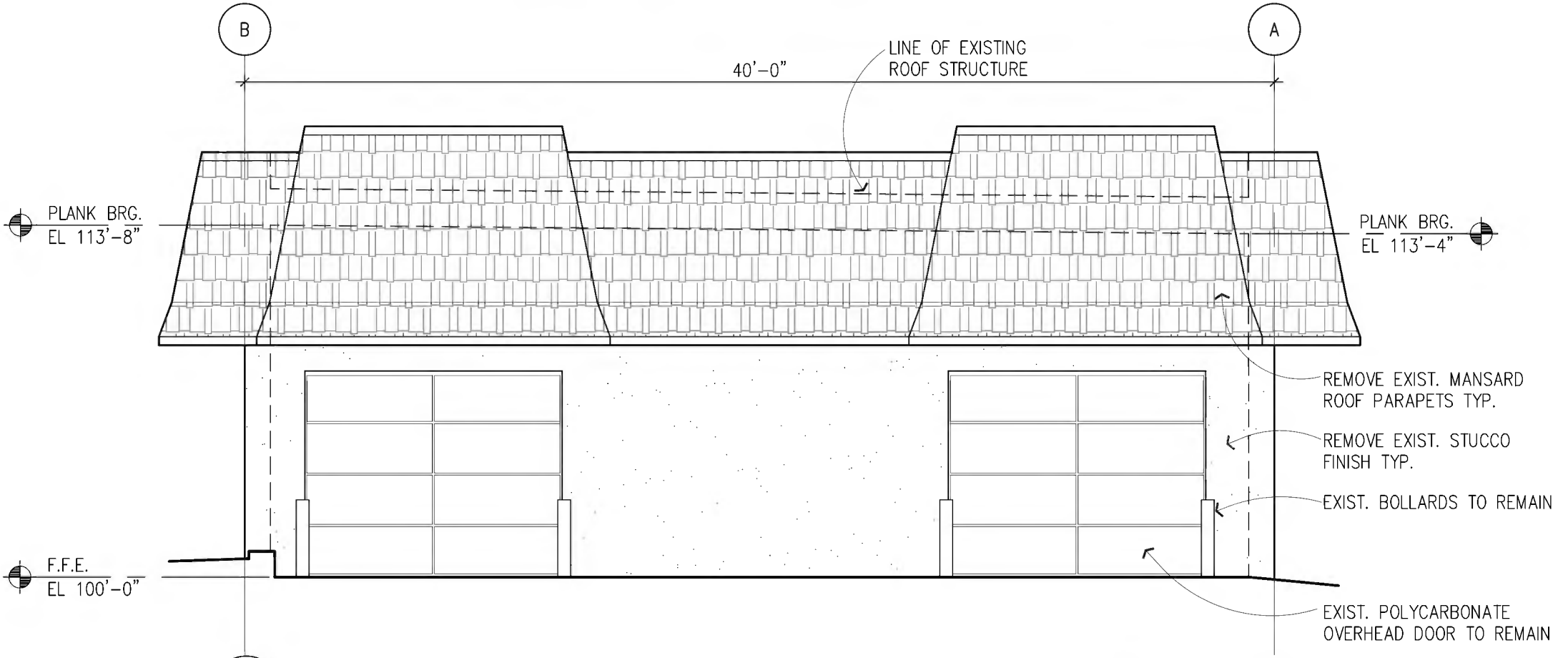
A2.2



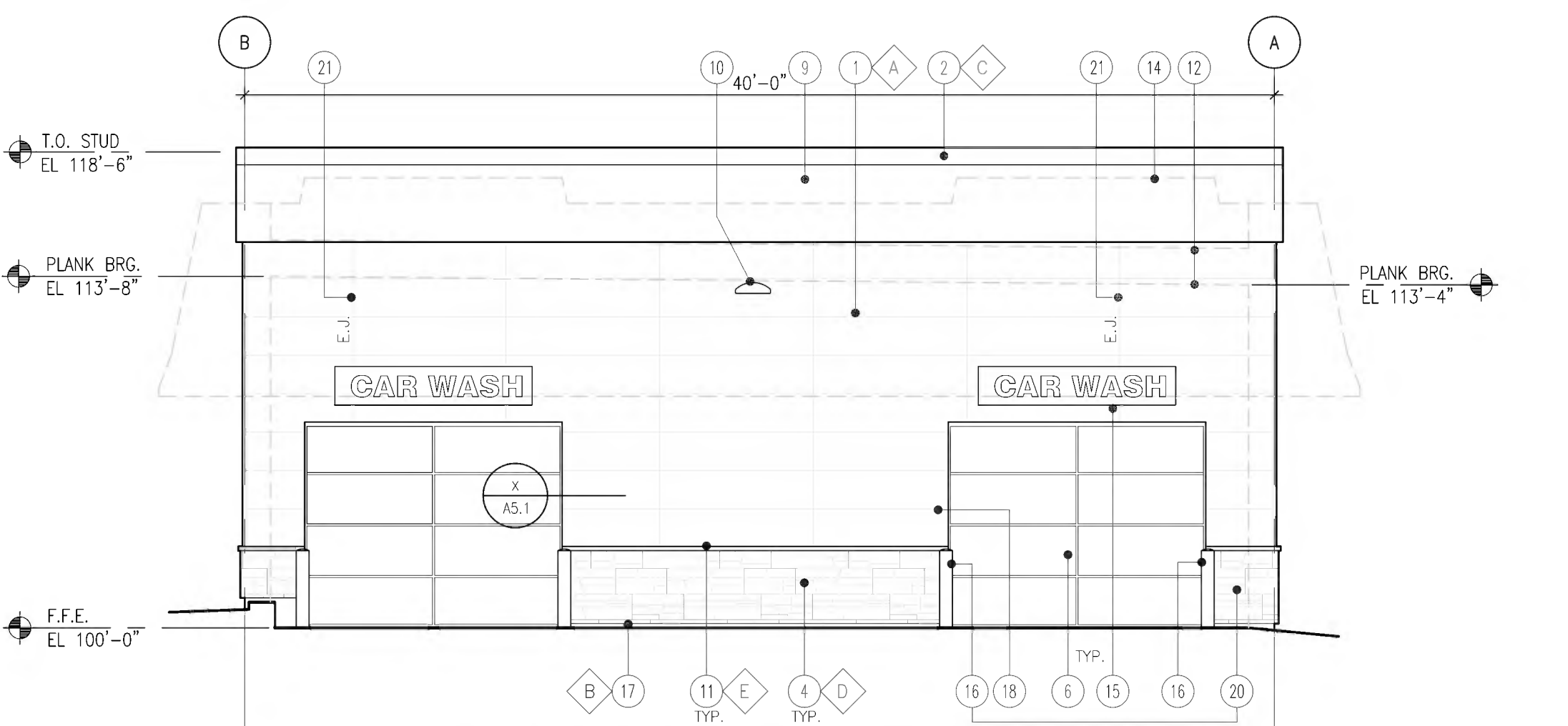
1 WEST ELEVATION
EXISTING
3/16" = 1'-0"



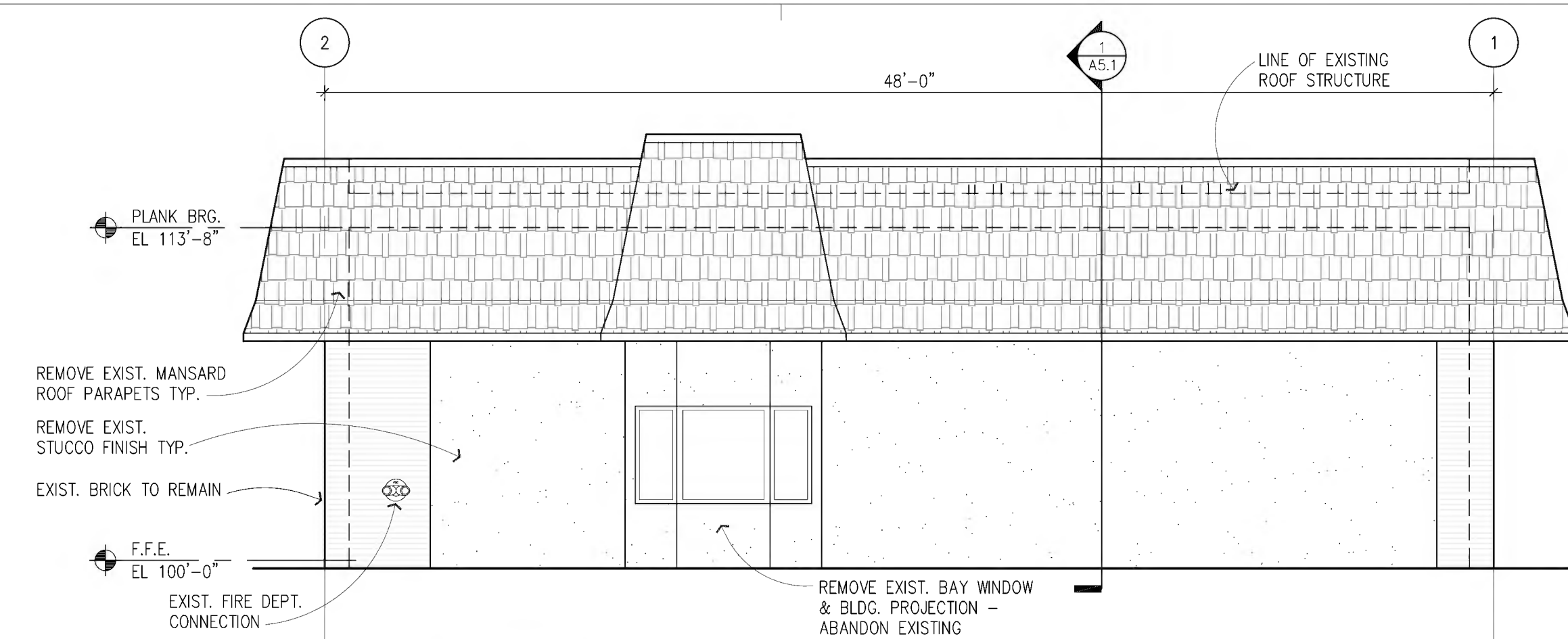
2 WEST ELEVATION
PROPOSED
3/16" = 1'-0"



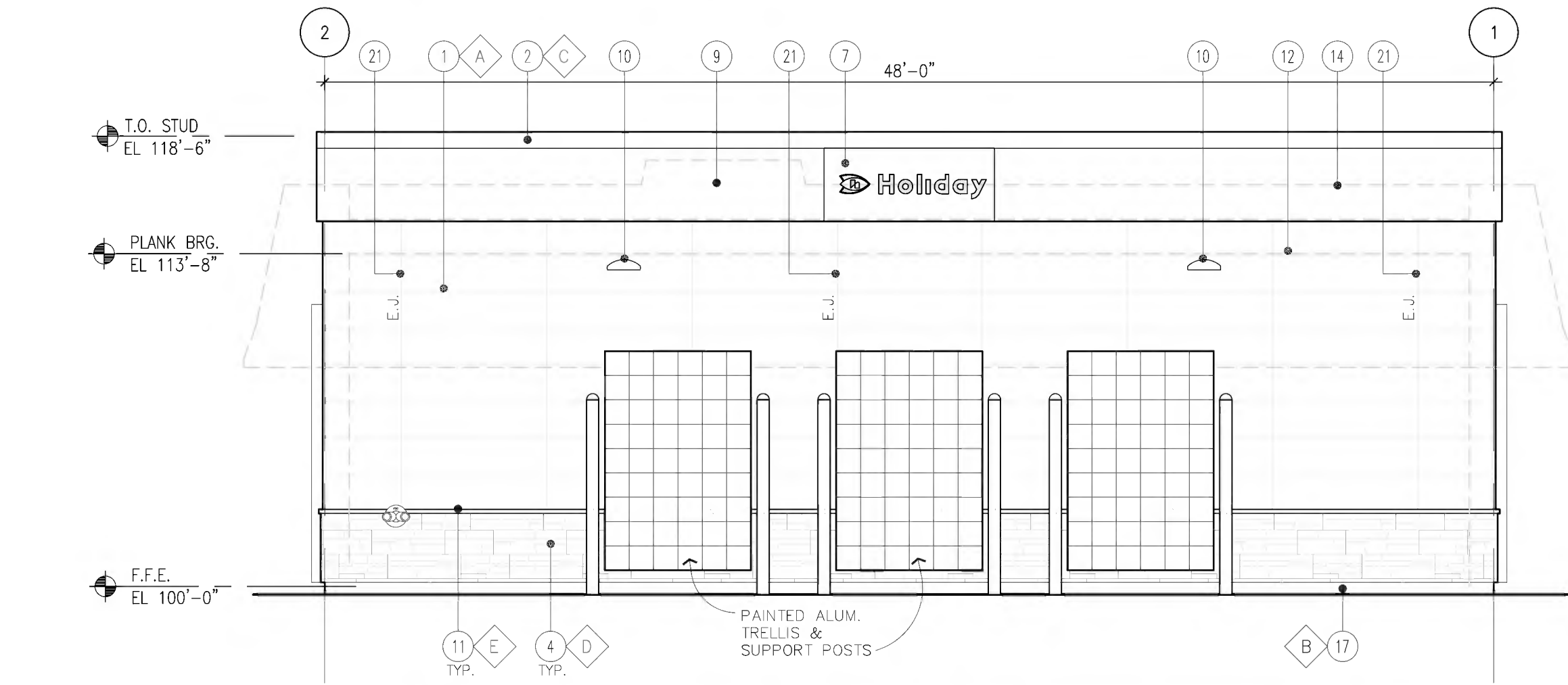
5 EAST ELEVATION
EXISTING
3/16" = 1'-0"



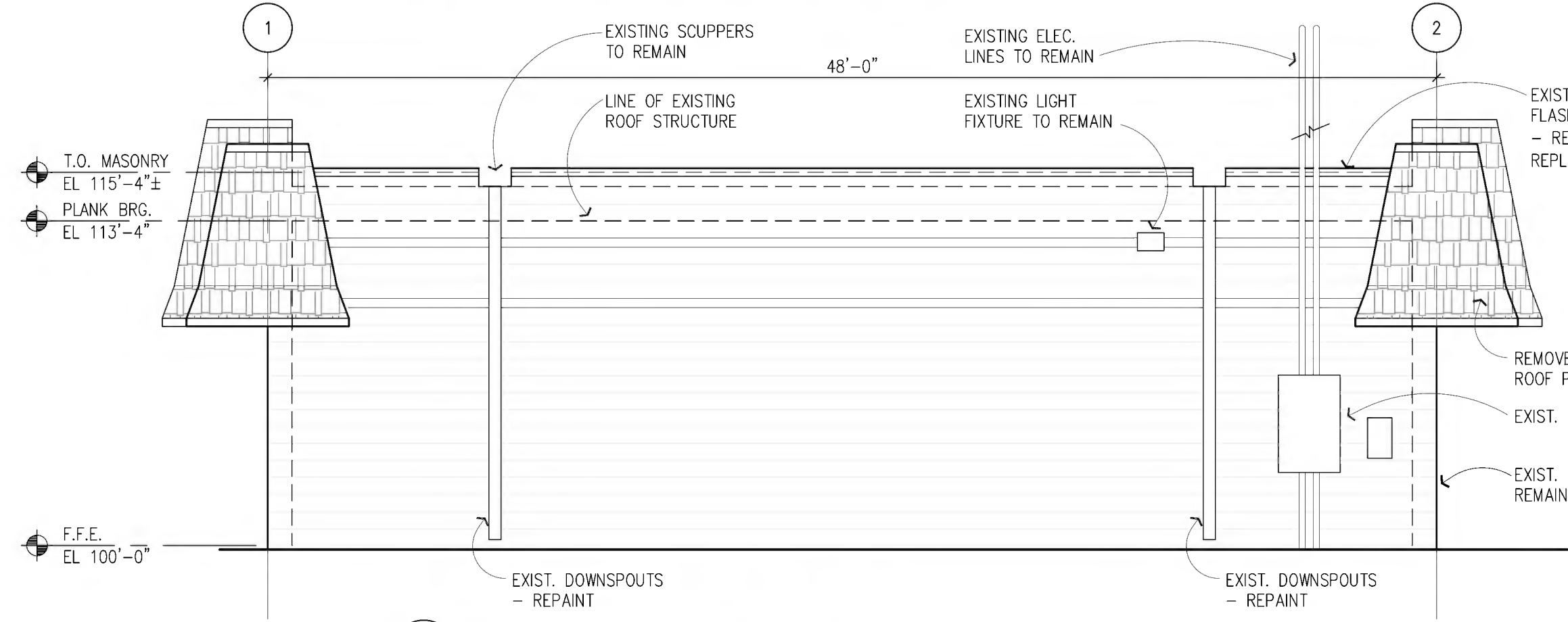
6 EAST ELEVATION
PROPOSED
3/16" = 1'-0"



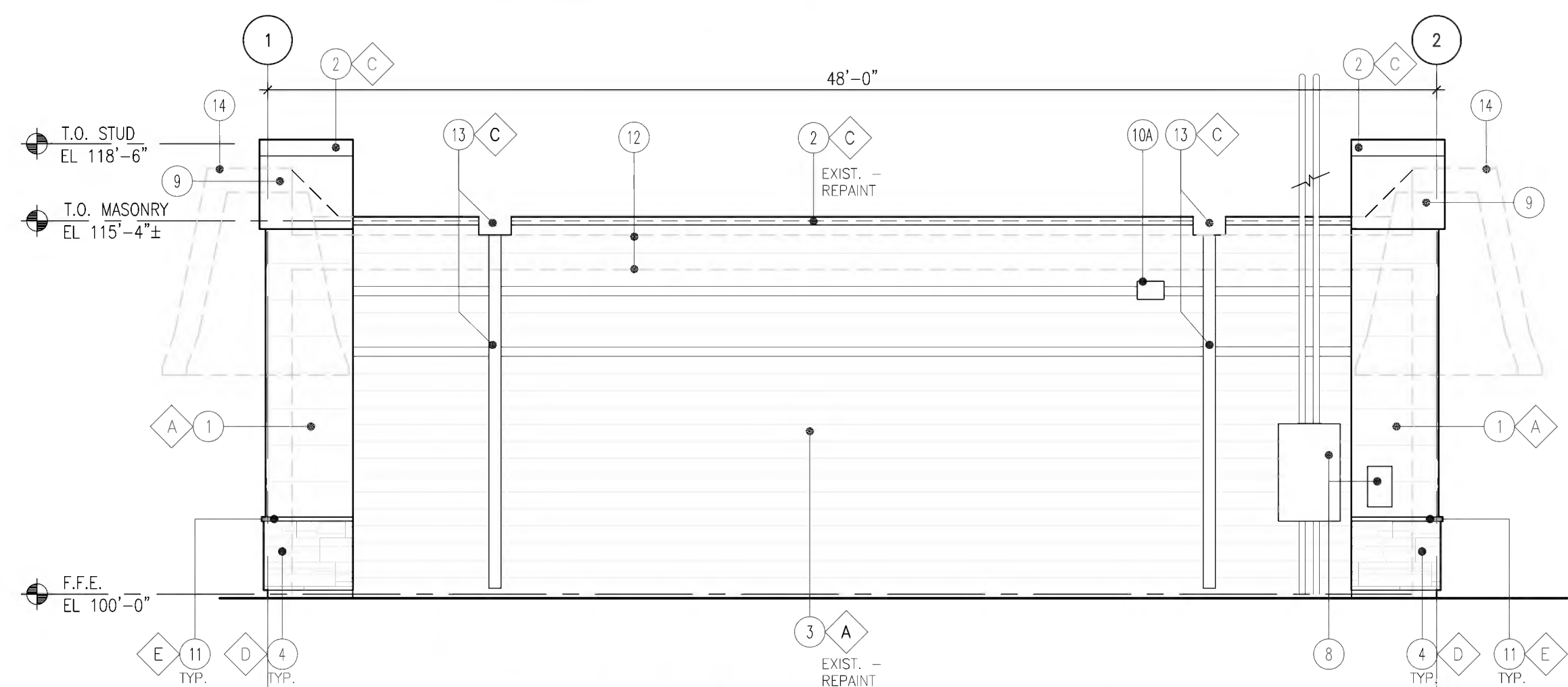
3 SOUTH ELEVATION
EXISTING
3/16" = 1'-0"



4 SOUTH ELEVATION
PROPOSED
3/16" = 1'-0"



7 NORTH ELEVATION
EXISTING
3/16" = 1'-0"



8 NORTH ELEVATION
PROPOSED
3/16" = 1'-0"

KEY NOTES

- NICHA FIBER CEMENT WALL PANEL SYSTEM
- PRE-FINISHED METAL CORING
- EXISTING CMU - REPAINT
- 1 3/8" THK. X 6" NICHA KURASTONE HIGH FIBER CEMENT WAINSCOT
- EXISTING FRP DOOR IN FRP FRAME, PAINT TO MATCH NICHA PANEL AS NOTED.
- EXISTING POLYCARBONATE OVERHEAD DOOR
- LOGO/ CAR WASH SIGN PROVIDED AND INSTALLED BY SIGNAGE VENDOR - SIGNAGE UNDER SEPARATE PERMIT.
- EXISTING ELECTRICAL METERS - REMOUNT AS REQ'D
- ACM BAND PANEL PROVIDED & INSTALLED BY SIGNAGE VENDOR
- NEW EXTERIOR WALL-MOUNTED LIGHTING. (EXISTING LIGHT AT '10A' - VERIFY W/ OWNER TO REPLACE)
- 1-1/2" HIGH NICHA FIBER CEMENT CAP INSTALL PER MFR. SPECS.
- LINE OF EXISTING ROOF
- EXISTING PREFIN. METAL SCUPPER & DOWNSPOUT - REPLACE / REPAINT AS REQ'D
- OUTLINE OF EXISTING PARAPETS SHOWN FOR REFERENCE
- PRE-FINISHED ACM PORTAL HEADER. PROVIDE POWER FOR LED LIGHTS AND BACK LIT LETTERS. COORDINATE WITH VENDOR.
- EXISTING BOLLARD WITH NEW TRAFFIC YELLOW PLASTIC COVER.
- PAINT EXPOSED CMU
- PRE-FINISHED ACM ENTRANCE PORTAL LEG W/ TIMER. PROVIDE POWER FOR TIMER. COORDINATE WITH VENDOR.
- PRE-FINISHED ACM EXIT PORTAL LEG
- PRE-FINISHED ACM PORTAL LEG
- CONTROL/EXPANSION JOINT "E.J." LOCATION, SEE DETAIL 5/A5.2

FINISH SCHEDULE

- A - **NICHA TUFF BLOCK
- COLOR TO MATCH #SW 6095 TOASTY
- B - **NICHA TUFF BLOCK
- COLOR TO MATCH #SW 6115 TOTALLY TAN
- C - *SHERWIN WILLIAMS #SW 6090 - JAVA
- FIRESTONE MANSARD BROWN SR (USE FOR PRE-FINISHED METAL CORING)
- D - **NICHA LEDGESTONE BLUFF
- E - **NICHA CHISELED SILL TAN

* USC SHERWIN WILLIAMS MANUFACTURER ONLY
** COLOR TO BE PRE-ORDERED TO ENSURE AVAILABILITY AT TIME OF CONSTRUCTION
*** PURCHASED BY CIRCLE K/INSTALLED BY G.C.
G.C. TO COORDINATE WITH CK PM AND OWNER'S REP
circles@nichha.com

01/26/22 PERMIT SET
04/20/22 CITY SUBMITAL

PROFESSIONAL SEAL
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Architect under the laws of the State of Minnesota.
Printed Name: Kathy L. Anderson

Signature:
License #: 22285
Date: 01-26-22

PROFESSIONAL IN CHARGE
KA
PROJECT MANAGER
KA
QUALITY CONTROL
BL
DRAWN BY
BL

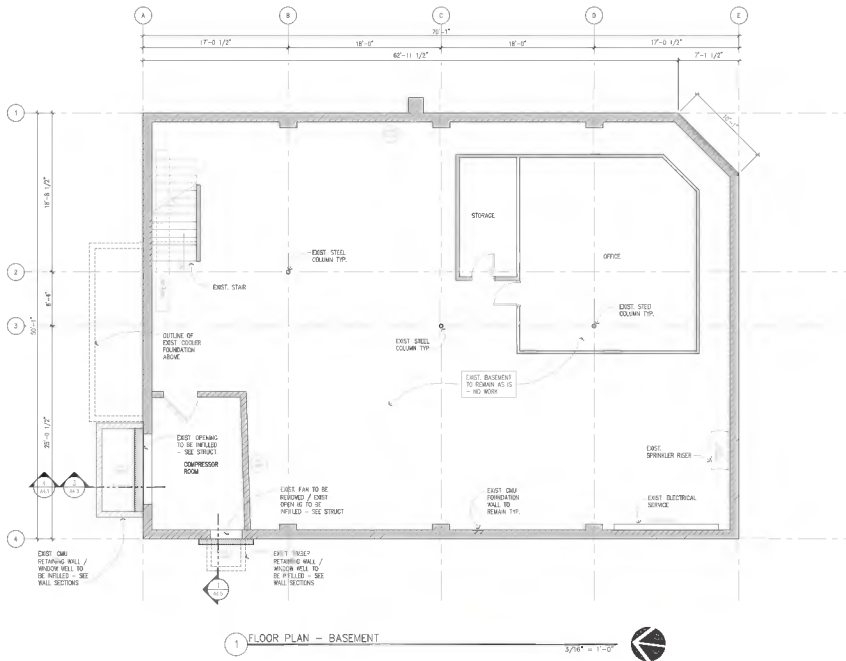
PROJECT NAME
HOLIDAY STATIONSTORE #3856
MINNETONKA MN
12908 MINNETONKA BLVD. MINNETONKA MN 55305



PROJECT NUMBER
21-1073-01

SHEET TITLE
EXTERIOR ELEVATIONS - CAR WASH

SHEET NUMBER
A2.3



1 FLOOR PLAN - BASEMENT

PROFESSIONAL SEAL
I hereby certify that I am a
registered professional architect
in the State of Minnesota, and
that I am the author of the
design and construction documents
herein.
Printed Name: Subi J. Asst. Arch.
Signature: [Signature]
License #: 22255
Date: 01/20/22

PROFESSIONAL IN CHARGE
or
PROJECT MANAGER
or
QUALITY CONTROL
or
DRAWN BY
or

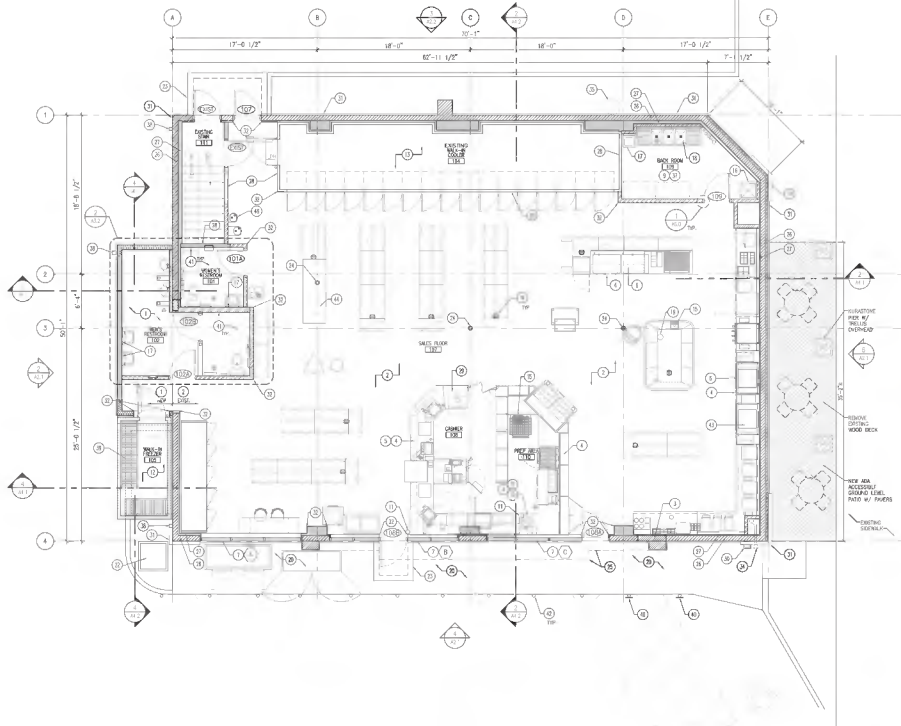
PROJECT NAME
**HOLIDAY
STATIONSTORE
#3856
MINNETONKA
MN**
**12808 MINNETONKA BLVD.
MINNETONKA
MN 55305**



PROJECT NUMBER
21-1072-01

SHEET TITLE
**FLOOR PLAN -
BASEMENT**

SHEET NUMBER
A1.0



1 FLOOR PLAN
SCALE: 3/16" = 1'-0"

KEY NOTES

1. NEW CONCRETE SLAB, SEE STRUCTURAL FOR DETAILS.
2. EXISTING FLOORING SURFACES.
3. METAL EXTERIOR DOOR OPERING TO EXISTING EXTERIOR WALL, WOOD TRIMMER, ROOF RIGID, & O.P. 3/4".
4. EXTERIOR WINDOW OPERING BY HANDLE, METALLED IN RC.
5. SLEED COLUMN, SEE SHEET H-1.2 FOR COLUMN.
6. SLEED SURFACE COATED TO SUPPLIER'S SPEC, METALLED BY GC.
7. EXISTING WINDOW OPERING, SEE SHEET A-1.1 FOR DOOR & WINDOW SCHEDULES.
8. NEW WEBS.
9. FLEXIBLE SURFACE, WASTE 2-1/2" PAINTING TO 8" ABOVE FINISH CEILING, 7-1/2" HFT. OR OVER ALL WALLS THE ROOM.
10. PROVIDE INTERNAL SPRAY GUARD IN HALL 5/8".
11. 2 IN. 24-TYPE FFF DIMENSIONAL SURFACE MOUNTED AT 48" AFF, MAX. PROVIDE FLOORING AS FINISHED.
12. COULDS/PIECES PROVIDED BY OWNER AND METALLED BY GC, GENERAL CONTRACTOR RESPONSIBLE FOR ELECTRICAL AND TYPING CONNECTIONS.
13. EXISTING COULDS TO REMAIN.
14. NEW GYPSUM BOARD 5/8".
15. FLOOR SHALL BE ACCESSIBLE FOR FLOORING.
16. POP SHIM WITH FLEXIBLE GULF TO 1/2" CONC. GARDEN HOSE FOR POP SHIM FINISHED.
17. WOOD TRIM, WINDOW SILL AND CASE WOOD TRIMMER, MUST HAVE WOODS FINISHED RESPONSE TO WORK.
18. 2-COMPARTMENT SHIM.
19. INTERFERING WITH THE SHIM CASE TO BE RUN FROM EXISTING - COORDINATE LOCATION & ROUTING WITH EXISTING FIRE & SMOKE.
20. EXISTING 1/2" THICK FLOORING PROVIDER BY GC, IN NEW DIMENSIONAL, SHIMMED TO EXISTING W/ 1/2" BLOCK & ALL EXISTING, 1/2" THICK EXISTING CONCRETE.
21. NEW WEBS.
22. EXISTING ELECTRICAL INFRASTRUCTURE.
23. NEW STRUCTURAL CONCRETE DROP SLAB ON FOUNDATION - SEE STRUCTURE NOTES.
24. EXISTING EXTERIOR WALL, SEE STRUCTURE DRAWINGS.
25. NEW 1/2" GYPSUM BOARD, SEE FINISHED EXTERIOR FLOOR FINISH 3/4" & 3/8" O.P. EXTERIOR SHEET A-2.1.
26. EXISTING EXTERIOR BRICK & STONE WALL TO REMAIN.
27. EXISTING EXTERIOR WALL, FINISH, INCLUDING WINDOW SCHEDULE & O.P. 3/4" TO FINISH, FINISH AS PER TO MATCH EXISTING WALLS OF AN ADJ. ROOM.
28. EXISTING INTERIOR WALL TO REMAIN - FINISH AS NOTED.
29. 3/4" NEW ACCESSIBLE CONCRETE.
30. EXISTING FLOOR DIMENSIONAL, 1/2" OFF SWITCH & FIRE EXTINGUISHER LOCATION - RELOCATED ON NEW EXTERIOR WALL FINISH.
31. NEW EXTERIOR WALL FINISH - FINISH - SEE WALL SECTIONS.
32. 1/2" FINISHED STEEL CORNER BRACKET TO 1/2" AFF.
33. NEW WEBS.
34. EXISTING FIRE CLUTY, CONNECTION.
35. GIB SHIM & CHANNEL, SEE DET. 2-3.1 TO FLOOR FINISHED SIZES.
36. NEW WEBS.
37. 3/4" FLOORING WITH O.P. 1/2" ALL BELLIES THIS ROOM.
38. NEW DIMENSIONAL, PROVIDE EXTERIOR EXTERIOR AND SPRAY FLOORING.
39. MAX. OF FOUNDATION DIMEN.
40. NEW FINISH COAT & FIN. COATED, USE 200L, 1/2" HFT. EXTERIOR BY OWNER, BOTTOM OF SOIL TO BE 1/2" HFT. FROM FINISH SURFACE.
41. PROVIDE THE FINISH SEE FINISH SCHEDULES IN H-11 AND SHEETS A-1.1 & A-1.2.
42. EXISTING SCHEDULE TO REMAIN - PROVIDE NEW FINISH COVER.
43. PROVIDE NEW COATING AND WASTE DRAIN TO NEAREST FLOOR DRAIN, COORDINATE HANGER & LOCATION BY FLOOR.
44. POP FLOORING - SEE A-1.10.
45. NEW WEBS.
46. NEW WEBS.
47. NEW WEBS.
48. 1/2" GYPSUM BOARD.

LEGEND

- EXISTING BRICK
- EXISTING MASONRY WALL WITH FLOORING FINISH
- NEW EXTERIOR MASONRY WALL - SEE STRUCT. & WALL SECTIONS
- NEW BRICK SCHEDULE - SEE STRUCT. & WALL SECTIONS
- BRICKER MASONRY
- 2 1/2" NEW WEBS, USED AT 1/2" AFF, WITH NEW INSULATION, IF APPLICABLE, SEE SHEET A-2.1 FOR WALL TYPES
- 1/2" NEW WEBS, USED AT 1/2" AFF, WITH NEW INSULATION, SEE SHEET A-2.1 FOR WALL TYPES
- FINISH-MANUFACTURED FINISH/COATING WALL
- WINDOW TYPE, SEE WINDOW SCHEDULE SHEET A-6
- DOOR TYPE, SEE DOOR SCHEDULE SHEET A-6

ARCHITECTURAL CONSORTIUM L.L.C.
1600 West Lake Street, Suite 127
Minnetonka, MN 55305
www.archconsortium.com

01/26/22 REVISION SET
03/02/22 REVISIONS
04/07/22 REVISIONS

PROJECT GENERAL DATA
Project Name: Holiday Stationstore #3856
Location: 12996 M Nrettonka Blvd, Minnetonka, MN 55305

System: [Signature]
Location #: 33330
Date: 01-26-22

PERFORMER'S OR OWNER'S PROJECT MANAGER
QUALITY CONTROL
SIGNATURE BY: [Signature]

PROJECT NAME
HOLIDAY STATIONSTORE #3856
MINNETONKA MN
12996 M NRETTONKA BLVD.
MINNETONKA
MN 55305

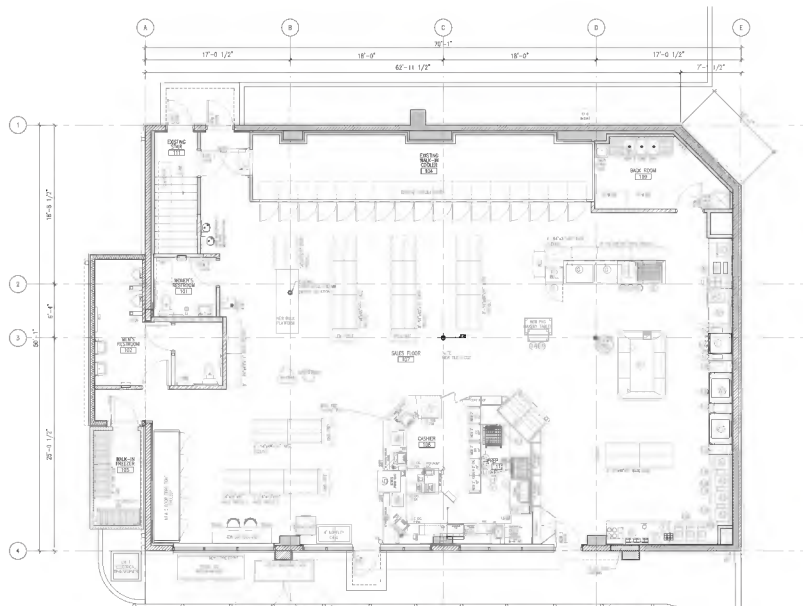


PROJECT NUMBER
21-071-001
SHEET TITLE
FLOOR PLAN - FIRST FLOOR

SHEET NUMBER
A1.2

GENERAL NOTES

1. EXISTING FINISH
2. REFER DIMENSIONS UNLESS OTHERWISE NOTED
3. SEE SHEETS A1 AND A3 FOR INTERIOR ELEVATIONS



EQUIPMENT

- | | | | |
|----|------------|----|------------|
| 01 | MECHANICAL | 02 | MECHANICAL |
| 03 | MECHANICAL | 04 | MECHANICAL |
| 05 | MECHANICAL | 06 | MECHANICAL |
| 07 | MECHANICAL | 08 | MECHANICAL |
| 09 | MECHANICAL | 10 | MECHANICAL |
| 11 | MECHANICAL | 12 | MECHANICAL |
| 13 | MECHANICAL | 14 | MECHANICAL |
| 15 | MECHANICAL | 16 | MECHANICAL |
| 17 | MECHANICAL | 18 | MECHANICAL |
| 19 | MECHANICAL | 20 | MECHANICAL |
| 21 | MECHANICAL | 22 | MECHANICAL |
| 23 | MECHANICAL | 24 | MECHANICAL |
| 25 | MECHANICAL | 26 | MECHANICAL |
| 27 | MECHANICAL | 28 | MECHANICAL |
| 29 | MECHANICAL | 30 | MECHANICAL |
| 31 | MECHANICAL | 32 | MECHANICAL |
| 33 | MECHANICAL | 34 | MECHANICAL |
| 35 | MECHANICAL | 36 | MECHANICAL |
| 37 | MECHANICAL | 38 | MECHANICAL |
| 39 | MECHANICAL | 40 | MECHANICAL |
| 41 | MECHANICAL | 42 | MECHANICAL |
| 43 | MECHANICAL | 44 | MECHANICAL |
| 45 | MECHANICAL | 46 | MECHANICAL |
| 47 | MECHANICAL | 48 | MECHANICAL |
| 49 | MECHANICAL | 50 | MECHANICAL |

1 EQUIPMENT PLAN - PROPOSED 3/16" = 1'-0"

CONFORMANCE STORE 3,594 SF
HOLIDAY SALES AREA 2,700 SF



01/25/22 15:46:38

PROFESSIONAL SEAL
I hereby certify that I am a Licensed Professional Engineer in the State of Minnesota.
Project Name: **HOLIDAY STATION STORE #3856**

Signature: *[Signature]*
Date: 01/25/22

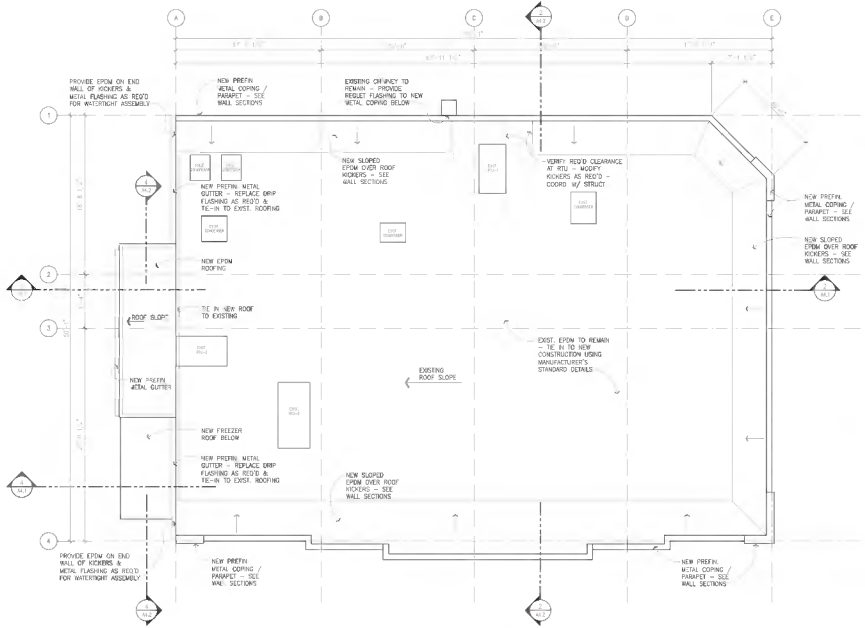
PROFESSIONAL IN CHARGE
PROJECT MANAGER
QUALITY CONTROL
DRAWN BY

PROJECT NAME
HOLIDAY STATION STORE #3856
MINNETONKA MN
12908 MINNETONKA BLVD.
MINNETONKA MN 55305

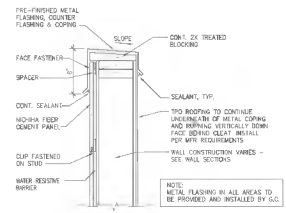


PROJECT NUMBER
21-1018-01
PROJECT TITLE
EQUIPMENT PLAN - PROPOSED STORE

SHEET NUMBER
A1.4.2



1 ROOF PLAN



2 PARAPET DETAIL

01/26/22 - R001 30

PROFESSIONAL SEAL
 I hereby certify that I am a duly Licensed Architect and that I am duly Licensed Architect under the laws of the State of Minnesota.
 Printed Name: Kathy L. Astner
 Signature:
 License # 2385
 Date: 01-26-22

PROFESSIONAL IN CHARGE
PROJECT MANAGER
QUALITY CONTROL
DRAWN BY
 01

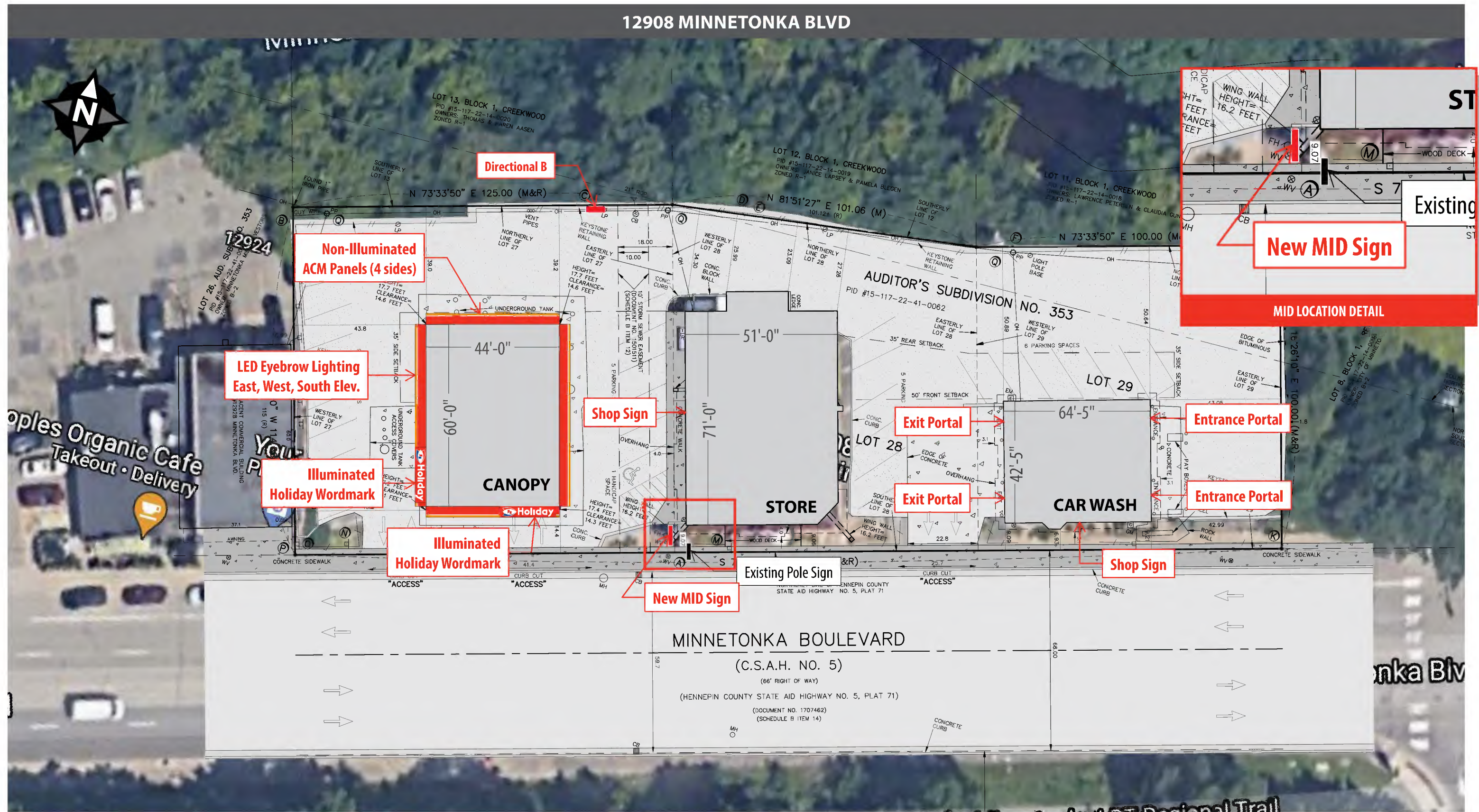
PROJECT NAME
HOLIDAY STATIONSTORE #3856
MINNETONKA MN
12590 MINNETONKA BLVD.
MINNETONKA MN 55305



PROJECT NUMBER
 21-1073-01

SHEET TITLE
ROOF PLAN AND DETAILS

SHEET NUMBER
A1.7



CORPORATE IDENTIFICATION SOLUTIONS

CUSTOMER	HOLIDAY STORES
SITE NUMBER	3856

LOCATION	HOPKINS, MN
ACCOUNT REP	BEN DEHAYES

DRAWN BY	MH
DATE	04/21/22

REVISION	03
SCALE	NTS
CORPORATE ID SOLUTIONS	5563 N ELSTON AVE. CHICAGO, IL 60630 P: 773-763-9600 F: 773-763-9606 CORPORATEIDSOLUTIONS.COM

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SIGNATURE	_____
DATE	_____



CORPORATE IDENTIFICATION SOLUTIONS

CUSTOMER
HOLIDAY STORES

SITE NUMBER
3856

LOCATION
HOPKINS, MN

ACCOUNT REP
BEN DEHAYES

DRAWN BY
MH

DATE
04/21/22

REVISION
03

SCALE
NTS

CORPORATE ID SOLUTIONS
5563 N ELSTON AVE.
CHICAGO, IL 60630
P: 773-763-9600 | F: 773-763-9606
CORPORATEIDSOLUTIONS.COM

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SIGNATURE _____ **DATE** _____



PROPOSED - WEST ELEVATION



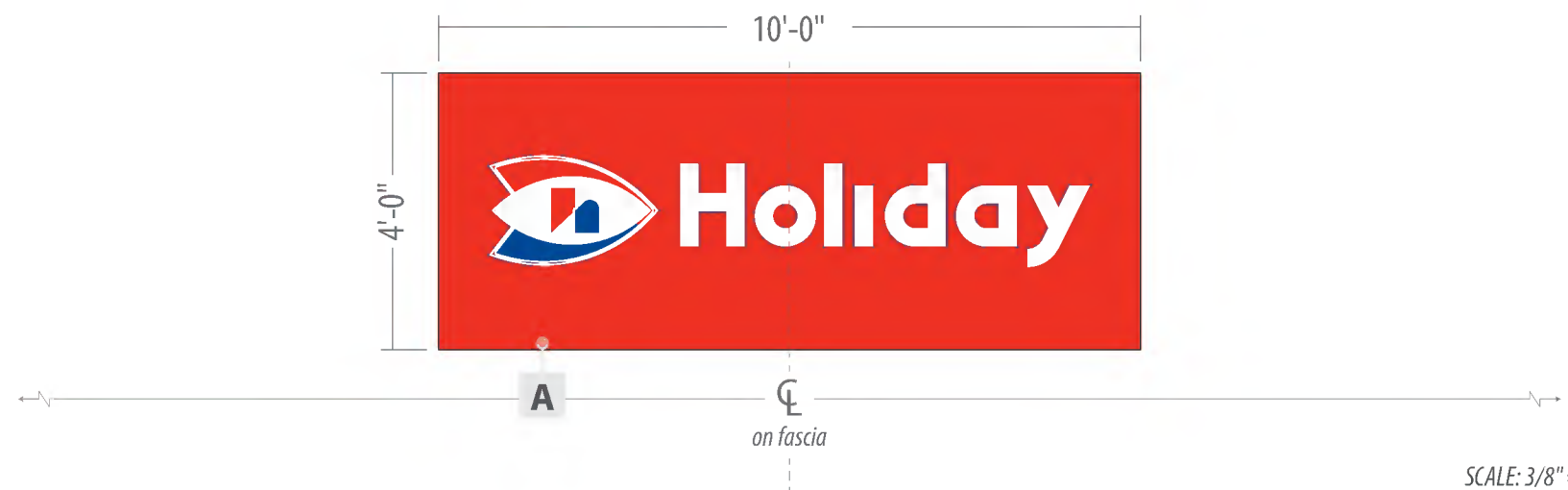
LEVEL B

ARTWORK REFLECTS CURRENT SURVEY

	HEIGHT	FRONT	SIDES
BUILDING INFO	13'-6"	69'-4"	49'-0"
FASCIA INFO	4'-6"	71'-0"	51'-0"

	SIGN DESCRIPTION	QTY	SIZE	AREA
A	Illuminated Holiday Shop Sign	1	4'-0" x 10'-0"	40.0 SF

NEW FASCIA CONSTRUCTED BY OTHERS



SCALE: 3/8" = 1'-0"



CORPORATE IDENTIFICATION SOLUTIONS

CUSTOMER
HOLIDAY STORES

SITE NUMBER
3856

LOCATION
HOPKINS, MN

ACCOUNT REP
BEN DEHAYES

DRAWN BY
MH

DATE
04/21/22

REVISION
03

SCALE
NTS

CORPORATE ID SOLUTIONS
5563 N ELSTON AVE.
CHICAGO, IL 60630
P: 773-763-9600 | F: 773-763-9606
CORPORATEIDSOLUTIONS.COM

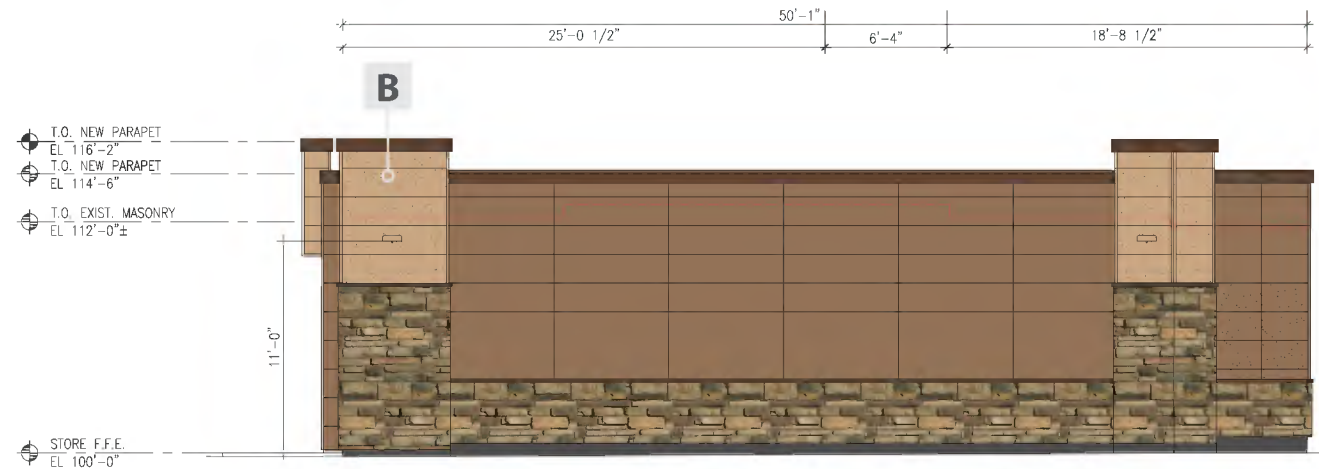
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SIGNATURE _____ **DATE** _____



PROPOSED - SOUTH ELEVATION



LEVEL B

ARTWORK REFLECTS CURRENT SURVEY

	HEIGHT	FRONT	SIDES
BUILDING INFO	13'-6"	69'-4"	49'-0"
FASCIA INFO	4'-6"	71'-0"	51'-0"

	SIGN DESCRIPTION	QTY	SIZE	AREA
A	Illuminated Holiday Shop Sign	1	4'-0" x 10'-0"	40.0 SF

NEW FASCIA CONSTRUCTED BY OTHERS



CORPORATE IDENTIFICATION SOLUTIONS

CUSTOMER
HOLIDAY STORES

SITE NUMBER
3856

LOCATION
HOPKINS, MN

ACCOUNT REP
BEN DEHAYES

DRAWN BY
MH

DATE
04/21/22

REVISION
03

SCALE
NTS

CORPORATE ID SOLUTIONS
5563 N ELSTON AVE.
CHICAGO, IL 60630
P: 773-763-9600 | F: 773-763-9606
CORPORATEIDSOLUTIONS.COM

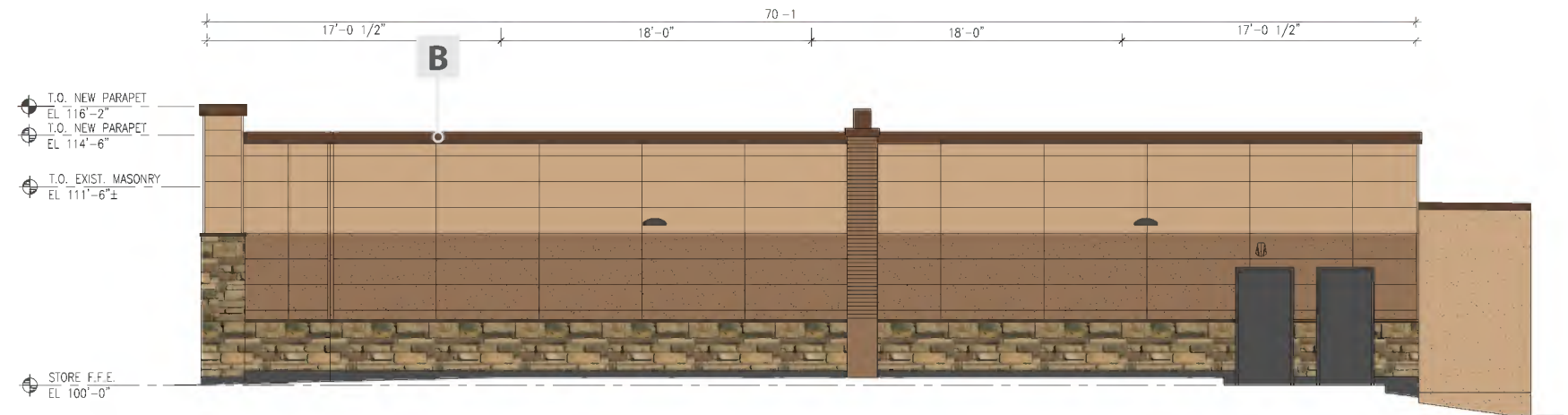
CUSTOMER ACCEPTANCE

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SIGNATURE _____ **DATE** _____



PROPOSED - EAST ELEVATION



LEVEL B
ARTWORK REFLECTS CURRENT SURVEY

	HEIGHT	FRONT	SIDES
BUILDING INFO	13'-6"	69'-4"	49'-0"
FASCIA INFO	4'-6"	71'-0"	51'-0"

	SIGN DESCRIPTION	QTY	SIZE	AREA
A	Illuminated Holiday Shop Sign	1	4'-0" x 10'-0"	40.0 SF

NEW FASCIA CONSTRUCTED BY OTHERS



CORPORATE IDENTIFICATION SOLUTIONS

CUSTOMER
HOLIDAY STORES

SITE NUMBER
3856

LOCATION
HOPKINS, MN

ACCOUNT REP
BEN DEHAYES

DRAWN BY
MH

DATE
04/21/22

REVISION
03

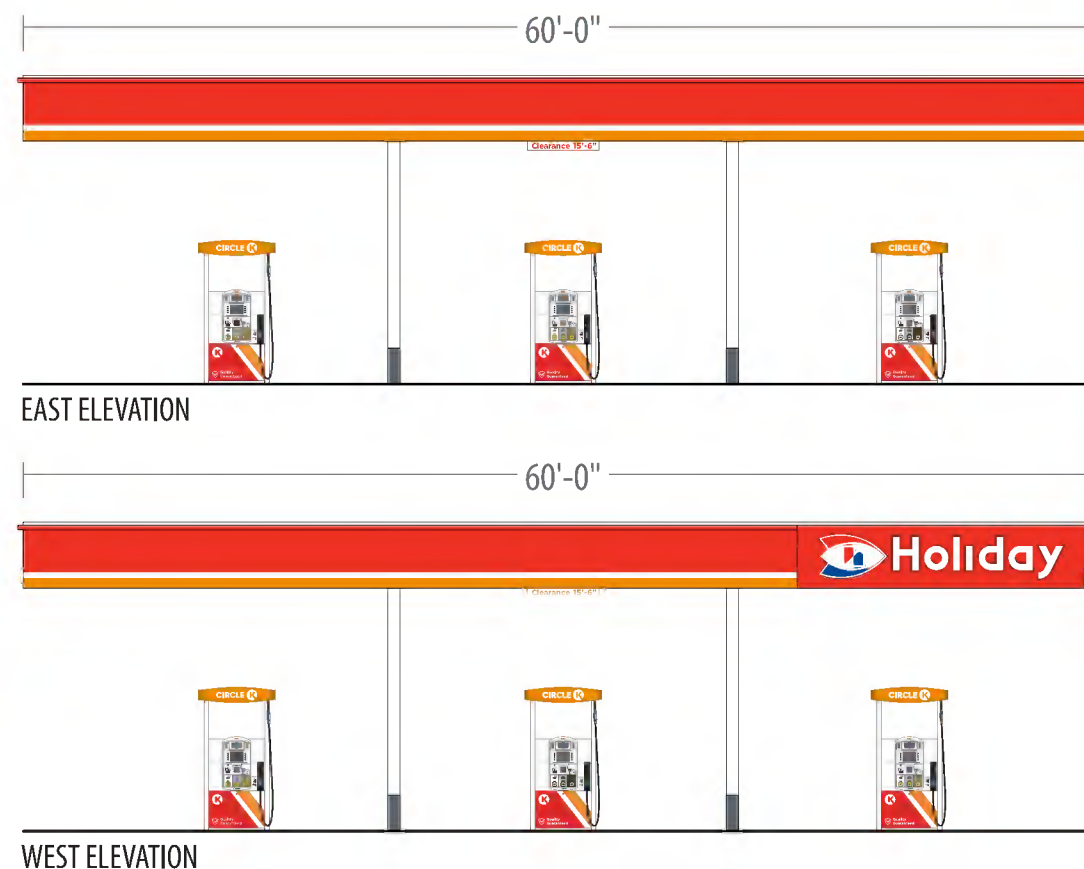
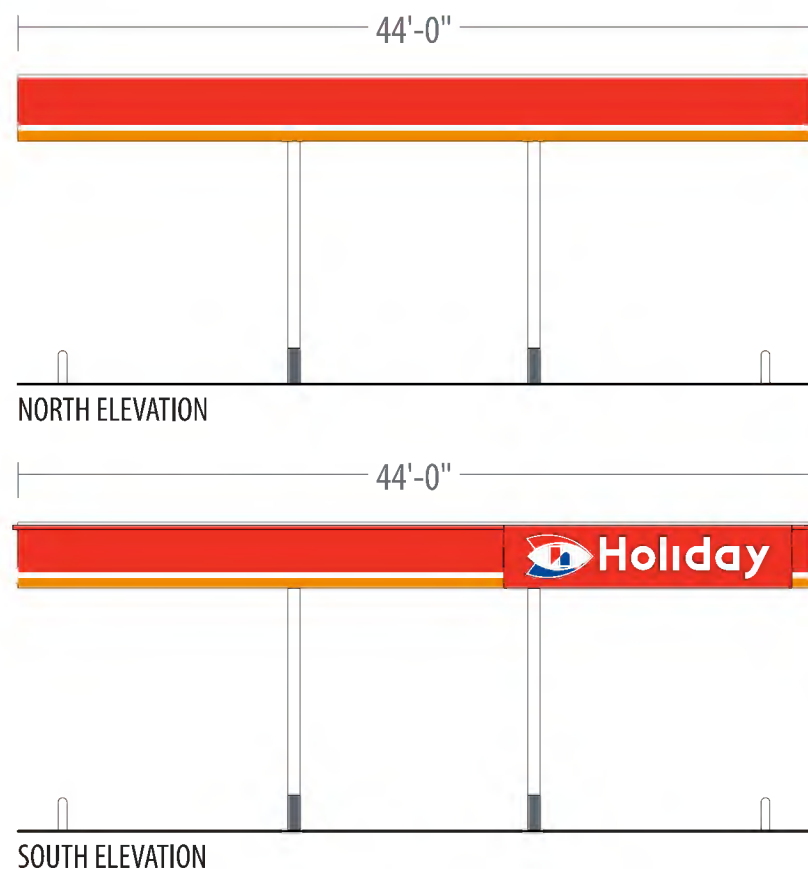
SCALE
NTS

CORPORATE ID SOLUTIONS
5563 N ELSTON AVE.
CHICAGO, IL 60630
P: 773-763-9600 | F: 773-763-9606
CORPORATEIDSOLUTIONS.COM

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SIGNATURE _____ **DATE** _____



NEW CONSTRUCTION

WEST ELEVATION

Gas Island Canopy Fascia	3'-8" x 60'-0"	220.0 SF	15.5% of available space
Illuminated Holiday Letters	28" x 150"	28.0 SF	

SOUTH ELEVATION

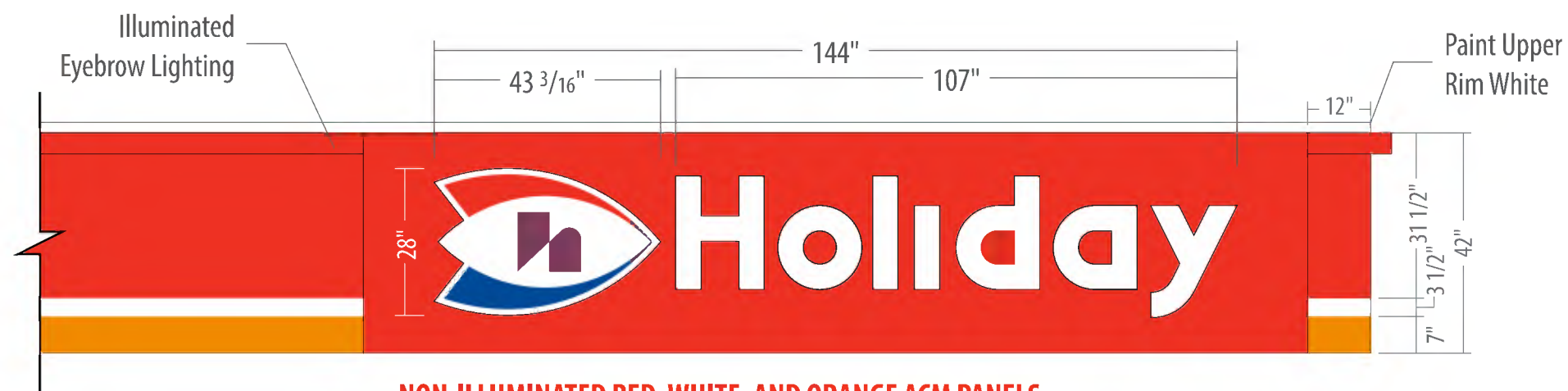
Gas Island Canopy Fascia	3'-8" x 44'-0"	161.3 SF	21.2% of available space
Illuminated Holiday Letters	30" x 150"	28.0 SF	

NORTH ELEVATION

Non-illuminated Red, White, and Orange ACM panels

EAST ELEVATION

Non-illuminated Red, White, and Orange ACM panels



NON-ILLUMINATED RED, WHITE, AND ORANGE ACM PANELS
LED EYEBROW DOWNLIGHTING ON EAST, WEST, SOUTH ELEVATIONS



CORPORATE IDENTIFICATION SOLUTIONS

CUSTOMER
HOLIDAY STORES

SITE NUMBER
3856

LOCATION
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ACCOUNT REP
BEN DEHAYES

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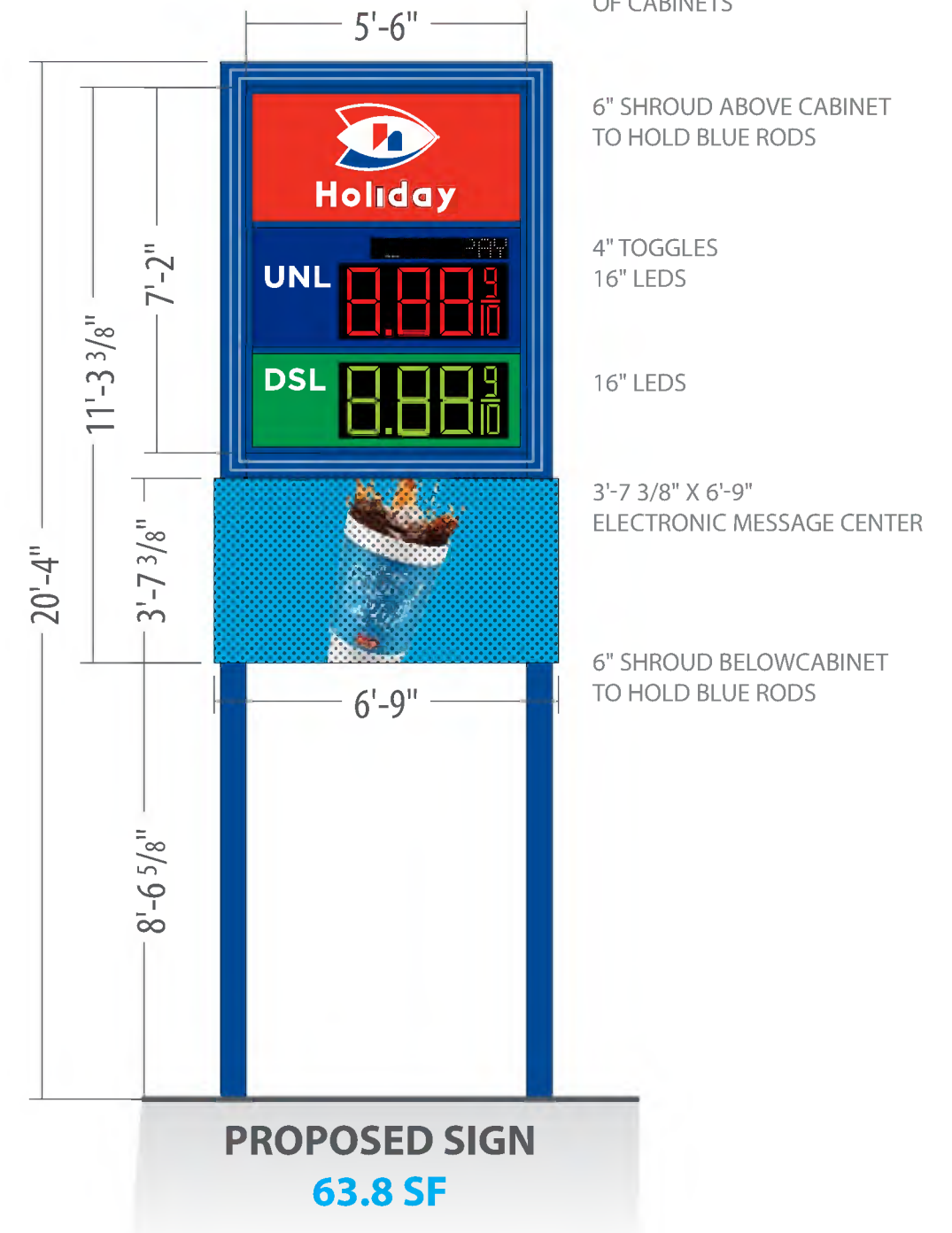
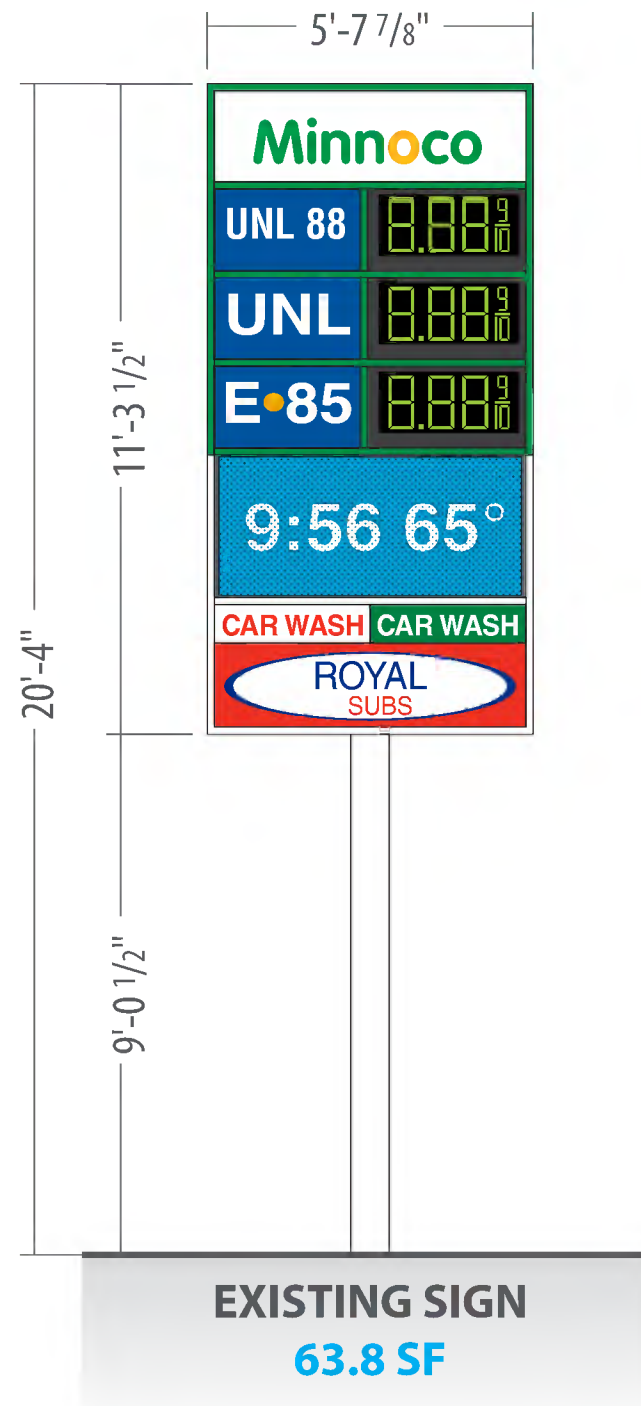
EXISTING

**NEW POLE SIGN
LOCATION**

SCOPE OF WORK

- New Pole Sign
- New Holiday faces
- New Unleaded faces, new LEDs
- New 4" toggles
- New Diesel faces, new LED
- New Electronic Message Center

ARTWORK REFLECTS CURRENT SURVEY



**CORPORATE
IDENTIFICATION
SOLUTIONS**

CUSTOMER
HOLIDAY STORES

SITE NUMBER
3856

LOCATION
HOPKINS, MN

ACCOUNT REP
BEN DEHAYES

DRAWN BY
MH

DATE
04/21/22

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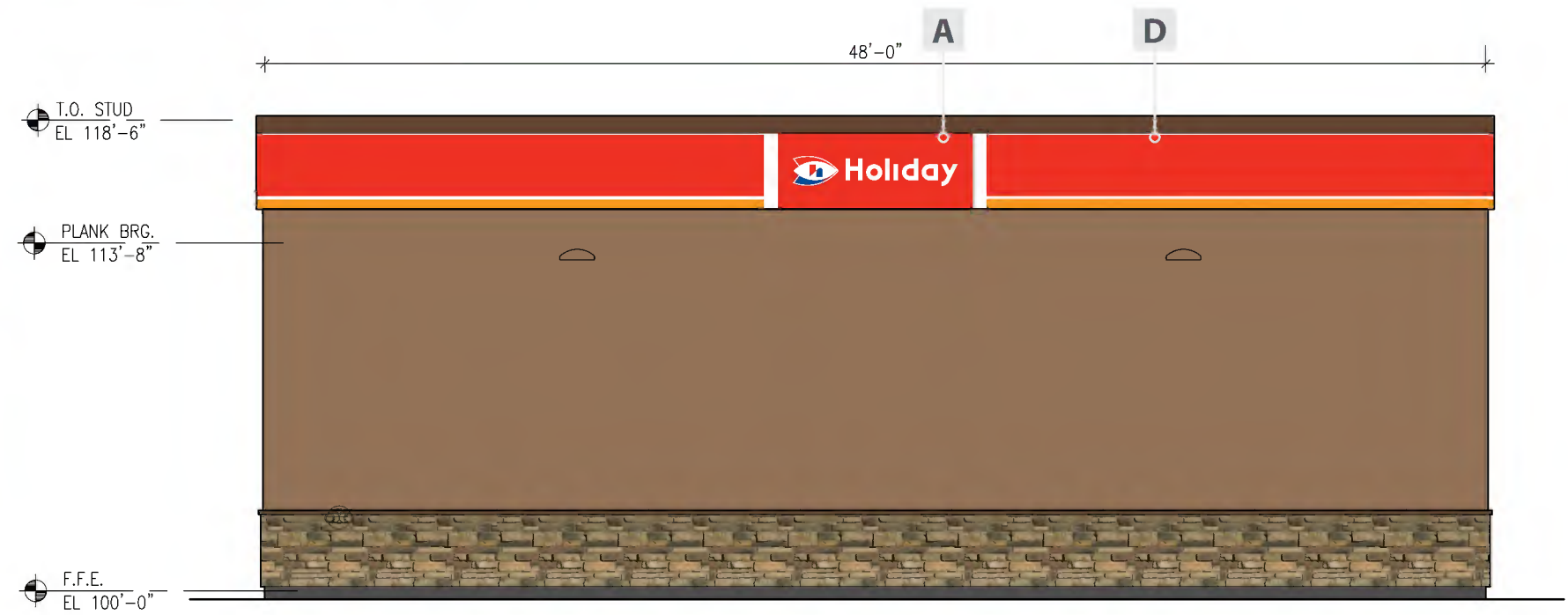
EXISTING

ARTWORK REFLECTS CURRENT SURVEY

	HEIGHT	ENTER/EXIT	SIDES
BUILDING INFO	13' 6"	42' 5"	67' 0"
FASCIA INFO	N/A	N/A	N/A

	SIGN DESCRIPTION	QTY	SIZE	AREA
A	Illuminated Holiday Shop Sign	1	3'-0" x 7'-0"	21.0 SF
B	Illuminated Car Wash Panel	2	1'-6" x 7'-8"	11.5 SF
C	Illuminated Exit Car Wash Panel	2	1'-6" x 3'-0"	4.5 SF
D	Fascia Bands	1	3'-0" high	220 LF

PROPOSED - SOUTH ELEVATION



NEW FASCIA CONSTRUCTED BY OTHERS



SCALE: 1/2" = 1'-0"



CUSTOMER
HOLIDAY STORES

SITE NUMBER
3856

LOCATION
HOPKINS, MN

ACCOUNT REP
BEN DEHAYES

DRAWN BY
MH

DATE
04/21/22

REVISION
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SCALE
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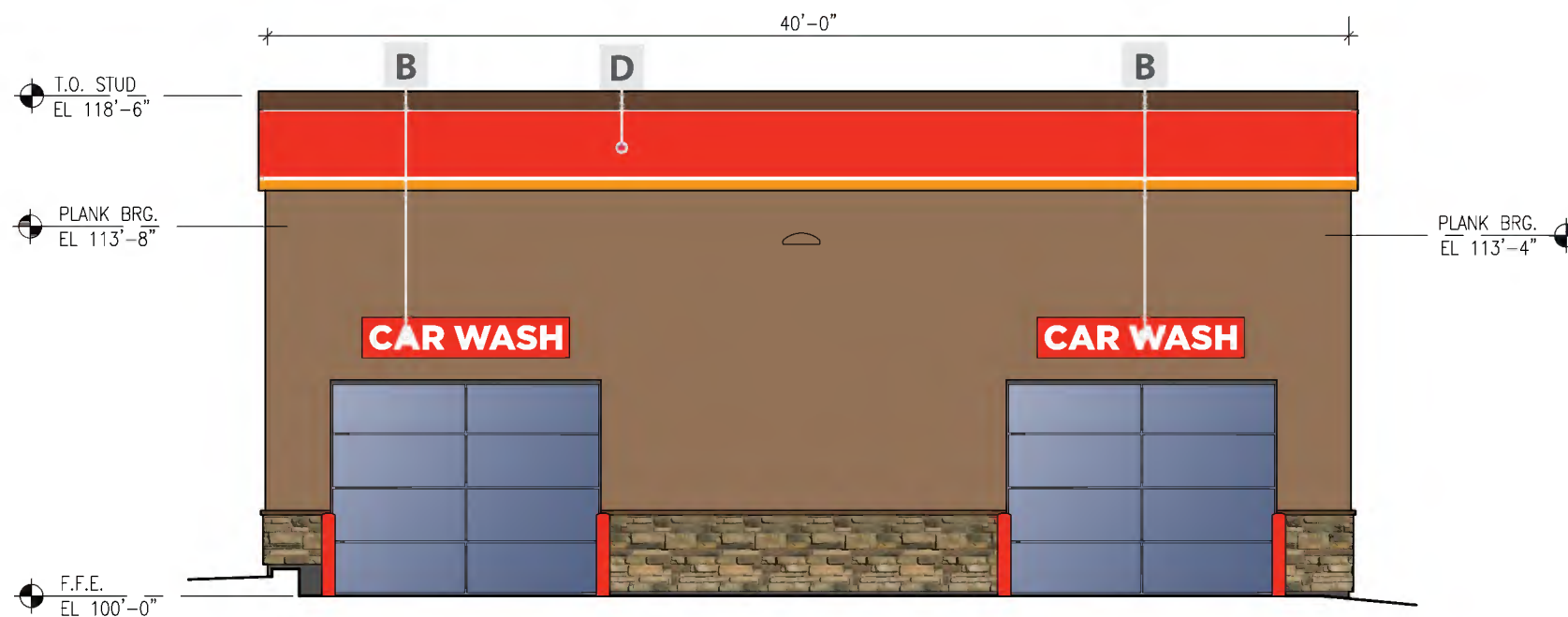


ARTWORK REFLECTS CURRENT SURVEY

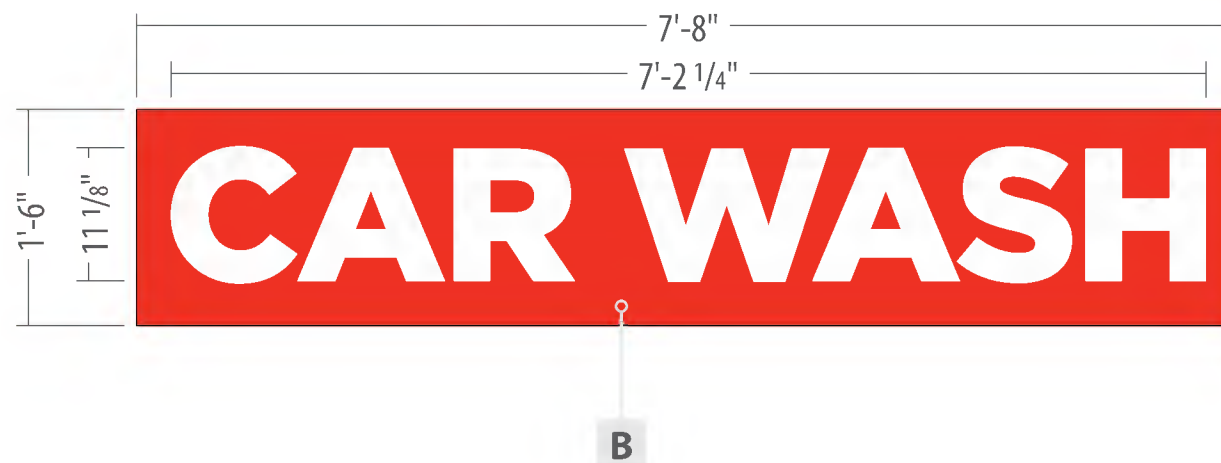
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FASCIA INFO	N/A	N/A	N/A

	SIGN DESCRIPTION	QTY	SIZE	AREA
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C	Illuminated Exit Car Wash Panel	2	1'-6" x 3'-0"	4.5 SF
D	Fascia Bands	1	3'-0" high	220 LF

PROPOSED - EAST ELEVATION



NEW FASCIA CONSTRUCTED BY OTHERS



SCALE: 3/4" = 1'-0"



CORPORATE IDENTIFICATION SOLUTIONS

CUSTOMER
HOLIDAY STORES

SITE NUMBER
3856

LOCATION
HOPKINS, MN

ACCOUNT REP
BEN DEHAYES

DRAWN BY
MH

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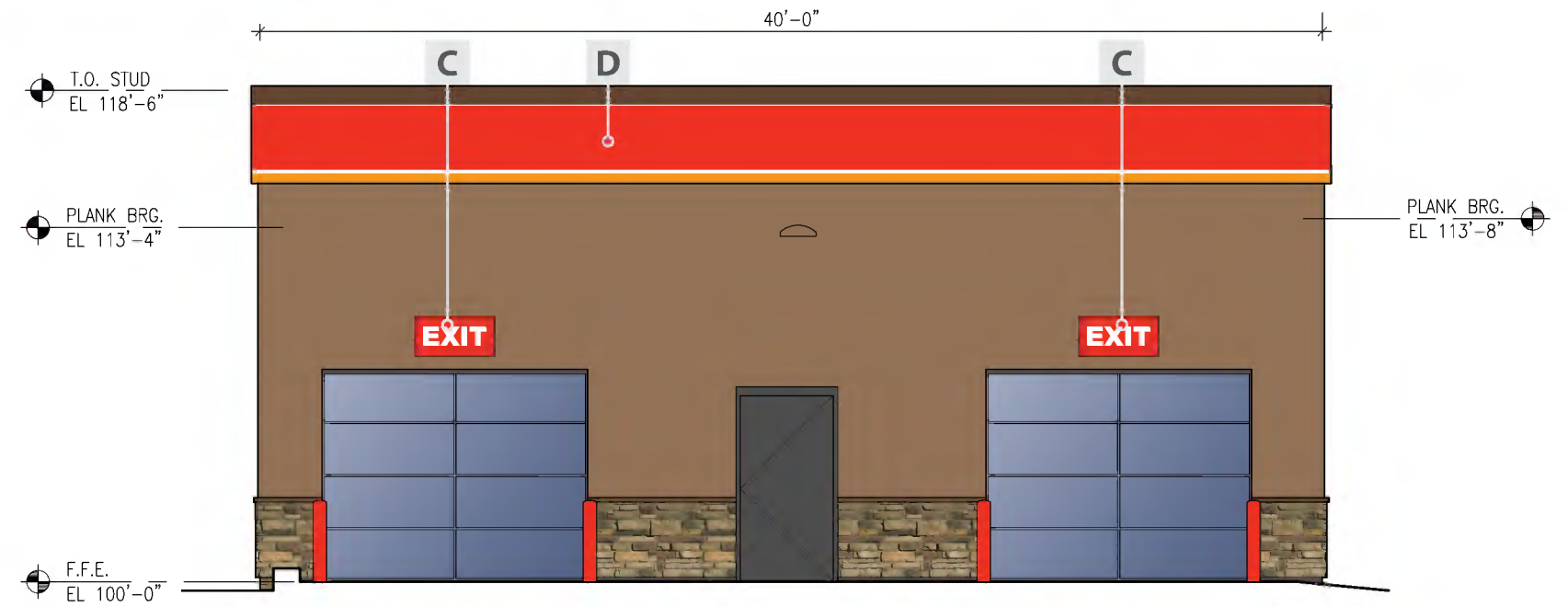
EXISTING

ARTWORK REFLECTS CURRENT SURVEY

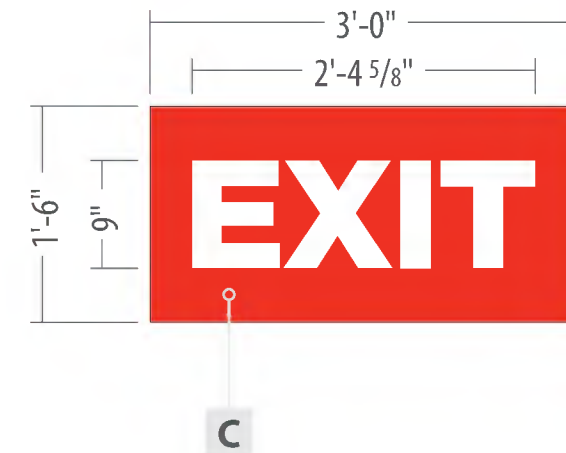
	HEIGHT	ENTER/EXIT	SIDES
BUILDING INFO	13' 6"	42' 5"	67' 0"
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D	Fascia Bands	1	3'-0" high	220 LF

PROPOSED - WEST ELEVATION



NEW FASCIA CONSTRUCTED BY OTHERS



SCALE: 3/4" = 1'-0"



CUSTOMER
HOLIDAY STORES

SITE NUMBER
3856

LOCATION
HOPKINS, MN

ACCOUNT REP
BEN DEHAYES

DRAWN BY
MH

DATE
04/21/22

REVISION
03

SCALE
NTS

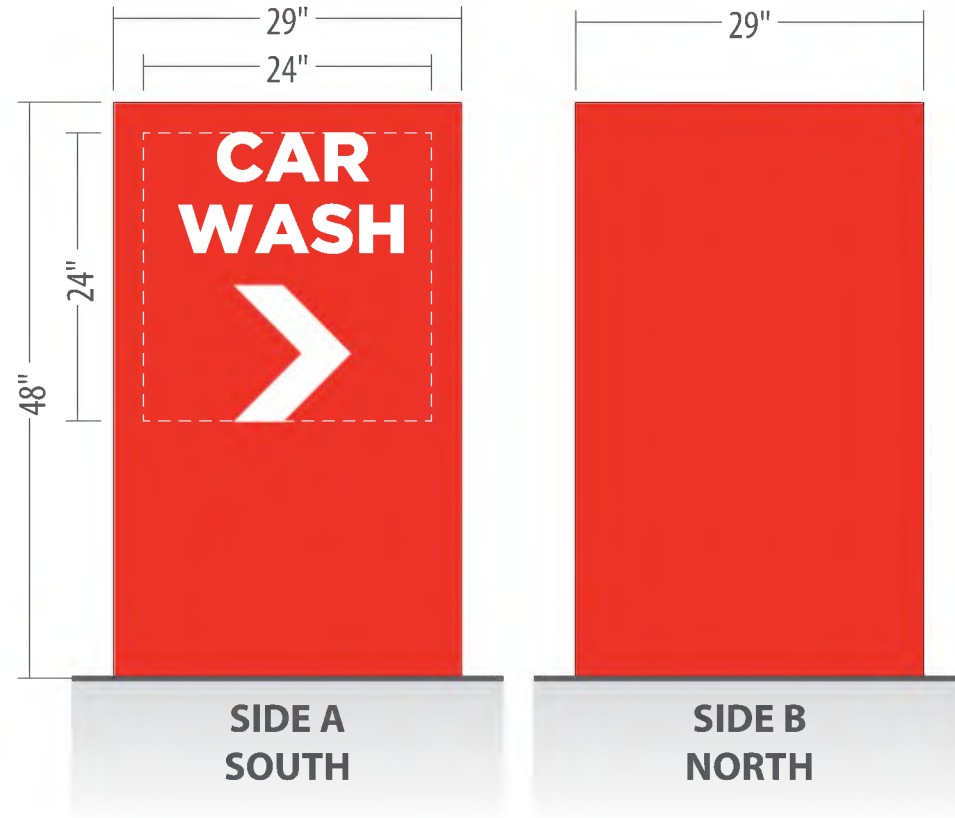
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SIGNATURE _____ **DATE** _____

QTY (1)



DIRECTIONAL B
NON-ILLUMINATED
4.0 SF



CORPORATE IDENTIFICATION SOLUTIONS

CUSTOMER
 HOLIDAY STORES
SITE NUMBER
 3856

LOCATION
 HOPKINS, MN
ACCOUNT REP
 BEN DEHAYES

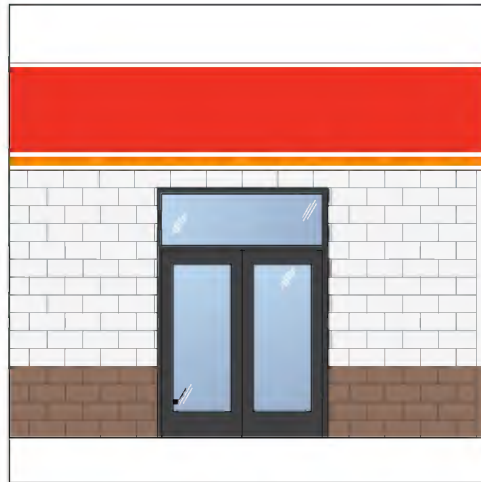
DRAWN BY
 MH
DATE
 04/21/22

REVISION
 03
SCALE
 NTS

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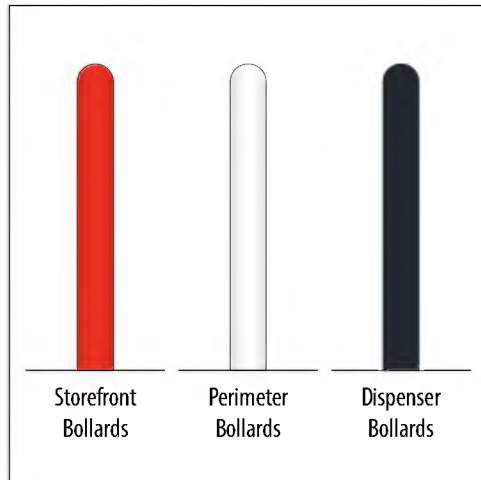
TYPICAL CIRCLE K PAINT SCHEDULE



STORE/CAR WASH BUILDINGS

NUTHATCH paint from grade to 30" above grade starting at entry door. To remain horizontal and may change in elevation from starting point.

EGRET WHITE paint from 30" above grade to bottom of fascia.

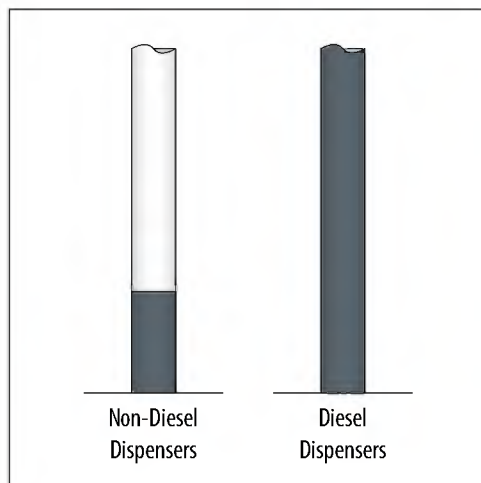


BOLLARDS

SAFETY RED for bollards along storefront and Car Wash (if applicable).

BRIGHT WHITE for bollards along perimeter of forecourt.

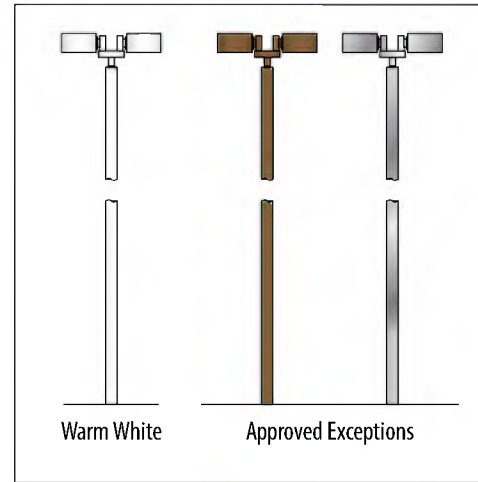
GRAYS HARBOR for bollards next to fuel dispensers.



CANOPY COLUMNS

GRAYS HARBOR paint from grade to 24" above grade for non-diesel fuel dispensers. Diesel dispensers paint entire column.

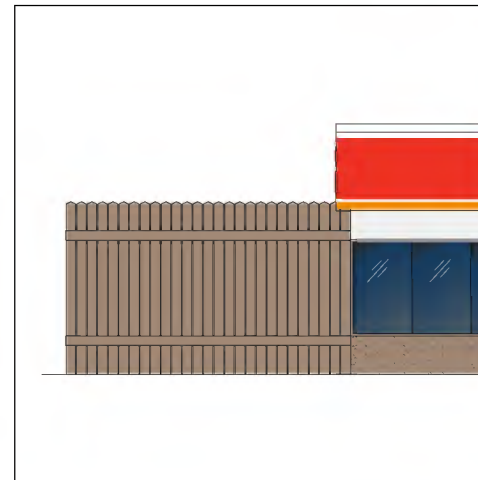
BRIGHT WHITE paint from 24" above grade to bottom of canopy on non-diesel fuel dispensers.



LIGHTPOLES

BRIGHT WHITE paint entire light pole*

*if existing light poles are either silver or duranodic bronze, then the light poles are approved to remain as is.



DUMPSTER ENCLOSURE

NUTHATCH paint entire enclosure.



MERCHANDISE DISPLAYS

If there are exterior merchandising displays with previous Circle K branding, then update to the new Circle K branding.

PAINT COLORS

-  **SAFETY RED**
SW #4081
Semi-gloss finish
-  **BRIGHT WHITE**
RAL9016
Semi-gloss finish
-  **EGRET WHITE**
SW #7570
Semi-gloss finish
-  **NUTHATCH**
SW #6088
Semi-gloss finish
-  **GRAYS HARBOR**
SW #6236
Semi-gloss finish

SIGN COLORS

-  **PRIMARY RED**
Pantone 485
3M 3630-33 Red
-  **PRIMARY ORANGE**
Pantone 144
3M 3630-3540 Tangerine

Planning Commission Resolution No. 2021-

**Resolution approving an expansion permits and variance for
Minnetonka Properties Group at 12908 Minnetonka Blvd.**

Be it resolved by the Planning Commission of the City of Minnetonka, Minnesota, as follows:

Section 1. Background.

1.01 The property is located at 12908 Minnetonka Blvd. The property is legally described as:

Parcel A:

Lots 27 and 29, "Auditor's Subdivision No. 353, Hennepin County, Minnesota"

And

Parcel B:

Lot 28, "Auditor's Subdivision No. 353, Hennepin County, Minnesota"

Torrens Certificate No: 1519475

1.02 City records and aerial photography indicate that the existing structures, while having gone through reconstruction over time, were constructed prior to the adoption of the city's first zoning ordinance. The existing property and structures have non-conforming aspects.

1.03 Tony Rammer, on behalf of Minnetonka Properties Group, is proposing façade improvements to the existing convenience, gas canopy, and car wash. The following chart summarizes the existing and proposed conditions:

	Required	Gas Canopy		Convenience store		Car Wash	
		Existing	Proposed	Existing	Proposed	Existing	Proposed
Front Yard Setback	50 ft.	14 ft.		9 ft. 0 ft. for deck	8.5 ft * 0 ft. for pergola	6 ft.	6 ft.
East Side Yard	35 ft.	-	-	-	-	43 ft.	43 ft.

Setback							
West Side yard Setback	35 ft.	43 ft.	43 ft.	-	-	-	-
Rear Yard Setback	35 ft.	39 ft.	39 ft.	23 ft.	23 ft **	50 ft.	50 ft
Building Height	35 ft.	17 ft.	17 ft.	13 ft.	16 ft **	17 ft.	18 ft. **
Lot coverage	85 percent	92 percent					
* requires variance ** requires expansion permit							

- 1.04 An existing pylon sign on the site is 63.8 square feet in size and is located within the right-of-way of Minnetonka Blvd.
- 1.05 The proposal also includes a new pylon sign. The sign would have a setback of three feet from the southerly property line and would have a size of 63.8 square feet. By City Code Sec. 325.05, Subd. 4, signs must maintain a 10-foot setback from all lot lines. By City Code Sec. 325.06, Subd. 3, the maximum size for the property is 60 square feet.
- 1.06 Minnesota Statute §462.357 Subd. 1(e)(b) allows a municipality, by ordinance, to permit an expansion of nonconformities.
- 1.07 City Code §300.29 Subd. 3(g) allows expansion of a nonconformity only by variance or expansion permit.
- 1.08 City Code §300.07 authorizes the planning commission to grant variances.
- 1.09 City Code §300.29 Subd. 7(c) authorizes the planning commission to grant expansion permits.
- Section 2. Standards.
 - 2.01 By City Code §300.07 Subd. 1, a variance may be granted from the requirements of the zoning ordinance when: (1) the variance is in harmony with the general purposes and intent of this ordinance; (2) when the variance is consistent with the comprehensive plan; and (3) when the applicant establishes that there are practical difficulties in complying with the ordinance. Practical difficulties mean: (1) The proposed use is reasonable; (2) the need for a variance is caused by circumstances unique to the property, not created by the property owner, and not solely based on economic considerations; and (3) the proposed use would not alter the essential character of the surrounding area.
 - 2.02 City Code §300.29 Subd. 7(c) states that an expansion permit may be granted but is not mandated when an applicant meets the burden of proving that:

1. The proposed expansion is a reasonable use of the property, considering such things as functional and aesthetic justifications for the expansion; adequacy of off-site parking for the expansion; absence of adverse off-site impacts from such things as traffic, noise, dust, odors, and parking; and improvement to the appearance and stability of the property and neighborhood.
2. The circumstances justifying the expansion are unique to the property, are not caused by the landowner, are not solely for the landowners' convenience, and are not solely because of economic considerations; and
3. The expansion would not adversely affect or alter the essential character of the neighborhood.

Section 3. Findings.

3.01 The proposal meets the variance standard outlined in City Code §300.07 Subd. 1(a):

1. **PURPOSE AND INTENT OF THE ZONING ORDINANCE:** The intent of the setback requirements for signs is to ensure adequate separation of the sign to adjacent properties and rights-of-way. The existing pylon sign is located within the sidewalk and the Minnetonka Blvd. right-of-way. Given the setback of the existing buildings and sign, the location of the proposed pylon sign is a significant improvement over existing conditions.
2. **CONSISTENT WITH COMPREHENSIVE PLAN:** An overall growth strategy listed in the 2040 Comprehensive Guide plan is to increase vitality in the neighborhood, community, and special purpose village centers. The comprehensive guide plan recognizes that each of the village centers is unique and distinctive based on the individual scale and function of uses within the area. The setback variance would improve the pedestrian circulation and would allow for reinvestment into the Minnetonka Mills village center.
3. **PRACTICAL DIFFICULTIES:** There are practical difficulties in complying with the ordinance:
 - a) **REASONABLENESS and UNIQUE CIRCUMSTANCE:** The existing sign is located on the sidewalk and within the Minnetonka Blvd. right of way. The existing sign is also larger than what would be allowed by ordinance. The applicant worked with staff to ensure that the new sign would not be larger than what exists on the site today. Additionally, the proposed sign, while still requiring a setback variance, would be a significant improvement over existing conditions.

- b) CHARACTER OF LOCALITY: The sign would be consistent with signs located within commercial districts.

3.02 The application for the expansion permit is reasonable and would meet the required standards outlined in City Code §300.29 Subd. 7(c):

1. Reasonableness and Neighborhood Character: But for the façade protrusions, the buildings would not encroach further into the non-conforming front or rear yard setbacks than the existing setbacks. The proposal would result in a building and pedestrian environment design that is cohesive and consistent with the Minnetonka Mills area.
2. Unique Circumstance: The structures were constructed prior to the adoption of the city’s first zoning ordinance. The vertical expansion is well within allowable heights for conforming buildings; they would not require an expansion permit if the buildings met current setback requirements. The building previously had a roughly three-foot mansard roof overhang. The façade protrusions would occupy less space within the required setback than the previous overhang.

Section 4. Planning Commission Action.

4.01 The planning commission approves the above-described expansion permit based on the findings outlined in section 3 of this resolution. Approval is subject to the following conditions:

1. Subject to staff approval, the property must be developed in substantial conformance with the following plans, except as modified by the conditions below.
 - Elevations and floor plans dated Jan. 26, 2022, received April 21, 2022
 - Sign plan date April 21, 2022
2. Prior to submission of a building permit, hold a pre-permit submittal meeting with the appropriate staff.
3. Prior to issuance of a building permit:
 - a) This resolution must be recorded with Hennepin County.
 - b) Install temporary erosion control and tree protection fencing for staff inspection. These items must be maintained throughout the course of construction.
 - c) Submit a landscaping plan. This plan must:
 - 1) Meet minimum landscaping and mitigation requirements as outlined in the ordinance. Note, only include small shrubs,

- perennials, and grasses may be located in public easements.
- 2) Remove the tree/shrub that is within three feet of the fire hydrant near the southwest corner of the convenience store.
 - 3) Remove the shrub and fence from in front of the car wash fire department connection (FDC), near the southwest corner of the car wash. The FDC must have a three-foot clearance around it and be clear to the sidewalk.
3. Provide six-inch address numbers facing Minnetonka Blvd. These numbers must contrast the building background materials.
 4. Sign permits are required for all signs.
 5. A permit from Hennepin County may be required for work within the Minnetonka Blvd right-of-way.
 6. All rooftop and ground-mounted mechanical equipment, and exterior trash and recycling storage areas, must be enclosed with materials compatible with the principal structure, subject to staff approval. Low-profile, self-contained mechanical units that blend in with the building architecture are exempt from the screening requirement.
 7. This approval will end on December 31, 2023, unless the city has issued a building permit for the project covered by this expansion permit approval or approved a time extension.

Adopted by the Planning Commission of the City of Minnetonka, Minnesota, on April 28, 2022.

Josh Sewall, Chairperson

Attest:

Fiona Golden, Deputy City Clerk

Action on this resolution:

Motion for adoption:

Seconded by:

Voted in favor of:

Voted against:

Abstained:

Absent:

Resolution adopted.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the Planning Commission of the City of Minnetonka, Minnesota, at a duly authorized meeting held on April 28, 2022

Fiona Golden, Deputy City Clerk

MINNETONKA PLANNING COMMISSION
April 28, 2022

Brief Description Conditional use permit for a drive-up ATM at 11400 Hwy 7

Recommended Action Recommend the city council adopt the resolution denying the request.

The Country Village Shopping Center is located at 11400 Hwy 7. The center contains a variety of retail and service uses. Though technically located on a separate property, First Minnetonka City Bank occupies a two-story office building within the shopping center parking lot.

Several months ago, representatives from Chase Bank approached city staff about installing a drive-up automated teller machine (ATM) on the 11400 Hwy 7 property. Staff indicated that the property is zoned B-2, limited business. Within this zoning district, “uses with a drive-up window” are conditionally permitted. Staff thought that the ATM would be similar to such use. Chase Bank subsequently submitted a conditional use permit (CUP) application for the ATM installation.



Staff Analysis

The staff has reviewed the proposal in greater detail. In consultation with the city attorney, staff has determined that the drive-up ATM is not adequately similar to “uses with a drive-up window.” The plain language of the ordinance illustrates its intent, which is to allow building uses – such as banks, pharmacies, coffee shops – to have drive-up *windows*. In short, the standalone ATM is not allowed on the site with or without a CUP.¹ City staff made the applicant aware of this and offered to refund the application fees.

Staff does acknowledge that a drive-up ATM could be associated with an established bank with a conditional use permit and a drive-up window providing adequate vehicle stacking. In this case, neither is proposed. Approving a standalone ATM may result in other requests for automated or unoccupied facilities within parking lots.

Staff Recommendation

Recommend the city council adopt the resolution denying a conditional use permit for a drive-up ATM at 11400 Hwy 7.

Originator: Susan Thomas, AICP, Assistant City Planner
Through: Loren Gordon, AICP, City Planner

¹ By contrast, if Chase Bank occupied a building or tenant space on the site, a drive-up ATM may be allowed by CUP. The city has approved two such CUPs in recent years.

Supporting Information

Subject Property The subject property is zoned B-2 and has a commercial land use designation in the 2040 Comprehensive Guide Plan.

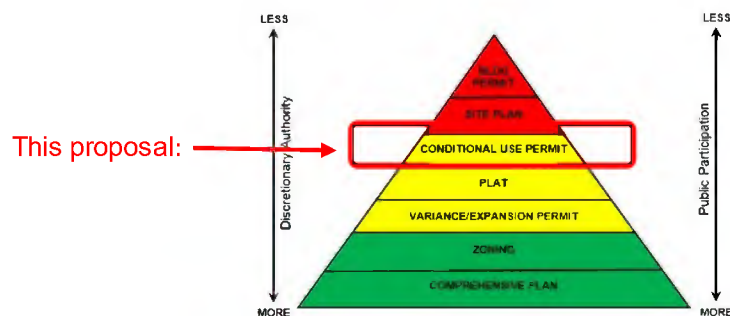
Surrounding Property North: Office building and multi-family residential, zoned B-1, PUD and R-3
South: Hwy 7
East: Perkins, zoned B-2
West: Regional pedestrian trail

Neighborhood Comments The city sent notices to 111 area property owners and residents and received no written comments to date.

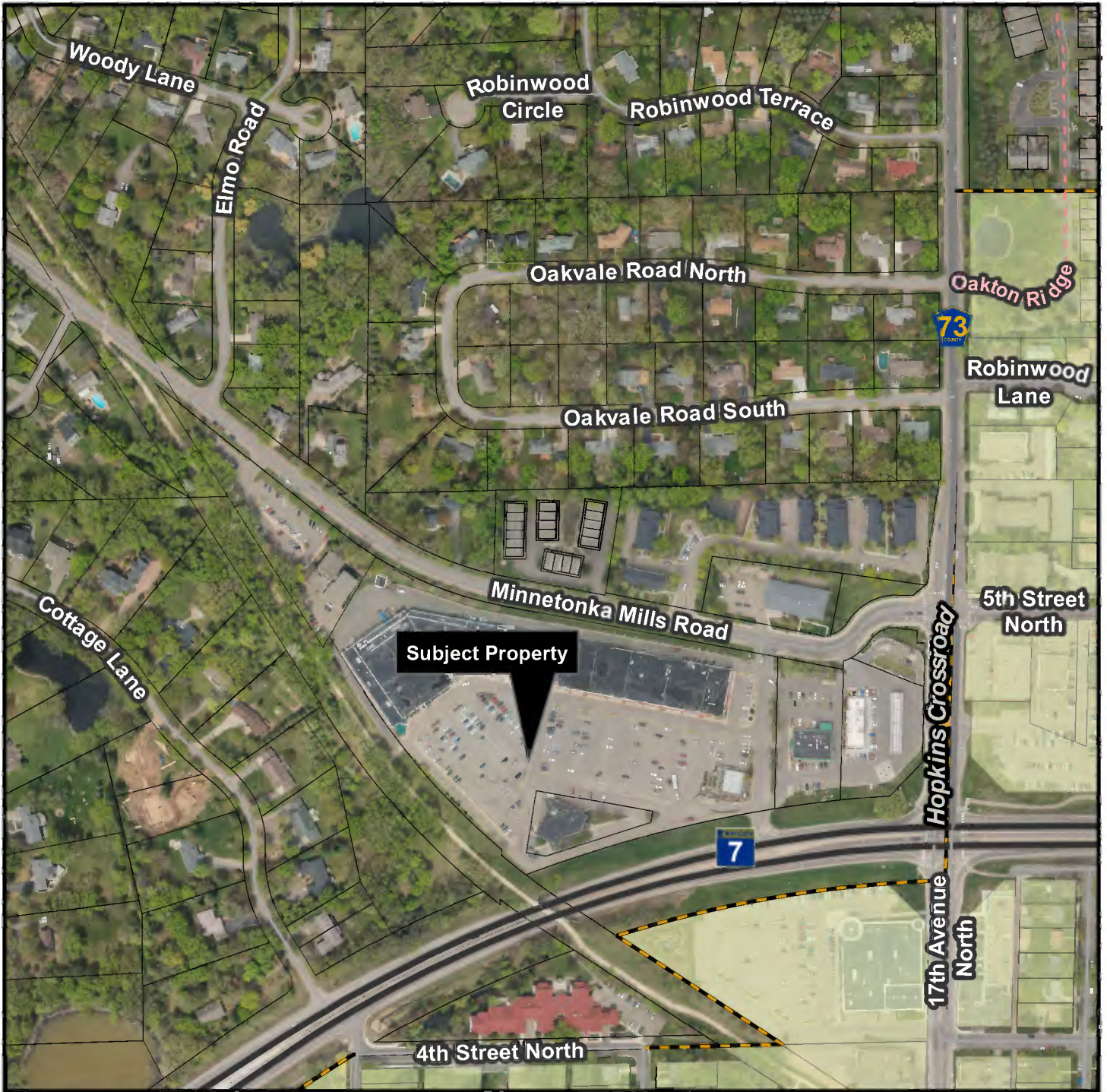
Commission Action The planning commission will make a recommendation to the city council; a recommendation requires a majority vote of the commission. The council's final decision also requires a simple majority vote. The planning commission has the following options:

1. Concur with staff's recommendation. In this case, a motion should be made recommending the city council adopt the resolution denying the request.
2. Disagree with the staff's recommendation. In this case, a motion should be made recommending the city council approve the request. The motion should include statements as to how the drive-up ATM is similar to other conditionally-permitted uses for the property.
3. Table the request. In this case, a motion should be made to table the item. The motion should include a statement as to why the request is being tabled with direction to staff, the applicant, or both.

Pyramid of Discretion

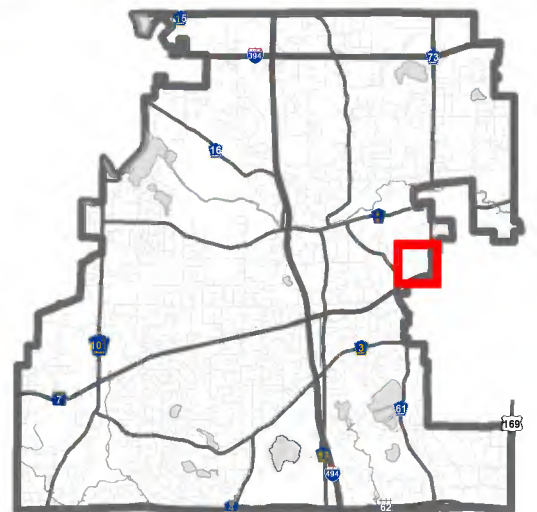


Deadline for Action June 27, 2022



Location Map

Project: Chase Bank ATM
Address: 11400 Hwy 7



Client
Development
Management
Group, LLC

Project
Free Standing
ATM

Location
11400 Highway 7
Minnetonka, Mn

Certification
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed LAND SURVEYOR under the laws of the State of Minnesota.

Mark R. Salo
Mark R. Salo
Registration No. 43933 Date: 2/18/2022
If applicable, contact us for a wet signed copy of this survey which is available upon request at Sambatek's, Minnetonka, MN office.

Summary
Approved: MS Drawn: CM

Revision History

No.	Date	By	Submittal / Rev.
A	02/18/22	MS	Adjust site to the west

Sheet Title
Existing
Conditions

Sheet No. Revision
1 A
Project No. 22647

BENCHMARKS

- THE VERTICAL DATUM IS BASED ON NAVD88. THE ORIGINATING BENCH MARKS IS MNDOT GEODETIC CONTROL POINT BR5114 MNDT

BENCHMARK #1
BR5114 MNDT ELEV.=950.38
NORTHING: 151559.6267'
EASTING: 489252.6492'

SURVEY NOTES

- THE BEARING SYSTEM IS BASED ON THE HENNEPIN COUNTY COORDINATE SYSTEM, NAD83 (1986 ADJUST).
- FIELD WORK WAS COMPLETED ON 12/13/2021.
- THE PROPERTY LIES WITHIN FLOOD PLAIN ZONE X WHEN SCALED FROM FIRM MAP NO. 27053C0341F HAVING AN EFFECTIVE DATE OF 11/4/2016

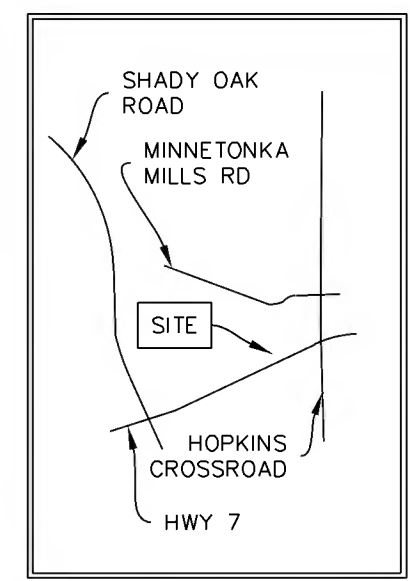
LEGAL DESCRIPTION

That part of Tract A, REGISTERED LAND SURVEY NO. 1591, Hennepin County, Minnesota, described as follows:
Commencing at the southeast corner of said Tract A; thence N83°57'36"W assuming the east line of said Tract A bears North 01 degrees 22 minutes 25 seconds East, a distance of 171.54 feet to the point of beginning; thence North 79 degrees 23 minutes 39 seconds West, a distance of 91.00 feet; thence North 10 degrees 22 minutes 06 seconds East a distance of 98.00 feet; thence South 79 degrees 23 minutes 39 seconds East a distance of 91.00 feet; thence South 10 degrees 22 minutes 06 seconds West a distance of 98.00 feet to the point of beginning and there terminating.

LEGEND

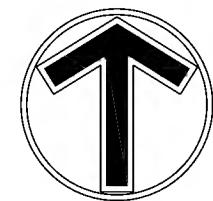
- FOUND MONUMENT
- SET MONUMENT MARKED LS 21729
- ⊠ ELECTRIC METER
- ☀ LIGHT
- Ⓜ AIR CONDITIONER
- ← GUY ANCHOR
- ♿ HANDICAP STALL
- Ⓜ UTILITY POLE
- ⦿ POST
- Ⓜ SIGN
- WATERMAIN
- SANITARY SEWER
- STORM SEWER
- △— FLARED END SECTION
- △— ELECTRIC TRANSFORMER
- TELEPHONE PEDESTAL
- GAS METER
- OVERHEAD WIRE
- CHAIN LINK FENCE
- |— IRON FENCE
- x— WIRE FENCE
- WOOD FENCE
- EASEMENT LINE
- SETBACK LINE
- RESTRICTED ACCESS
- === CONCRETE CURB
- /// BUILDING LINE
- BUILDING CANOPY
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- LANDSCAPE SURFACE
- DECIDUOUS TREE
- CONIFEROUS TREE

VICINITY MAP

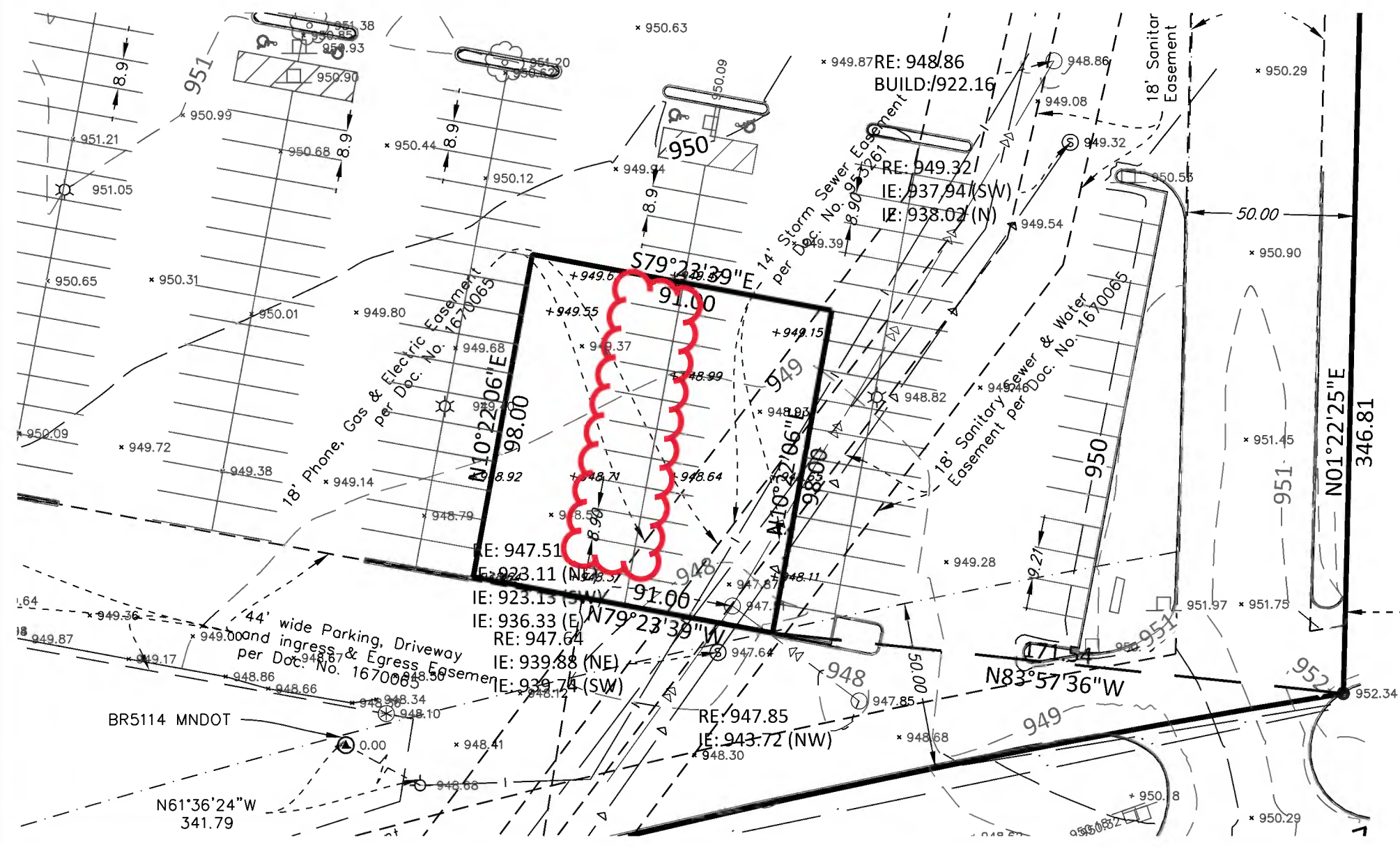
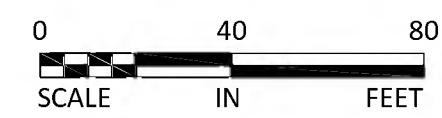


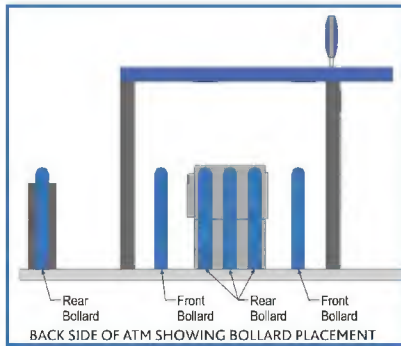
SETBACKS

FRONT: (LOCAL STREET)	35 FEET
FRONT: (COLLECTOR/ARTERIAL STREET)	50 FEET
SIDE:	10 FEET
REAR:	40 FEET
FLOODPLAIN:	20 FEET
WETLAND:	35-60 FEET



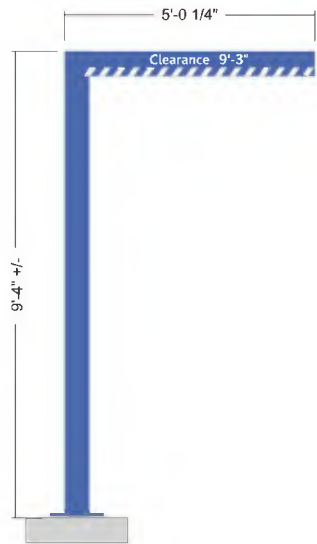
NORTH





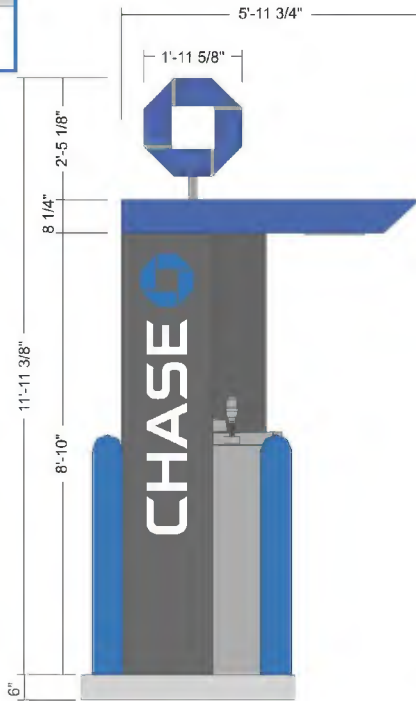
Chase blue Metallic
Matthews paints 49353

Chase ATM Nickel
Matthews paints 18101

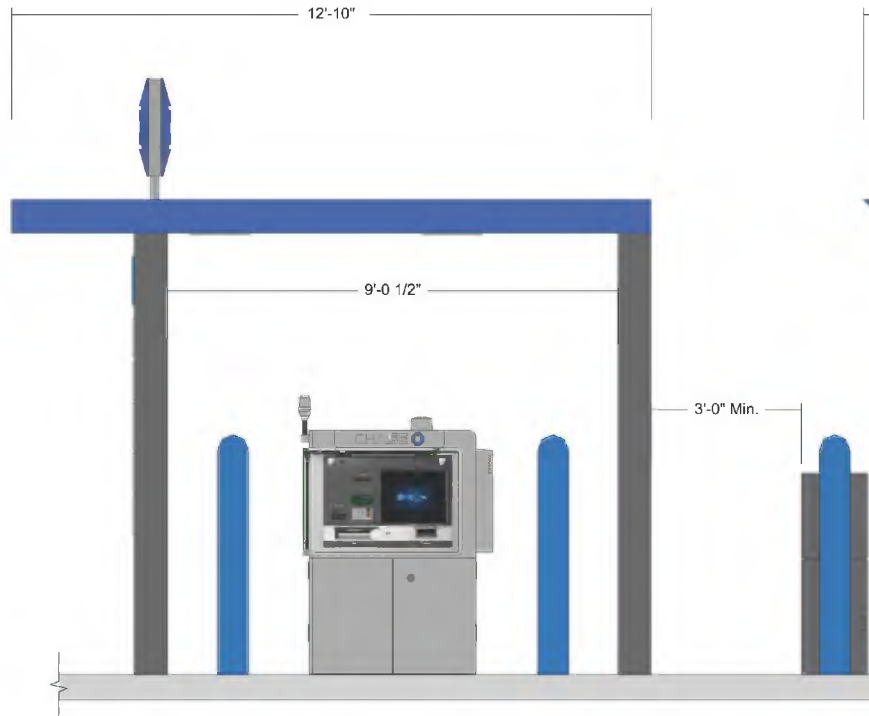


ELEVATION

E01 HB-U Headache Bar



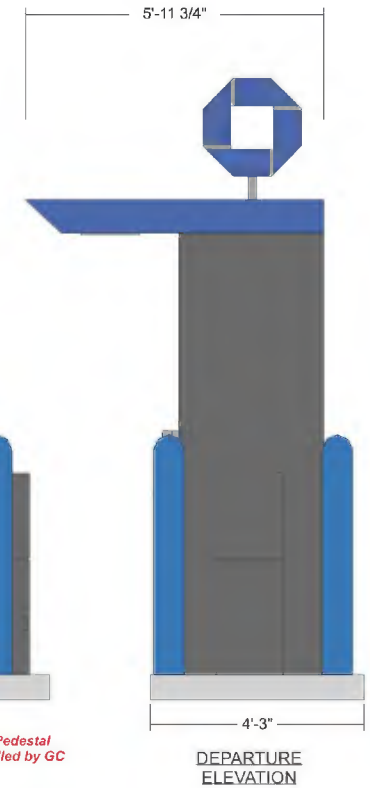
APPROACH
ELEVATION



ELEVATION

E02 CAN-ATM-SIG-OCT ATM Signature Canopy w/ Octagon

* Utility Pedestal
to be installed by GC



DEPARTURE
ELEVATION

ALIGNED STUDIO, LLC
ARCHITECTURE+DESIGN

13100 Manchester Road #225
St. Louis, Missouri 63131
314.317.0060

JP MORGAN CHASE ATM
11301-11400 Highway 7
Minnetonka, Minnesota 55305

6.5

CHASE SIGNATURE CANOPY AND DRIVE-UP ATM COUNTRY VILLAGE SHOPPING CENTER 11301-11400 HIGHWAY 7 MINNETONKA, MN 55305

CODE INFORMATION

ARCHITECTURAL: 2020 MINNESOTA STATE BUILDING CODE/2018 IBC
ELECTRICAL: MINNESOTA ELECTRICAL CODE
ENERGY CODE: 2020 MINNESOTA ENERGY CODE

BUILDING CONSTRUCTION TYPE: IIB (NON-COMBUSTIBLE UNPROTECTED)
BUILDING USE GROUP: (B) BUSINESS
NUMBER OF STORIES: (1) ONE
FIRE PROTECTION: NON-SPRINKLERED
ACCESSIBILITY: PLANS COMPLY WITH CHAPTER 11, 2015 IBC

TOTAL BUILDABLE GROSS AREA = 1,296 S.F.

GENERAL NOTES

- GC TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY PROJECT MANAGER OF ANY DISCREPANCIES IMMEDIATELY.
- GC IS RESPONSIBLE FOR COORDINATION OF SCHEDULE, DELIVERY, AND INSTALLATION OF ALL VENDOR-PROVIDED ITEMS. GC IS ADDITIONALLY RESPONSIBLE FOR COORDINATING ALL PLAN REVIEW WITH ANY AND ALL VENDORS.
- GC SHALL ENSURE THAT ALL WASTE, BOTH HAZARDOUS AND NON-HAZARDOUS, IS DISPOSED OF AND/OR RECYCLED IN ACCORDANCE WITH ALL CODES AND ORDINANCES, INCLUDING LOCAL, STATE, AND NATIONAL LAWS AND REGULATIONS.

CONTACT INFORMATION

DESIGNER:
ALIGNED STUDIO, LLC
13100 MANCHESTER ROAD, SUITE 225
ST. LOUIS, MISSOURI 63131
314.317.0060
CONTACT: RANDY WINZEN OR MICKI WEHMEIER
randy@aligned-studio.com
micki@aligned-studio.com

ELECTRICAL ENGINEER:
HENDEKSON ENGINEERING
8311 WEST SUNSET ROAD, SUITE 240
LAS VEGAS, NEVADA
702.635.3507
CONTACT: MICHAEL BRANSON
michael.branson@hendersonengineers.com

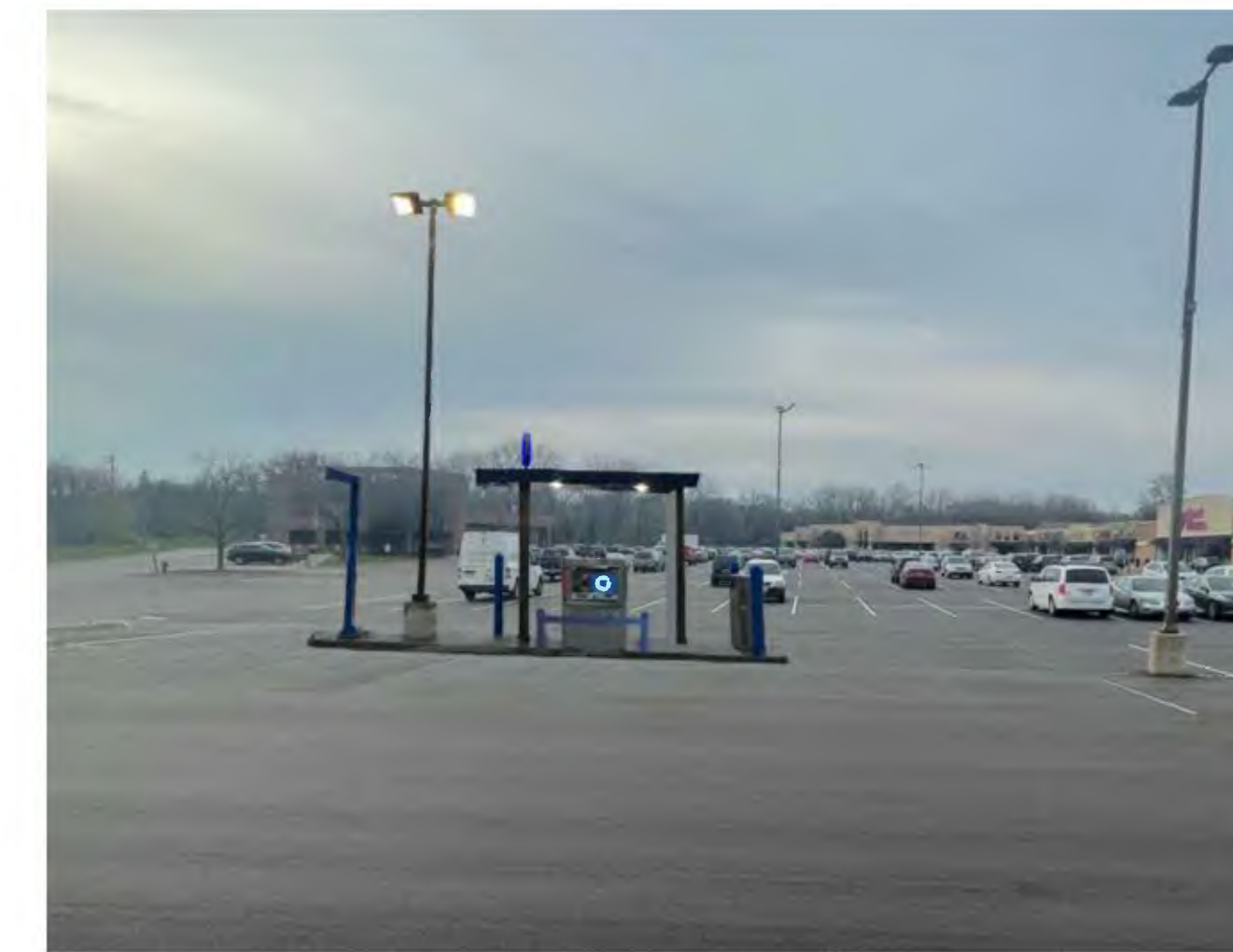
GENERAL CONTRACTOR:
GOLDEN SANDS GENERAL CONTRACTORS
12200 N STEMMONS FRWY #305
DALLAS, TEXAS 75234
979.398.0374
CONTACT: PABLO CHAVEZ
pablo.chavez@goldensandsgc.com

DRAWING INDEX

	ISSUED FOR PRELIMINARY CD PAGE TURN REVIEW DATE: 09.30.21	ISSUED FOR INTERNAL CD PAGE TURN REVIEW DATE: 10.01.21	ISSUED FOR CD PAGE TURN DATE: 10.06.21	ISSUED FOR PERMIT SUBMITTAL DATE: 10.11.21	ISSUED FOR C.L.P. SUBMITTAL DATE: 11.27.21	ISSUED FOR C.L.P. SUBMITTAL REVISION DATE: 01.04.22	ISSUED FOR PERMIT SUBMITTAL REVIEW DATE: 02.16.22	ISSUED FOR PERMIT SUBMITTAL FINAL REVIEW DATE: 02.25.22	ISSUED FOR PERMIT SUBMITTAL DATE: 03.01.22
ARCHITECTURAL									
A0.00	TITLE SHEET	X	X	X	X	X	X	X	X
A1.02	SITE DEMOLITION PLAN	X	X	X	X	X	X	X	X
A2.01	ENLARGED SITE PLAN	X	X	X	X	X	X	X	X
A4.01	ENLARGED PLAN, ELEVATIONS, AND SECTIONS	X	X	X	X	X	X	X	X
ELECTRICAL									
E1.0	SYMBOLS LIST AND GENERAL NOTES	X	X	X	X	X			X
E2.0	PHOTOMETRICS PLAN	X	X	X	X	X			X
E3.0	SITE PLAN	X	X	X	X	X			X
E3.1	RISER DIAGRAMS	X	X	X	X	X			X
E4.0	ENERGY COMPLIANCE	X	X	X	X	X			X
E5.0	ELECTRICAL SPECIFICATIONS	X	X	X	X	X			X
E6.0	ELECTRICAL SPECIFICATIONS	X	X	X	X	X			X

CHASE

ATM RENDERING



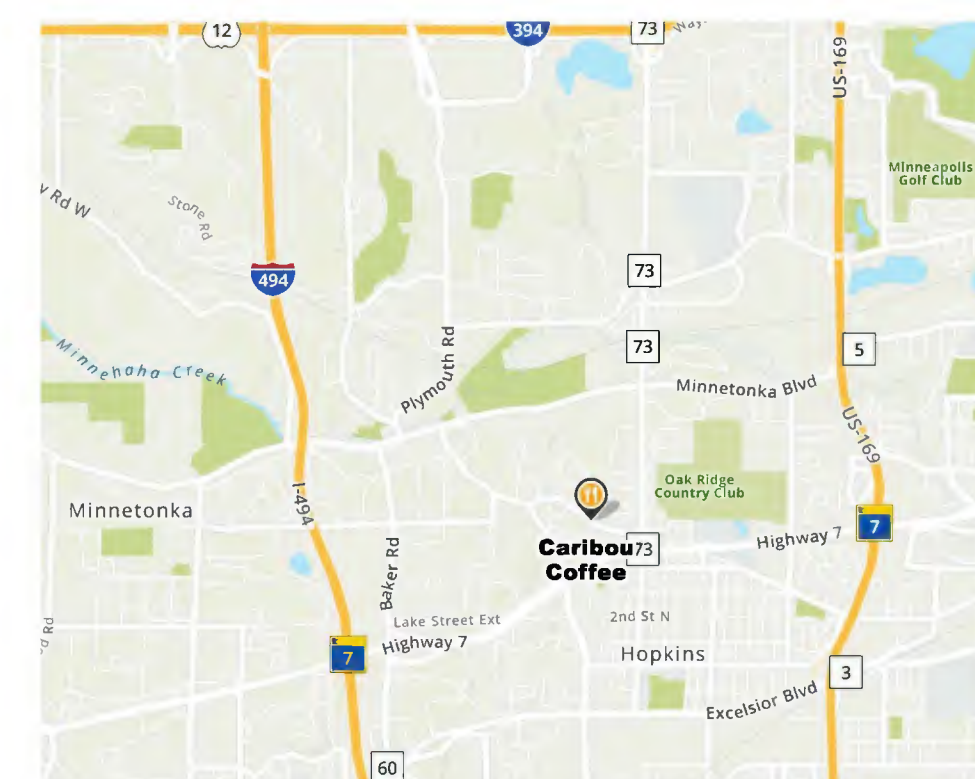
PROJECT DESCRIPTION

DRIVE-UP AUTOMATIC TELLER MACHINE WITH CHASE SIGNATURE CANOPY DESIGN AND ASSOCIATED DRIVE LANE, PAVEMENT STRIPING AND LIGHT STANDARD.

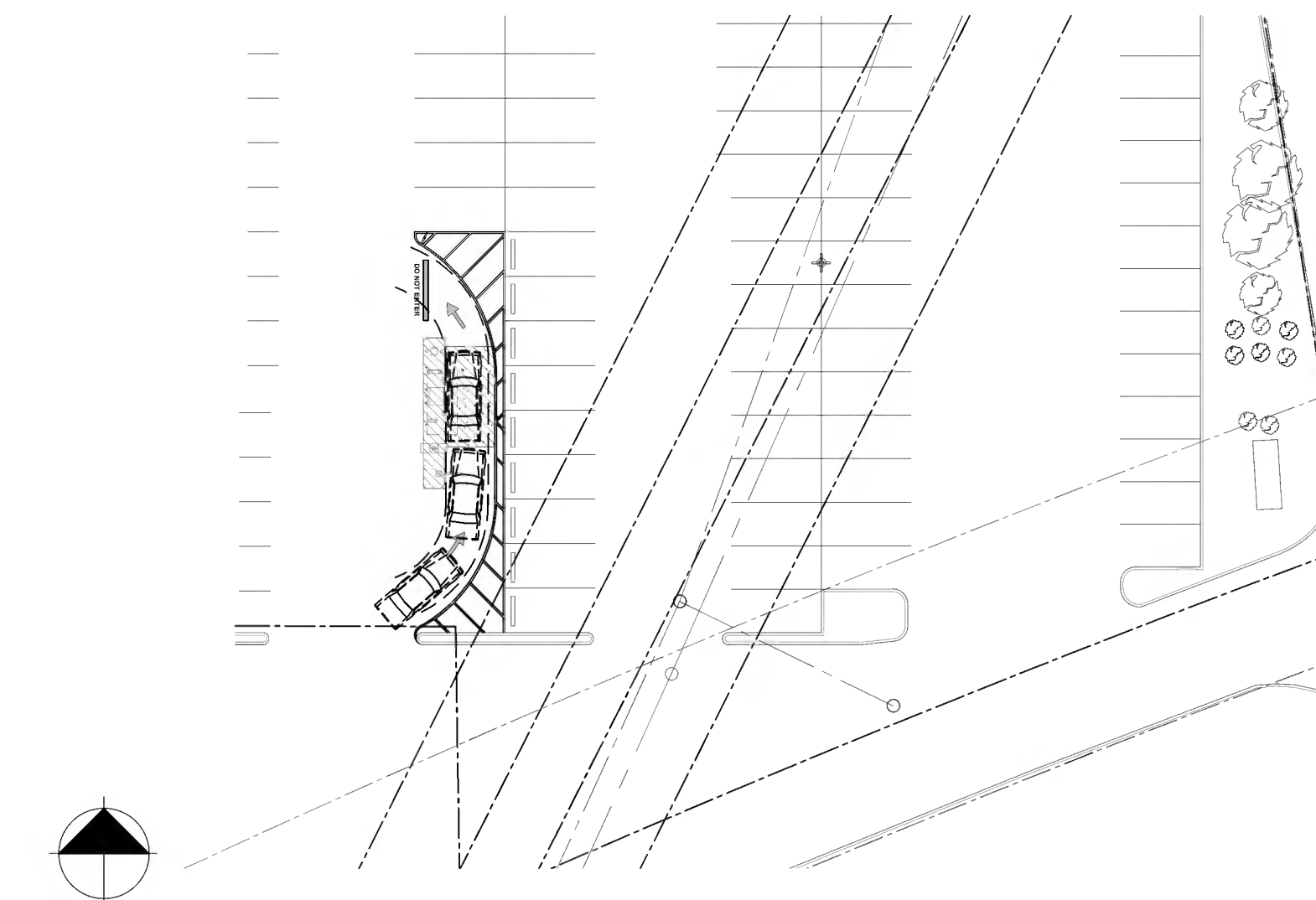
SYMBOLS

<ul style="list-style-type: none"> WALL MOUNTED UNIPLEX OUTLET WALL MOUNTED DUPLEX OUTLET WALL MOUNTED QUADPLEX OUTLET W.M. DEDICATED UNIPLEX OUTLET W.M. DEDICATED DUPLEX OUTLET W.M. DEDICATED QUADPLEX OUTLET WALL MOUNTED JUNCTION BOX WALL MOUNTED PHONE JACK WALL MOUNTED VOICE / DATA JACK WALL MOUNTED CABLE JACK 	<ul style="list-style-type: none"> FLOOR MOUNTED UNIPLEX OUTLET FLOOR MOUNTED DUPLEX OUTLET FLOOR MOUNTED QUADPLEX OUTLET F.M. DEDICATED UNIPLEX OUTLET F.M. DEDICATED DUPLEX OUTLET FLOOR MOUNTED DEDICATED QUADPLEX OUTLET FLOOR MOUNTED JUNCTION BOX FLOOR MOUNTED PHONE JACK 	<ul style="list-style-type: none"> FLOOR MOUNTED VOICE/DATA JACK FLOOR MOUNTED CABLE JACK CEILING MOUNTED JUNCTION BOX POWER POLE SPEAKER THERMOSTAT SMOKE DETECTOR CARBON MONOXIDE DETECTOR 	<ul style="list-style-type: none"> EXIT SIGN/EMERGENCY LIGHT WALL SCONCE FIXTURE PENDANT LIGHT FIXTURE SURFACE MOUNTED FIXTURE RECESSED DOWNLIGHT FLUORESCENT FIXTURE LIGHT/EXHAUST COMBO 	<ul style="list-style-type: none"> CEILING FAN UTILITY LIGHT EXHAUST FAN VACUUM PORT LIGHT SWITCH 3 WAY LIGHT SWITCH
<ul style="list-style-type: none"> EXISTING DOOR TO BE DEMOLISHED EXISTING DOOR NEW DOOR NEW PAIR OF DOORS * INDICATES ACTIVE LEAF 	<ul style="list-style-type: none"> EXISTING WALL NEW WALL 	<ul style="list-style-type: none"> EXISTING PARTIAL HEIGHT WALL NEW PARTIAL HEIGHT WALL EXISTING WALL TO BE REMOVED 	<ul style="list-style-type: none"> KEYED NOTE REVISION NUMBER PARTITION TYPE FINISH SYMBOL EQUIPMENT SYMBOL FINISH SYSTEM SYMBOL 	<ul style="list-style-type: none"> CEILING SYMBOL CEILING HEIGHT CEILING MATERIAL
<ul style="list-style-type: none"> DETAIL SYMBOL DETAIL NUMBER SHEET LOCATION 	<ul style="list-style-type: none"> ELEVATION SYMBOL ELEVATION NUMBER SHEET LOCATION 	<ul style="list-style-type: none"> RECEPTION AREA ROOM SYMBOL ROOM NAME ROOM NUMBER 	<ul style="list-style-type: none"> DOOR SYMBOL DOOR TYPE HARDWARE GROUP 	<ul style="list-style-type: none"> COLUMN SYMBOL

VICINITY MAP



KEY PLAN



13100 MANCHESTER, SUITE 225
ST. LOUIS, MO 63131
314.317.0060

IN ASSOCIATION WITH THE ARCHITECT:
R.H. SWEERS II, PROPRIETOR
RH SWEERS ARCHITECT

REVISIONS



GOLDEN SANDS
GENERAL CONTRACTORS

CONSTRUCTION DOCUMENTS FOR:
**CHASE SIGNATURE CANOPY
AND DRIVE UP ATM
COUNTRY VILLAGE SHOPPING CENTER - ATM**
OWNER'S PROJECT NO.: OPY# 382009374536
11301-11400 HIGHWAY 7, MINNETONKA, MN 55305

THIS DRAWING HAS BEEN PREPARED UNDER MY SUPERVISION AND I DISCLAIM RESPONSIBILITY FOR EXISTING BUILDING, CONSTRUCTION, OR SITE CONDITIONS/IMPROVEMENTS, OR ANY DOCUMENTS WHICH DO NOT BEAR MY SIGNATURE AND SEAL. DO NOT CONTACT THE ARCHITECT FOR BIDDING INFORMATION OR QUESTIONS, AS THE ARCHITECT IS NOT INVOLVED IN BIDDING.

I CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Richard H. Sweers II
Richard H Sweers II
Minnesota License # 21747
Date Signed: 03/01/2022

DRAWN BY: MSW

REVIEWED BY: RHS

CONTACT:
RANDY WINZEN
randy@aligned-studio.com
MICKI WEHMEIER
micki@aligned-studio.com

TITLE SHEET

JOB NO. 2184.1

A0.00

1 OF 4

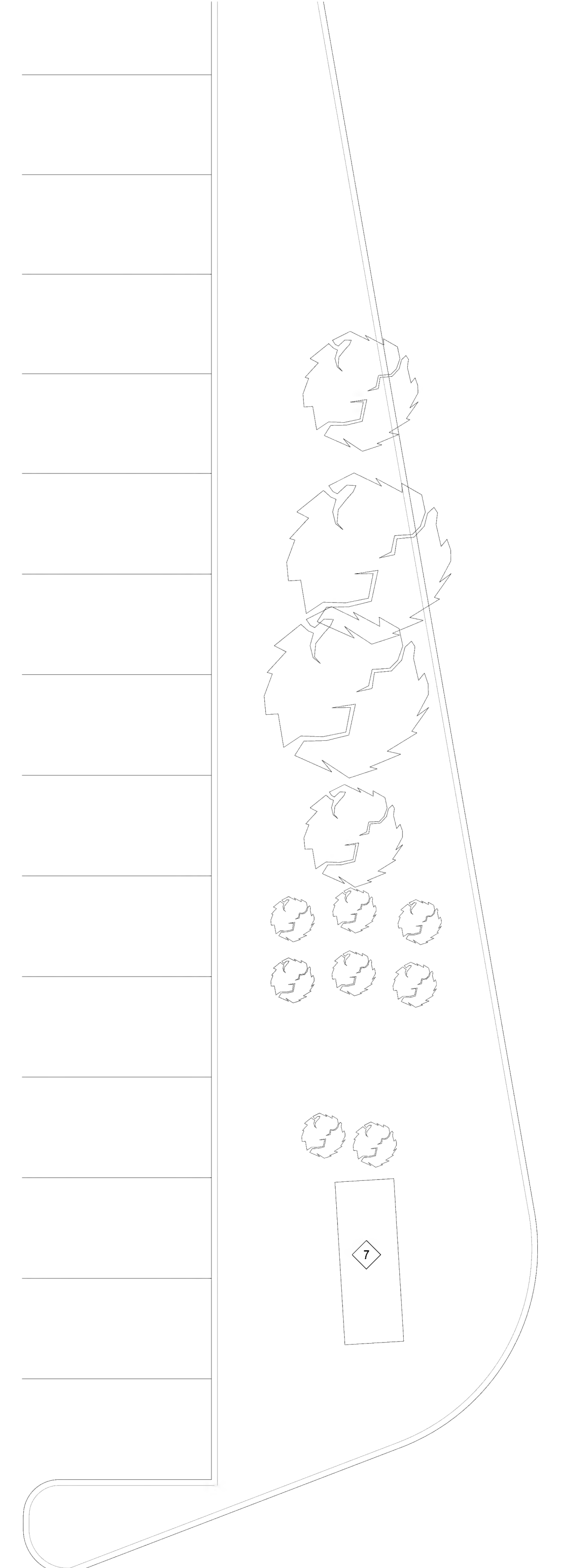
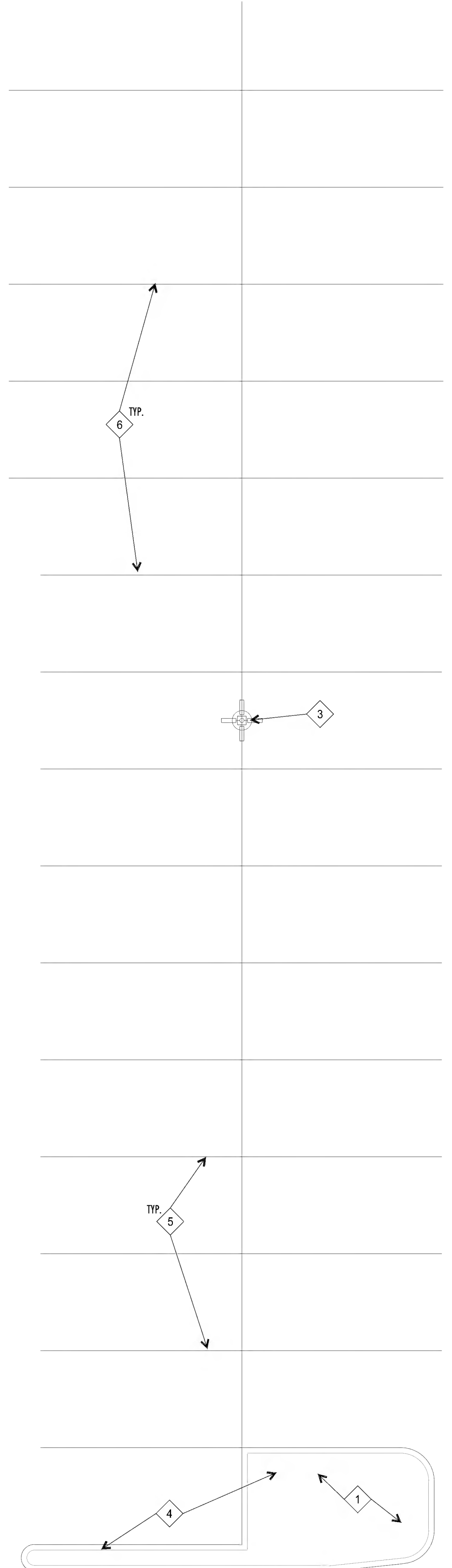
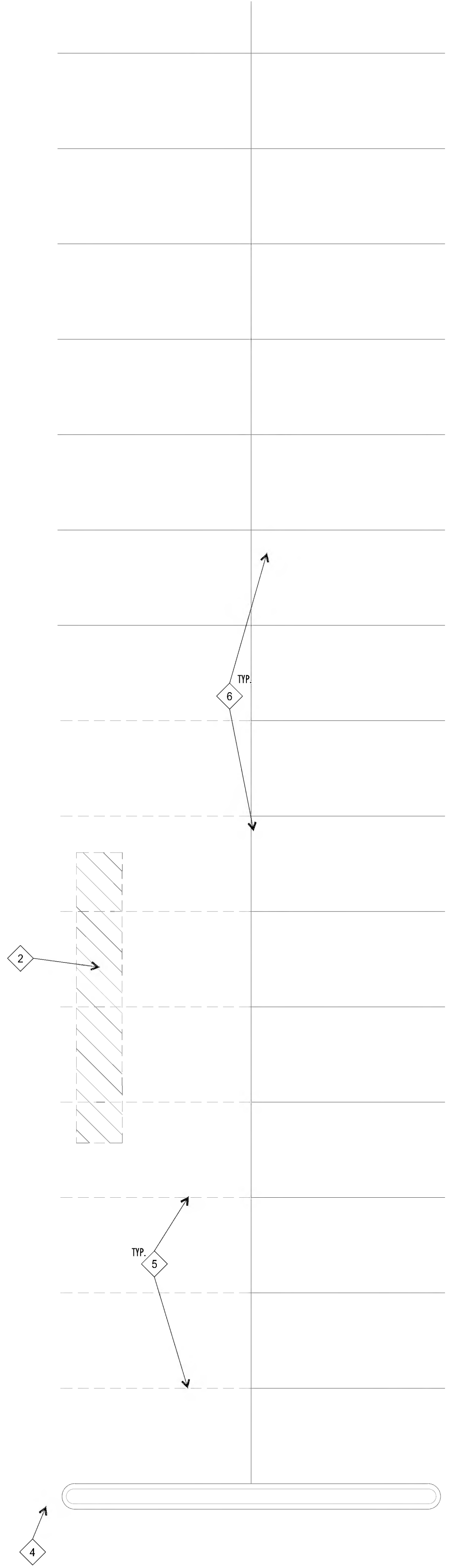
DATE: 03.01.22

DEMOLITION PLAN GENERAL NOTES

1. ALL SHADED AREAS INDICATE "NO WORK" OR "NOT IN CONTRACT" UNLESS OTHERWISE NOTED ON PLAN.
2. REMOVE ALL EXISTING AREAS INDICATED AS DEMOLITION TO PROVIDE LAYOUT SHOWN. CONSTRUCT AND/OR PROVIDE PROTECTION BARRIERS AS NEEDED FOR SAFETY AND TO CONTAIN DUST DUE TO DEMOLITION.
3. PATCH AND REPAIR REMAINING SURFACES AS NEEDED DUE TO THE DEMOLITION OR THE REMOVAL OF CONSTRUCTION.
4. REMOVE ALL DEMOLISHED MATERIALS FROM THE SITE. ALL DEMOLISHED MATERIALS, EXCEPT AS NOTED, ARE THE PROPERTY OF THE GENERAL CONTRACTOR.
5. REMOVE ANY AND ALL EXISTING ELECTRICAL AND/OR COMMUNICATION EQUIPMENT NOT SHOWN ON THE DRAWINGS AND THAT ARE NOT IN USE IN AREAS OF WORK. ALL WIRING SHALL BE REMOVED BACK TO ITS SOURCE PANEL. COORDINATE WITH THE CONSTRUCTION MANAGER.

DEMOLITION PLAN KEYED NOTES

- 1 EXISTING LANDSCAPING AND/OR ISLAND TO REMAIN.
- 2 REMOVE EXISTING AREA OF ASPHALT PAVING (SHOWN HATCHED) FOR NEW CONCRETE FOUNDATIONS.
- 3 EXISTING LIGHT POLE TO REMAIN.
- 4 EXISTING CURB AND GUTTER TO REMAIN.
- 5 REMOVE EXISTING PARKING STRIPING. (SHOWN DOTTED)
- 6 EXISTING PARKING LOT STRIPING TO REMAIN.
- 7 EXISTING MONUMENT SIGN TO REMAIN.



SITE DEMOLITION PLAN
SCALE: 1/8"=1'-0"

ALIGNED STUDIO, LLC
13100 MANCHESTER SUITE 225
ST. LOUIS, MO 63131
314.317.0060
IN ASSOCIATION WITH THE ARCHITECT:
R.H. SWEERS II, PROPRIETOR
RH SWEERS ARCHITECT

REVISIONS

CHASE



GOLDEN SANDS
GENERAL CONTRACTORS

CONSTRUCTION DOCUMENTS FOR:
CHASE SIGNATURE CANOPY AND DRIVE UP ATM
COUNTRY VILLAGE SHOPPING CENTER - ATM
OWNER'S PROJECT NO.: OPY# 382009374536
11301-11400 HIGHWAY 7, MINNETONKA, MN 55305

THIS DRAWING HAS BEEN PREPARED UNDER MY SUPERVISION AND I DISCLAIM RESPONSIBILITY FOR EXISTING BUILDING, CONSTRUCTION, OR SITE CONDITIONS/IMPROVEMENTS, OR ANY DOCUMENTS WHICH DO NOT BEAR MY SIGNATURE AND SEAL. DO NOT CONTACT THE ARCHITECT FOR BIDDING INFORMATION OR QUESTIONS, AS THE ARCHITECT IS NOT INVOLVED IN BIDDING.

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Richard H. Sweers II
Richard H Sweers II
Minnesota License # 21747
Date Signed: 03/01/2022

DRAWN BY: MSW
REVIEWED BY: RHS

CONTACT:
RANDY WINZEN
randy@aligned-studio.com
MICKI WEHMEIER
micki@aligned-studio.com

SITE DEMOLITION PLAN

JOB NO. 2184.1

A1.02

2 OF 4

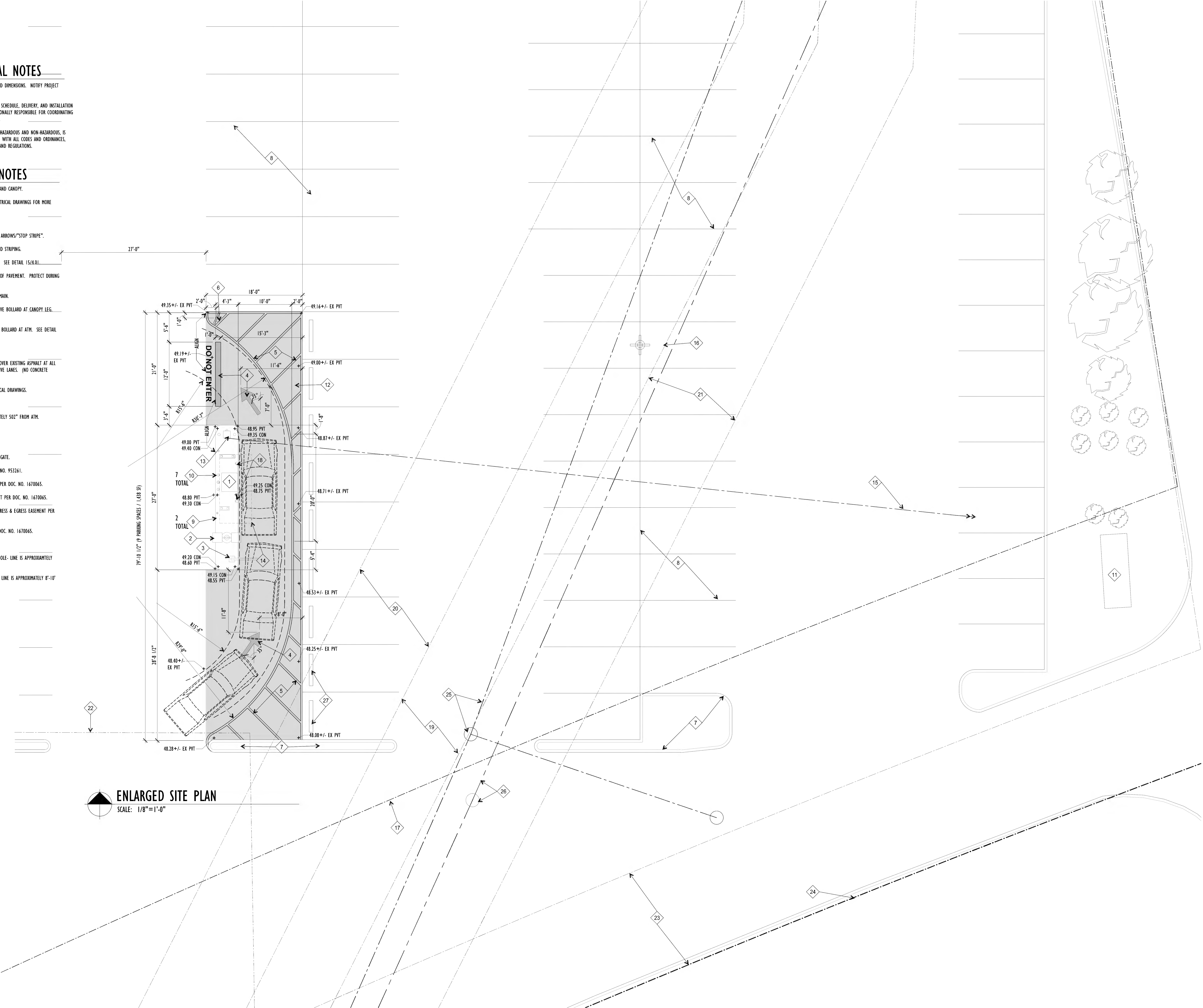
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SITE PLAN GENERAL NOTES

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SITE PLAN KEYED NOTES

- LOCATION OF NEW DRIVE UP MACHINE AND CANOPY.
- 25'-0" TALL LIGHT STANDARD. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- CLEARANCE BAR.
- "TRAFFIC-WHITE" PAINTED DIRECTIONAL ARROWS/"STOP STRIPE".
- 4" REFLECTIVE "TRAFFIC-WHITE" PAINTED STRIPING.
- DIRECTIONAL STOP/DO NOT ENTER SIGN. SEE DETAIL 16/4.01.
- EXISTING CURBS AND GUTTER OR EDGE OF PAVEMENT. PROTECT DURING CONSTRUCTION.
- EXISTING PARKING AND STRIPING TO REMAIN.
- PROVIDE AND INSTALL 4" DIA. PROTECTIVE BOLLARD AT CANOPY LEG. SEE DETAIL 16/4.01 (SIMILAR).
- PROVIDE AND INSTALL 6" DIA. SECURITY BOLLARD AT ATM. SEE DETAIL 16/4.01.
- EXISTING MONUMENT SIGN TO REMAIN.
- HALF-TONED AREA DENOTES SEAL-COAT OVER EXISTING ASPHALT AT ALL AREAS RECEIVING STRIPING AND ALL DRIVE LANES. (NO CONCRETE AREAS).
- MILBANK METER PEDESTAL. SEE ELECTRICAL DRAWINGS.
- LINE OF CANOPY ABOVE.
- EXISTING POWER SOURCE IS APPROXIMATELY 502' FROM ATM.
- EXISTING LIGHT POLE TO REMAIN.
- 50'-0" FRONT YARD SET BACK LINE.
- BOLLARD MOUNTED MOUNTED SECURITY GATE.
- 14" STORM SEWER EASEMENT PER DOC. NO. 953261.
- 18" PHONE, GAS & ELECTRIC EASEMENT PER DOC. NO. 1670065.
- 18" SANITARY SEWER & WATER EASEMENT PER DOC. NO. 1670065.
- 44' WIDE PARKING, DRIVEWAY AND INGRESS & EGRESS EASEMENT PER DOC. NO. 1670065.
- 20' INGRESS & EGRESS EASEMENT PER DOC. NO. 1670065.
- EXISTING PROPERTY LINE.
- EXISTING STORM-WATER LINE AND MANHOLE. LINE IS APPROXIMATELY 24'-25' BELOW GRADE.
- EXISTING SANITARY LINE AND MANHOLE. LINE IS APPROXIMATELY 8'-10' BELOW GRADE.
- NEW CONCRETE WHEEL STOPS.



ENLARGED SITE PLAN
SCALE: 1/8"=1'-0"

ALIGNED STUDIO, LLC
13100 MANCHESTER SUITE 225
ST. LOUIS, MO 63131
314.317.0060
IN ASSOCIATION WITH THE ARCHITECT:
R H SWEERS II, PROPRIETOR
RH SWEERS ARCHITECT

REVISIONS

CHASE

GOLDEN SANDS
GENERAL CONTRACTORS

CONSTRUCTION DOCUMENTS FOR:
CHASE SIGNATURE CANOPY AND DRIVE UP ATM
COUNTRY VILLAGE SHOPPING CENTER - ATM
OWNER'S PROJECT NO.: OPY# 382009374536
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Richard H Sweets II
Richard H Sweets II
Minnesota License # 21747
Date Signed: 03/01/2022

DRAWN BY: MSW
REVIEWED BY: RHS

CONTACT:
RANDY WINZEN
randy@aligned-studio.com
MICKI WEHMEIER
micki@aligned-studio.com

SITE PLAN

JOB NO. 2184.1

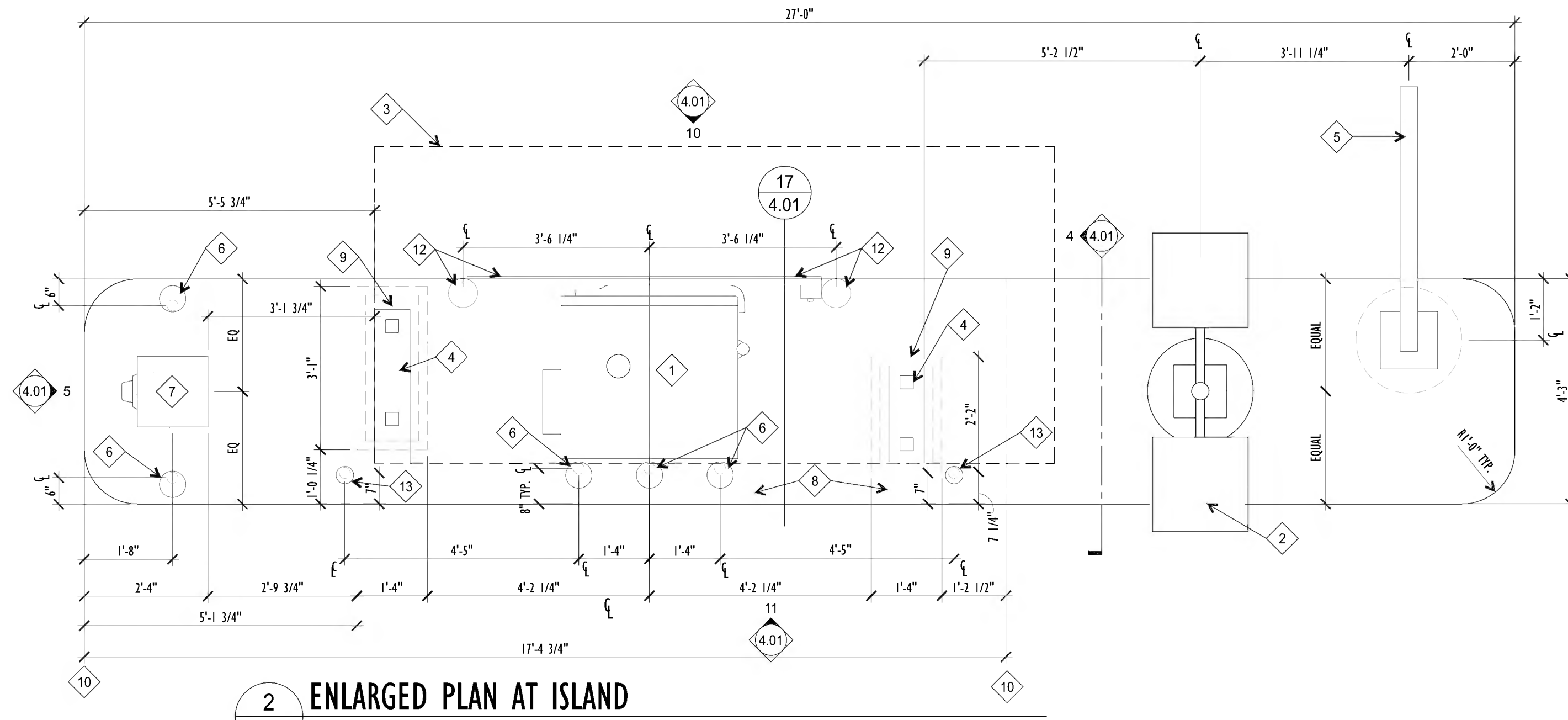
A2.01

3 OF 4

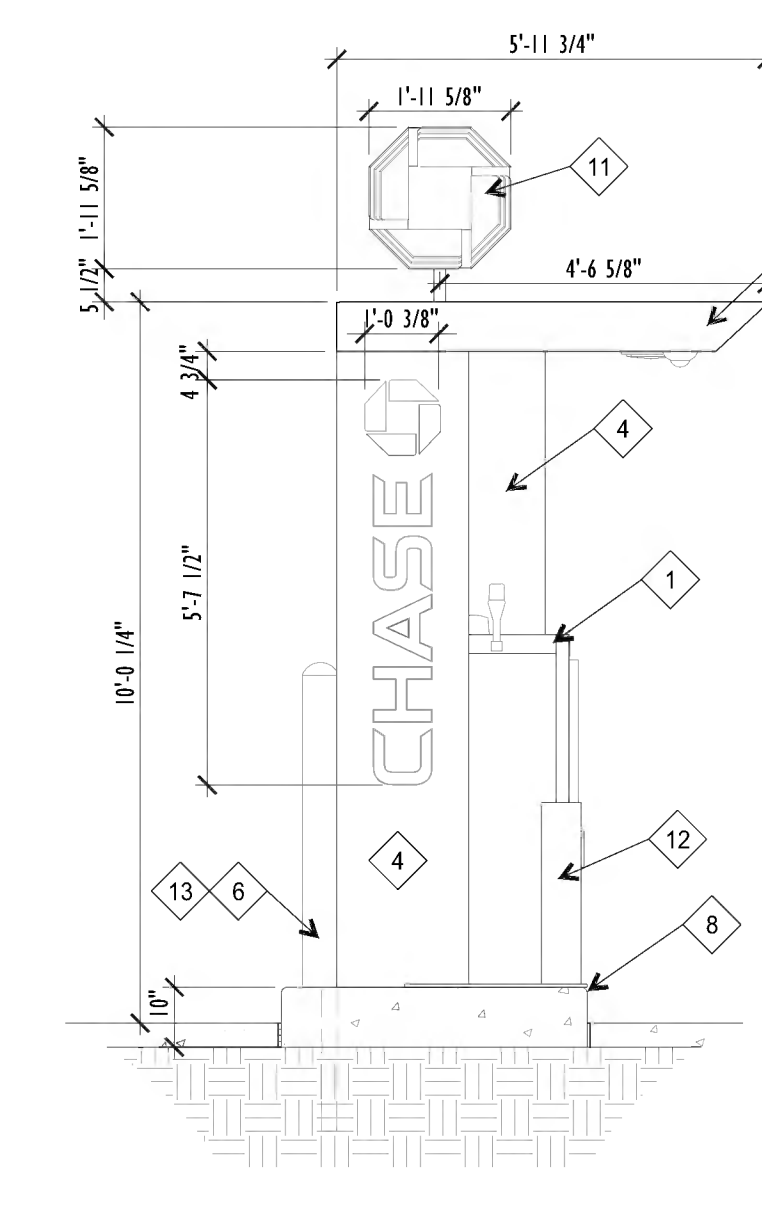
DATE: 03.01.22

ENLARGED PLAN AND ELEVATION KEYED NOTES

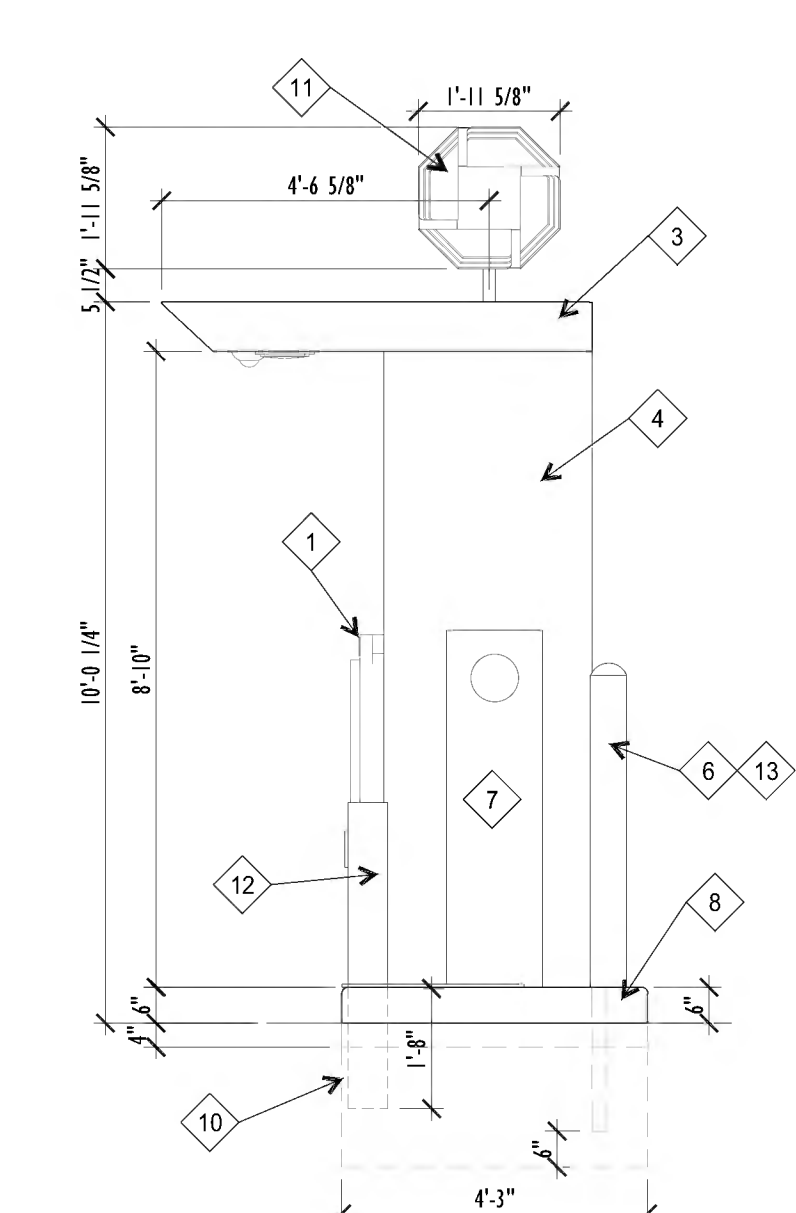
- 1 AUTOMATIC TELLER MACHINE
- 2 LIGHT STANDARD- SEE DETAIL 13/4.01 AND ELECTRICAL DRAWINGS
- 3 PRE-MANUFACTURED ATM CANOPY
- 4 PRE-MANUFACTURED ATM CANOPY UPRIGHTS
- 5 OVERHEAD CLEARANCE: POLE/BAR
- 6 6" DIA. SECURITY/PROTECTION BOLLARD- SEE DETAIL 16/4.01
- 7 MILBANK METER PEDESTAL- SEE ELECTRICAL DRAWINGS
- 8 CONCRETE SLAB/ISLAND- EASE ALL EXPOSED EDGES
- 9 CONCRETE "WELL"- SEE SIGNAGE DRAWINGS
- 10 EDGE OF CONCRETE FOOTING OR PIER- SEE STRUCTURAL
- 11 CHASE LOGO SIGN- SEE SIGNAGE DRAWINGS
- 12 SECURITY GATE BOLLARDS AND RAIL- SEE DETAIL 14/4.01
- 13 4" DIA. PROTECTION BOLLARD FOR CANOPY LEGS- SEE DETAIL 16/4.01 (MILBANK)



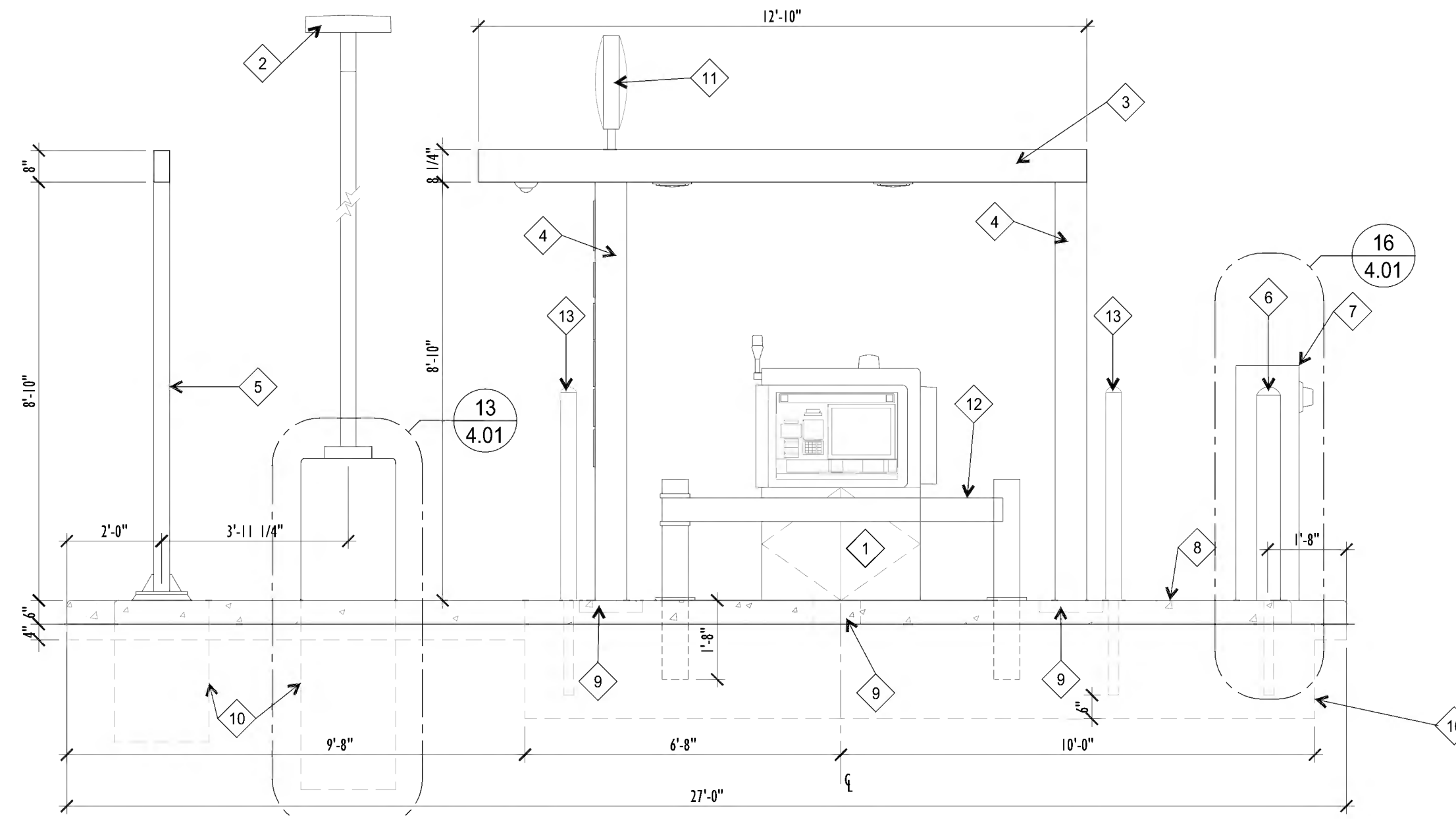
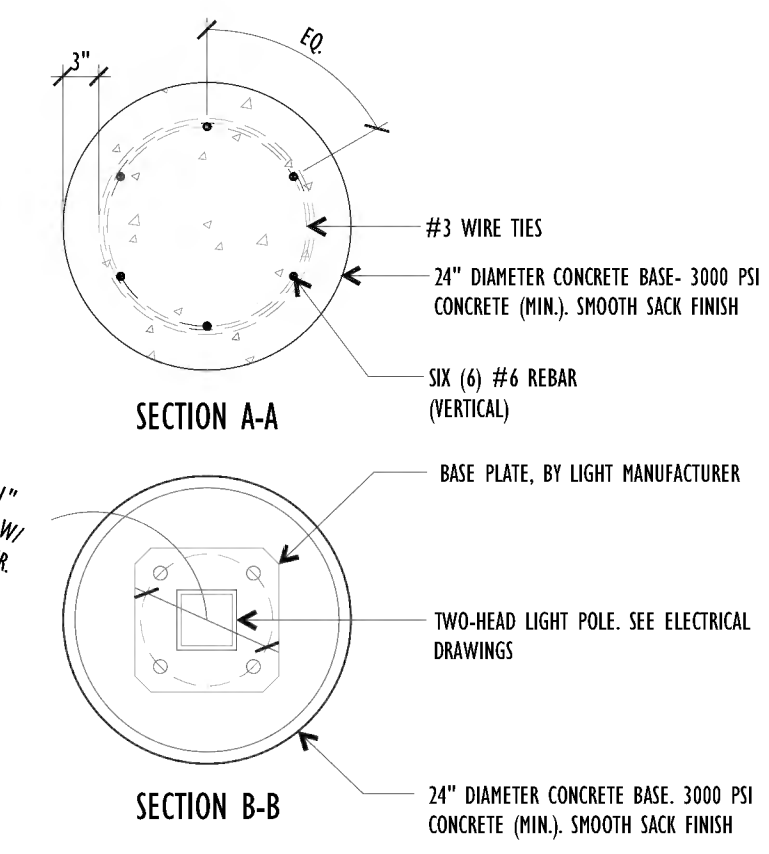
2 ENLARGED PLAN AT ISLAND
4.01 SCALE: 1/2"=1'-0"



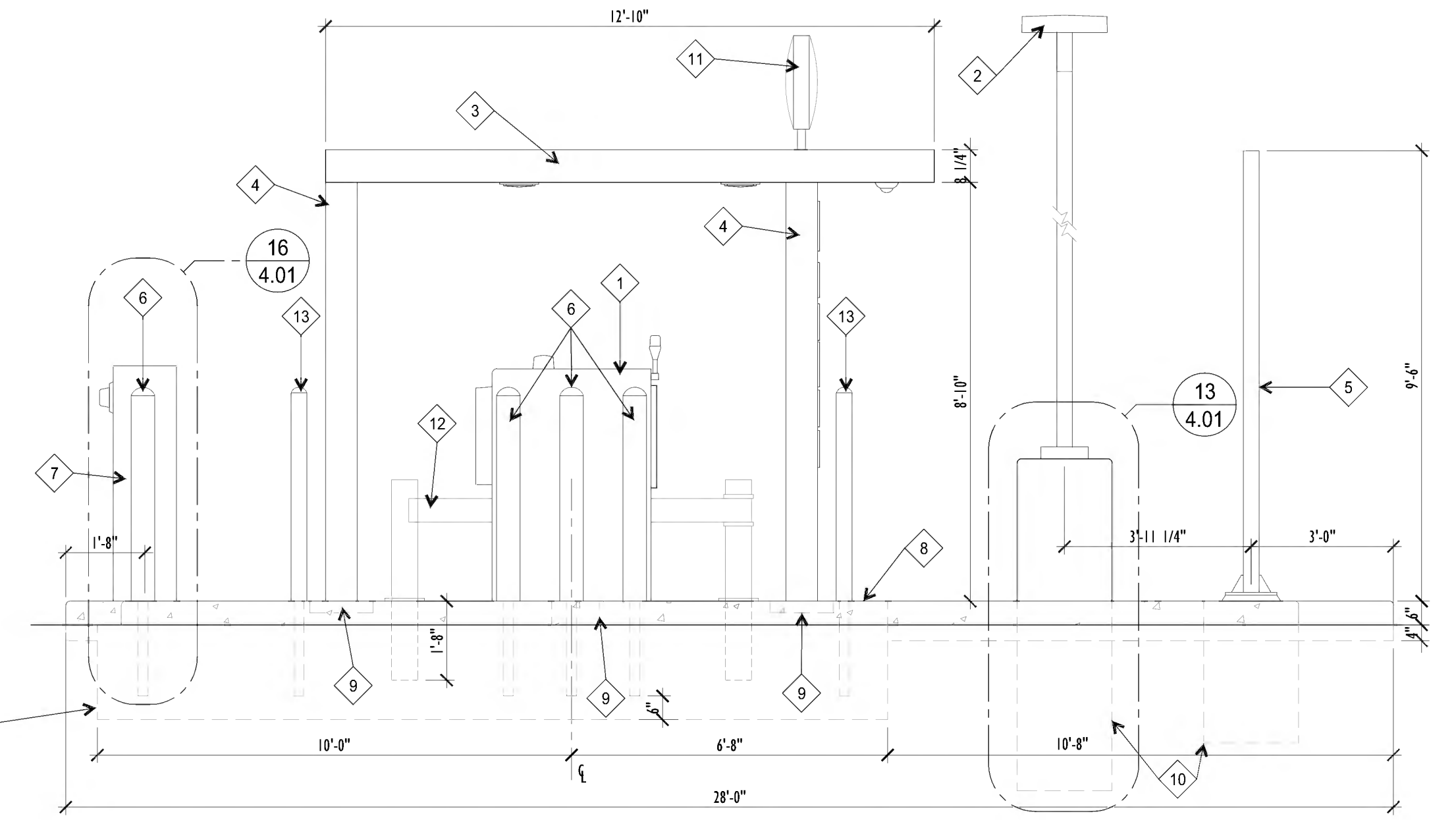
4 SIDE ELEVATION/SECTION AT ISLAND
4.01 SCALE: 3/8"=1'-0" ENTRY SIDE



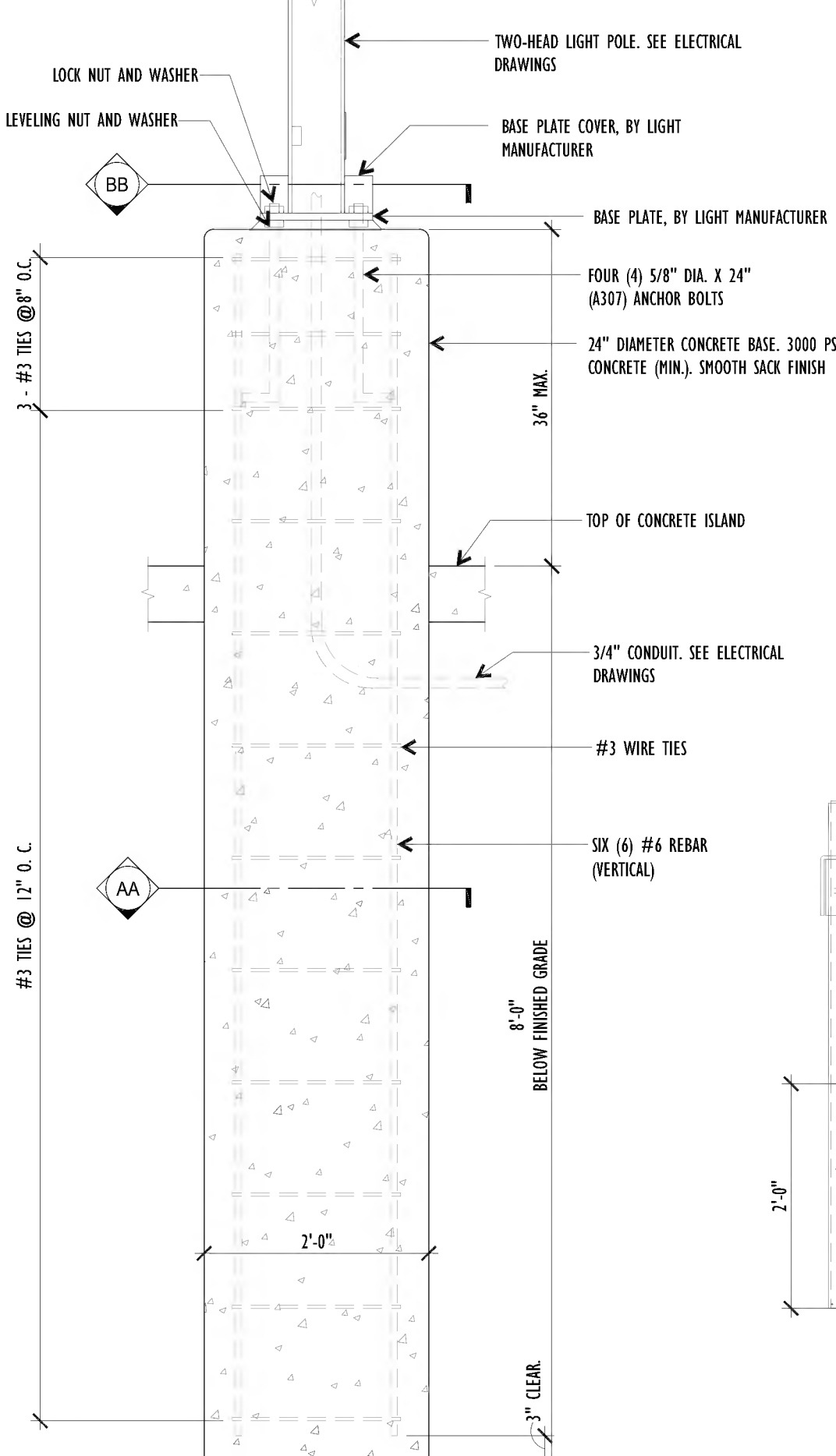
5 SIDE ELEVATION AT ISLAND
4.01 SCALE: 3/8"=1'-0" EXIT SIDE



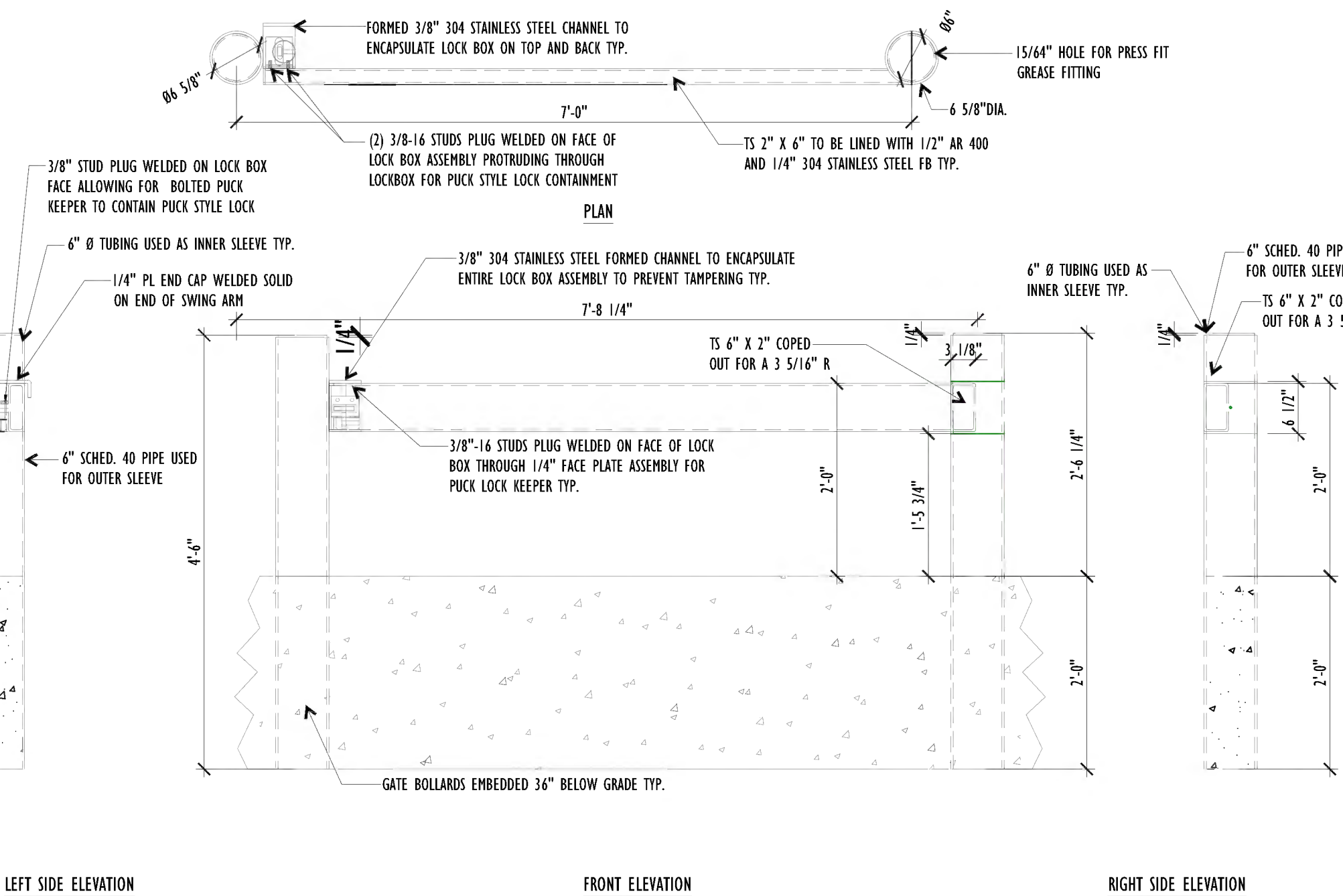
10 FRONT ELEVATION AT ISLAND
4.01 SCALE: 3/8"=1'-0"



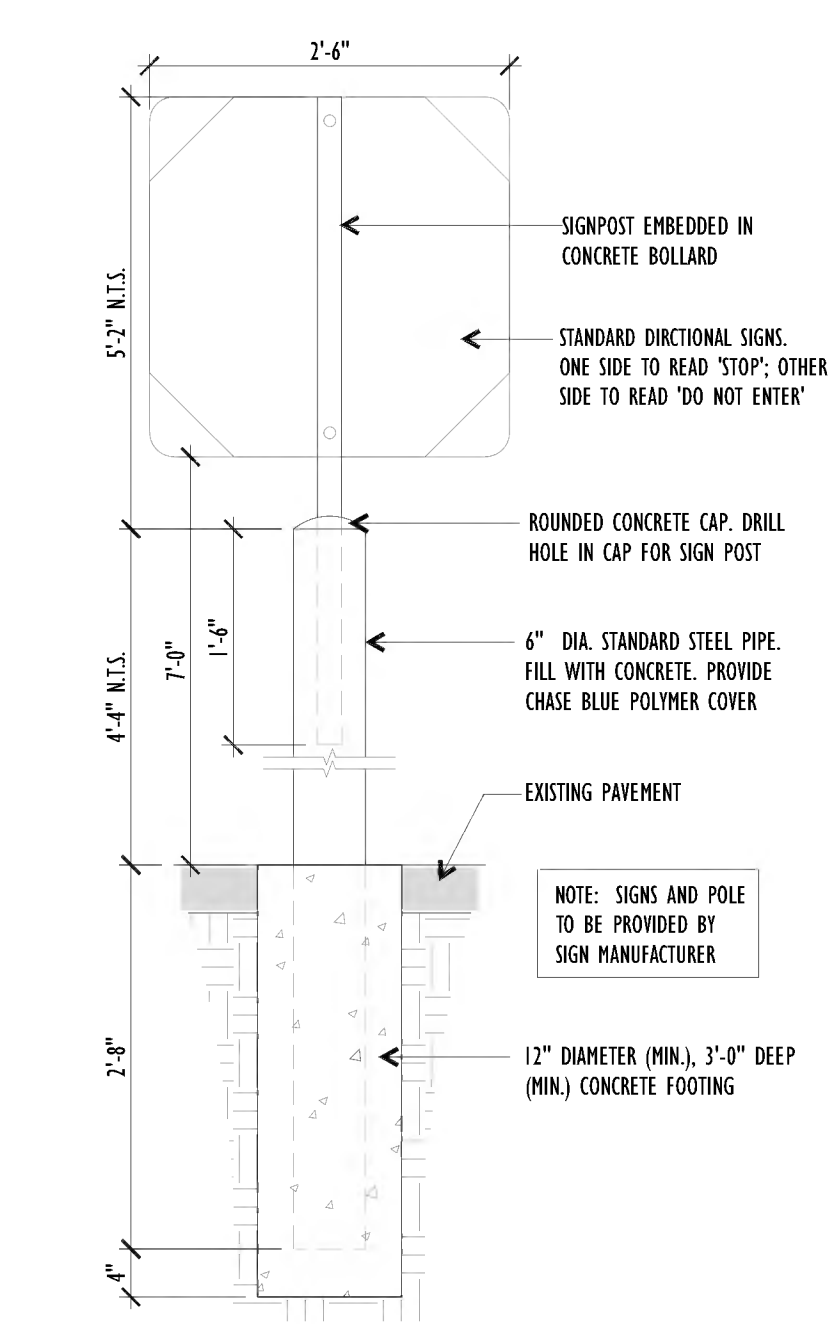
11 REAR ELEVATION AT ISLAND
4.01 SCALE: 3/8"=1'-0"



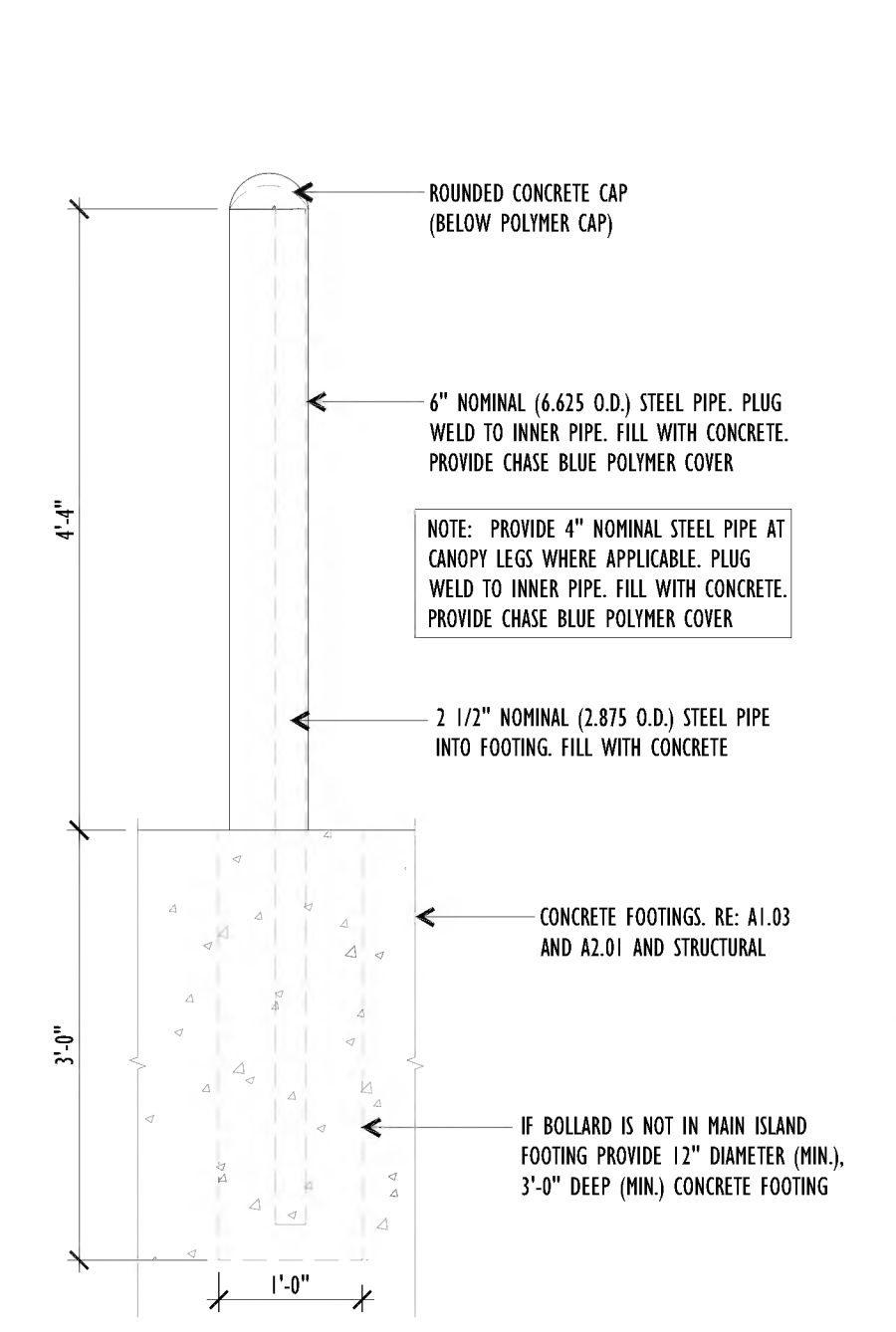
13 DETAIL AT LIGHT POLE
4.01 SCALE: 3/4"=1'-0"



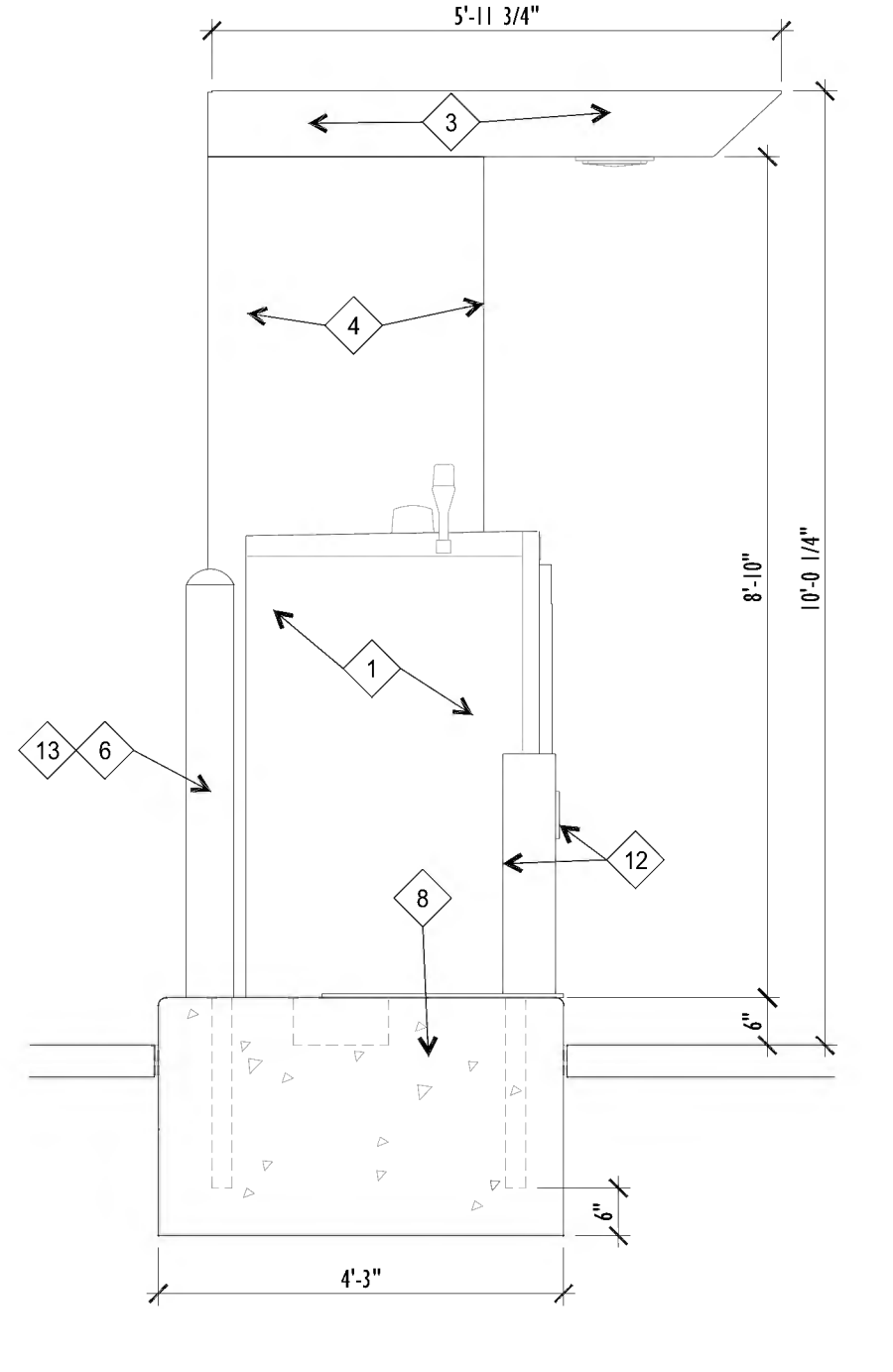
14 ATM SECURITY GATE
4.01 SCALE: 3/4"=1'-0"



15 SECTION AT DIRECTIONAL SIGN
4.01 SCALE: 3/4"=1'-0"



16 SECTION AT 6" BOLLARD
4.01 SCALE: 3/4"=1'-0"



17 ISLAND SECTION
4.01 SCALE: 1/2"=1'-0"



13100 MANCHESTER SUITE 225
ST. LOUIS, MO 63131
314.317.0060
IN ASSOCIATION WITH THE ARCHITECT:
R.H. SWEERS II, PROPRIETOR
R.H. SWEERS ARCHITECT

REVISIONS



GOLDEN SANDS
GENERAL CONTRACTORS

CONSTRUCTION DOCUMENTS FOR:
CHASE SIGNATURE CANOPY AND DRIVE UP ATM
COUNTRY VILLAGE SHOPPING CENTER - ATM
 OWNERS PROJECT NO.: OPY# 382009374536
 11301-11400 HIGHWAY 7, MINNETONKA, MN 55305

THIS DRAWING WAS PREPARED UNDER MY SUPERVISION AND I DISCLAIM RESPONSIBILITY FOR EXISTING BUILDING CONSTRUCTION OR SITE CONDITIONS/IMPROVEMENTS, OR ANY DOCUMENTS WHICH DO NOT BEAR MY SIGNATURE AND SEAL. DO NOT CONTACT THE ARCHITECT FOR BIDDING INFORMATION OR QUESTIONS, AS THE ARCHITECT IS NOT INVOLVED IN BIDDING.

I CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
 Richard H Swears II
 Minnesota License # 21747
 Date Signed: 03/01/2022

DRAWN BY: MSW
REVIEWED BY: RHS

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ENLARGED PLANS, ELEVATIONS AND SECTIONS

JOB NO. 2184.1

A4.01

4 OF 4

DATE: 03.01.22

Resolution No. 2022-

Resolution denying a conditional use permit for a drive-up ATM at 11400 Hwy 7

Be it resolved by the City Council of the City of Minnetonka, Minnesota, as follows:

Section 1. Background.

- 1.01 The subject property is located at 11400 Hwy 7. It is legally described as: REGISTERED LAND SURVEY NO. 1591 HENNEPIN COUNTY, MINNESOTA.
- 1.02 Development Management Group, on behalf of Chase Bank, has requested a conditional use permit to install a drive-up automated teller machine on the subject property.
- 1.03 On April 28, 2022, the planning commission held a hearing on the proposed plat. The applicant was provided the opportunity to present information to the commission. The commission considered all of the comments received and the staff report, which are incorporated by reference into this resolution. The commission recommended that the city council deny the request.

Section 2. Findings.

- 2.01 The subject property is zoned B-2, limited business.
- 2.02 City Code §300.18 outlines the structures and land uses that are permitted, accessory, and conditionally permitted on B-2 properties. Those uses are inserted here by reference.
- 2.03 Drive-up ATMs and other standalone drive-up facilities are not specifically noted as permitted, accessory, or conditional use in the B-2 district.
- 2.04 City Code §300.18 Subd.4(d) allows “uses having a drive-up window” as a conditional uses.
- 2.05 The proposed drive-up ATM is not adequately similar to “uses with a drive-up window.” The plan language of the ordinance illustrates its intent, which is to allow building uses – such as banks, pharmacies, coffee shops – to have drive-

up windows.

Section 3. Council Action.

3.01 The above-described request is hereby denied based on the findings of Section 2 of this resolution.

Adopted by the City Council of the City of Minnetonka, Minnesota, on May 9, 2022.

Brad Wiersum, Mayor

Attest:

Becky Koosman, City Clerk

Action on this resolution:

Motion for adoption:

Seconded by:

Voted in favor of:

Voted against:

Abstained:

Absent:

Resolution adopted.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the City Council of the City of Minnetonka, Minnesota, at a duly authorized meeting held on May 9, 2022.

Becky Koosman, City Clerk