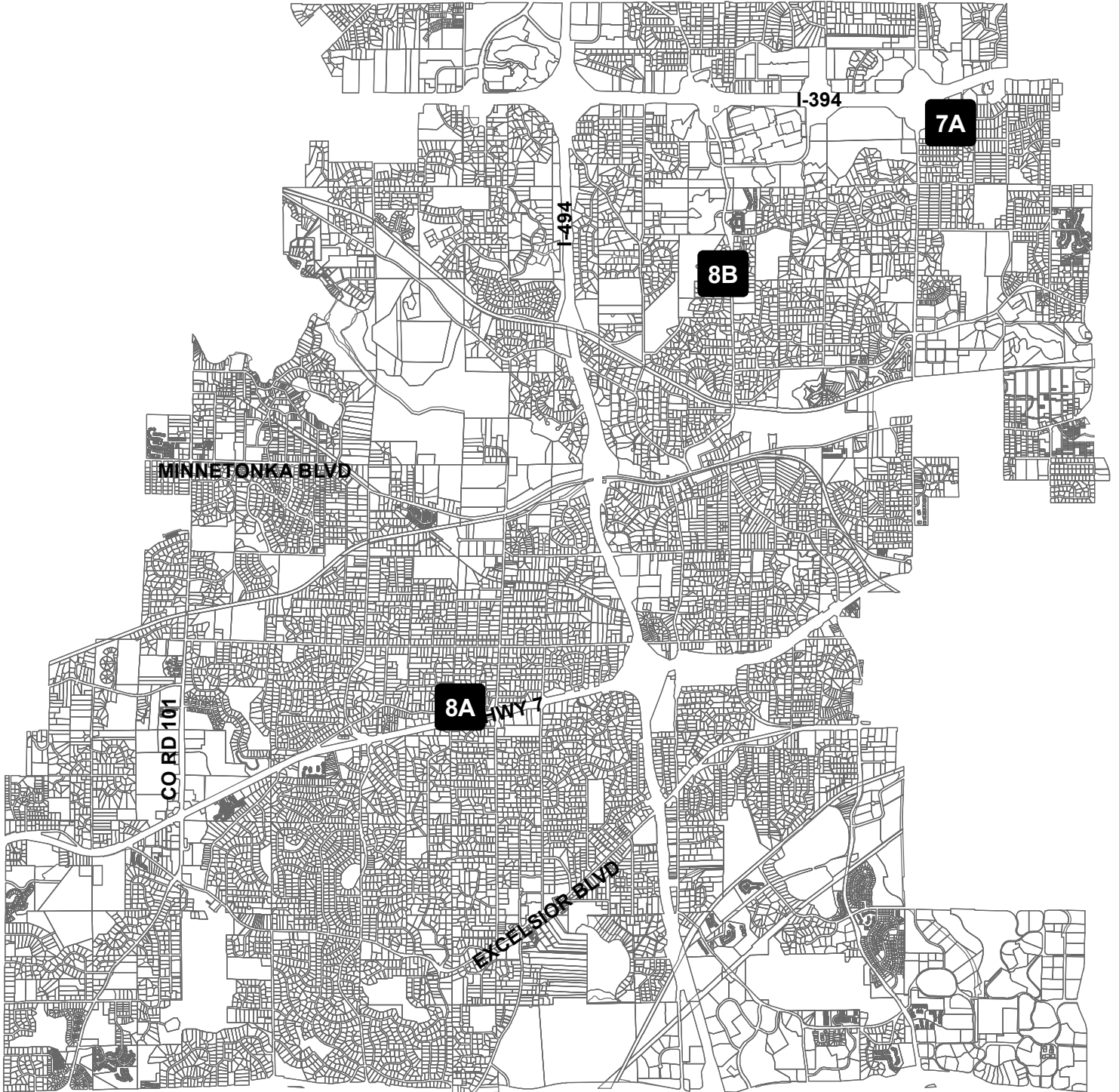




CITY OF
MINNETONKA

PLANNING COMMISSION MAY 12, 2022

14600 Minnetonka Blvd. • Minnetonka, MN 55345
(952) 939-8200 • Fax (952) 939-8244
minnetonkamn.gov





**Planning Commission Agenda
May 12, 2022**

City Council Chambers – Minnetonka Community Center

- 1. Call to Order**
- 2. Roll Call**
- 3. Approval of Agenda**
- 4. Approval of Minutes:** April 28, 2022
- 5. Report from Staff**
- 6. Report from Planning Commission Members**
- 7. Public Hearings: Consent Agenda.**
 - A. Resolution approving an amendment to the existing Crest Ridge Corporate Center sign plan for a monument sign at 10955 and 11055 Wayzata Blvd.

Recommendation: Adopt the resolution. (5 votes)
 - Final decision, subject to appeal
 - Project Planner: Ashley Cauley
- 8. Public Hearings: Non-Consent Agenda Items**
 - A. Items concerning a fast food restaurant at 15110 Hwy 7.

Recommendation: Recommend the city council adopt the resolution approving the request. (4 votes)
 - Recommendation to City Council (May 23, 2022)
 - Project Planner: Bria Raines
 - B. Items concerning Woodhaven at Minnetonka at 2424 and 2440 Plymouth Road.

Recommendation: Recommend the city council adopt the resolution denying the request. (4 votes)
 - Recommendation to City Council (May 23, 2022)
 - Project Planner: Ashley Cauley

9. Adjournment

Notices

1. Please call the planning division at (952) 939-8290 to confirm meeting dates as they are tentative and subject to change.
2. There following applications are tentatively schedule for the May 12, 2022 agenda.

Project Description	Nelson Residence, EXP
Project Location	3326 Shores Blvd
Assigned Staff	Bria Raines
Ward Councilmember	Bradley Schaeppi, Ward 3

Project Description	Noonan Residence, VAR
Project Location	2507 Bantas Pointe La
Assigned Staff	Susan Thomas
Ward Councilmember	Bradley Schaeppi, Ward 3

Project Description	Culotti Residence, CUP
Project Location	3305 Fairchild Ave
Assigned Staff	Bria Raines
Ward Councilmember	Bradley Schaeppi, Ward 3

Project Description	Kpowulu Resdience, CUP
Project Location	13426 Excelsior Blvd
Assigned Staff	Ashley Cauley
Ward Councilmember	Brian Kirk, Ward 1

Project Description	Rayito de Sol, CUP
Project Location	3520 Williston Rd
Assigned Staff	Ashley Cauley
Ward Councilmember	Bradley Schaeppi, Ward 3

Project Description	Weber 3, LLC, PPL
Project Location	2326 Oakland Road
Assigned Staff	Susan Thomas
Ward Councilmember	Rebecca Schack, Ward 2

**Unapproved
Minnetonka Planning Commission
Minutes**

April 28, 2022

1. Call to Order

Chair Sewall called the meeting to order at 6:30 p.m.

2. Roll Call

Commissioners Powers, Waterman, Banks, Hanson, Henry, Maxwell, and Sewall were present.

Staff members present: City Planner Loren Gordon, Senior Planner Ashley Cauley, and Planner Bria Raines.

3. Approval of Agenda

Powers moved, second by Maxwell, to approve the agenda as submitted with the removal of Item 8C at the request of the applicant and additional comments provided in the change memo dated April 28, 2022.

Powers, Waterman, Banks, Hanson, Henry, Maxwell, and Sewall voted yes. Motion carried.

4. Approval of Minutes: April 7, 2022

Banks moved, second by Henry, to approve the April 7, 2022 meeting minutes as submitted with the following changes to Waterman's comments on Page 12:

- He likes the two single-family houses and would like to see more. The proposed density could work. The area has single-family housing.
- There is definitely a need for owner-occupied affordable housing. He is interested to see if there is an opportunity for additional single-family housing.

Powers, Waterman, Banks, Hanson, Henry, Maxwell, and Sewall voted yes. Motion carried.

5. Report from Staff

Gordon briefed the commission on land use applications considered by the city council at its meeting on April 25, 2022:

- Adopted a resolution approving a conditional use permit for an accessory structure in excess of 1,000 square feet at 15518 Minnetonka Blvd.

- Discussed the concept plan for Mills Church at 13215 Minnetonka Drive with the applicant and provided feedback.

The next planning commission meeting is scheduled to be held on May 12, 2022.

6. Report from Planning Commission Members

Henry reported that the Minnetonka Energy Action Team would be meeting to create a long-term strategy to reduce carbon emissions by 41 percent, and public comments may be submitted regarding the Minnesota Climate Action framework through April 29, 2022.

7. Public Hearings: Consent Agenda: None

8. Public Hearings

A. Resolution approving a parking variance for Goldfish Swim School at 4729 and 4733 Co Rd 101.

Chair Sewall introduced the proposal and called for the staff report.

Raines reported. She recommended approval of the application based on the findings and subject to the conditions listed in the staff report.

In response to Maxwell's question, Raines stated that the city had not received complaints regarding the lack of parking for the site. Gordon added that vehicle traffic sometimes becomes congested in the northeast corner.

Don Parish introduced Sara Parish and Christine Clemens. He stated that there would be ample parking spaces. The swim school's peak parking times would be different than the other uses in the complex. Ms. Parish appreciated the commissioners taking the time to consider the request. They have been looking for a location since 2018. She is excited to bring water safety and swimming lessons to the community. She estimated that it would take five to six months to construct the building.

Henry liked the proposed use of the space. Mr. Parish explained that he had constructed 130 swim schools across the United States. He already has a contractor hired and permits ready. Ms. Parish said that the pool in Egan has just been filled. It is located in a strip center, and the excavation of the pool happened in the strip center. It is a very intricate process. The general contractor has built a swim school in Oakdale and Egan.

In response to Henry's question, Mr. Parish stated that construction materials would travel through the front and back entrances. The site in Egan used four parking stalls to house construction materials.

Henry wants the access road that connects the businesses to remain open during construction. Mr. Parish stated that there would be no blocking off of any thoroughfare during construction.

The public hearing was opened. No testimony was submitted, and the hearing was closed.

Powers liked the use for the area. He wished the applicant success. It would be a wonderful addition.

Waterman agreed with Powers. He agrees with the staff's recommendation as it pertains to parking specifically. There are overflow parking options. The site has practical difficulties. The variance seems quite reasonable. He supports the staff's recommendation.

Powers moved, second by Hanson, to adopt the resolution approving a parking variance for Goldfish Swim School.

Powers, Waterman, Banks, Hanson, Henry, Maxwell, and Sewall voted yes. Motion carried.

Chair Sewall stated that an appeal of the planning commission's decision must be made in writing to the planning division within ten days.

B. Items concerning the Holiday Gas Station at 12908 Minnetonka Blvd.

Chair Sewall introduced the proposal and called for the staff report.

Cauley reported. She recommended approval of the application based on the findings and subject to the conditions listed in the staff report.

Waterman asked if the sign could be left where it is currently. Cauley answered affirmatively.

In response to Waterman's question, Cauley explained illumination requirements.

In response to Banks' question, Cauley explained that the existing conditional use permit restricts the hours of operation of the car wash.

Tony Rammer, owner of Minnetonka Properties Group, applicant, introduced Casey Beaton representing Holiday, Inc. Mr. Rammer stated that:

- The hours of operation would stay the same. The convenience store is open from 6 a.m. to 10 p.m. The hours were temporarily changed to accommodate police and fire vehicles at 5 a.m. during the time the police and fire departments were under construction. The car wash is open from 7 a.m. to 8 p.m.

- The equipment inside the car wash has already been reloaded, replaced, painted, and sealed on the interior.

Powers encouraged a bike rack to be included on the site. Mr. Rammer likes that idea. Powers really likes the proposal's pedestrian amenities. Mr. Beaton said that there would be plenty of room for a bike rack on the back patio.

In response to Banks' question, Mr. Rammer explained that currently 70 percent of the lighting uses LED bulbs which decrease reflection. After the conversion, all of the lighting would use LED bulbs. At 10 p.m., half of the lighting on the canopy would be turned off as a courtesy to neighbors.

Mr. Rammer stated that:

- There would be spots in the back of the building that could house a couple of EV charging stations in the future.
- The pumps would be open for self-service, 24-hour-pay-at-the-pump use.
- There has been no crime at the site for the last three years.
- He gave a couple of neighbors across the creek his cell phone number to contact him if there would be an issue once the project was completed.

In response to Henry's question, Mr. Beaton explained that shrouding and directionally angling the lights may be utilized if needed. That would be addressed during the building permit process when the photometric for the site lighting would be submitted.

In response to Henry's question, Mr. Beaton explained that the previous owner installed a fence to prevent vehicle lights from traveling across the creek to the properties on the other side. The site does not include the property that reaches the creek.

Henry asked if adding a water wheel or mural showing the history of the area had been considered. Mr. Beaton stated that adding a water wheel would cause maintenance and safety concerns.

Waterman appreciated the new pylon sign. He asked if anything would be lost by reducing the height of the sign. Mr. Rammer stated that decreasing the height of the sign would decrease its visibility to motorists.

In response to Chair Sewall's question, Mr. Beaton stated that blue LED lights would not be used anywhere on the building or canopy. It would be reflected on the pylon structure and dimmed for nighttime use. He provided a photo of the new version.

Maxwell confirmed with Mr. Beaton that blue light would reflect around the identification panel and two price panels in the pylon sign. The amount of illumination would be dimmable.

The public hearing was opened.

Claudia Gundlach, 12901 Burwell Drive, stated that:

- Almost everything has been mentioned.
- The elevation drawings weren't available until the agenda packet was put on the city's website last Friday before the meeting. She encouraged neighbors to be given information sooner.
- She did not think the design would be in character with the Minnetonka Mills area. There was a gas station and liquor store at the site when she moved into her house.
- She hoped that lights would not shine onto her property. The other four businesses have been able to accommodate that.
- It is hard to get a look at the businesses coming up when driving on Minnetonka Blvd. A sign above a car wash would not be needed since a driver would not be able to see the sign driving from either direction.
- She prefers non-lit signs that would have a light from above shining down on the sign.
- She would like more landscaping and water runoff contained to the property rather than water running into the creek and neighboring property.
- She would like an agreement to require that the car wash doors be closed when operating.

No additional testimony was submitted, and the hearing was closed.

Cauley explained that a landscape plan would be submitted and reviewed during the building permit process. The parking lot and retaining wall extend to the property line. There is an existing pond that receives drainage. The city is unable to require stormwater management drainage improvements unless the application would include significant site improvements.

Mr. Rammers explained that the dryers were located inside the car wash. The doors automatically close and open when the process is complete.

Henry confirmed with Cauley that part of the retaining wall may be located on another property and would be a property-line dispute handled by the property owners.

Hanson stated that:

- He appreciated the applicant and neighbor attending the meeting.
- The proposal would give the business a fresh look. It would become harmonious with the area over time.
- It would be a good neighbor to have.

Maxwell stated that:

- She prefers to keep the building height where it is. A six-inch façade has no functional value. She did not think it would bring in new customers to have the corners jutting out.
- The new cooler and setback variance for the sign makes sense. She would prefer the sign to be smaller and meet the current sign ordinance requirements, but she would rather have it moved out of the sidewalk.
- She suggested a lot of care be taken with the lighting. The lighting of the signs for the carwash entrance and exit do not need to be illuminated at all times. She would prefer to have minimal lighting. Bright colors would not belong at this location.

Powers stated that:

- He agreed that moving the sign out of the right of way was a smart move.
- Minimizing the brightness of the lights would not harm the business and help the neighborhood.
- The pedestrian amenities and bike rack meet the character of the Minnetonka Mills area. People would be able to sit and talk and have a place to convene.
- He likes the proposal overall very much.
- Holiday gas stations are smart operators who like to please the customers.
- He likes that the applicant contacted the neighbors across the creek and gave them his phone number.
- It is the responsibility of the neighbors to let city staff and the owner know if light or sound is reaching their property.
- He supports the staff's recommendation.

Banks stated that:

- He agreed with the commissioners.
- He encouraged the applicant to continue to be a good neighbor.
- The facelift is much needed.
- He would love to see an electric charging station go in sooner rather than later.
- He encouraged the applicant to check with neighbors regarding the lights when the project was completed.
- He supports the staff's recommendation.

Waterman stated that:

- He appreciates the applicant investing in the property and working with city staff.
- He supports the staff's recommendation.

- The sign should be moved out of the right of way. He would prefer the sign's height be lowered. He did not think that the proposed sign's height would be necessary.
- The sign's illumination could be kept low to accommodate neighbors.

Henry stated that:

- He generally supports the proposal.
- It is a good use of the space because it is the same use as what is already there.
- The sign location is good.
- He had driven by the site before and could not tell if the gas station was open. A business needs to be advertised. As long as the lights are dim enough to be thoughtful to the neighbors, then the sign location and height would be appropriate.
- He agreed that the increased height of the building would not be needed. He prefers leaving the outside of the building the way that it is. It is homey, cute, and fits with the character of the neighborhood.
- He likes that the owner gave his cell number to adjacent property owners. He encouraged keeping the neighbors in the know as soon as possible.
- He appreciated the applicant working with city staff and neighbors to mitigate the spillover-lighting impact.
- He encouraged an electric-charging station to be added.

Maxwell stated that she would like to vote to deny the expansion permit to increase the height of the building, vote to approve the expansion permit to put the cooler in the back, and vote to approve the variance for the pylon sign. Gordon stated that separate motions could be made.

Hanson was fine voting separately on the items in the resolution. He supports all of them.

Chair Sewall stated that:

- He supports the staff's recommendation.
- He was happy to hear about the improvements to the internal operation of the car wash, and the drying aspect is located inside.
- The lights being able to dim is a great feature.
- There is a difference between harmonious and identical. The building does not have to be identical to what is already there to be harmonious with the area.

Henry asked for the reason behind increasing the height of the building three feet. Gordon answered to hide the view of mechanical equipment on the roof from the trail.

Powers supports increasing the height of the building as proposed.

Mr. Beaton explained that there had been a change in the technology and industry standards for HVAC and mechanical equipment. The height was designed to provide screening of the mechanical equipment, provide aesthetic cohesiveness between the canopy, carwash, and store, and give the site a little more character. The current building has structural limitations. Screening and architectural interest play a part in the design.

Hanson moved, second by Banks, to adopt the resolution approving expansion permits and variances for Minnetonka Properties Group at 12908 Minnetonka Blvd.

Powers, Waterman, Banks, Hanson, Henry, and Sewall voted yes. Maxwell voted no. Motion carried.

Chair Sewall stated that an appeal of the planning commission's decision must be made in writing to the planning division within ten days.

C. Resolution denying a conditional use permit for a freestanding ATM for Chase Bank at 11400 Hwy 7.

Withdrawn from the agenda at the request of the applicant.

9. Adjournment

Banks moved, second by Henry, to adjourn the meeting at 8:05 p.m. Motion carried unanimously.

By: _____
Lois T. Mason
Planning Secretary

Minnetonka Planning Commission Meeting

Agenda Item 7

Public Hearing: Consent Agenda

MINNETONKA PLANNING COMMISSION
May 12, 2022

Brief Description Amendment to the existing Crest Ridge Corporate Center sign plan for a monument sign at 10955 and 11055 Wayzata Blvd.

Recommendation Adopt the resolution approving the request.

Background

In January 2008, the city council approved a master development plan for the properties at 10955 and 11055 Wayzata Blvd. The approved Crest Ridge Corporate Center plan included the construction of two, three-story office buildings, associated parking structures, and surface parking lots. An office building and parking ramp were constructed on the 11055 Wayzata Blvd. (formerly Syngenta) property shortly after approval. Following the construction of the building, the city adopted a sign plan for the two properties. The sign plan allows:

- Three monument signs;
- Four-foot maximum letter height for wall signs; and
- A maximum of 6-feet stacked letter height for wall signs.

In January 2017, the city council approved a new master development plan for the 10955 Wayzata Blvd. (Orchards of Minnetonka) site to allow a four-story senior rental housing building. An amendment to the sign plan was approved shortly after – in 2018 – to allow two identification signs to be mounted on the retaining wall in front of the new building.



Proposal

While three monument signs are allowed under the original sign plan, only one has been constructed. It is located at the shared access to the two properties but generally only identifies the office building on the southern property.



Figure 1: Existing and Proposed Monument Sign

612 Signs is proposing to update this existing monument sign to identify multiple tenants within the building.

A directional parking lot sign would also be replaced to match the new monument sign. The following table is intended to summarize the current sign plan as it pertains to monument signs and the applicant's request.

		City Code	2009 Sign Plan	Proposed Sign
Monument Sign	Sign Height	15 ft.	NA	10 ft
	Copy and Graphic area	50 sq. ft.		59 sq. ft. *
	Monument size	100 sq. ft.		88 sq. ft.
	Setback	10 ft.		10 ft **
* The actual copy and graphic area are likely less based on the actual tenant identification size. This is the max size based on the panel size. ** This is a condition of approval				

Staff Analysis

Staff finds the proposed sign and associated sign plan amendment is reasonable, as:

- The sign plan contemplated three monument signs for the site, and two were not constructed. While the proposal would increase the size of the one monument sign on-site, it would still be significantly less than what was originally contemplated for the property.
- The proposed monument sign consists of four panels that can be switched out as tenants are identified. As a result, the actual copy and graphic area will likely be less than 59 square feet. However, the sign plan amendment will simply outline requirements for future tenants and staff review.
- The increased size will improve wayfinding and tenant identification on-site.

Staff Recommendation

Adopt the resolution approving an amendment to the existing Crest Ridge Corporate Center sign plan for a monument sign at 10955 and 11055 Wayzata Blvd.

Originator: Ashley Cauley, Senior Planner
 Through: Loren Gordon, AICP, City Planner

Supporting Information

Surrounding Land Uses

Northerly: Wayzata Boulevard and multi-family residential building
Easterly: Single-family homes
Southerly: Single-family homes
Westerly: Hopkins Crossroad and MetroTransit Park and Ride

Planning

10995 Wayzata Blvd

Guide Plan designation: high density residential
Zoning: PID, Planned I394

11055 Wayzata Blvd

Guide Plan designation: office
Zoning: PID, Planned I394

Sign Plan Review

Within the PUD/PID zoning districts, a sign plan with differing requirements may be approved by the city. Factors that will be used in determining if an individual P.U.D./P.I.D. sign plan will be considered includes the following:

1. The development includes a high rise (greater than a three-story) structure;

Finding: Both properties are improved with buildings taller than three stories.

2. The development includes multiple structures and/or substantial site area;

Finding: The site is comprised of two properties.

3. The development has mixed uses;

Finding: The northern property is a senior living apartment building, and the southern property is an office building.

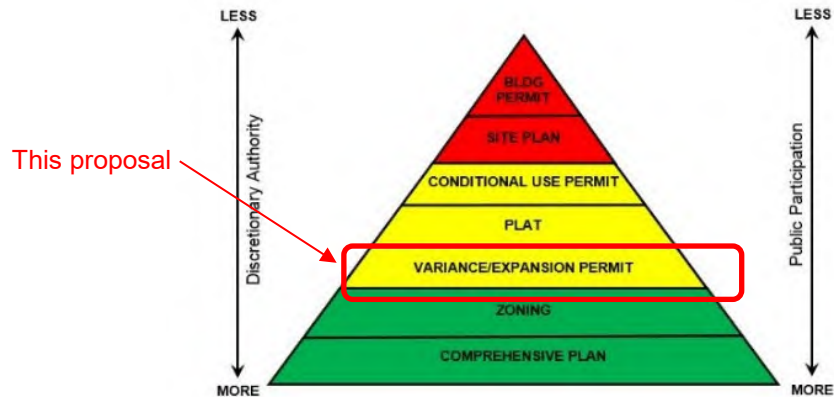
4. A sign plan is uniquely adapted to address the visibility needs of a development while remaining consistent with the intent of this section to direct high-quality signage; and

Finding: Despite the various land uses, the site utilizes one access point. The sign plan addresses the visibility needs of the various tenants.

5. The sign plan includes permanent sign covenants which can be enforced by the city.

Finding: The sign plan includes standards that can be enforced by the city.

Pyramid of Discretion



Motion Options

The planning commission has the following motion options:

1. Concur with staff's recommendation. In this case, a motion should be made approving the sign plan amendment.
2. Disagree with the staff's recommendation. In this case, a motion should be made denying the sign plan amendment. This motion must include a statement as to why denial is being recommended.
3. Table the request. In this case, a motion should be made to table the item. The motion should include a statement as to why the request is being tabled with direction to staff, the applicant, or both.

Voting Requirements

The planning commission's action on the applicant's request is final, subject to appeal. Approval requires the affirmative vote of five commissioners.

Appeals

Any person aggrieved by the planning commission's decision about the requested variances may appeal such a decision to the city council. A written appeal must be submitted to the planning staff within ten days of the date of the decision.

Neighborhood Comments

The city sent notices to 50 area property owners and received no comments to date.

Deadline for Decision

July 17, 2022



LOCATION MAP

Project: Crest Ridge Corporate Center
Location: 11055 and 10955 Wayzata Blvd





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CADD QUALIFICATION
The CADD staff has been trained and qualified in the use of AutoCAD, MicroStation, and other software applications for the preparation of engineering drawings. All drawings are prepared and checked by the CADD staff under the supervision of the Professional Engineer.

SUBMITTALS
11/20/20
07/25/20
PHINING SET
CITY SUBMITTAL

PROFESSIONAL CERTIFICATION
NOT FOR CONSTRUCTION

QUALITY CONTROL
Loucks Project No. 19423.0A
Project Lead SBT
Drawn By SBT
Checked By SBT
Reviewed By 07/25/2020

SHEET INDEX
C1-1 EXISTING CONDITIONS
C1-2 DEVELOPMENT PLAN
C1-3 SITE PLAN
C1-5 ACCESSIBLE ROUTE PLAN
C1-11 GRADING & EROSION CONTROL PLAN
C1-11 UTILITY PLAN
C1-11 DETAILS

UTILITY PLAN
C4-1

EXISTING	PROPOSED
CATCH BASIN	CATCH BASIN
STORM MANHOLE	STORM MANHOLE
FLARED END SECTION	FLARED END SECTION
SANITARY MANHOLE	SANITARY MANHOLE
HYDRANT	HYDRANT
GATE VALVE	GATE VALVE
POST INDICATOR VALVE	POST INDICATOR VALVE
WATER MANHOLE WELL	WATER MANHOLE WELL
LIGHT POLE	LIGHT POLE
POWER POLE	POWER POLE
ELECTRIC METER	ELECTRIC METER
GAS METER	GAS METER
TELEPHONE PEDESTAL	TELEPHONE PEDESTAL
SIGN	SIGN
BENCHMARK	BENCHMARK
SOIL BORING	SOIL BORING
PARKING STAKE COLONY	PARKING STAKE COLONY
ACCESSIBLE PARKING STALL	ACCESSIBLE PARKING STALL
STORM SEWER	STORM SEWER
DRAIN TILE	DRAIN TILE
SANITARY SEWER	SANITARY SEWER
FORCEMAN	FORCEMAN
WATERMAIN	WATERMAIN
SANITARY SEWER SERVICE	SANITARY SEWER SERVICE
WATER SERVICE	WATER SERVICE
UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
UNDERGROUND FIBER OPTIC	UNDERGROUND FIBER OPTIC
UNDERGROUND GAS	UNDERGROUND GAS
UNDERGROUND TELEPHONE	UNDERGROUND TELEPHONE
OVERHEAD UTILITY	OVERHEAD UTILITY
FENCE	FENCE
CHAIN LINK FENCE	CHAIN LINK FENCE
CONCRETE CURB	CONCRETE CURB
RETAINING WALL	RETAINING WALL
CONCRETE	CONCRETE
NO PARKING	NO PARKING
BUILDING	BUILDING
CONCRETE	CONCRETE
SPOT ELEVATION	SPOT ELEVATION
DIRECTION OF FLOW	DIRECTION OF FLOW
TREE LINE	TREE LINE
PARKING SETBACK LINE	PARKING SETBACK LINE
BUILDING SETBACK LINE	BUILDING SETBACK LINE

- UTILITY NOTES**
- ALL SANITARY SEWER, STORM SEWER AND WATERMAIN UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, THE MINNESOTA PLUMBING CODE, THE LOCAL GOVERNING UNIT, AND THE STANDARD UTILITIES SPECIFICATION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CLAM), LATEST EDITION.
 - ALL UTILITY PIPE BEDDING SHALL BE COMPACTED SAND OR FINE GRANULAR MATERIAL. ALL COMPACTON SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CLAM SPECIFICATION.
 - ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE FURNISHED PER THE REQUIREMENTS OF THE STATE AND LOCAL JURISDICTIONS. THE CITY DEPARTMENT OF ENGINEERING AND BUILDING INSPECTIONS DEPARTMENT AND THE CONSTRUCTION ENGINEER MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT OF WAY OR WORK IMPACTING PUBLIC UTILITIES.
 - ALL STORM SEWER, SANITARY SEWER AND WATER SERVICES SHALL TERMINATE 5' FROM THE BUILDING FACE UNLESS OTHERWISE NOTED.
 - A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED BETWEEN WATERMANS AND ALL OTHER UTILITIES UNLESS OTHERWISE NOTED.
 - ALL NEW WATERMANS AND SERVICES MUST HAVE A MINIMUM OF 8 FEET OF COVER. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. THE CONTRACTOR SHALL FIELD ADJUST WATERMANS TO AVOID CONFLICTS WITH SANITARY SEWER, STORM SEWER, AND SERVICES AS REQUIRED. INSULATION OF WATER AND SANITARY SEWER LINES SHALL BE PROVIDED WHERE A 10 FEET MINIMUM DEPTH CANNOT BE ATTAINED.
 - ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - ALL SANITARY SEWER VESSES, TEES AND SERVICES SHALL BE SCH 40 PVC.
 - ALL PORTIONS OF THE STORM SEWER SYSTEM, INCLUDING CATCH BASINS, LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE CONFORMANCE WITH MINNESOTA RULES, PART 4715.262.
 - ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE CAST IRON OR WATER TIGHT PER MINNESOTA RULES, PART 4715.0700. APPROVED RUBBER JOINTS MUST BE USED TO MAKE WATER TIGHT CONNECTIONS TO MANHOLES, CATCH BASINS, AND OTHER STRUCTURES.
 - HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINS MUST COMPLY WITH MINNESOTA RULES PART 4715.0400.
 - PIPES 8 INCH TO 10 INCH IN SIZE MUST COMPLY WITH ASTM D2321.
 - PIPES 12 INCH TO 60 INCH IN SIZE MUST COMPLY WITH ASTM D2306.
 - ALL FITTINGS MUST COMPLY WITH ASTM D2321.
 - WALK TIGHT JOINTS MUST BE USED AT ALL CONNECTIONS INCLUDING STRUCTURES.
 - HYDRANT USE: CONTRACTOR IS RESPONSIBLE TO NOTIFY PUBLIC UTILITIES DEPARTMENT WHEN THEY NEED TO USE A HYDRANT ONLY PER THE APPROVED HYDRANT AND SLOPED HYDRANT MATH WITH BACK FLOW. THE CONTRACTOR'S TEMPORARY WATER MAIN SHALL BE IDENTIFIED, FURNISHED AND BACTERIOLOGICAL ANALYSIS SHOWN NEGATIVE PRIOR TO PUTTING THE TEMPORARY SYSTEM IN SERVICE. THE TEMPORARY WATER MAIN SHALL BE IN PLACE PRIOR TO THE PUBLIC UTILITIES DEPARTMENT SHUTTING OFF ANY WATER MAINS.
 - PRE-INSTALLED HYDRANT MATERS AVAILABLE FROM PUBLIC UTILITIES DEPARTMENT. ANY TRUCK, ETC. FUELLED FROM A HYDRANT MUST BE METERS. MUST HAVE PUBLIC BREAK OR BACK FLOW PREVENTER APPROVED BY PUBLIC UTILITIES DEPARTMENT. ALSO APPLIES TO SUBCONTRACTORS.
 - OPERATING VALVES FOR TURNING WATER MAIN ON/OFF: PUBLIC UTILITIES DEPARTMENT WILL OPERATE ALL VALVES AND ALL WATER MAINS (PUBLIC AND PRIVATE). CONTRACTOR SHALL CALL AT LEAST 24 HOURS NOTICE TO HAVE WATER SHUT OFF AND SHALL NOTIFY IN WRITING ALL AFFECTED CUSTOMERS AT LEAST 24 HOURS IN ADVANCE BEFORE SHUT OFF. ATTACH TO TICKET, ETC. NOT IN MANHOLES.
 - TEMPORARY SERVICE: THE CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE IF SERVICE CANNOT BE RESTORED SAME DAY. IF USING HYDRANT FOR TEMPORARY SERVICE, NOTIFY PUBLIC UTILITIES DEPARTMENT AND USE ONLY THE APPROVED HYDRANT AND SLOPED HYDRANT MATH WITH BACK FLOW. THE CONTRACTOR'S TEMPORARY WATER MAIN SHALL BE IDENTIFIED, FURNISHED AND BACTERIOLOGICAL ANALYSIS SHOWN NEGATIVE PRIOR TO PUTTING THE TEMPORARY SYSTEM IN SERVICE. THE TEMPORARY WATER MAIN SHALL BE IN PLACE PRIOR TO THE PUBLIC UTILITIES DEPARTMENT SHUTTING OFF ANY WATER MAINS.
 - ALL PROPOSED STRUCTURES SHALL HAVE FLEX SEAL INSTALLED ON THE ADJOINING JOINTS.
 - STORM SEWER MATERIAL: HDPE
 - WATERMAIN MATERIAL: PVC 800

Monument sign

10955 Wayzata Blvd

Directional Sign

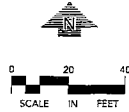
11055 Wayzata Blvd

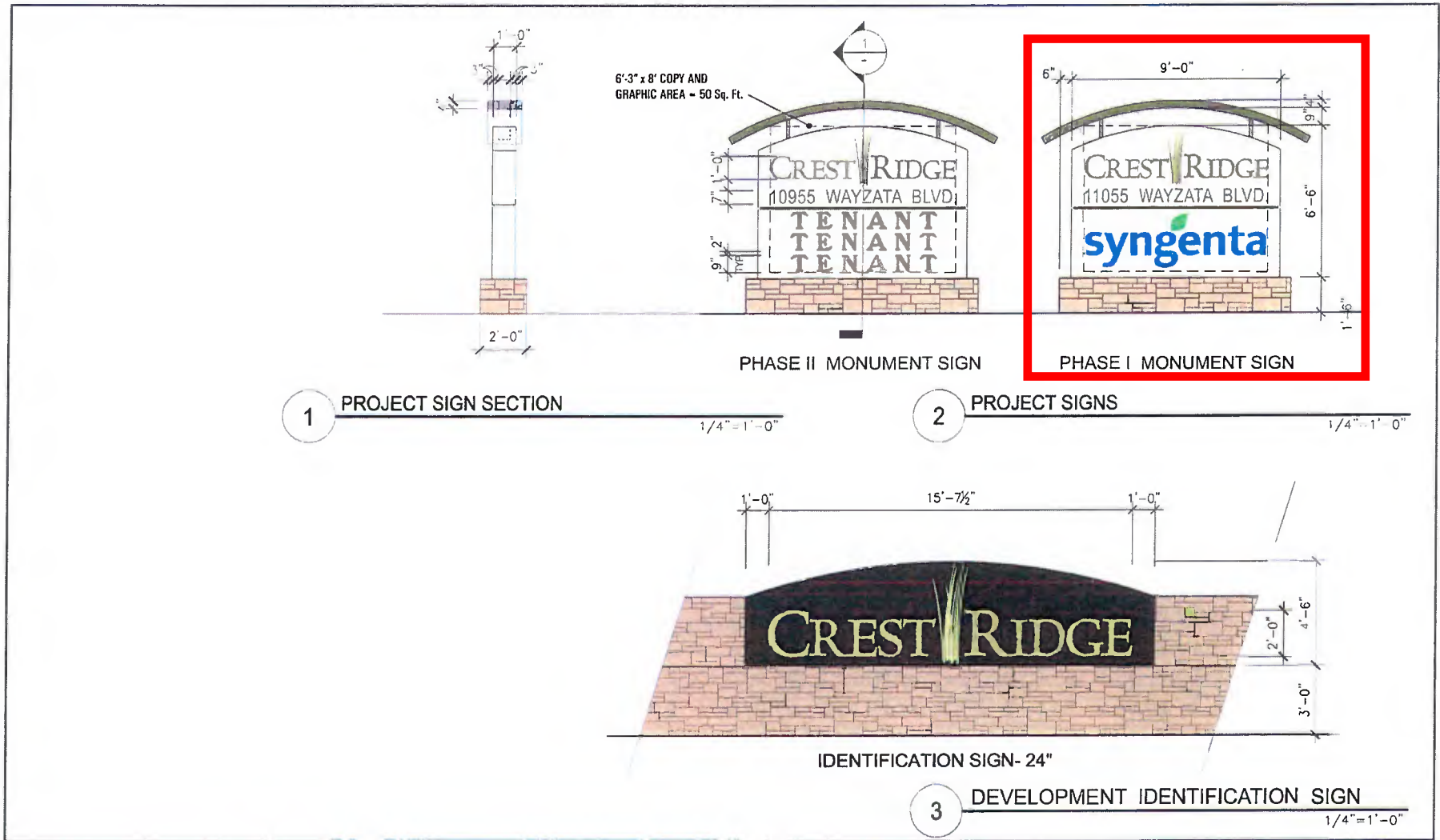
Gopher State One Call
CALL BEFORE YOU DIG
800 CITY AREA 637-454-0002
TOLL FREE: 1-800-292-1106

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.





CREST RIDGE CORPORATE CENTER
SIGN TYPE A - MONUMENT

SIGN TYPE

Type: Monument
Material: Aluminum, Lexan
Mount: footing/mechanical
Size H * W: 117" x 108"
Square Feet: 87.75
Illumination: Internal LED
Notes:

A: Material & Finish Schedule

1 spec

2 spec

B: Color Specs

1 spec

2 spec

3 spec



APPROVED APPROVED AS NOTED

Name: _____

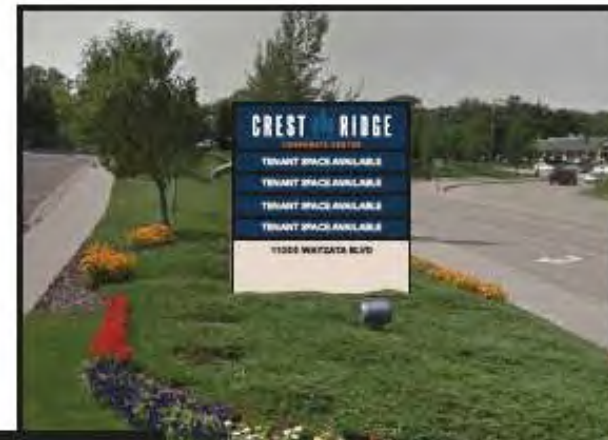
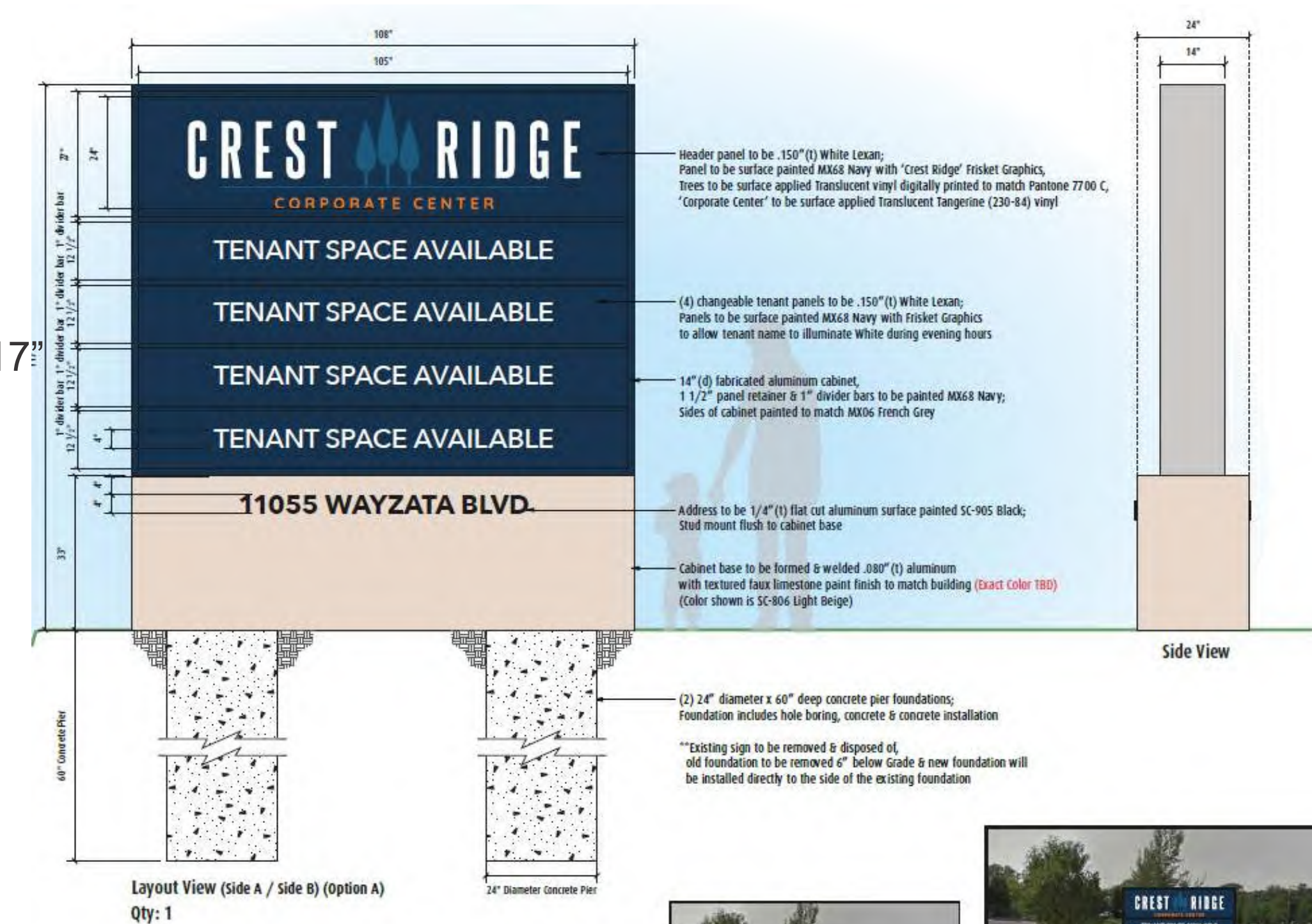
Signature: _____

Date: _____



7435 Washington Avenue South
Minneapolis, MN 55439

sales | William Salvador
phone | 612.503.5030
email | william@612signs.com



CREST RIDGE
CORPORATE CENTER

CLIENT
STEVE WEBB
ALPHAGRAPHS
FOR CUSHMAN-WAKEFIELD

LOCATION
CREST RIDGE CORPORATE CENTER
11055 WAYZATA BLVD
MINNETONKA MN

SALESPERSON: WS
DRAWN BY: WS
SCALE: AS NOTED
REV: -

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CREST RIDGE CORPORATE CENTER
DIRECTIONAL SIGN

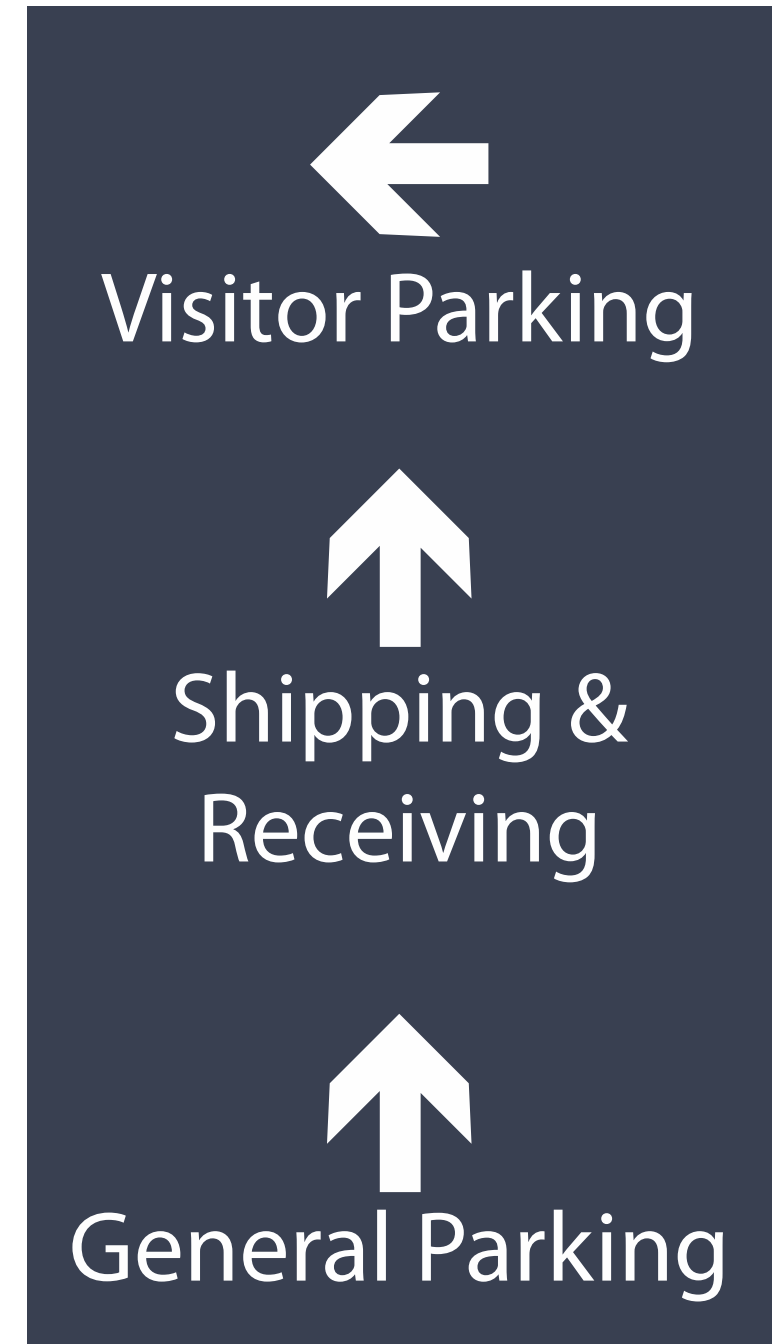
Rebuild directional sign to
same dimensions, scale concrete
base to grade

setback is 27 feet

Sign face dimensions
36" W x 65" H
2 sided

CURRENT SIGN

PROPOSED DESIGN
pending final drawing



SIGN TYPE

Type: Monument
Material: Aluminum
Mount: Mechanical
Size: 65" x 36"
Square Feet: 16.25
Illumination: none
Notes:

A: Material & Finish Schedule

- 1 spec
- 2 spec

B: Color Specs

- 1 spec
- 2 spec
- 3 spec



APPROVED APPROVED AS NOTED
Name: _____
Signature: _____
Date: _____



7435 Washington Avenue South
Minneapolis, MN 55439
sales | William Salvador
phone | 612.503.5030
email | william@612signs.com

CREST RIDGE
CORPORATE CENTER

CLIENT
STEVE WEBB
ALPHAGRAPHS
FOR CUSHMAN-WAKEFIELD

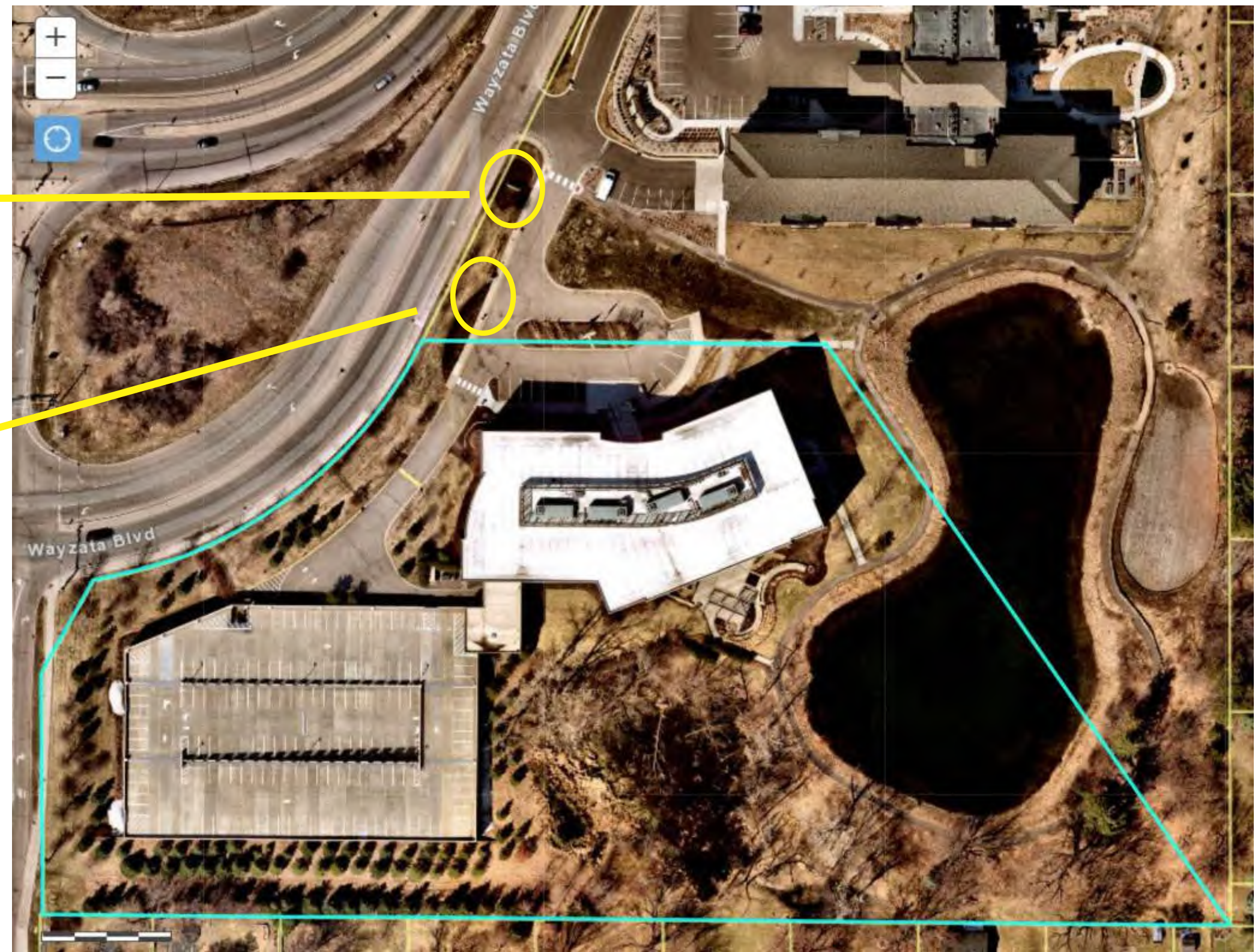
LOCATION
CREST RIDGE CORPORATE CENTER
11055 WAYZATA BLVD
MINNETONKA MN

SALESPERSON: WS
DRAWN BY: WS
SCALE: AS NOTED
REV: -

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Monument sign

Directional sign
to be rebuilt as shown
same dimensions



7435 Washington Avenue South
Minneapolis, MN 55439

sales | William Salvador
phone | 612.503.5030
email | william@612signs.com

CREST RIDGE
CORPORATE CENTER

CLIENT STEVE WEBB
ALPHAGRAPHICS
FOR CUSHMAN-WAKEFIELD

LOCATION CREST RIDGE CORPORATE CENTER
11055 WAYZATA BLVD
MINNETONKA MN

SALESPERSON: WS
DRAWN BY: WS
SCALE: AS NOTED
REV: -

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CREST RIDGE CORPORATE CENTER SIGN PLAN

A. GENERAL REQUIREMENTS

1. Appropriate permits must be obtained from the City of Minnetonka prior to installation of any sign.

B. MONUMENT SIGNS

1. Three monument signs are permitted within the development:
 - Sign A – Identifies the overall development
 - Sign B – Identifies the northerly building
 - Sign C – Identifies the southerly building
2. The location and design of each sign must be in substantial conformance with Exhibit A.
3. The maximum copy and graphic area of each sign is as follows:
 - Sign A – 32 square feet
 - Sign B – 50 square feet
 - Sign C – 50 square feet *OK*
4. The graphic component of each sign, as noted on Exhibit A, is not included in the calculation of the maximum copy and graphic area.
5. The maximum monument area of each sign is as follows:
 - Sign A – 80 square feet
 - Sign B – 100 square feet
 - Sign C – 100 square feet

C. WALL SIGNS

1. Two wall signs are permitted on each building within the development.
2. Wall signs are limited to the north and west facades of each building.
3. For any wall sign:
 - Maximum individual letter height within a wall sign is 4 feet
 - Maximum stacked height of any wall sign is 6 feet
 - Maximum total area is 162.5 square feet

Resolution No. 2022-

Resolution approving an amendment to the existing Crest Ridge Corporate Center sign plan for a monument sign at 10955 and 11055 Wayzata Blvd.

Be it resolved by the Planning Commission of the City of Minnetonka, Minnesota, as follows:

Section 1. Background.

- 1.01 612 Signs is requesting an amendment to the Minnetonka Corporate Center sign plan to replace an existing monument sign, identifying the tenants within the office building at 11055 Wayzata Blvd, with a larger sign.
- 1.02 The site is located at 10955 and 11055 Wayzata Blvd. The properties are legally described in Exhibit A.
- 1.03 Crest Ridge Corporate Center is governed by a sign plan approved by the city on May 7, 2009.

Section 2. General Standards.

- 2.01 By City Code §300.30 Subd.9(h), the city may consider and approve sign plans with differing standards for properties located within the PID district. Factors used in determining if an individual sign plan will be considered include the following:
1. The development includes a high rise (greater than three-story) structure;
 2. The development includes multiple structures and/or substantial site area;
 3. The development includes mixed uses;
 4. A sign plan is uniquely adapted to address the visibility needs of a development while remaining consistent with the intent of this section to direct high-quality signage; and
 5. The sign plan includes permanent sign covenants which can be enforced by the city.

Section 3. FINDINGS.

- 3.01 The sign plan amendment is appropriate for the property as:

1. Crest Ridge Corporate Center is comprised of two buildings, both of which are taller than three stories.
2. The 14.5-acre site is improved with two buildings, structured parking, and parking lots.
3. The site contains a mix of office and high-density residential uses.
4. The sign plan addresses the unique visibility needs of the site and is generally consistent with the intent of the city's sign ordinance.
5. The sign plan provides covenants to be enforced by the city.

Section 4. Planning Commission Action.

4.01 The planning commission approves a sign plan amendment to the Crest Ridge Corporate Center to increase the size of the monument sign at 10955 and 11055 Wayzata Blvd.

4.02 Approval is based on the findings outlined in section 3 of this report and is subject to the following conditions:

1. The property line must be surveyed to ensure that the sign is located outside of the drainage and utility easement and maintains a 10-foot setback.
2. Install erosion controls as needed for sign installation.
3. A sign permit is required.

Adopted by the Planning Commission of the City of Minnetonka, Minnesota, on May 12, 2022.

Josh Sewall, Chairperson

Attest:

Fiona Golden, Deputy City Clerk

Action on this resolution:

Motion for adoption:

Seconded by:

Voted in favor of:

Voted against:

Abstained:

Absent:

Resolution adopted.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the Planning Commission of the City of Minnetonka, Minnesota, at a duly authorized meeting held on May 12, 2022.

Fiona Golden, Deputy City Clerk

Exhibit A

Parcel 1:

Lot 1, and Lot 2, Block 1, Crest Ridge Corporate Center, except that part thereof shown as Parcel 5D on Minnesota Department of Transportation Right of Way Plat No. 27-40 filed October 10, 1986, as Document No. 1763601.

Hennepin County, Minnesota Abstract and Torrens Property

Parcel 2:

Easements for the benefit of Parcel 1 contained in Declaration of Reciprocal Easements, Covenants, Conditions and Restrictions (Crest Ridge Corporate Center) dated April 22, 2008, filed June 16, 2008, as Document Nos. 9147477 (Abstract) and 4505686 (Torrens), for access, storm water drainage, sanitary sewer, water, gas, electric, telephone, cable television and communication purposes.

Assigned to RP Land, L.L.C., a Delaware limited liability company, by Assignment of Declaration of Reciprocal Easements, Covenants, Conditions and Restrictions (Crest Ridge Corporate Center) and Assumption Agreement dated December 28, 2010, filed September 13, 2013, as Document No. A10005896 (Abstract) and filed November 14, 2013, as Document No. T05132524 (Torrens).

Amended by First Amendment to Declaration of Reciprocal Easements, Covenants, Conditions and Restrictions (Crest Ridge Corporate Center) dated December 16, 2014, filed January 2, 2015, as Document No. T05224856 (Torrens) and filed January 8, 2015, as Document No. A10152200 (Abstract).

Minnetonka Planning Commission Meeting

Agenda Item 8

Public Hearing: Non-Consent Agenda

MINNETONKA PLANNING COMMISSION
May 12, 2022

Brief Description Items concerning a fast food restaurant at 15110 Highway 7:

1. Conditional use permit, with variances; and
2. Site and building plan review.

Recommended Action Recommend the city council adopt the resolution approving the proposal.

Background

In 1984, Tonto's Taco Shoppe, was demolished, and a new building was constructed under the ownership of Taco Bell Corporation at 15110 Highway 7. The site is approximately 28,000 square feet with an existing building, roughly 1,800 square feet in size, and located within the B-2 Limited Business District. During the last 38 years, Taco Bell has remained the occupying tenant of the property with no major site changes. The most recent interior remodel was in 1994.



Proposal

Border Foods is proposing to redevelop the site, which would include: relocating the drive-thru towards the rear of the property to accommodate more vehicles waiting for the communication teller, constructing a new building with a modern exterior, reducing the number of on-site parking, and installing an underground stormwater chamber. The proposed building is 2,951 square feet, an increase from the existing 1,782 square foot building. The restaurant would include an indoor seating area, but the site would be redeveloped to accommodate the larger amount of customers that would rather order and pick up food via a drive-thru service counter.

The proposal requires:

1. **Conditional use permit, with variances.** A conditional use permit is required for any fast food restaurant with or without drive-up facilities in the B-2 District. The proposed restaurant requires a variance to the conditional use permit standards for the following:
 - Number of required parking spaces;
 - Parking lot setback from the ROW along the rear property line; and
 - Building side yard setback from the westerly property line.

For more information, see the "Supporting Information" section of this report.

2. **Site and building plan review.** A site and building plan review is necessary for the construction and expansion of any commercial building or site. The expansion requires additional parking, which is considered in the variance request.

Staff Analysis

A land-use proposal is comprised of many details. These details are reviewed by members of the city's economic development, engineering, fire, legal, natural resources, planning, and public works departments and divisions. The details are then aggregated into a few primary questions or issues. The analysis and recommendations outlined in the following sections of this report are based on the collaborative efforts of this larger staff review team.

- **Is the proposed use generally appropriate?**

Yes. The use will not be changed by this proposal, but the structure will increase in size. The use is the same existing use and tenant. The fast-food restaurant has an existing conditional use permit, but the changes require a new conditional use permit and site and building plan review.

- **Is the parking variance reasonable?**

Yes. The independent parking study of the property suggests that the site could accommodate the restaurant's typical amount of business with the reduced number of parking stalls. The site does have an existing parking lot within 10 feet of the north property line. The proposed parking lot would be set back further than the existing parking lot from the north property line. This is also an opportunity that would create better circulation by stacking vehicles on-site rather than spilling onto the frontage road.

- **Is the building setback reasonable?**

Yes. The five-foot variance would provide the easterly side of the property with more area to be dedicated to parking stalls and the drive-thru lane. If the building were configured five feet to the east to meet the ordinance, the parking stalls and driveway width would be reduced, therefore not meeting the required parking stall dimensions.

- **Is the proposed design reasonable?**

Yes. Both the site and the building have been reasonably designed.

1. **Site.** The communications teller would be located in an under-utilized section of the existing parking lot, creating a larger area for vehicles awaiting their turn to order. The site currently has issues with waiting vehicles backing up onto the frontage road. A parking study commissioned for the project found that overall parking demand and vehicle queueing for the proposed drive-thru could be accommodated on site.
2. **Building.** The color pallet on the proposed restaurant is consistent with other Taco Bells chains previously approved, such as at 12380 Wayzata Blvd. The proposed materials are not used on the existing building; however, the use of

nichiha panels, siding, and glass would be consistent with the architectural features of a commercial building.

For more discussion, see the “Supporting Information” section of the report.

Staff Recommendation

Recommend the city council adopt the resolution approving a conditional use permit with variances and a final site and building plans for Taco Bell at 15110 Highway 7.

Originator: Bria Raines, Planner
Through: Susan Thomas, AICP, Assistant City Planner
Loren Gordon, AICP, City Planner

Supporting Information

Subject Property	The subject property is located in the B-2 – Limited Business – zoning district and has a commercial land use designation in the 2030 Comprehensive Guide Plan.
Surrounding Property	North: Zoned R-1 Low-Density Residential South: State Highway 7 and R-1 Low Density Residential East: Office buildings, zoned PUD West: Zoned B-3 General Business District
Proposed Building	<p>The proposed building would be 2,951 square feet in size. It would not include an outdoor dining area. Rather, customers would order and pick up food via a drive-thru or indoor service counter. All on-site parking is located on the easterly portion of the property.</p> <p>The current plans suggest the use of glass, nichiha fiber cement siding, and plank lap siding materials. The exterior and materials are consistent with the architectural designs of commercial buildings.</p>
Stormwater	<p>New development and redevelopment of existing sites must meet specific stormwater management rules, which include runoff rate control, runoff volume control, and water quality treatment. Best management practices (BMPs) are incorporated into stormwater management plans to control the volume of water leaving the site while improving water quality by reducing pollutant loading. Further, the rate of stormwater runoff leaving a site "post-development" must be less than or equal to the rate of runoff leaving the site "pre-development."</p> <p>The stormwater plans submitted by the applicant propose to capture runoff through a series of catch basins. From these, the runoff would be routed via a storm sewer pipe to underground treatment chambers and ultimately outlet to the public storm sewer system. The current plans generally meet the city's stormwater management rule.</p>
Traffic and Parking	<p>The proposed redevelopment would construct a new building in the existing parking lot, relocate the drive-thru to the rear of the property, and would, therefore, reduce available on-site parking. The city commissioned a parking study in order to evaluate the implications of this reduction.</p> <p>The purpose of any parking study is to evaluate the average parking demand generated by a land-use relative to the parking supply. The specific study for the proposed Taco Bell found:</p> <ul style="list-style-type: none">• Nineteen parking spaces would accommodate the parking demand at the site and "have a surplus between five (5) to seven (7) spaces during the lunch peak period".

- The parking demands were 12 and 14 parking stalls on the two separate on-site observations.

Demand by Time	Existing Demand	Future Demand Estimates			Future Supply	Future Surplus/(Deficit)			
		ITE Avg	ITE 85%ile	City Code		Existing Demand	Avg	ITE 85%ile	City Code
Weekday 11:30-12:30 PM	12	22	36	43	19	+7	(-3)	(-17)	(-24)
Friday 11:30-12:30 PM	14	32	43	43	19	+5	(-13)	(-24)	(-24)

- The exiting site has an issue with the drive-thru location that causes vehicle stacking to extend off-site. The site plan proposal would relocate the window and would provide a stacking area for up to eight vehicles.

The proposed restaurant requires variances to CUP standards.

	Existing	City Code	ITE	Parking Study	Proposed
Parking Demand	32	43	32	12 to 14	19*

* variance required

CUP Standards

By City Code 300.18 Subd.4(f), fast food restaurants with a drive-thru window in the B-2 district are subject to the following general standards.

- Shall meet the district standards of City Code 300.18 Subd.5 for a conditional use permit in the B-2 district:
 - Shall have a maximum height of 35 feet or two stories, whichever is less;
 - Shall have a minimum front yard setback of 50 feet;
 - Shall have a minimum side and rear yard setback of 35 feet;
 - Shall have a maximum floor area ratio of 0.8;
 - Shall have a maximum lot coverage of 85 percent, including building footprints, parking areas, driveways, loading, storage, and trash areas, and other areas covered by any impervious surface;

- f) Shall be accessed as designated in the comprehensive plan or a street specifically designed to accommodate commercial traffic; and
- g) Shall locate trash enclosures or accessory buildings behind the front building line of the principal building, have a maximum of 600 square feet in size, and meet parking setbacks.

Finding: The proposed plan requires a variance to the side yard setback and the parking setback from a ROW.

The proposal otherwise meets the height maximum, front and rear setbacks, the floor area ratio, impervious surface maximum, front and side parking setbacks, and trash enclosure setbacks.

	Required			Proposed		
	Front	Rear	Side	Front	Rear	Side
Building Setback	50ft	35ft	35ft	55ft	60ft	30ft*
Parking Setback	20ft	20ft (ROW)	10ft	20ft	11.3ft*	10ft

* Variance required

- 2. Shall meet the additional standards of City Code 300.18 Subd.6 for a conditional use permit in the B-2 district:
 - a) All developments shall be subject to site and building plan review pursuant to section 300.27 of this ordinance.
 - b) All developments shall comply with the wetlands, floodplain, and shoreland regulations contained in sections 300.23, 300.24, or 300.25 of this ordinance.
 - c) Parking shall be regulated pursuant to section 300.28 of this ordinance.
 - d) All developments shall comply with the city's water resources management plan.
 - e) Signs shall be regulated pursuant to section 325 of the code of city ordinances.

Finding: The site plans meet these standards. The plans to include two signs on the building exterior. A sign permit will be required for the signs.

- 3. Shall have parking in compliance with the requirements of section 300.28 of this code;

Finding: This proposal would be a variance for the required number of parking stalls, the parking setback from the ROW along the rear property line, and the building setback from the westerly property line.

4. Shall be permitted only when it can be demonstrated that operation will not lower the existing level of service significantly as defined by the institute of traffic engineers on the roadway system;

Finding: The parking study does not anticipate the proposed restaurant would lower the existing levels of service on the Highway 7 north frontage road.

By City Code 300.21 Subd.4(f), fast food restaurants with a drive-thru window in the B-2 district are subject to the following specific conditional use permit standards.

1. Shall be located only on sites having direct access to minor arterial streets or service roads;

Finding: The subject property is accessed via the Hwy 7 service road.

2. Public address systems shall not be audible from any residential parcel;

Finding: This has been included as a condition of approval.

3. Stacking for a minimum of six cars per aisle shall be provided within applicable parking lot setbacks;

Finding: The proposed site plan would significantly increase stacking area over existing conditions. Staff anticipates a stacking area for at least eight vehicles.

4. Shall not be permitted when traffic studies indicate significant impacts on the levels of service as defined by the institute of traffic engineers of adjacent streets and intersections; and

Finding: The site has been occupied by Taco Bell for over 30 years. The redevelopment to update the restaurant building and site are not anticipated to impact levels of service beyond the current conditions.

5. The building shall be set back at least 100 feet and screened from any adjacent property designated in the comprehensive plan for residential use.

Finding: The proposed building would be located over 120 feet from the closed residential building and screened by fencing and vegetation.

SBP Standards

By City Code §300.27, Subd. 5, the city will consider compliance with the following standards when evaluating site and building plans. The proposed apartment development would meet these standards.

1. Consistency with the elements and objectives of the city's development guides, including the comprehensive plan and water resources management plan;

Finding: The proposal has been reviewed by city planning, engineering, and natural resources staff and found to be generally consistent with the city's development guides, including the water resources management plan.

2. Consistency with this ordinance;

Finding: Apart from the variances, the proposal would comply with the standards of the CUP ordinance and the site and building plan review. As is outlined in the associated resolution, the variance standard is met.

3. Preservation of the site in its natural state to the extent practicable by minimizing tree and soil removal and designing grade changes to be in keeping with the general appearance of neighboring developed or developing areas;

Finding: The proposed redevelopment site would require the removal of eight high-priority trees and mitigation of 88-inches of deciduous trees. This proposal would meet the tree protection ordinance standards.

4. Creation of a harmonious relationship of buildings and open spaces with natural site features and with existing and future buildings having a visual relationship to the development;

Finding: The proposed redevelopment would incorporate more landscaping on the site than currently exists. Existing open spaces would be enhanced with more trees and plants, increasing the number of natural features.

5. Creation of a functional and harmonious design for structures and site features, with special attention to the following:

- a) An internal sense of order for the buildings and uses on the site and provision of a desirable environment for occupants, visitors, and the general community;

- b) The amount and location of open space and landscaping;
- c) Materials, textures, colors, and details of construction as an expression of the design concept and the compatibility of the same with the adjacent and neighboring structures and uses; and
- d) Vehicular and pedestrian circulation, including walkways, interior drives, and parking in terms of location and number of access points to the public streets, the width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic, and arrangement and amount of parking.

Finding: The proposed site would create an appropriate physical order to the site allowing more vehicle stacking on-site. The parking study for the proposed site suggests the proposed amount of parking is sufficient. The staff has also suggested that the new fencing match the fencing that will be installed at the adjacent commercial property to the west.

- 6. Promotion of energy conservation through design, location, orientation, and elevation of structures, the use and location of the glass in structures, and the use of landscape materials and site grading; and

Finding: As new construction, the proposed restaurant would include energy efficiency/conservation components required by the state building code.

- 7. Protection of adjacent and neighboring properties through reasonable provision for surface water drainage, sound and sight buffers, preservation of views, light, and air, and those aspects of design not adequately covered by other regulations which may have substantial effects on neighboring land uses.

Finding: The proposal would visually and physically alter the property and the immediate area. However, it is not anticipated to negatively impact adjacent or neighboring properties.

Variance Standard

By City Code §300.07, a variance may be granted from the requirements of the zoning ordinance when: (1) it is in harmony with the general purposes and intent of the ordinance; (2) it is consistent with the comprehensive plan; and (3) when an applicant establishes that there are practical difficulties in complying with the ordinance. Practical difficulties mean that the applicant proposes to use a property in a reasonable manner not permitted by the ordinance, the plight of the landowner is due to circumstances unique to the property not created by the landowner, and the variance, if granted, would not alter the essential character of the locality.

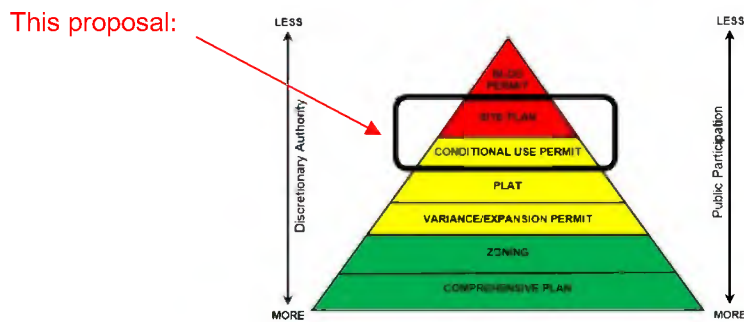
Natural Resources Best management practices must be followed during the course of site preparation and construction activities. This would include the installation and maintenance of erosion control fencing.

Neighborhood Comments The city sent notices to 22 area property owners and residents and received no written comments to date.

Commission Action The planning commission will make a recommendation to the city council; a recommendation requires a majority vote of the commission. The planning commission has the following options:

1. Concur with staff's recommendation. In this case, a motion should be made recommending the city council approve the conditional use permit with associated parking variance and the site and building plan review.
2. Disagree with the staff's recommendation. In this case, a motion should be made recommending the city council deny one or more aspects of the proposal. The motion should include findings for denial.
3. Table the request. In this case, a motion should be made to table the item. The motion should include a statement as to why the request is being tabled with direction to staff, the applicant, or both.

Pyramid of Discretion



Deadline for Action July 27, 2022



LOCATION MAP

Project: Taco Bell
Location: 15110 Hwy 7



Written Statement – Site Plan Review / C.U.P. / Variance Applications

RE: Taco Bell
15110 MN 7
Minnetonka, MN 55345

Border Foods is a franchisee of Taco Bell Corp. and has been operating Taco Bell restaurants since 1996. The existing Taco Bell restaurant located at 15110 MN 7 in Minnetonka has been in operation at this location for a number of years and is in need of updates and improvements. Border Foods believes the best method to continue serving the community with an improved experience and level of service to its patrons would be to remove the existing building and construct a new building which incorporates the latest Taco Bell Corp. image, furnishings, equipment, operations, and service. Along with the new building, Border Foods will also modify the site conditions and layout to accommodate the new building footprint as well as make improvements to the efficiency and operation of the parking and drive-thru lane service to its customers. We believe this new building and site layout will be a great aesthetic improvement to the neighborhood as well.

The proposed improvements require submittals to the City of Minnetonka for consideration in the form of 'Site and Building Plan Review', 'Conditional Use Permit (C.U.P.)', and 'Variance' applications. Below is an outline of the C.U.P. and Variance requests applied for this submittal.

Conditional Use Permit Standards

General Standards:

- a) The use is consistent with the intent of this ordinance - ***This is an existing use and believed the new design to be consistent with the intent of this ordinance.***
- b) The use is consistent with the goals, policies, and objectives of the comprehensive plan - ***This is an existing use and believed the new design to be consistent with the goals, policies, and objectives of the comprehensive plan***
- c) The use does not have an undue adverse impact on governmental facilities, utilities, services or existing or proposed improvements - ***This is an existing use and believed the new design to not have an undue adverse impact on governmental facilities, utilities, services or existing or proposed improvements.***
- d) The use is consistent with the city's water resources management plan - ***This is an existing use and believed the new design is consistent with the city's water resources management plan.***
- e) The use is in compliance with the performance standards specified in section 300.28 of this ordinance - ***This is an existing use and believed the new design is in compliance with the performance standards specified in section 300.28 with the exception of the requested variance to parking requirements as outlined below.***
- f) The use does not have an undue adverse impact on public health, safety or welfare - ***This is an existing use and believed the new design does not have an undue adverse impact on public health, safety or welfare.***

Specific Standards in B-2, Limited Business District

- a) Outside storage, display, sales or servicing – **Not Applicable**
- b) Service Stations and other automobile related uses having service bays – **Not Applicable**
- c) Non-service station retail facilities having gasoline pumps – **Not Applicable**
- d) Uses having a drive-up window
 - 1) Drive-up windows and stacking areas shall not be located adjacent to any residential parcel - ***This is an existing use, residential parcels are not located directly adjacent to, there is a public street separating as well as screening fence and extensive landscape plantings will be continued as part of the new design.***
 - 2) Stacking areas shall provide for a minimum of six cars per aisle - ***The new design provides stacking area for a minimum of eight cars in the one drive-thru aisle.***
 - 3) Public address system shall not be audible from any residential parcel - ***This is an existing use and the new design will be such that the order point speaker box will not be audible from any residential parcel.***
- e) Storage, assembly or servicing related to the permitted use and occupying between 10 and 25 percent of the gross floor area of the principal structure – **Not Applicable**
- f) Fast food restaurants with or without drive-up facilities, except those located in community or regional shopping centers
 - 1) Shall be located only on sites having direct access to minor arterial streets or service roads - ***This is an existing use and the new design will maintain compliance with this requirement.***
 - 2) Public address systems shall not be audible from any residential parcel - ***This is an existing use and the new design will be such that the order point speaker box will not be audible from any residential parcel.***
 - 3) Stacking for a minimum of six cars per aisle shall be provided within applicable parking lot setbacks - ***The new design provides stacking area for a minimum of eight cars in the one drive-thru aisle.***
 - 4) Shall not be permitted when traffic studies indicate significant impacts on the levels of service as defined by the institute of traffic engineers of adjacent streets and intersections - ***This is an existing use. No change in traffic impacts on adjacent streets and intersections is anticipated.***
 - 5) Building shall be set back at least 100 feet and screened from any adjacent property designated in the comprehensive plan for residential use - ***The new design is in compliance and the building is a minimum of 100 feet and screened from the residential properties to the North.***
- Items g) – s) of this section in the city code - **Not Applicable**

Variance Requests

The variance requests proposed this submittal are for reduced parking and building setback minimums outlined in the city code as well as reduced minimum parking stall requirements as outlined in the city code.

These variance requests are being made due to the unique shape of the property, desire to maintain existing significant trees located on the property, and parking requirements beyond operational needs for the facility.

We believe the below outlined variance requests would still allow the site and building to be in harmony with the general purpose and intent of city ordinances.

1) Minimum Quantity of Parking Stalls

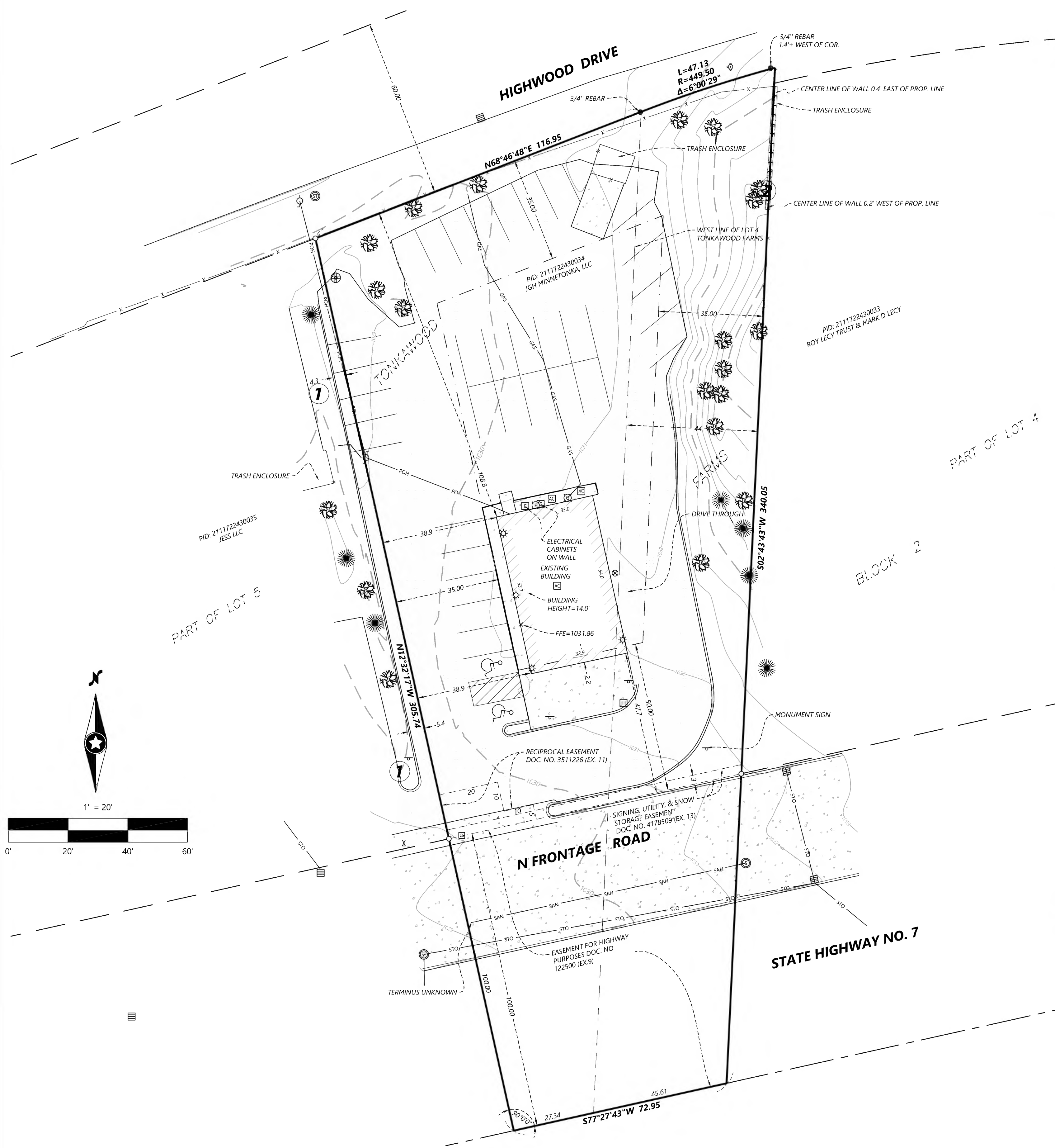
- Per our interpretation of the zoning code for parking – the proposed new 2,591 sq. ft. building would require parking at a rate of 1 per 60 G.S.F. which equates to 43 parking stalls.
 - It should be noted that the existing site layout has an exterior trash/recycling enclosure whereas the proposed new building and site incorporates the trash/recycling within the new proposed building. The area of this room within the building is approximately 400 sq. ft.
 - Eliminating the 400 sq. ft. trash/recycling room from the overall building area would leave 2,191 sq. ft. of remaining building area at $1/60 = 37$ parking stalls required
- The proposed variance is for a total of 19 total parking stalls provided on site.
- Historical needs at this restaurant location (as well as the over 200 other Taco Bell locations Border Foods operates) reveal that 19 total parking stalls will be adequate for both customer and employee parking needs.
- We also see granting this variance request as a positive for the environment with less ‘heat island’ effect caused by less bituminous/hard surface areas

2) Reduction on minimum parking setback requirements along the West and North side of the property

- This request being made as a result of the unique shape of the property as well as the desire to maintain existing significant trees.
- The parking and drive-thru aisle configuration proposed will provide a more efficient operating flow of vehicular traffic through the site than current conditions experience.

3) Reduction of minimum building setback requirement along the West side of the property

- This request being made as a result of the unique shape of the property as well as the desire to maintain existing significant trees.
- The parking and drive-thru aisle configuration proposed will provide a more efficient operating flow of vehicular traffic through the site than current conditions experience.



LEGAL DESCRIPTION(Commitment No. ORTE748156)

The West 44 feet of that part of Lot 4 which lies North of the center line of State Highway No. 7 and that part of Lot 5 which lies North of the center line of State Highway No. 7 and Easterly of a line drawn at a right angle to said center line from a point therein distant 27.34 feet Westerly, measured along said center line from the East line of said Lot 5, Block 2, "Tonkawood Farms", according to the recorded plat thereof, and situate in Hennepin County, Minnesota.

Torrens Property
Being registered land as is evidenced by Certificate of Title No. 1539548.

GENERAL NOTES

- This survey was prepared using Old Republic National Title Company, Title Commitment Number ORTE748156 Supplement #1 having an effective date of February 20, 2022 at 7:00 AM.
- The address of the surveyed property is 15110 State Highway No. 7, Minnetonka, MN 55345. (Table A Item 2)
- Subject property appears to be classified as Zone X (Area of minimal flood hazard) when scaled from Flood Insurance Rate Map Community - Panel Number 27053C0396F dated 11/4/2016. (Table A Item 3)
- Subject property contains 28,309± Sq Ft. or 0.65± acres. (Table A Item 4)
- Contours are shown at 1 foot intervals and are based upon NAVD 88. (Table A, Item 5)
- Subject property is currently zoned B-2 Limited Business (Table A Item 6 (a))
Setbacks:
Building: Front = 50 Feet, Side = 35 Feet, Rear = 35 Feet (Table A Item 6 (a))
- Subject property contains 30 regular parking stalls and 2 handicapped stalls. (Table A Item 5)
- The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities. (State One Call Ticket No. 21940285). (Table A Item 11(a))
- Adjacent Ownership information shown per Hennepin County GIS Map. (Table A, Item 13)
- As of the date the field work was completed for this survey, there was no observable evidence of current earth moving work, exterior building construction or building additions. (Table A Item 16)
- As of the date of this survey, there are no proposed changes in street right of way lines, per the City of Minnetonka Project website. As of the date of the field work was completed for this survey, there was no observable evidence of recent street or sidewalk construction or repairs. (Table A, Item 17)
- Based on the information contained within the title commitment listed above and a physical inspection of the subject property, the surveyor is not aware of any off site easements or servitudes other than shown hereon. (Table A, Item 18)
- Bearings based on the Hennepin County coordinate system, (NAD 83 - 2011 Adjustment).

SCHEDULE B II TITLE ITEM NOTES (Commitment No. ORTE748156)

- The following notes correspond to the numbering system of Schedule B II of the above mentioned title commitment. Items 1-7 are not survey matters.
- Final Certificate by and between the State of Minnesota and William T. Kolesh, et al. dated July 9, 1935, filed September 7, 1935, as Document No. 122500. (SHOWN ON SURVEY)
 - Terms and conditions of that certain Lease by and between Wheaton Thomas Investment Company, a partnership, as lessor, and Standard Oil Company, an Indiana corporation, as lessee, dated March 28, 1957, as Document No. 543862. Above lease was assigned by Standard Oil Company an Indiana corporation to The American Oil Company, a Maryland corporation by Assignment of Lease, dated December 31, 1960, filed January 23, 1961, as Document No. 648899. (INTENTIONALLY DELETED)
 - Name Change of above assignee, American Oil Company, an Maryland corporation to Amoco Oil Company, a Maryland corporation dated December 28, 1972, filed July 30, 1973, as Document No. 1079535. (INTENTIONALLY DELETED)
 - The above Lease has been modified by Lease Modification Agreement, dated June 2, 1975 and filed March 4, 1977 as Document No. 1210859. (INTENTIONALLY DELETED)
 - Terms and conditions of that certain lease by and between Net Lease Development LLC, a Delaware limited liability company, as lessor, and Border Foods, Inc., a Minnesota corporation, as lessee, as evidenced by Memorandum of Lease dated October 25, 2001, filed November 7, 2001, as Document No. 3456320. (AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE, NOT SHOWN)
 - Assignment and Assumption of Lease by and between Net Lease Development LLC, a Delaware limited liability company and Gene O. Hilgers and Janis M. Burton Hilgers, as Trustees of the Hilgers Family Trust dated December 28, 2001, filed March 6, 2002, as Document No. 3511224. (AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE, NOT SHOWN)
 - Reciprocal Easement Agreement by and between Twin Cities Stores, Inc., a Delaware corporation and Gene O. Hilgers and Janis M. Burton Hilgers, as Trustees of the Hilgers Family Trust, dated February 6, 2002, filed March 6, 2002, as Document No. 3511226. (SHOWN ON SURVEY)
 - Notice of Lis Pendens by the City of Minnetonka, a municipal corporation under Minnesota Law, Petitioner and Twin City Stores, Inc., a Delaware corporation, et al., Respondents dated April 27, 2005, filed April 27, 2005, as Document No. 4107165. (INTENTIONALLY DELETED)
 - Easements from Gene O. Hilgers and Janis M. Burton Hilgers, as Trustees of the Hilgers Family Trust granted to the City of Minnetonka, a municipal corporation under the laws of Minnesota dated July 12, 2005, filed October 26, 2005, as Document No. 4178509. (SHOWN ON SURVEY)

CERTIFICATION

To: JGH Minnetonka, LLC; Old Republic National Title Insurance Company; Citizens Bank, N.A., national banking association; Border Foods, LLC.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-5, 6(B), 8, 9, 11(a), 13, 16, 17, and 18 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON 02/14/2022.

CHRISTOPHER R. FOLEY, PLS DATE 05/18/2022
MN LICENSE NO. 55343 EXPIRATION 06/30/2022
CHRIS.FOLEY@WESTWOODPS.COM

POSSIBLE ENCROACHMENTS

- WEST EDGE OF PARKING LOT CROSSES OVER PROPERTY LINE
- RETAINING WALL CROSSES OVER PROPERTY LINE

LEGEND

	SANITARY MANHOLE		BOUNDARY LINE
	STORM MANHOLE		RIGHT-OF-WAY LINE
	BEEHIVE CATCH BASIN		LOT LINE
	CATCH BASIN		SETBACK LINE
	HYDRANT		GAS LINE
	GATE VALVE		POWER OVERHEAD
	CURB STOP BOX		SANITARY SEWER
	HAND HOLE/JUNCTION BOX		STORM SEWER
	STREET LIGHT		FENCE LINE
	POWER POLE		CURB & GUTTER
	AIR CONDITIONER		CONCRETE SURFACE
	STEEL/WOOD POST		RETAINING WALL
	SIGN		BITUMINOUS SURFACE
	HANDICAPPED STALL		DECIDUOUS TREE
			CONIFEROUS TREE

- FOUND MONUMENT (SEE LABEL)
- SET MONUMENT 1/2" IRON PIPE LS 55343

VICINITY MAP



NOT FOR CONSTRUCTION

DESIGNED:	
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	20'
VERTICAL SCALE:	1" = 20'
INITIAL ISSUE:	03/29/2022
REVISIONS:	

PREPARED FOR:
BORDER FOODS, INC.
5425 BOONE AVENUE N
NEW HOPE, MN 55428

VERIFY DESIGNER THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA

DATE: _____ LICENSE NO. _____

TACO BELL
HIGHWAY 7
MINNETONKA, MN

Westwood
12701 Whitewater Drive, Suite 8000
Minnetonka, MN 55343
Phone: (852) 937-5150
Fax: (852) 937-5822
www.westwoodps.com
Westwood Professional Services, Inc.

ALTA NSPS
LAND TITLE
SURVEY

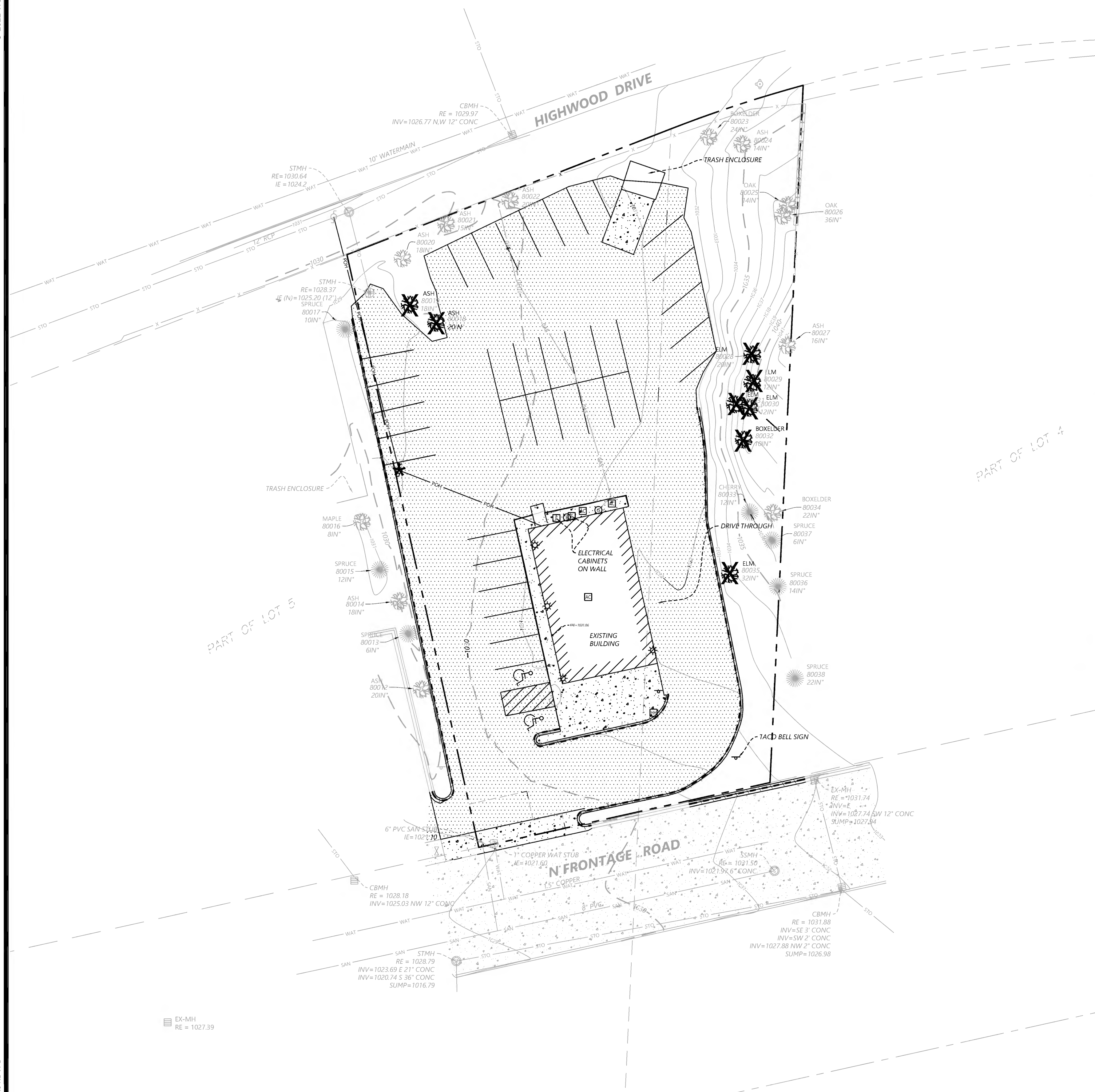
SHEET NUMBER:

V100

DATE: 03/29/2022

PROJECT NUMBER: 0033247.00

TACO BELL HIGHWAY 7



REMOVAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	SAW CUT PAVEMENT
---	---	CURB & GUTTER
---	---	SANITARY SEWER
---	---	WATER MAIN
---	---	HYDRANT
---	---	STORM SEWER
---	---	GAS
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND TELEPHONE
---	---	OVERHEAD TELEPHONE
---	---	TELEPHONE FIBER OPTIC
---	---	CABLE TELEVISION
---	---	RETAINING WALL
---	---	FENCE
---	---	CONCRETE
---	---	BITUMINOUS
---	---	BUILDING
---	---	TREE
---	---	LIGHT POLE
---	---	TRAFFIC SIGN
---	---	CONSTRUCTION BARRICADE
---	---	SOIL BORING LOCATION

REMOVAL NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTOR SHALL COORDINATE LIMITS OF REMOVALS WITH PROPOSED IMPROVEMENTS AND FIELD VERIFY CONDITION OF EXISTING APPURTENANCES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING OR REPLACING MISCELLANEOUS ITEMS (SUCH AS FENCES, SIGNS, IRRIGATION HEADS, ETC.) THAT MAY BE DAMAGED BY CONSTRUCTION.
- CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY PROVIDERS FOR REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES AFFECTED BY SITE DEVELOPMENT. ALL PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

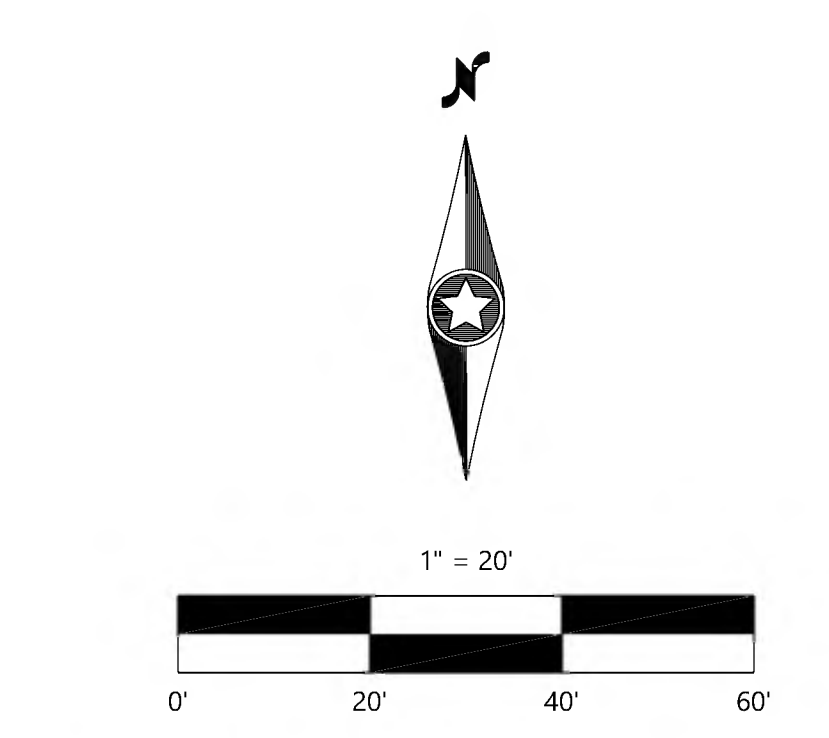
TREE INVENTORY

CODE	SPECIES	DBH	CONDITION	STATUS	MITIGATION INCHES	LOCATION
80012	ASH	20		SAVED		OFF SITE
80013	SPRUCE	6		SAVED		OFF SITE
80014	ASH	18		SAVED		OFF SITE
80015	SPRUCE	12		SAVED		OFF SITE
80016	MAPLE	8		SAVED		OFF SITE
80017	SPRUCE	10		SAVED		OFF SITE
8018	ASH	20		REMOVED	0	ON SITE
80019	ASH	18		REMOVED	0	ON SITE
80020	ASH	18		SAVED		ON SITE
80021	ASH	15		SAVED		ON SITE
80022	ASH	20	POOR	SAVED		ON SITE
80023	BOXELDER	24		SAVED		ON SITE
80024	ASH	14		SAVED		ON SITE
80025	OAK	14		SAVED		ON SITE
80026	OAK	36		SAVED		ON SITE
80027	ASH	16		SAVED		ON SITE
80028	ELM	20		REMOVED	20"	ON SITE
80029	ELM	12		REMOVED	12"	ON SITE
80030	ELM	12		REMOVED	12"	ON SITE
80031	ELM	12		REMOVED	12"	ON SITE
80032	ELM	10	TOP DEAD	REMOVED	0 - DUE TO HEALTH	ON SITE
80033	CHERRY	12		SAVED		ON SITE
80034	BOXELDER	22		SAVED		ON SITE
80035	ELM	32		REMOVED	32"	ON SITE
80036	SPRUCE	14		SAVED		ON SITE
80037	SPRUCE	6		SAVED		ON SITE
TOTAL MITIGATION REQUIRED				Dec.	88"	
				Con.	0	

LEGEND

⊙	SANITARY MANHOLE	⊙	STEEL/WOOD POST
⊙	SEWER CLEANOUT	⊙	SIGN
⊙	SEPTIC COVER	⊙	MAIL BOX
⊙	STORM MANHOLE	⊙	FLAG POLE
⊙	BEEHIVE CATCH BASIN	⊙	HANDICAPPED STALL
⊙	CATCH BASIN	⊙	BENCH
⊙	FLARED END SECTION	⊙	OIL MANHOLE
⊙	CULVERT	⊙	OIL PUMP JACK
⊙	CATCH BASIN MANHOLE	⊙	OIL WELL
⊙	DOWNSPOUT	⊙	MET TOWER
⊙	DRYWELL	⊙	WEATHER STATION
⊙	STORM INTERCEPTOR	⊙	TURBINE
⊙	HYDRANT	⊙	IRRIGATION MANHOLE
⊙	GATE VALVE	⊙	IRRIGATION SH
⊙	WATER METER	⊙	IRRIGATION SP
⊙	FIRE DEPARTMENT CONNECTION	⊙	IRRIGATION VALVE
⊙	CURB STOP BOX	⊙	SOIL BORING
⊙	WATER MANHOLE	⊙	PERC TEST
⊙	WELL	⊙	MONITORING WELL
⊙	POST INDICATOR VALVE	⊙	PIEZOMETER
⊙	DOUBLE DETECTOR CHECK VALVE	⊙	BUSH/SHRUB
⊙	FARM HYDRANT	⊙	CONIFEROUS TREE
⊙	REDUCE PRESSURE VALVE	⊙	DECIDUOUS TREE
⊙	STOCK TANK	⊙	SAGURA
⊙	WINDMILL	---	BOUNDARY LINE
⊙	ELECTRIC BOX	---	RIGHT-OF-WAY LINE
⊙	ELECTRIC METER	---	LOT LINE
⊙	ELECTRIC MANHOLE	---	EASEMENT LINE
⊙	ELECTRIC TOWER	---	SECTION LINE
⊙	STREET LIGHT	---	TREE LINE
⊙	POWER POLE WITH LIGHT	---	CABLE TELEVISION LINE
⊙	GUY WIRE	---	GAS LINE
⊙	POWER POLE	---	POWER OVERHEAD
⊙	MAST ARM	---	POWER UNDERGROUND
⊙	MAST ARM W/ LIGHT	---	SANITARY SEWER
⊙	TRAFFIC SIGNAL	---	STORM SEWER
⊙	TELEPHONE BOX	---	TELEPHONE OVERHEAD
⊙	TELEPHONE MANHOLE	---	TELEPHONE UNDERGROUND
⊙	HAND HOLE/JUNCTION BOX	---	WATERMAIN
⊙	CABLE TV BOX	---	FIBER OPTIC
⊙	CABLE TV MANHOLE	---	FENCE LINE
⊙	FIBER OPTIC MANHOLE	---	CONTROLLED ACCESS
⊙	FIBER OPTIC PEDESTAL	---	CURB & GUTTER
⊙	NATURAL GAS METER	---	CONCRETE SURFACE
⊙	NATURAL GAS VALVE	---	BITUMINOUS SURFACE
⊙	NATURAL GAS MANHOLE	---	GRAVEL SURFACE
⊙	NATURAL GAS RISER/SERVICE	---	WETLAND
⊙	NATURAL GAS VENT PIPE	●	FOUND MONUMENT (SEE LABEL)
⊙	NATURAL GAS WELL	○	SET MONUMENT (SEE LABEL)
⊙	AIR CONDITIONER		
⊙	UNKNOWN MANHOLE		
⊙	MISCELLANEOUS METER		
⊙	MISCELLANEOUS PEDESTAL		

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance



DESIGNED: _____
CHECKED: _____
DATE: 03/29/2022

DRAWN: _____
DATE: _____
HORIZONTAL SCALE: 20'
VERTICAL SCALE: _____

PREPARED FOR:
BORDER FOODS, INC.
5425 BOONE AVENUE N
NEW HOPE, MN 55428

ENGINEER: TYLER D. WAXSON
DATE: 03/29/2022
LICENSE NO.: 59234

**TACO BELL
HIGHWAY 7**
MINNETONKA, MN

Westwood
12701 Whitewater Drive, Suite 8000
Phone: (825) 937-5150
Fax: (825) 937-5822
www.westwoodps.com

**EXISTING
CONDITIONS &
REMOVALS PLAN**

SHEET NUMBER:

C100

DATE: 03/29/2022

PROJECT NUMBER: 0033247.00

TACO BELL HIGHWAY 7



Perspective 1

03.25.2022



Perspective 2

03.25.2022



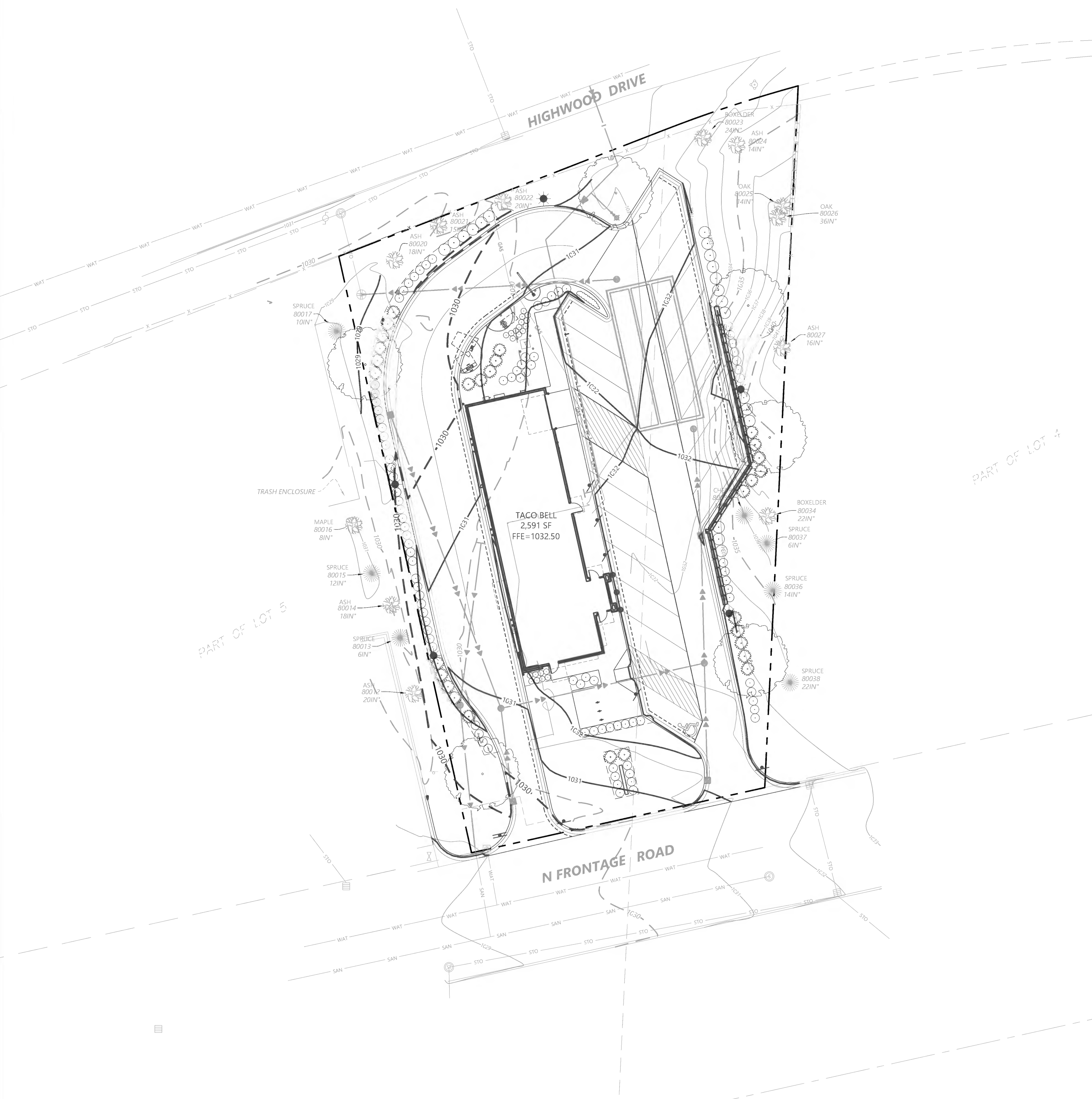
Perspective 3

03.25.2022

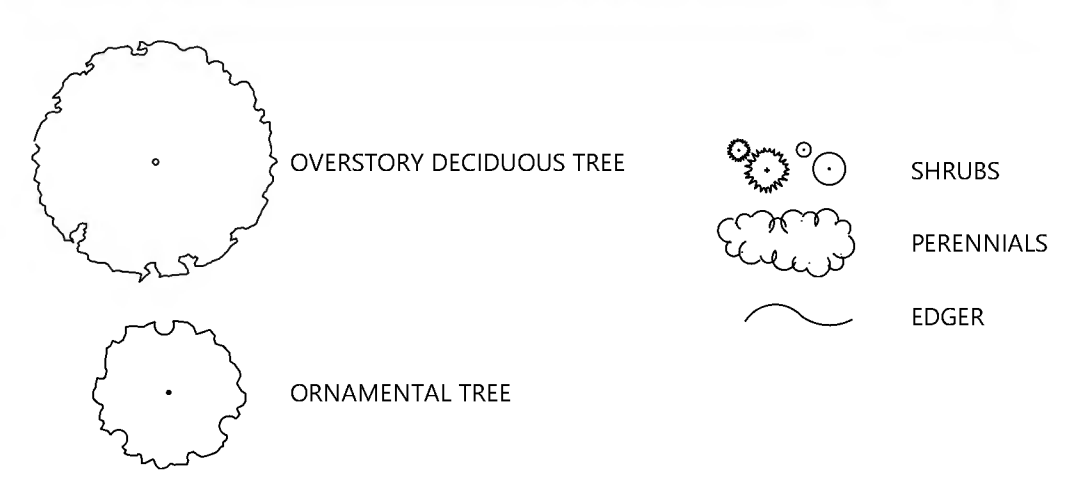


Perspective 4

03.25.2022



LANDSCAPE LEGEND



LANDSCAPE KEYNOTES A

- A ROCK MULCH (TYP.)
- B EDGER (TYP.)
- C SOD (TYP.)
- D SHRUB HEDGE - 4' MIN HEIGHT

LANDSCAPE SUMMARY

TREE REPLACEMENTS	REQUIRED	PROVIDED	
CONIFERS NO CONIFERS REMOVED			
DECEDUOUS 5 ELM TREES REMOVED THAT ARE OVER 10" CAL. EACH WITH TOTAL OF 88" CODE REQUIRES 1" PROPOSED PER 1" REMOVED WITH LIKE SPECIES	88 CALIPER INCHES	88 CALIPER INCHES	
TOTAL CALIPER INCHES	88 CALIPER INCHES	88 CALIPER INCHES	
CALIPER INCHES PROPOSED	QUANTITY	MULTIPLIER	TOTAL CAL INCHES
TREES (2" MAX CREDIT PER TREE)	6	2	12
SHRUBS (ONE SHRUB = 5 CAL. INCHES)	140	5	700
PERENNIALS (ONE PERENNIAL = .25 CAL. INCHES)	27	25	675
TOTAL CALIPER INCHES PROPOSED			88.75 CALIPER INCHES

PLANT SCHEDULE

CODE	QTY	COMMON	BOTANICAL NAME	SIZE	ROOT	SPACING
OVERSTORY TREE 6						
CHB	-	COMMON HACKBERRY	CELTIS OCCIDENTALIS	2.0" CAL.	B&B	AS SHOWN
SWQ	-	SWAMP WHITE OAK	QUERCUS ALBA	2.0" CAL.	B&B	AS SHOWN
IMH	-	IMPERIAL HONEYLOCUST	GLEDTISIA TRIACANTHOS VAR. INERMIS 'IMPCOLE'	2.0" CAL.	B&B	AS SHOWN
DECIDUOUS SHRUB 111						
BCB	-	BLACK CHOKEBERRY	ARONIA MELANOCARPA ELATA	#5	CONT.	4'-0" O.C.
DBH	-	DWARF BUSH HONEYSUCKLE	DIERVILLA LONICERA	#5	CONT.	3'-0" O.C.
CPV	-	COMPACT VIBURNUM	VIBURNUM TRILOBUM 'BAILEY COMPACT'	#5	CONT.	5'-0" O.C.
CONIFEROUS SHRUB 29						
HSA	-	HOLMSTRUP ARBORVITAE	THUJA OCCIDENTALIS 'HOLMSTRUP'	#5	CONT.	4'-0" O.C.
BNS	-	BIRD'S NEST SPRUCE	PICEA ABIES 'NIDIFORMIS'	#5	CONT.	4'-0" O.C.
PERENNIALS 27						
KFG	-	KARL FOERSTER GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	#1	CONT.	24" O.C.
AIS	-	AUTUMN JOY SEDUM	SEDUM X 'AUTUMN JOY'	#1	CONT.	18" O.C.
PMO	-	PARDON ME DAYLILY	HEMEROCALLIS 'PARDON ME'	#1	CONT.	18" O.C.

ABBREVIATIONS: B&B = BALLED AND BURLAPPED CAL = CALIPER HT. = HEIGHT MIN. = MINIMUM O.C. = ON CENTER SP. = SPREAD QTY. = QUANTITY CONT. = CONTAINER NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

DESIGNED:	
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	1" = 20'
VERTICAL SCALE:	1" = 2'

PREPARED FOR:
BORDER FOODS, INC.
5425 BOONE AVENUE N
NEW HOPE, MN 55428

DESIGNED BY: JEFFERY R. WESTENDORF
DATE: 03/29/2022
LICENSE NO.: 44018

**TACO BELL
HIGHWAY 7**
MINNETONKA, MN

Westwood
12701 Whitewater Drive, Suite 8000
Minnetonka, MN 55343
Phone: (952) 937-5150
Fax: (952) 937-5822
www.westwoodps.com

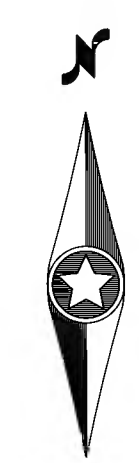
**LANDSCAPE
PLAN**

SHEET NUMBER:

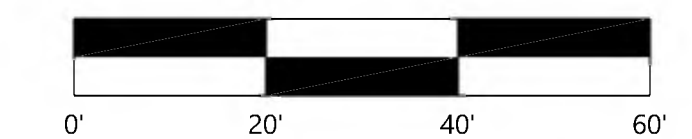
L100

DATE: 03/29/2022

PROJECT NUMBER: 0033247.00



1" = 20'



NOT FOR CONSTRUCTION



15110 MN 7
MINNETONKA, MN 55345

Owner:
JGH MINNETONKA, LLC
14822 HIDDEN TERRACE LOOP
LITCHFIELD PARK, AZ 85340

Applicant/Tenant:
BORDER FOODS, LLC
5425 BOONE AVE. N
NEW HOPE, MINNESOTA 55428

Contact: NATE WENGER
Phone: 763-489-3004

ENDEAVOR
26 SEATS / 2,591 S.F.

PROJECT NO.: TB21-21

DRAWN BY: KDI

CHECKED BY: GGD

ISSUES AND REVISIONS:

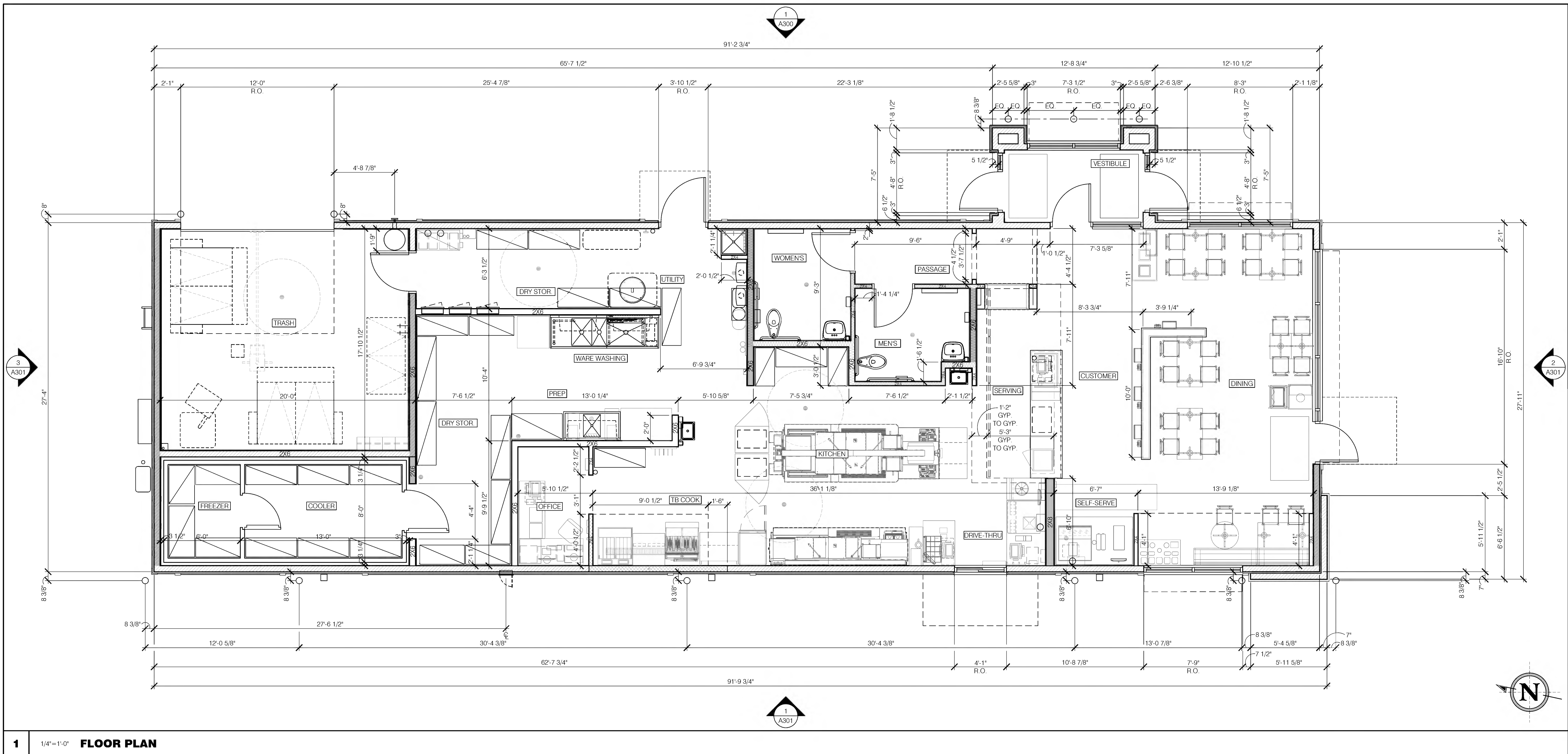
SITE PLAN REVIEW: 03.29.2022

**PRELIMINARY -
NOT FOR
CONSTRUCTION**

**FLOOR
PLAN**

A200

TACO BELL, MINNETONKA, MN



	TYPICAL EXTERIOR WALL: 2X6 WD. STUDS AT 16" O.C. WITH SHEATHING AS SCHEDULED (SEE STRUCTURAL DRAWINGS) AND R-21 FIBERGLASS BATT INSULATION U.N.O. FULLERTON SHALL PROVIDE EXTERIOR AIR BARRIER.
	TYPICAL INTERIOR WALL: 2X4 WD. STUDS AT 16" O.C. (2X6 OR 2X8 WHERE NOTED).
	INTERIOR SOUND-RATED WALL: TYPICAL INTERIOR WALL WITH 3 1/2" OR 5 1/2" UNFACED FIBERGLASS BATT INSULATION.
	HOOD WALL: TYPICAL EXTERIOR WALL WITH METAL STUDS, 1/2" CEMENT WALL BOARD AND 20 GA. S.S. PANEL BEHIND HOOD.
	SHEAR WALL: (SHOWN SHADED- VERIFY LOCATIONS WITH FULLERTON PLANS) PLYWOOD SHEAR WALL SHEATHING FROM SILL PLATE TO TOP PLATE PER FULLERTON PLANS. INSTALL SECOND LAYER OF SHEATHING PER WALL SUBSTRATE OUTLINE BELOW AS REQUIRED TO ACCOMMODATE FINISHES SCHEDULED. (WHERE WALL FACE EXTENDS BEYOND SHEAR WALL- EXTEND SECOND LAYER OF SHEATHING SO FINISHES RUN CONTINUOUS.
WALL SUBSTRATES: SEE FULLERTON BUILDING SYSTEMS FOR ADDITIONAL INFORMATION	
- DINING ROOM: 1/2" GYPSUM WALLBOARD FROM TOP OF SLAB TO 6" ABOVE CEILING HEIGHT U.N.O. SEE 17 & 19/A503. (NOTE: 1/2" CEMENT BOARD IS TO BE SUBSTITUTED FOR GYPSUM WALLBOARD FOR THE FIRST 5' A.F.F. FOR BASE TILE APPLICATION. (SEE ELEVATION DRAWING SHEET A600 FOR LOCATIONS)	
- KITCHEN & WALK-IN COOLER/FREEZER WALLS: 1/2" CEMENT WALLBOARD FROM TOP OF SLAB TO 12" A.F.F. - SEE 20/A503. 1/2" CDX PLYWOOD WITH F.R.P. SURFACE FINISH FROM 12" A.F.F. TO 6" ABOVE CEILING HEIGHT U.N.O. 1/2" CEMENT WALLBOARD FULL HEIGHT ON METAL STUD WALLS AT HOOD WITH STAINLESS STEEL WALL PANEL LOCATIONS. SEE HOOD WALL LEGEND ABOVE.	
- RESTROOM WALLS: 1/2" CEMENT WALLBOARD FROM TOP OF SLAB TO TOP OF CERAMIC WALL TILE FINISH, WITH 1/2" HI-IMPACT BRAND XP WALLBOARD TYPE X CORE FROM TOP OF CEMENT BOARD TO 6" ABOVE CEILING HEIGHT U.N.O. (SEE SHEET A201 FOR HEIGHTS AND LOCATIONS) NO SUBSTITUTIONS ALLOWED. FINISH AS SCHEDULED. SEE 18/A503.	
- TRASH ROOM WALLS: FIRE RATED WALLS TO RECEIVE FULL HEIGHT GYPSUM WALLBOARD ALL OTHER WALLS TO RECEIVE 1/2" PLYWOOD FROM FINISHED FLOOR TO 6'-0" A.F.F. THEN 1/2" GYPSUM WALLBOARD FROM PLYWOOD TO CEILING. FIRE RATED WALLS TO RECEIVE 1/2" PLYWOOD OVER GYPSUM WALLBOARD AND ALL WALLS TO RECEIVE WHITE F.R.P. FROM FINISHED FLOOR TO 3'-0" A.F.F. WITH HORIZONTAL F.R.P. TRIM CAP. (SEE KEYNOTES #38 & #43)	
- ALL OTHER FRAME WALL CONDITIONS: 1/2" CEMENT WALLBOARD FROM TOP OF SLAB TO HEIGHT OF CERAMIC TILE FINISH, WITH 1/2" GYPSUM WALLBOARD FROM TOP OF CEMENT BOARD TO 6" ABOVE CEILING HEIGHT U.N.O. FINISH AS SCHEDULED.	

DIMENSIONS:	
1.	ALL DIMENSIONS ARE TO FACE OF STUD U.N.O. REFER TO FOUNDATION PLAN FOR FACE OF CONCRETE DIMENSIONS
2.	DIMENSIONS NOTED AS "CLEAR" OR "HOLD" ARE MINIMUM REQUIRED NET CLEARANCE FROM FACE OF WALL / WANS-COT FINISH. VERIFY FINAL EQUIPMENT SIZES WITH VENDOR PRIOR TO INTERIOR WALL FRAMING.
WINDOWS / DOORS:	
1.	SEE SHEET A000 FOR WINDOW TYPES AND DOOR SCHEDULE.
2.	ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENINGS.
FINISH SUBSTRATES:	
1.	PROVIDE 1/2" THICK CEMENT WALL BOARD FROM FLOOR SLAB TO 5" OR 12" A.F.F. MINIMUM (SEE WALL LEGEND) IN LIEU OF GYPSUM WALLBOARD AT WALLS EXCEPT SHEARWALL SURFACES, U.N.O.
2.	ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH "NSF" INTERNATIONAL APPROVED SEALANTS.
3.	ALL BACK OF HOUSE AND OFFICE WALLS SHALL HAVE 1/2" CDX PLYWOOD SUBSTRATE, U.N.O.
DECOR:	
1.	SEE A203 FOR FLOOR FINISHES.
2.	SEE A204 FOR CEILING FINISHES.
3.	SEE A205 FOR SEATING PLAN AND DETAILS.
4.	SEE A600, A601 AND A602 FOR WALL FINISHES.
GENERAL:	
1.	FULLERTON BUILDING SYSTEMS TO ENSURE THAT ALL NAIL / SCREW FASTENING POINTS ARE CLIPPED OFF / REMOVED WITHIN WALL CAVITY PRIOR TO INSTALL OF WALL INSUL. AND VAPOR BARRIER. G.C. TO COORDINATE.
2.	FULLERTON BUILDING SYSTEMS TO ENSURE ALL "L" ROOF TRUSS CLIPS AND FASTENERS ARE INSTALLED CORRECTLY WITHIN THEIR RESPECTIVE CLIP SLOTS. G.C. TO COORDINATE. G.C. TO PROVIDE UNFACED FIBERGLASS BATT INSULATION R-21 WITH POLY VAPOR BARRIER AT EXTERIOR WALL STUD CAVITY. TAPE AND SEAL ALL VAPOR BARRIER SEAMS. OWNER TO PROVIDE THREE FIRE EXTINGUISHERS - (2) 10 LB. ABC AND (1) K CLASS - TO COMPLY WITH LOCAL FIRE CODE. LOCATE PER DIRECTION OF FIRE MARSHALL OR LOCAL AUTHORIZING AGENT.
3.	THESE DRAWINGS ARE BASED UPON WOOD FRAMING. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFITS IS ACCEPTABLE.
4.	ALL ATTACHMENTS MADE THROUGH WALLS SHALL BE SLEEVED OR GROMMET SET IN SEALANT TO PREVENT DAMAGE TO THE FINISH.
5.	ALL PENETRATIONS THROUGH WALLS & CEILINGS SHALL BE SEALED USING MFRS. APPROVED METHOD.
6.	ALL WALL AND CEILING PENETRATIONS IN TRASH ROOM TO BE SEALED WITH A FIRE RATED SEALANT.
7.	PAINTE ALL EXTERIOR EXPOSED PIPING TO MATCH ADJACENT WALL.
8.	PROVIDE 3" RIGID INSULATION R-15 WITH 1/2" BILDRITE PROTECTION BOARD ON EXTERIOR FACE OF RIGID INSULATION ON THE FOUNDATION. FROM TOP OF FOOTING TO TOP OF FOUNDATION CONTINUOUSLY AROUND PERIMETER OF FOUNDATION.

1	STARTING POINT. ALL SUB-TRADES SHALL USE THIS POINT AS A BEGINNING LAY-OUT (INSIDE FACE OF EXTERIOR WALL STUDS).
2	6" STUD INTERIOR WALL. FINISHED PER WALL LEGEND.
3	ELECTRICAL MAIN SWITCH BOARD. REFER TO ELECTRICAL DRAWINGS.
4	HOOD WALL. SEE WALL LEGEND.
5	ALUMINUM ROOF LADDER AND SECURITY GATE. SEE DETAILS 9, 19 AND 20/A500.
6	INSTALL OWNER SUPPLIED CO2 FILL BOX. SEE EXTERIOR ELEVATIONS 1/A300 AND DETAIL 4/A502. COORDINATE LOCATION WITH OWNER.
7	ALUMINUM THRESHOLD. SEE DETAIL 1 AND 8/A501.
8	MOP SINK. REFER TO SHEET A002 AND A205.
9	PROVIDE STEEL PIPE BOLLARD AND INSTALL OWNER SUPPLIED YELLOW PROTECTIVE COVER. SEE CIVIL DRAWINGS. SEE DETAILS 4/A101.
10	INSTALL OWNER SUPPLIED S.S. CORNER GUARD / WALL CAP. TYP. ALL CORNERS IN BACK OF HOUSE FROM REAR WALL TO THE KITCHEN SIDE OF THE SERVICE COUNTER. SEE DETAILS 11 AND 13/A503.
11	ELECTRICAL PANELS RECESSED IN WALL. SEE ELECTRICAL DRAWINGS.
12	NOT USED.
13	PROVIDE 6" DIA. PVC CHASE THRU CEILING FOR SYRUP LINES. SEE DETAIL 2/A504.
14	INSTALL OWNER SUPPLIED WALL MOUNTED WATER HEATER. CONTRACTOR TO PROVIDE REQUIRED FLUE VENTING.
15	PROVIDE DOOR SWEEPS AT ALL EXTERIOR DOORS. SEE SHEET A000.
16	KEEP CLEAR FOR UTILITIES AND SYRUP LINES. SEE DETAIL 3/A504.
17	PROVIDE 6" DIA. PVC STUB THROUGH CEILING. SEE DETAILS 2, 3 & 6/A504. COORDINATE LOCATION WITH OWNER.
18	DASHED LINE INDICATES CONCRETE STOOP. SEE STRUCTURAL DRAWINGS.
19	WALL / BASE DETAIL AT HOOD WALL. SEE 9/A503.
20	WALL / BASE DETAIL AT TOILET ROOM WALLS. SEE 18/A503.
21	METAL STUDS AT WIDTH OF KITCHEN HOOD - EXTEND 1'-6" MIN. BEYOND EDGE OF HOOD.
22	INSULATE TRASH ROOM WALLS AND CEILING.
23	THRU WALL ROOF SCUPPER AND DOWNSPOUT.
24	3"-X7'-0" FINISHED OPENING. G.C. TO INSTALL OWNER SUPPLIED STAINLESS STEEL WRAP AT JAMBS AND HEAD.
25	PROVIDE GREASE INTERCEPTOR. COVER PLATE TO BE FLUSH WITH FLOOR FINISH. SEE CIVIL AND PLUMBING DRAWINGS.
26	WATER METER LOCATION. TO BE LOCATED AS TIGHT AS POSSIBLE TO EXTERIOR WALL.
27	PARTIAL HEIGHT WALLS. SEE 5/A602 AND ELEVATIONS ON A600 FOR HEIGHT. PROVIDE 1/2" GYP. BD. SHEATHING AT ALL SURFACES AT CLUBBY FIXTURE OPENING. FINAL COORDINATE FINISHED OPENING WITH DECOR VENDOR.
28	INSTALL OWNER SUPPLIED WINDOW SHADES AT LOCATIONS AND QUANTITIES VERIFIED THROUGH OWNER. WINDOW SHADES TO BE: MANUFACTURER: ROLL-A-SHADE. PHONE: 1.888.245.5077. MODEL: LEGACY SYSTEMS. MANUAL OPERATION MATERIAL: MERMET KOOL BLACK, 5" OPENNESS. COLOR: T.B.D. (BY OWNER). BRACKETS AND BOTTOM RAIL TO BE POWDERED COATED BLACK. CLUTCHES TO BE BLACK WITH STAINLESS STEEL CHAIN AND BLACK CHILD SAFETY TENSION DEVICE. VERIFY WINDOW DIMENSIONS.
29	PROVIDE NO SMOKING SIGNAGE ON ENTRY DOORS.
30	PROVIDE 8" H. WHITE VINYL ADDRESS NUMBERS ON WINDOW AT TOP. SEE 1/A300.
31	PULL STATION FOR HOOD FIRE SUPPRESSION SYSTEM.
32	GAS METER.
33	G.C. TO PROVIDE FIRE DEPARTMENT KNOX LOCK BOX. COORDINATE FINAL LOCATION WITH L.A.H.J.
34	PROVIDE STEEL PLATE JAMBS AND HEAD AT OVERHEAD DOOR. EPOXY PAINT. SEE 2/A402.
35	O.H. DOOR AS SCHEDULED.
36	HOT AND COLD WATER HOSE BIB. SEE PLUMBING DRAWINGS.
37	PROVIDE 1/2" PLYWOOD AND WHITE FRP WALL FINISH WITH TRIM FROM FINISHED FLOOR TO PLYWOOD BUMP RAIL. WALL AND BUMP RAILS ABOVE. SEE 14/A600.
38	PROVIDE TREATED 3/4" PLYWOOD BUMP RAIL. SEE 14/A600.
39	RECYCLE AND TRASH CONTAINERS PROVIDED BY OWNER.
40	PROVIDE OVER-HEAD CEILING MOUNTED GAS FIRED UNIT HEATER. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
41	SERVICE COUNTER PROVIDED BY OWNERS DECOR VENDOR.
42	WATER CONDITIONING SYSTEM. SUPPLIED BY OWNER. INSTALLED BY CONTRACTOR. SEE EQUIPMENT PLAN AND SCHEDULE.
43	ONE-HOUR FIRE RATED WALL (SECTION 722.6-6 TIME ASSIGNED TO WALLBOARD MEMBRANE) - G.C. TO INSTALL (2) LAYERS 5/8" TYPE-X GYP. BD. APPLIED TO TRASH ROOM SIDE OF STUD WALL PANEL. PROHIBITED BY FULLERTON - TAPE AND FINISHED AS REQUIRED. INSTALL 1/2" PLYWOOD W/ F.R.P. FINISH TO 4'-0" AS NOTED IN WALL LEGEND OVER GYP. BD.
44	ONE-HOUR FIRE RATED CEILING (UL DESIGN NO. P522-SEE REFLECTED CEILING PLAN A204 AND KEYNOTES).
45	PROVIDE THRU WALL FRESH AIR IN-TAKE LOUVER AND SCREEN WITH BACK DRAFT DAMPER. SEE EXTERIOR AND MECHANICAL DRAWINGS.
46	PROVIDE THRU CEILING / ROOF EXHAUST FAN. FAN CONTROLLED BY WALL SWITCH. SEE ROOF REFLECTED CEILING, ELEC. AND MECH. DWGS. COORDINATE LOCATION.
47	AUTOMATIC GARAGE DOOR OPENER MOUNTED TO CEILING AS SCHEDULED. SEE ALSO ELECTRICAL DRAWINGS.
48	IF GAS SHUT OFF REQUIRED BY LOCAL INSPECTOR TO BE INTERIOR OF BUILDING (VERIFY); PROVIDE PROTECTIVE PIPE GUARD OR SHEET ROCK ENCLOSURE WITH ACCESS PANEL TO GAS SHUT OFF FROM B.O. GAS PIPE TO CEILING AS REQUIRED.
49	GREASE COLLECTION SYSTEM TANK BY SANIMAX. PROVIDED AND INSTALLED BY OWNER.
50	PARTIAL HEIGHT WALL. SEE DETAILS FOR ADDITIONAL INFORMATION.
51	INSTALL VAPOR BARRIER ON FACE OF EXTERIOR 2X6 WALL STUDS TYP. FULL HEIGHT. INSTALL INTERIOR 2X4 WALL OVER VAPOR BARRIER TO BOTTOM OF SOFFIT FRAMING.
52	6'-0" DIAMETER SLOPED FLOOR TO DRAIN. SEE A203 FLOOR FINISH PLAN.
53	DASHED LINE DENOTES METAL CANOPY ABOVE WITH LIGHTS.
54	PROPOSED LOCATION OF "ABC" CLASS FIRE EXTINGUISHER. (PROVIDED BY OWNER. INSTALLED BY G.C.) COORDINATE FINAL LOCATION WITH LOCAL INSPECTOR PRIOR TO INSTALL.
55	PROPOSED LOCATION OF "K" CLASS FIRE EXTINGUISHER. (PROVIDED BY OWNER. INSTALLED BY G.C.) COORDINATE FINAL LOCATION WITH LOCAL INSPECTOR PRIOR TO INSTALL.
56	DASHED LINES DENOTE GYPSUM BOARD CEILING OR BULKHEAD ABOVE. SEE REFLECTED CEILING PLAN A204.
57	OWNER SUPPLIED EASIWASH EQUIPMENT. INSTALL BY G.C.
58	INSTALL OWNER SUPPLIED EASIWASH (EQUIP. #B-500) REMOTE VALVE & CONTROL STAINLESS STEEL ENCLOSURE. SEAL WALL PENETRATION AIR & WEATHER TIGHT. FINAL COORDINATE LOCATION WITH OWNER. G.C. TO PROVIDE PVC SLEEVE IN OFFICE WALL FRAMING.

FLOOR PLAN KEY NOTES



15110 MN 7
MINNETONKA, MN 55345

Owner:
JGH MINNETONKA, LLC
14822 HIDDEN TERRACE LOOP
LITCHFIELD PARK, AZ 85340

Applicant/Tenant:
BORDER FOODS, LLC
5425 BOONE AVE. N
NEW HOPE, MINNESOTA 55428

Contact: NATE WENGER
Phone: 763-489-3004

ENDEAVOR
26 SEATS / 2,591 S.F.

PROJECT NO.: TB21-21

DRAWN BY: KDI

CHECKED BY: GGD

ISSUES AND REVISIONS:

SITE PLAN REVIEW: 03.29.2022

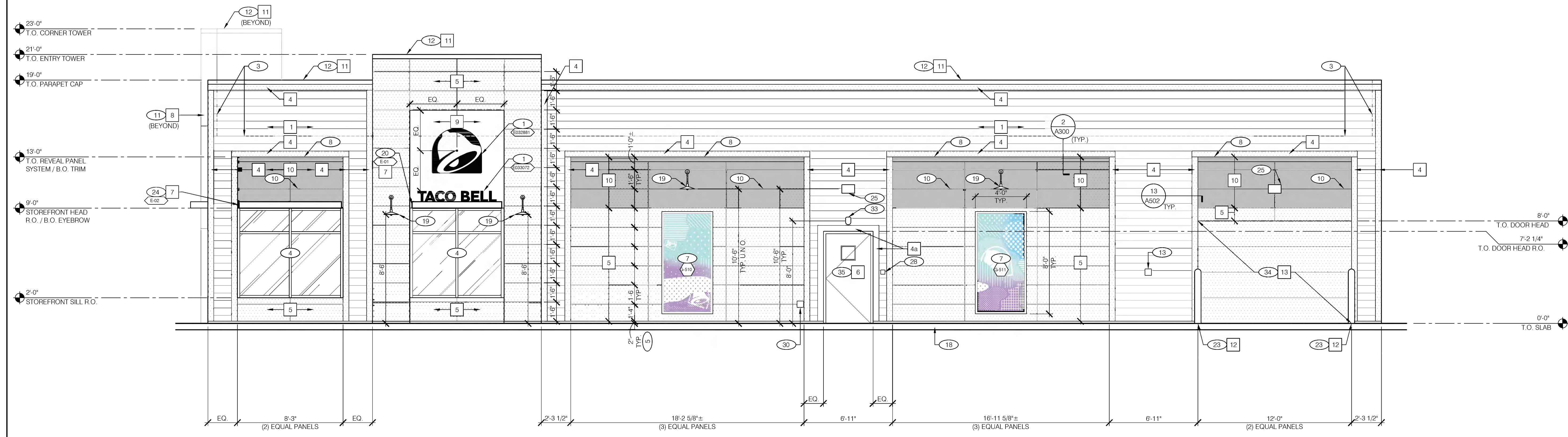
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**EXTERIOR
ELEVATIONS**

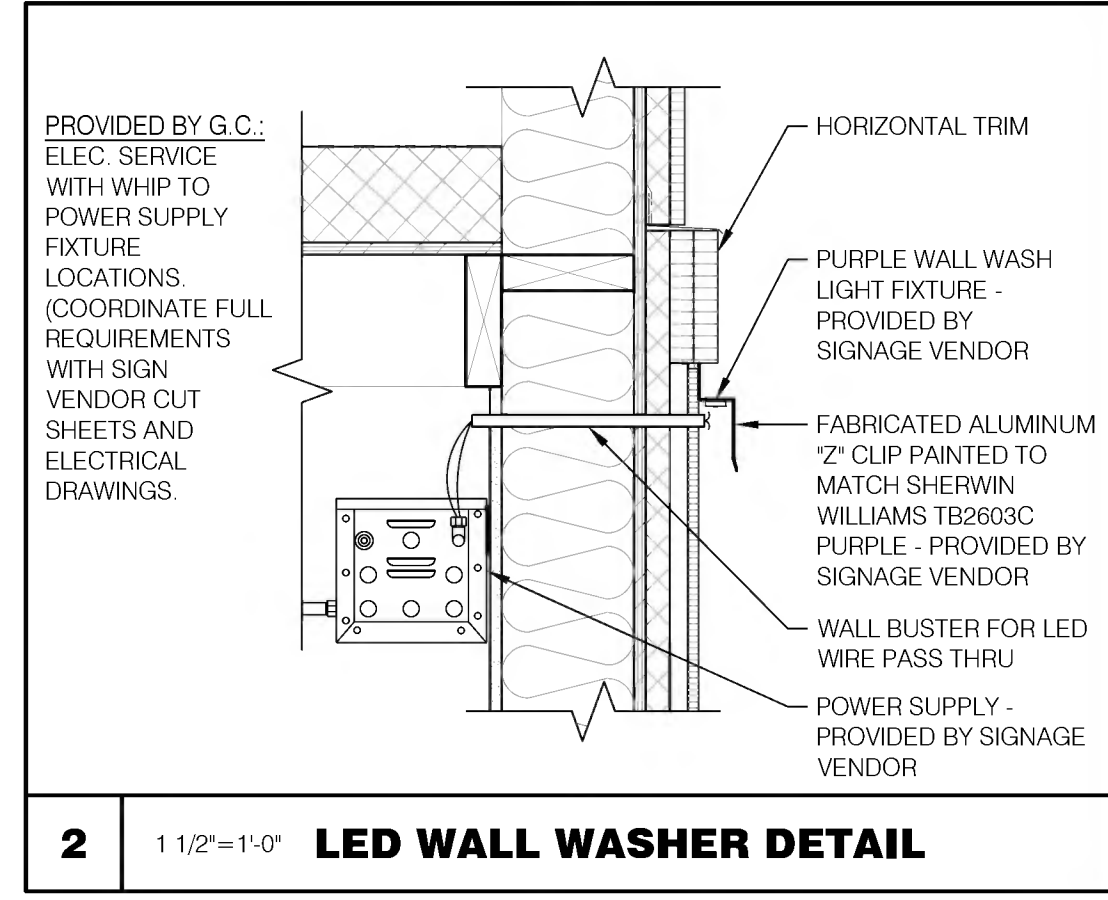
A300

TACO BELL, MINNETONKA, MN

NOTE:
1. FULLERTON BUILDING SYSTEMS TO PROVIDE AND INSTALL FIBER CEMENT SIDING (FACTORY PRIMED) AND METAL T-GROOVE PANELS
2. G.C. TO PAINT ALL FIBER CEMENT SIDING IN FIELD PER FINISH SCHEDULE.



1 1/4"=1'-0" EAST ELEVATION



2 1/2"=1'-0" LED WALL WASHER DETAIL

QTY.	ITEM
2	CAMO PATTERN - PURPLE - EXPRESSION PANEL
2	CAMO PATTERN - PURPLE - EXPRESSION PANEL
1	CAMO PATTERN - PURPLE - EXPRESSION PANEL

EXTERIOR ARTWORK SCHEDULE

MISCELLANEOUS:
1. SEE SHEET A000 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

SEALERS (REFER TO SPECIFICATIONS):
1. SEALANT AT ALL WALL AND ROOF PENETRATIONS
2. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL AT WINDOWS
3. APPLY NEOPRENE GASKET (CONTINUOUS) BETWEEN BUILDING AND CANOPY.

"CRITICAL" DIMENSIONS:
1. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE / BUILDING ELEMENTS DIMENSIONS.

PAINTING:
1. APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.
PRIMER: 1 COAT SW A24W8300
FINISH: 2 COATS SW A82-100 SERIES, MATCH COLORS FROM MATERIAL SCHEDULE. A-100 EXTERIOR LATEX SATIN.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

GENERAL NOTES

QTY	ITEM DESCRIPTION	ELEC.
1	DRIVE-THRU AWNING 9'-0" X 4'-0" BLACK	X
1	FRONT EYEBROW (WINDOW) 16'-7"L. X 6"H. X 1'-4"D. BLACK	X
1	D.T. EYEBROW (WINDOW) 7'-8"L. X 6"H. X 1'-4"D. BLACK	
1	VESTIBULE AWNING 7'-0"L. X 6"H. X 3'-0"D. BLACK (CUSTOM)	
1	SIDE EYEBROW (WINDOW) 8'-0"L. X 6"H. X 1'-4"D. BLACK	
9	PURPLE ACCENT WALL WASH LIGHT FIXTURE. LENGTH AS REQUIRED AT PURPLE ACCENT WALLS. PROVIDED AND INSTALLED BY SIGN VENDOR.	

CANOPY AND BUILDING ACCENT SCHEDULE

QTY	ITEM DESCRIPTION	ELEC.
1	TACO BELL PYLON / BREAKFAST SIGN 10'-0"W X 5'-2"H SIGN FACE - T.O. SIGN AT 19'-0" ABOVE GRADE (62 S.F.)	X
3	42" SWINGING BELL PURPLE LOGO - FACE LIT (13.53 S.F.)	X
2	14" WHITE CHANNEL LETTERS - WALL MOUNTED (9.9 S.F.)	X
1	10" WHITE CHANNEL LETTERS - AWNING MOUNTED (5.01 S.F.)	X

SIGN SCHEDULE

SYMBOL	AREA	MANUFACTURER	COLOR	CONTACT INFORMATION
1	SIDING	JAMES HARDIE	PLANK LAP SIDING - PRIMED FOR PAINT COLLECTION; 144"L. X 8.25"W. - 7" EXPOSURE. PAINT WORLDLY GRAY (SW7043) SEMI-GLOSS	SEE SHEET A001 FOR CONTACT INFORMATION
2	SCUPPERS		PRE-FINISHED - BLACK, SEMI-GLOSS	
3	DOWNSPOUTS		PRE-FINISHED - BLACK, SEMI-GLOSS	
4	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH 1" X 5.5" - PAINT CYBERSPACE (SW7076) SEMI-GLOSS	SEE SHEET A001 FOR CONTACT INFORMATION
4a	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH 1" X 5.5" - PAINT WORLDLY GRAY (SW7043) SEMI-GLOSS	SEE SHEET A001 FOR CONTACT INFORMATION
5	REVEAL PANEL	NICHIHA	ILLUMINATION DESIGNER SERIES; 17 7/8"H. X 71 9/16"L. (CUT TO PLAN DIMENSIONS) FACTORY PRIMED. PAINT CYBERSPACE (SW7076) SEMI-GLOSS	SEE SHEET A001 FOR CONTACT INFORMATION
6	HOLLOW METAL DOOR / ELECTRICAL EQUIPMENT		PAINT WORLDLY GRAY (SW7043) SEMI-GLOSS	
7	AWNINGS	SIGNAGE VENDOR	BLACK BY SIGNAGE VENDOR	
8	CORNER TOWER	WESTERN STATE	T-GROOVE 24 GA. PAINTED 18" PANEL - WEATHERED RUSTIC	SEE SHEET A001 FOR CONTACT INFORMATION
9	RECESS OF SIDE ENTRY PORTAL	WESTERN STATE	T-GROOVE 24 GA. PAINTED 18" PANEL - WEATHERED RUSTIC	SEE SHEET A001 FOR CONTACT INFORMATION
10	REVEAL PANEL	NICHIHA	ILLUMINATION DESIGNER SERIES; 17 7/8"H. X 71 9/16"L. (CUT TO PLAN DIMENSIONS) FACTORY PRIMED. PAINT SW PURPLE TB2603C SEMI-GLOSS	SEE SHEET A001 FOR CONTACT INFORMATION
11	METAL PARAPET CAP		24 GA. GALVANIZED - CYBERSPACE (SW7076) KYNAR 500 COATING	
12	PIPE BOLLARDS	STREET SMART	YELLOW - 1/4" THICK PLASTIC COVER (U.S. POSTMAN.COM) OR EQUAL	COVER PROVIDED BY OWNER, INSTALLED BY G.C.
13	OVERHEAD DOOR		PRE-FINISHED (COLOR TO MATCH CYBERSPACE (SW7076)) PROVIDE COLOR SAMPLE TO ARCHITECT FOR APPROVAL	

EXTERIOR FINISH SCHEDULE

- EXTERIOR ELEVATION KEY NOTES**
- 1 BUILDING SIGN, BY VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS.
 - 2 DRIVE-THRU WINDOW. SEE SHEET A000 AND A200.
 - 3 DASHED LINE INDICATES ROOF BEYOND.
 - 4 STOREFRONT, TYPICAL.
 - 5 HOLD FIBER CEMENT FINISH ABOVE FINISHED GRADE PER MANUFACTURER'S RECOMMENDATIONS. (2" MIN. AT CONCRETE / BITUMINOUS; 6" MIN. AT SOIL / TURF / LANDSCAPING).
 - 6 SWITCH GEAR. PAINT TO MATCH WALL.
 - 7 EXPRESSION PANEL. SUPPLIED BY OWNER, INSTALLED BY G.C.
 - 8 PURPLE LED WALL WASH LIGHT FIXTURE FULL WIDTH BETWEEN TRIM BOARDS, AS SHOWN, PROVIDED AND INSTALLED BY SIGNAGE VENDOR.
 - 9 ASSUME DRIVE-THRU LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING AND SITE PLAN.
 - 10 TYPICAL REVEAL LOCATION AS DIMENSIONED. SEE 12/A502.
 - 11 TOWER WITH METAL PANEL FINISH PROVIDED BY FULLERTON.
 - 12 PREFINISH PARAPET COOPING.
 - 13 CO2 FILLER VALVE AND COVER. SEE DETAIL 4/A502 SIMILAR.
 - 14 EASIWASH EXTERIOR ACCESS PANEL. SEAL AIR & WEATHER TIGHT TO WALL WITH SEALANT TO MATCH ADJACENT EXTERIOR WALL FINISH.
 - 15 GAS SERVICE. DO NOT PAINT.
 - 16 WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR.
 - 17 SCUPPER, COLLECTOR AND OPEN FACE DOWNSPOUT. PROVIDE WITH FACTORY POWDER COAT OR KYNAR 500 PAINT FINISH - COLOR AS SCHEDULED. (BOTTOM OF DOWNSPOUT TO BE 6'-8" ABOVE GRADE) G.C. TO PROVIDE HEAT TAPE FULL LENGTH.
 - 18 CONCRETE CURB.
 - 19 SCONCE LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
 - 20 METAL AWNING OVER VESTIBULE WINDOW PROVIDED AND INSTALLED BY SIGN VENDOR.
 - 21 NOT USED.
 - 22 NOT USED.
 - 23 BOLLARD. SEE DETAIL 4/A101.
 - 24 METAL EYEBROW OVER WINDOWS PROVIDED AND INSTALLED BY SIGN VENDOR.
 - 25 WALL PACK LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
 - 26 NOT USED.
 - 27 ADDRESS SIGN. 8" HIGH WHITE VINYL LETTERS APPLIED TO GLASS SURFACE.
 - 28 FIRE DEPARTMENT KNOX BOX.
 - 29 STOREFRONT DOOR. REFER TO DOOR SCHEDULE.
 - 30 HOSE BIBB LOCATION. REFER TO PLUMBING AND DETAIL 19/A502.
 - 31 NOT USED.
 - 32 DRIVE-THRU CANOPY BY VENDOR.
 - 33 EMERGENCY LIGHT FIXTURE WITH BATTERY BACK UP. SEE ELECTRICAL DRAWINGS.
 - 34 O.H. DOOR AS SCHEDULED.
 - 35 INSULATED HOLLOW METAL DOOR AND FRAME. PAINT TO MATCH WALL.
 - 36 ALUMINUM ROOF ACCESS LADDER AND DOOR. (DO NOT PAINT) SEE DETAILS 9, 19 AND 20/A500.
 - 37 12"x12" FRESH AIR INTAKE METAL GRILL. PAINT TO MATCH WALL AND SEAL AIR AND WEATHER TIGHT. VERIFY LOCATION. PAINT TO MATCH WALL.
 - 38 OVERFLOW SCUPPER BY G.C. FULLERTON TO PROVIDE OPENING SIZED PER MINNESOTA STATE PLUMBING CODE AT HEIGHT NOT TO EXCEED MAXIMUM PONDING WATER FOR WHICH THE ROOF STRUCTURE WAS DESIGNED FOR BY CODE.



15110 MN 7
MINNETONKA, MN 55345

Owner:
JGH MINNETONKA, LLC
14822 HIDDEN TERRACE LOOP
LITCHFIELD PARK, AZ 85340

Applicant/Tenant:
BORDER FOODS, LLC
5425 BOONE AVE. N
NEW HOPE, MINNESOTA 55428

Contact: NATE WENGER
Phone: 763-489-3004

ENDEAVOR
26 SEATS / 2,591 S.F.

PROJECT NO.: TB21-21

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CHECKED BY: GGD

ISSUES AND REVISIONS:

SITE PLAN REVIEW: 03.29.2022

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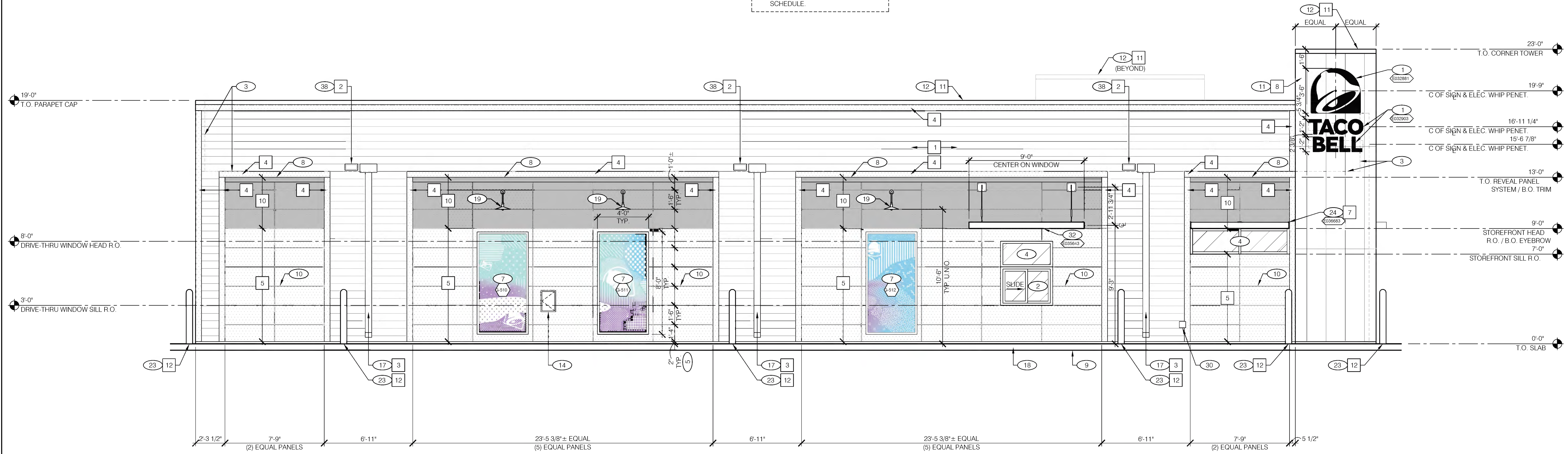
**EXTERIOR
ELEVATIONS**

A301

TACO BELL, MINNETONKA, MN

NOTE:
1. FULLERTON BUILDING SYSTEMS TO PROVIDE AND INSTALL FIBER CEMENT SIDING (FACTORY PRIMED) AND METAL T-GROOVE PANELS.
2. G.C. TO PAINT ALL FIBER CEMENT SIDING IN FIELD PER FINISH SCHEDULE.

NOTE: ELECTRICAL CONTRACTOR TO PROVIDE WHIP FOR SIGN POWER THROUGH METAL WALL PANEL AS DIMENSIONED. COMPLETE IMMEDIATELY FOLLOWING TOWER INSTALL / PRIOR TO INTERIOR SHEATHING INSTALL.

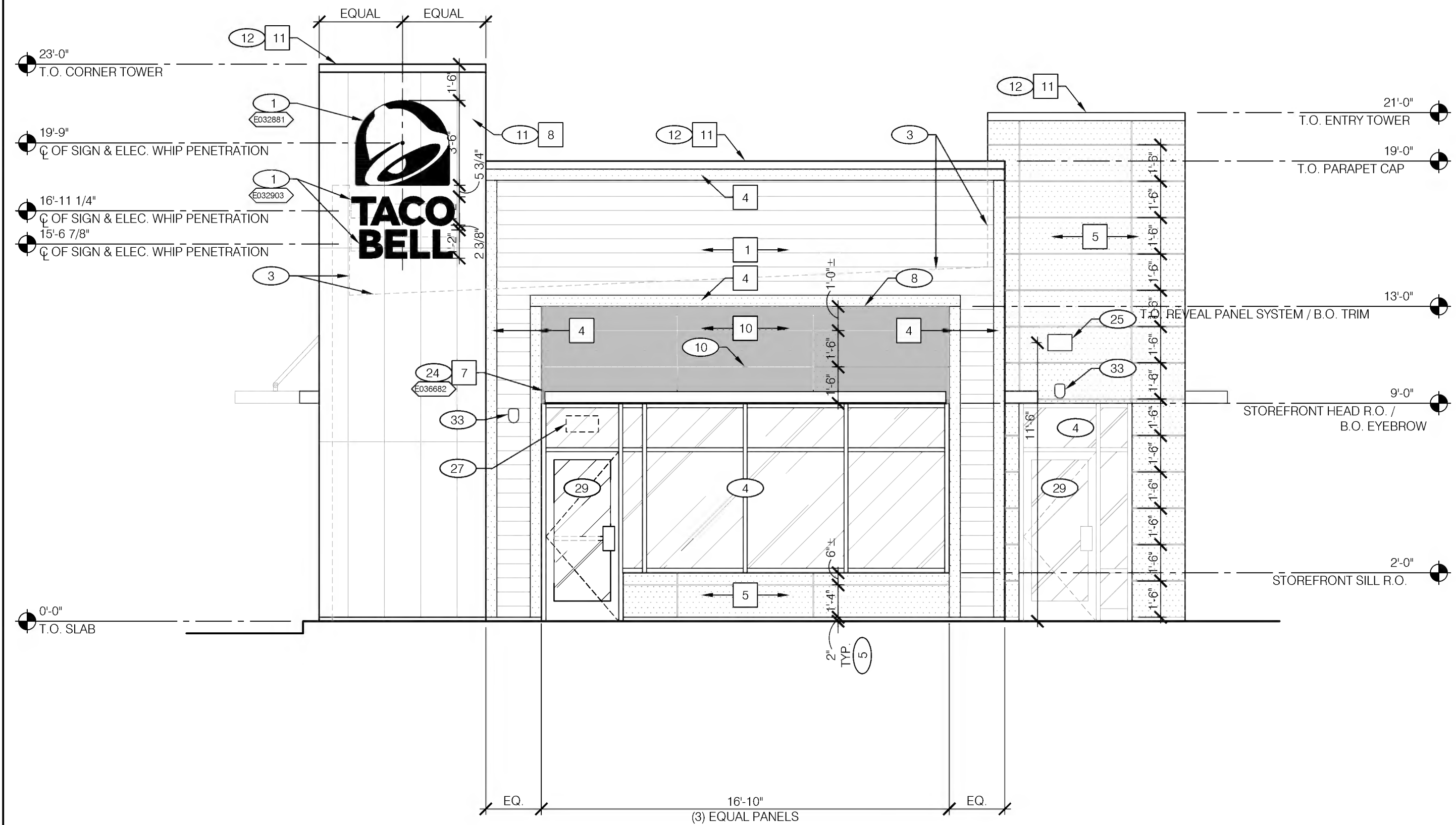


1 1/4"=1'-0" WEST ELEVATION

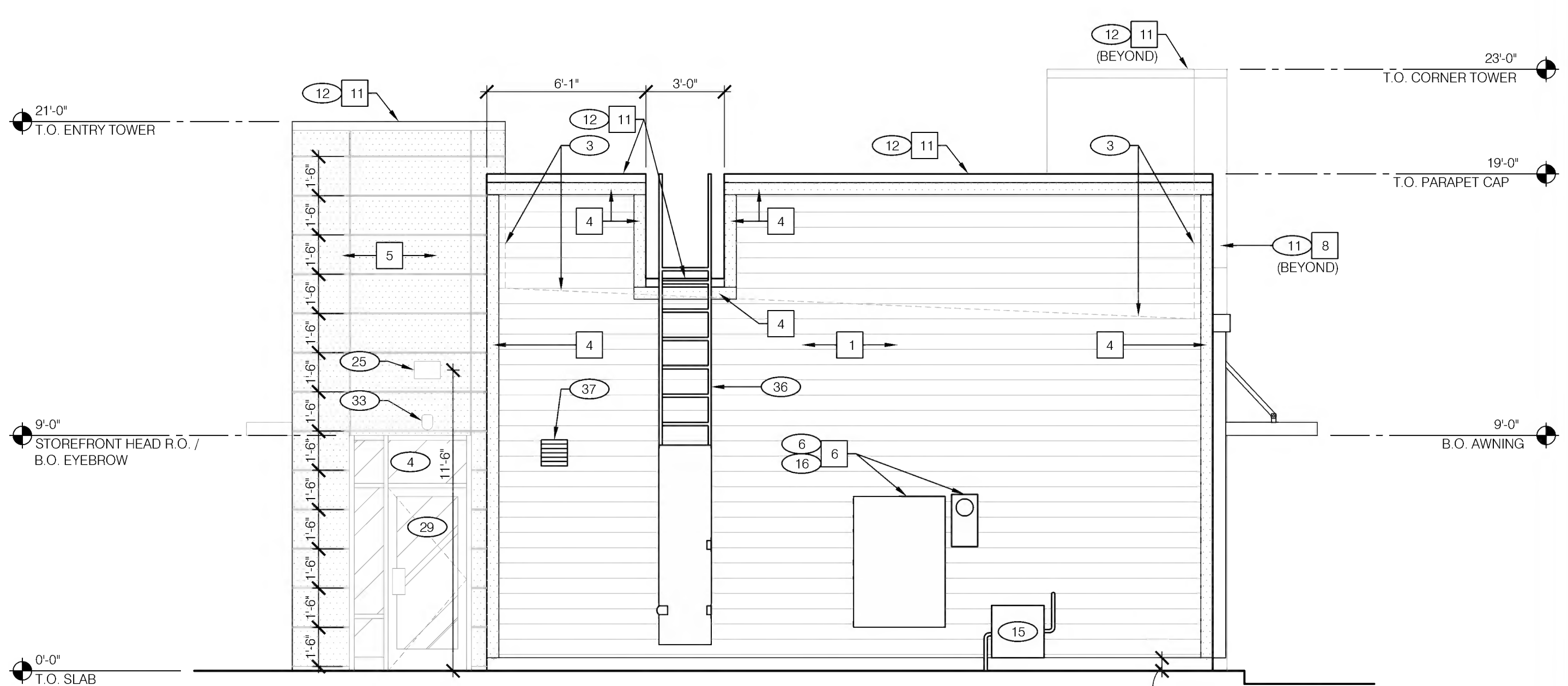
NOTE: ELECTRICAL CONTRACTOR TO PROVIDE WHIP FOR SIGN POWER THROUGH METAL WALL PANEL AS DIMENSIONED. COMPLETE IMMEDIATELY FOLLOWING TOWER INSTALL / PRIOR TO INTERIOR SHEATHING INSTALL.

NOTE:
1. FULLERTON BUILDING SYSTEMS TO PROVIDE AND INSTALL FIBER CEMENT SIDING (FACTORY PRIMED) AND METAL T-GROOVE PANELS.
2. G.C. TO PAINT ALL FIBER CEMENT SIDING IN FIELD PER FINISH SCHEDULE.

NOTE:
1. FULLERTON BUILDING SYSTEMS TO PROVIDE AND INSTALL FIBER CEMENT SIDING (FACTORY PRIMED) AND METAL T-GROOVE PANELS.
2. G.C. TO PAINT ALL FIBER CEMENT SIDING IN FIELD PER FINISH SCHEDULE.



2 1/4"=1'-0" SOUTH ELEVATION



3 1/4"=1'-0" NORTH ELEVATION



Memorandum

SRF No. 15703.00

To: Bria Raines, Planner
City of Minnetonka

From: Tom Sachi, PE, Project Manager

Date: April 28, 2022

Subject: Minnetonka Taco Bell Redevelopment Parking Study

Introduction

SRF has completed a parking study for the Taco Bell located at 15110 Highway 7 in Minnetonka, MN (see Figure 1). The main objectives of this study are to identify the existing parking demand of the restaurant, determine if the proposed parking supply is sufficient to meet the expected future demand, and identify potential parking opportunities, if necessary. The following sections provide the assumptions, analysis, and study conclusions offered for consideration.

Existing Parking Assessment

Existing parking surveys on site were completed to determine the existing parking demand. The surveys were conducted on both a Wednesday and a Friday during the lunch time peak hours, which coincide with the expected peak parking demand timeframe for the existing/proposed land use. Results of the existing off-street parking surveys are shown in Table 1.

Table 1. Existing Off-Street (Site) Parking Information

Parking Information	Survey Period	
	Wednesday (4/20/22) 11:30 a.m.	Friday (4/22/22) 11:30 a.m.
Demand	12	14
Supply	32	32
Surplus/(Deficit)	+20	+18

Based on the parking surveys, there is an excess parking supply for the existing parking lot, as shown in Table 1, for both the weekday and Friday lunch time peaks.



Project Location

Minnetonka Taco Bell Redevelopment Parking Study
City of Minnetonka

Future Parking Demand

The existing Taco Bell is proposed to be redeveloped from an approximately 1,700 square foot (SF) fast-food restaurant with a drive through lane to a new 2,590 SF Taco Bell with a drive thru (shown in Figure 2).

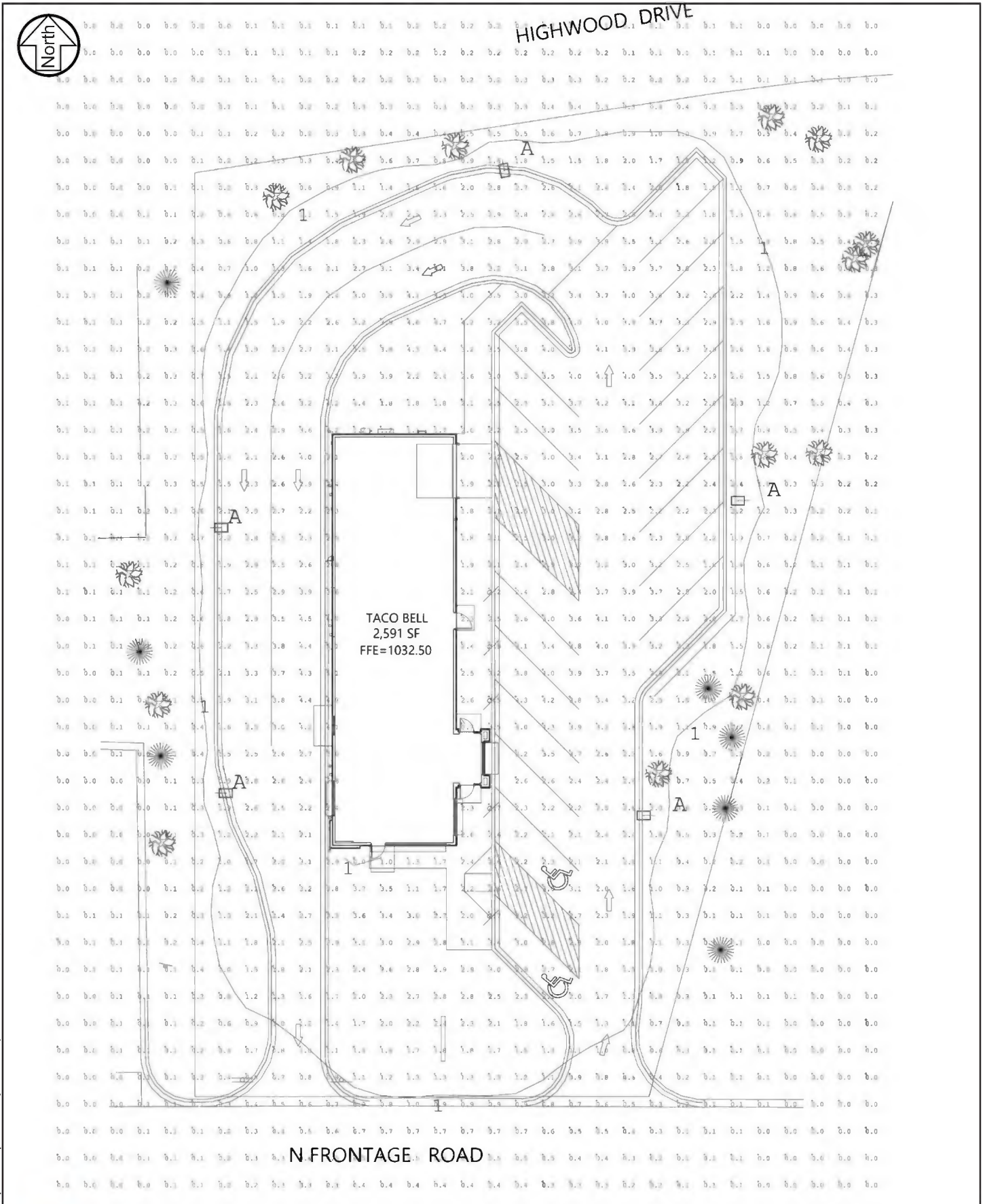
Future parking generation estimates for the proposed land use were developed using the *ITE Parking Generation Manual, Fifth Edition* for average and 85th percentile and the Minnetonka City and are shown in Table 2. Additionally, the table includes a comparison with the proposed future supply to identify the expected surplus or deficit. Note, the City parking code requires one space per 60 square feet of floor area, which corresponds to 43 parking spaces for the site.

Table 2. Estimated Future Site Parking Demand and Surplus/(Deficit)

Demand by Time	Existing Demand	Future Demand Estimates			Future Supply	Future Surplus/(Deficit)			
		ITE Avg	ITE 85%ile	City Code		Existing Demand	Avg	ITE 85%ile	City Code
Weekday 11:30-12:30 PM	12	22	36	43	19	+7	(-3)	(-17)	(-24)
Friday 11:30-12:30 PM	14	32	43	43	19	+5	(-13)	(-24)	(-24)

As shown in Table 2, the future proposed parking supply is expected to have a deficit for the lunch time peak on both weekdays and on Fridays based on ITE and the City Code. However, based on the existing parking surveys, the proposed parking supply is expected to have a surplus between five (5) and seven (7) spaces during the lunch peak period.

Section 300.28 of the City Code indicates that “if warranted by unique characteristics, or documented parking demand for similar developments, or both, the city may allow reductions in the number of parking spaces actually constructed as long as the applicant provides a proof of future parking plan.” As the site will remain a Taco Bell with a drive through window, it can be expected that the site will generate a similar amount of trips and parking demand in the future as it does today, regardless of the change in building size. The site is already established as a Taco Bell restaurant and would not be expected to generate differently as the uses of the site are exactly the same. Therefore, using this note within the City Code, it was assumed that the proposed Taco Bell development will have a similar parking demand in the future as it does today. With the existing parking demands between 12 and 14 spaces and the provided future supply of 19 spaces, there is expected to be a surplus of parking on site between five (5) to seven (7) spaces. No additional parking mitigation strategies are expected to be necessary to accommodate the proposed development.



Site Plan
Minnetonka Taco Bell Redevelopment Parking Study
City of Minnetonka

Site Plan Review

Site observations conducted during the 11:30 a.m. to 1:00 p.m. timeframe found that the existing site operated adequately. However, there were a few instances where the drive through queue interfered with operations at the site access on the frontage road. Note, a maximum of six (6) vehicles were observed within the existing drive-through during the lunch periods reviewed.

A review of the future site plan was also completed to identify any potential internal or site-specific issues. The site plan shows that the drive through window will be moved to the west side of the building and the site will be set up in a one-way operation, which will allow for more spaces for drive through queues. This is expected to mitigate any existing drive through queuing issues at the site access. The drive through stacking area is also long enough to accommodate eight (8) vehicles without interfering with the parking lot operations. It is not expected that there will be any access, circulation, or pedestrian issues as a result of this proposed development. Note, a pedestrian access could be considered via a sidewalk connection from the proposed development to the existing sidewalk along the north side of the Highway 7 frontage road, if desired.

Conclusions

The following conclusions are offered for consideration:

- The existing peak parking demand of the site is between 12 to 14 spaces.
- The existing Taco Bell development is approximately 1,700 SF and is expected to expand to approximately 2,590 SF as part of a redevelopment. There is expected to be 19 parking stalls provided on site.
- The future proposed parking supply is expected to have a deficit for the lunch time peak on both weekdays and on Fridays based on ITE and the City Code.
- Based on the existing parking utilization surveys, the proposed parking supply is expected to have a surplus between five (5) and seven (7) spaces during the lunch peak period.
- The City Code indicates that if warranted by documented parking demand for similar developments, the city may allow reductions in the number of parking spaces. Since the site will remain a Taco Bell in the future, the expected future demand can be expected to remain the same as the demand found in the existing parking surveys. Therefore, it can be concluded that the proposed parking supply will be sufficient in the future and no additional mitigation is necessary.

Resolution No. 2022-

Resolution approving a conditional use permit, with variances, and a final site and building plan for Taco Bell at 15110 Highway 7

Be it resolved by the City Council of the City of Minnetonka, Minnesota, as follows:

Section 1. Background.

1.01 The subject property is located at 15110 Highway 7, within the B-2 Limited Business zoning district. It is legally described as:

Lot 000, Block 002, Tonkawood Farms, Hennepin County, Minnesota.

1.02 Border Foods, Inc. has requested a conditional use permit to operate a fast-food restaurant on the property. The proposal includes the following variances:

- A parking variance from 43 parking stalls to 19 parking stalls on the property;
- A parking setback variance from 20 feet to 11 feet from the right-of-way along the north property line; and
- A building setback variance from 35 feet to 30 feet from the westerly side property line.

1.03 By City Code §300.27 requires site and building plan approval when a commercial site is redeveloped, expanded, or intensified.

1.04 On May 12, 2022, the planning commission held a hearing on the proposal. The applicant was provided the opportunity to present information to the commission. The commission considered all of the comments received and the staff report, which are incorporated by reference into this resolution. The commission recommended that the city council approve the proposal.

Section 2. Standards.

2.01 City Code §300.18 Subd. 4(f) outlines that a conditional use permit is required for fast food restaurants with or without drive-up facilities in B-2 district.

2.02 City Code §300.18 Subd. 5 outlines the following district standards for uses in the

B-2 district:

1. Building height: maximum of 35 feet or two stories, whichever is less;
2. Front yard setback: minimum of 50 feet;
3. Side and rear yard setback: minimum of 35 feet;
4. Floor area ratio: maximum of 0.8;
5. Lot coverage: maximum lot coverage shall be 85 percent and shall be calculated to include building footprints; parking areas; driveways; loading, storage and trash areas and other areas covered by any impervious surface;
6. Access: by permit from a public body with principal access from a collector or arterial roadway as designated in the comprehensive plan or a street specifically designed to accommodate commercial traffic; and
7. Trash enclosures or accessory buildings not to exceed 600 square feet in size shall be located behind the front building line of the principal building. Setbacks shall be equal to the parking setback as specified in section 300.28, subd. 12(b)(4).

2.03

City Code §300.18 Subd. 6 outlines the following additional standards for uses in the B-2 district:

1. All developments shall be subject to site and building plan review pursuant to section 300.27 of this ordinance.
2. All developments shall comply with the wetlands, floodplain and shoreland regulations contained in sections 300.23, 300.24 or 300.25 of this ordinance.
3. Parking shall be regulated pursuant to section 300.28 of this ordinance.
4. All developments shall comply with the city's water resources management plan.
5. Signs shall be regulated pursuant to section 325 of the code of city ordinances.

2.04

By City Code 300.21 Subd.4(f), outlines the following conditions for fast food restaurants with a drive-thru window in the B-2 district.

1. Shall be located only on sites having direct access to minor arterial streets or service roads;
2. Public address systems shall not be audible from any residential parcel;

3. Stacking for a minimum of six cars per aisle shall be provided within applicable parking lot setbacks;
4. Shall not be permitted when traffic studies indicate significant impacts on the levels of service as defined by the institute of traffic engineers of adjacent streets and intersections; and
5. Building shall be set back at least 100 feet and screened from any adjacent property designated in the comprehensive plan for residential use.

2.05 By City Code §300.07, Subd. 1, a variance may be granted from the requirements of the zoning ordinance when: (1) the variance is in harmony with the general purposes and intent of this ordinance; (2) when the variance is consistent with the comprehensive plan; and (3) when the applicant establishes that there are practical difficulties in complying with the ordinance. Practical difficulties mean: (1) the proposed use is reasonable; (2) the need for a variance is caused by circumstances unique to the property, not created by the property owner, and not solely based on economic considerations; and (3) the proposed use would not alter the essential character of the surrounding area.

2.06 By City Code §300.27, Subd. 5, the city will consider compliance with a variety of general standards when evaluating the site and building plans. Those standards are incorporated by reference into this resolution.

Section 3. Findings.

3.01 But for the previously outlined setback variances, the proposal would meet the district standards outlined in City Code §300.18 Subd. 5:

1. The proposed site would meet the building height maximum;
2. The proposed restaurant would meet the front yard setback;
3. The proposal would not meet the side yard setback requirements, and a variance is required. The variance is reasonable, as is outlined in the following section of this resolution.
4. The proposed building would meet the floor area ratio;
5. The site would meet the maximum lot coverage;
6. The site would be accessed by a roadway designed to accommodate commercial traffic; and
7. The trash receptacle would be stored in an attached bay in the rear of the building.

3.02 But for the previously outlined setback variances, the proposal would meet the

district standards outlined in City Code §300.18 Subd. 6:

1. The proposal is subject to site and building plan review pursuant to section 300.27 of this ordinance.
2. The proposal will comply with the wetlands, floodplain and shoreland regulations contained in sections 300.23, 300.24 or 300.25 of this ordinance.
3. The proposal would not meet the parking setbacks or the required number of parking stalls onsite, and a variance is required. The parking variances are reasonable, as is outlined in the following section of this resolution.
4. All developments shall comply with the city's water resources management plan. The underground storm water details are required for the building permit.
5. Signs shall be regulated pursuant to section 325 of the code of city ordinances.

3.03 The proposal would meet the conditional use permit standards outlined in City Code 300.21 Subd.4(f) for fast food restaurants with a drive-thru window.

1. The subject property is accessed via the Hwy 7 service road.
2. As a condition of this resolution, public address systems shall not be audible from any residential parcel
3. The proposed site plan would significantly increase stacking area over existing conditions. Staff anticipates stacking area for at least eight vehicles.
4. The site has been occupied by Taco Bell for over 30 years. The redevelopment to update the restaurant building and site are not anticipated to impact levels of service beyond the current conditions.
5. The proposed building would be located over 120 feet from the closed residential building and screened by fencing and vegetation.

3.04 The proposed restaurant would meet the variance standard as outlined in City Code §300.07, Subd. 1.

1. Intent of the Ordinance.
 - a) The intent of the ordinance as it relates to parking requirements is to ensure adequate parking is provided to meet anticipated parking demands. The proposed parking would not City Code requirements. However, an independent parking study was

conducted. The parking study suggests that the site would be accommodated by 12 to 14 parking stalls. The proposal would meet the parking demand determined by the parking study.

- b) The intent of the ordinance, as it relates to the parking lot setback from the right-of-way and residential uses, is to ensure safety and a visual buffer. The site has a fence along the north property line and the existing parking lot is closer to the ROW than what is proposed in the site plan. The proposed plan will increase the parking lot setback from the ROW.
 - c) The intent of the ordinance, as it relates to the building setback, is to ensure appropriate separation of uses with different intensities and activities. The building will be set back 30 feet from the neighboring commercial business. The reconfiguration of the site would improve circulation and enlarge the vehicle stacking area; removing stacking spilling onto the frontage road and instead maintained onsite.
2. Consistent with the Comprehensive Plan. The subject property is an existing Taco Bell restaurant. The requested variances would keep the same commercial use, while improving traffic issues observed at the site. The rear yard setback has nonconforming rights. However, the proposal is not to maintain the existing setback but to increase the setback, bringing the property closer to compliance with the city ordinance. The proposal would result in 19 parking stalls with available bicycle storage in front of the restaurant, which is also consistent with promoting alternative means of travel as a travel demand management strategy in the 2040 Comprehensive Plan.
 3. Practical Difficulties. There are practical difficulties in meeting the standards of the ordinance.
 - a) Reasonableness.

The request for 19 parking stalls is reasonable. The independent parking study provides a real-time observation of the site. The study and applicant statement have suggested that this site experiences most traffic by drive-thru rather than sit-down patronage. The study suggests that the proposed parking would accommodate the site and provide a surplus of 5 to 7 parking spaces during peak times.

The setback variances would improve on site conditions, without impact to neighboring uses.
 - b) Unique Circumstance. The property has existing nonconforming parking and setbacks. It has been occupied by a fast food restaurant with a drive-thru window for nearly five decades. The

proposal would improve both on-site and off-site conditions.

- c) Character of Locality. The redevelopment of the site is not anticipated to negatively impact adjacent or neighboring properties.

3.05 The proposal would meet site and building plan standards outlined in the City Code §300.27, Subd.5.

1. The proposal has been reviewed by city planning, engineering, and natural resources staff and found to be generally consistent with the city's development guides, including the water resources management plan.
2. Apart from the variances, the proposal would comply with the standards of the CUP ordinance and the site and building plan review. As is outlined in the associated resolution, the variance standard is met.
3. The proposed redevelopment would site would require the removal of eight high-priority trees and mitigation of 88-inches of deciduous trees. This proposal would meet the tree protection ordinance standards.
4. The proposed redevelopment would incorporate more landscaping to the site than is currently existing. Existing open spaces would be enhanced with more trees and plants, increasing the amount of natural features.
5. The proposed site would create an appropriate physical order to the site allowing more vehicle stacking onsite. The parking study for the proposed site suggests the amount of parking is sufficient.
6. As new construction, the proposed restaurant would include energy efficiency/conservation components required by the state building code.
7. The proposal would visually and physically alter the property and the immediate area. However, it is not anticipated to negatively impact adjacent or neighboring properties.

Section 4. City Council Action.

4.01 The city council approves the conditional use permit, with variances, based on the above findings. Approval is subject to the following conditions:

1. Subject to staff approval, the site must be developed and maintained in substantial conformance with the following plans, except as modified by the conditions below:
 - Site Plan, dated March 29, 2022
 - Exterior Renderings, dated March 25, 2022
 - Grading Plans, dated March 29, 2022

- Drainage Plans, dated March 29, 2022
 - Utility Plans, dated March 29, 2022
2. A building permit is required. The permit application and supporting plans and documents must be submitted through the city's online permit review system. Unless authorized by appropriate staff, no site work may begin until the permit has been approved.
 3. Prior to the issuance of the building permit:
 - a) This resolution must be recorded with Hennepin County.
 - b) Submit the following:
 - 1) Final site, grading, utility, stormwater management, landscape and tree mitigation plans, and a stormwater pollution prevention plan (SWPPP) for staff approval.
 - a. Final site plan must:
 - Include a site logistics plan. Elaborating where contractors will park, where materials will be stored, the route of items coming and being removed, etc.
 - b. Final utility plan.
 - The building must connect to the existing sanitary sewer service pipe.
 - Any unused sanitary sewer or water services must be removed. Sanitary sewer service pipe must be removed back to the main with the wye cut out and sleeved, water service pipe must be removed back to the main with the corporation stop being turned off.
 - c. Final stormwater management plan is required for the entire site's impervious surface. The plan must demonstrate conformance with the following criteria:
 - Rate. Limit peak runoff flow rates to that of existing conditions from the 2-, 10-, and 100-year events at all points where stormwater leaves the site.

- Volume. Provide for onsite retention of 1.1-inch of runoff from the entire site's impervious surface.
- Quality. Provide for all runoff to be treated to at least 60 percent total phosphorus annual removal efficiency and 90 percent total suspended solid annual removal efficiency.

In addition:

- Submit soil borings at the site of the stormwater BMP in order to confirm the infiltration rate.
- Provide evidence that any underground systems would be able to support 83,000 pounds and 10,800 pounds per square foot outrigger load.
- Underground facilities must be inspected by a third party during installation to ensure that pressure requirements are adequately met.

d. Final landscaping plan must:

- Meet minimum landscaping and mitigation requirements as outlined in the ordinance, including species beneficial to pollinators.
- Include information relating to species, sizes, and quantities.

2) A utility exhibit. The exhibit must show only property lines, buildings, sewer, and water stormwater facilities. The exhibit must clearly not which lines are private and which are public.

3) The following documents in a city-approved format:

- a. A stormwater maintenance agreement.
- b. A construction management plan. The plan must be in a city-approved format and must outline minimum site management practices and penalties for non-compliance.

- c. Submit a private hydrant maintenance agreement in a city approved format for review and approval by city staff.
- 4) Evidence that an erosion control inspector has been hired to monitor the site through the course of construction. This inspector must provide weekly reports to natural resources staff in a format acceptable to the city. At its sole discretion, the city may accept escrow dollars, in an amount determined by natural resources staff, to contract with an erosion control inspector to monitor the site.
- 5) Letter of credit or cash escrow in the amount of 125% of a bid cost or 150% of an estimated cost to comply with the site development permit and landscaping requirements and to restore the site. The city will not fully release guarantee until (1) as-built drawings and tie-cards have been submitted; (2) a letter certifying that the underground facility has been completed according to the plans approved by the city; (3) vegetated ground cover has been established; and (4) required landscaping or vegetation has survived one full growing season.
- 6) Cash escrow in an amount to be determined by city staff. This escrow must be accompanied by a document prepared by the city attorney and signed by the builder and property owner. Through this document, the builder and property owner will acknowledge:
 - The property will be brought into compliance within 48 hours of notification of a violation of the construction management plan, other conditions of approval, or city code standards; and
 - If compliance is not achieved, the city will use any or all of the escrow dollars to correct any erosion and/or grading problems.
- a) Install erosion control, and tree protection fencing, and any other measures identified on the SWPPP for staff inspection. These items must be maintained throughout the course of construction.
- b) A right-of-way permit and inspection are required for connections to public utilities.
- c) Permits may be required from other outside agencies, including the Basset Creek Watershed Management Commission. It is the applicant's responsibility to obtain any necessary permits.

- d) Utility as-builts and tie cards must be submitted to the city upon completion of the installation.
 - e) The city may require additional signage, striping needs, and curbed medians in the event that site circulation becomes problematic.
 - f) The property owner is responsible for replacing any required landscaping that dies.
 - g) Construction must begin by May 24, 2022, unless the city council grants a time extension.
- 4. Public address systems must not be audible from any residential parcel
 - 5. The city council may reasonably add or revise conditions to address any future unforeseen problems.
 - 6. Any change to the approved use that results in a significant increase in a significant change in character would require a revised conditional use permit.

Adopted by the City Council of the City of Minnetonka, Minnesota, on May 23, 2022.

Brad Wiersum, Mayor

Attest:

Becky Koosman, City Clerk

Action on this resolution:

Motion for adoption:

Seconded by:

Voted in favor of:

Voted against:

Abstained:

Absent:

Resolution adopted.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the City Council of the City of Minnetonka, Minnesota, at a meeting held on May 23, 2022.

Becky Koosman, City Clerk

MINNETONKA PLANNING COMMISSION
May 12, 2022

Brief Description

Items concerning WOODHAVEN AT MINNETONKA, a nine-lot subdivision, at 2424 and 2440 Plymouth Road

1. Rezoning from R-1, low density residential, to R-1A, residential alternative.
2. Preliminary plat, with variances to lot width, and the city's tree protection and steep slope ordinances.

Recommendation

Recommend the city council deny the proposal.

Airborne Woodhaven, LLC has submitted applications to develop the roughly 4.5-acre site, at 2424 and 2440 Plymouth Road, into nine single-family residential lots.

Review Process

The following is intended to summarize the concept plan, meetings, and formal application process:

In June 2021, Airborne Woodhaven, LLC submitted a concept plan for the site's redevelopment. The plan contemplated removing the existing structures and constructing ten new homes. The homes would be located on lots ranging in size from roughly 15,000 square feet to 26,300 square feet. Access to the residential development would be via a new cul-de-sac from Plymouth Road.

- **Neighborhood Meeting**

The developer hosted a neighborhood meeting on June 29, 2021. The meeting was attended by 22 people (20 in-person and two virtual). Concerns raised during the meeting centered primarily on existing and proposed drainage patterns and stormwater retention and requirements. Other concerns raised during the meeting included tree removal, zoning classification requirements, viewsheds, and the configuration of Lot 5, a lot-behind-lot.



Figure 1: 2021 Concept Plan

- **Concept Plan Review**

Planning Commission. The planning commission provided feedback on the concept plan on July 1, 2021. The staff report, additional comments, and minutes can be found [here](#). Two neighbors appeared to speak on the item. One neighbor read a letter included in the change memo and reiterated concerns regarding Lot 5 as a lot-behind-lot. The second neighbor commented on drainage issues. The planning commission generally: (1) requested more information on the proposed homeowner's association, stormwater and trees, at the time of a formal application; (2) supported the rezoning if it would result in smaller house footprints; and (3) expressed concern related to Lot 5.

City Council. The city council provided feedback on the concept plan on July 12, 2021. The staff report and minutes can be found [here](#). Two residents appeared to speak and expressed concern related to the site's natural features, drainage, and the lot-behind-lot. The council expressed support for the housing type but concerns regarding the lot-behind-lot (Lot 5), stormwater retention, and drainage.

- **Ordinance Updates.**

Discussions at city council, planning commission, and sustainability commission meetings regarding updates to the tree protection ordinance began in 2019. Discussions at the following meetings were educational and intended to gather information used to develop the ordinance:

- Oct. 21, 2019: [City Council study session.](#)
- Dec. 19, 2019: [Planning commission](#)
- June 29, 2020: [City council study session](#)
- July 13, 2021: [Sustainability commission](#)

The first draft of the ordinance was prepared after the July 13, 2021 sustainability commission meeting and after the review of the WOODHAVEN concept plan. The tree protection ordinance was reviewed and subsequently approved on the following dates:

- Sept. 13, 2021: [City council \(introduction\)](#)
- Sept. 30, 2021: [Planning commission \(recommendation\)](#)
- Oct. 18, 2021: [City Council \(adoption\)](#)

- **Application Submission Timeline.**

The following is intended to summarize the application review process:

- Oct. 8-13, 2021: Application and plans received by the city.
- Oct. 14, 2021: Staff briefly reviewed the application and provided the applicant with a list of missing information via email.
- Oct. 20, 2021: Planning and natural resources staff met with the applicant to discuss the missing information in more detail. Staff also indicated that the council had adopted new natural resources ordinances. As such, an updated tree inventory and grading plans must be submitted. This information was also reiterated in a formal incomplete letter on Oct. 27, 2021
- March 9, 2022: Steep slope and tree protection variance applications and plan details received by the city.

- April 21, 2022: The applicant requests additional time to review staff tree comments.
- May 2, 2022 The applicant submits updated plans for staff review.

- **City Council Introduction**

On [April 11, 2022](#), the city council introduced an ordinance to rezone the property. The council discussed the housing type, site impacts, and the neighborhood context. The council referred the rezoning ordinance to the planning commission and asked the commission to discuss the balance between the impacts to natural resource ordinances and the housing type.

Proposal Summary

The following is intended to summarize the applicant's proposal:

- **Existing Site Conditions.**

The site is 4.5 acres in size and is located on the west side of Plymouth Road. The site currently contains two single-family residential homes and several smaller accessory structures.

Topography. The high point of the property is generally located on the shared property line between the existing homes. The property slopes downward roughly 10 feet to the street, and downward to the wetland along the northern property line, and toward the northwestern and southwestern property corners. There are two areas of the steep slope on the property shown in gray in Fig. 2. ¹ The two darker gray areas are slopes of 30 percent or greater.

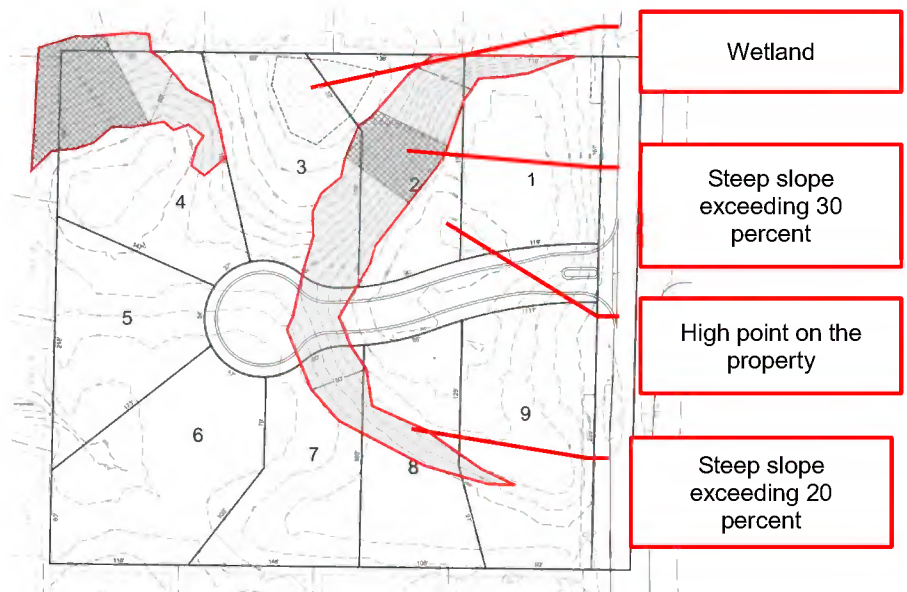


Figure 2: Steep Slope

¹ By City Code Sec. 300.02, "steep slope" – is a slope that (1) rises at least 20 feet between the toe and top of the slope; (2) has an average grade of 20 percent as measured between the toe and top of slope; and (3) has been field verified and located by city staff. In verifying and locating steep slopes, staff may consider site factors such as soil types, vegetation coverage, anticipated erosion issues, technical reports, or other items staff considered pertinent for the protection of the slope.

Trees. The site has 168 significant² and 314 high-priority trees³.

Wetland and floodplain. A Manage 2 wetland, with an associated 100-year floodplain, is located along the northern property line [in the rear of Lot 3 in the image below].

- **Proposal and Site Impacts**

The proposal would subdivide the site into nine single-family residential properties accessed via a newly constructed cul-de-sac. The lots would range in size from roughly 17,715 to 24,710 square feet. Generally, the lots are consistent with R-1A standards, but Lot 4 requires lot width variances to reduce the lot-width-at-right-of-way from 45 feet to 40 feet and the lot-width-at-setback from 75 feet to 65 feet.

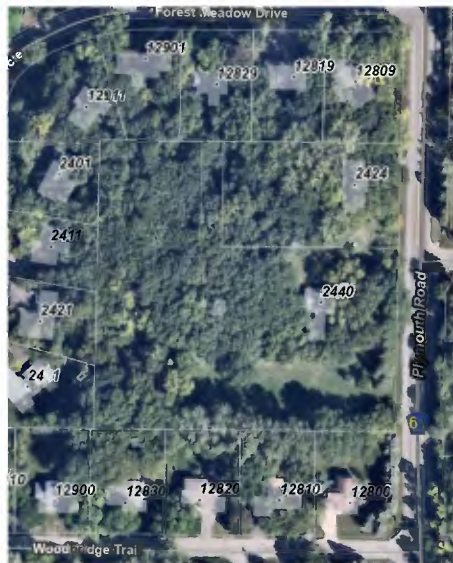


Figure 3: Most recent aerial

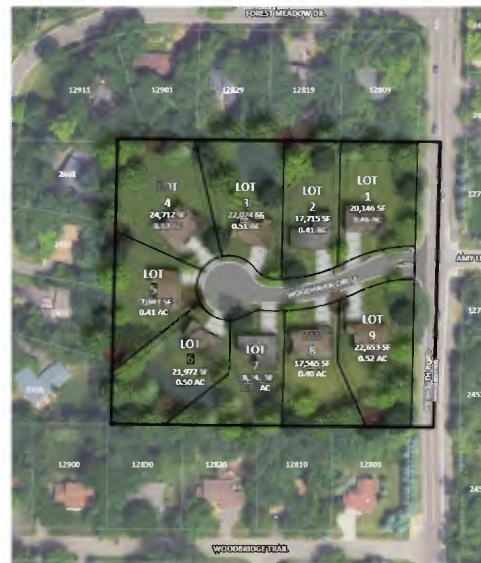


Figure 4: Proposed Conditions

Grading: The city's steep slope ordinance was developed to encourage thoughtful integration of a development into a slope. The intent of the ordinance is not to prohibit construction from occurring near a slope, but rather to guide development of the slope to prevent the slope from being "graded out" or "flattened". As shown, the site, and steep

² By City Code Sec. 314.01 Subd. 5(l), "tree, significant" -- is a tree that is structurally sound and healthy and that is either a deciduous tree at least four inches diameter at standard height (dsh) or a coniferous tree that is at least 10 feet in height.

³ By City Code Sec. 314.01 Subd. 5(j), "tree, high priority" -- is a tree that is not in a woodland preservation area but is still important to the site and the neighborhood character, that is structurally sound and healthy, and that meets at least one of the following standards as outlined below. The city forester prioritizes native and culturally significant species above non-native trees. The city will maintain, and periodically update, a list of prioritized and acceptable tree species. This list may be used to guide both tree removal.

- 1) a deciduous tree that is at least 10 inches dsh.
- 2) a coniferous tree that is at least 15 feet in height that is not described below.
- 3) a tree that is in a group of three or more deciduous trees that are at least eight inches dsh or coniferous trees that are at least 15 feet in height, that provide a buffer or screening along an adjacent public street, and that is within 50 feet of an arterial road and 35 feet of a minor collector, local, or private street and trail. The distance is measured from the edge of the pavement or curb of the road, street, or trail.

slope, would be graded to “flatten out” the site to create the new cul-de-sac and the home sites. To construct the road, roughly six feet would be “cut” on the eastern end and roughly eight feet would be “filled” to create the grade for the cul-de-sac.

Staff is unable to support such a blatant disregard to the site’s slopes, topography and city’s steep slope ordinance.

Utilities: It has long been the city’s practice to identify and establish watermain connections to provide better service to residents. The plans indicate that the water main would connect within the Plymouth Road and Forest Meadow Drive (to the west). Despite several conversations with the city engineer, the plans continue to indicate that the western connection would occur between Lots 4 and 5 and then between 2411 and 2421 Forest Meadow Circle. Staff would not accept this location. The connection must occur between Lots 5 and 6 and then connect to the existing connection between Lots 5 and 6 and 2421 and 2431 Forest Meadow Drive.

Stormwater: The plans indicate that stormwater would be directed to the northern wetland and a newly constructed, roughly five-foot deep stormwater basin in the southwest corner of the site. These plans do not quite meet water quality requirements; however, slight adjustments to the stormwater plan will likely result in conformance. Staff would like to note that the current design leaves little flexibility for increased home footprints and future improvements.

Trees: A tree inventory is required for any redevelopment of a property within the city. This inventory must provide quality data regarding the species, sizes, and locations of high priority trees, significant trees, and trees in woodland preservation areas, regardless of the health of the trees. In typical development scenarios, staff reviews the tree inventory and preservation plans in order to provide meaningful comments and feedback throughout the review process. Before bringing a project forward to the planning commission and city council, the staff generates clear conditions of approval regarding maximum tree removal and mitigation requirements.

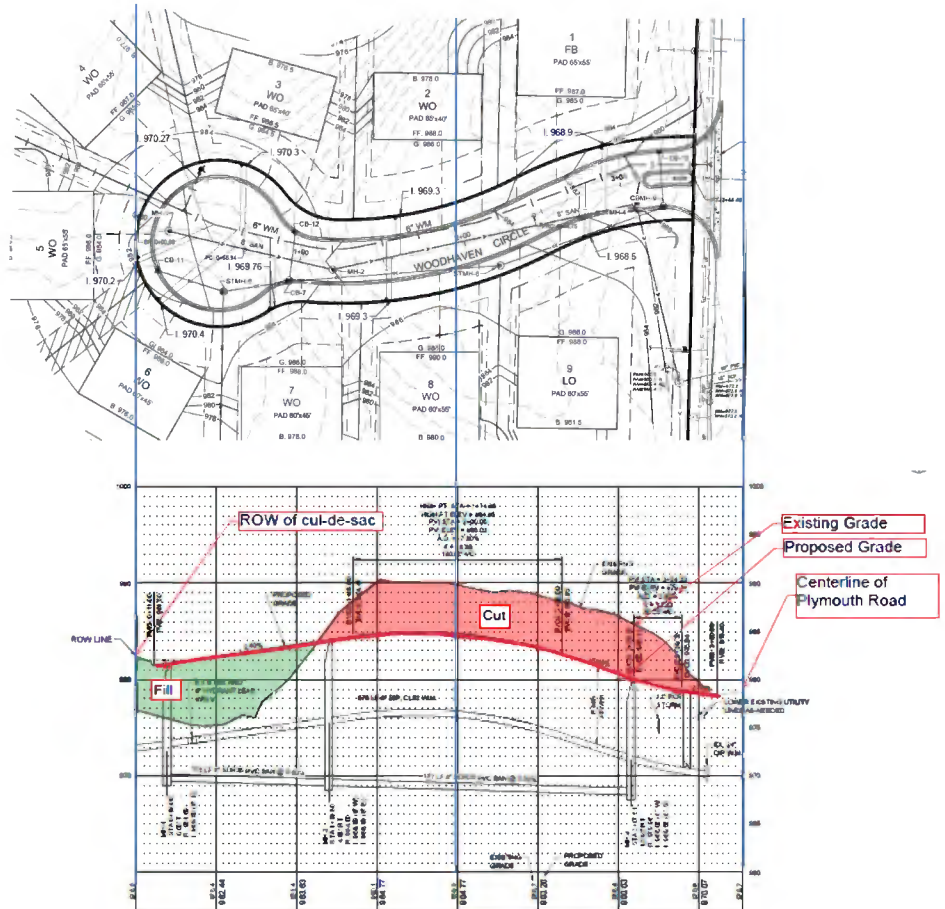


Figure 5: Grading

Unfortunately, the tree inventory and plans submitted by the applicant continue to be inconsistent and inaccurate despite staff's several requests for clarification and additional information from the developer since October 2021 (the original plan submission).

Most recently, staff articulated that several inconsistencies and discrepancies existed in the plans. The applicant requested to delay the public hearing from the April 28, 2022 planning commission meeting to allow additional time to try and address staff's comments. Additional information was provided and reviewed by staff on May 2, 2022. This information continues to be grossly inconsistent, inaccurate and unclear. The following is intended to summarize some – but not the exhaustive list – of issues with the submitted inventory and plans:

- The existing conditions and the tree preservation plans have conflicting inventories and species identification. Three examples are located in the northeastern corner of the site as shown below:

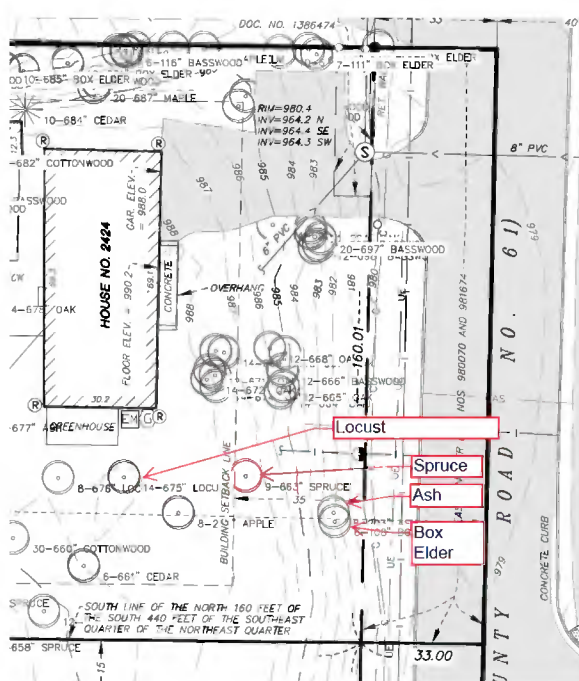


Figure 6: Existing Conditions

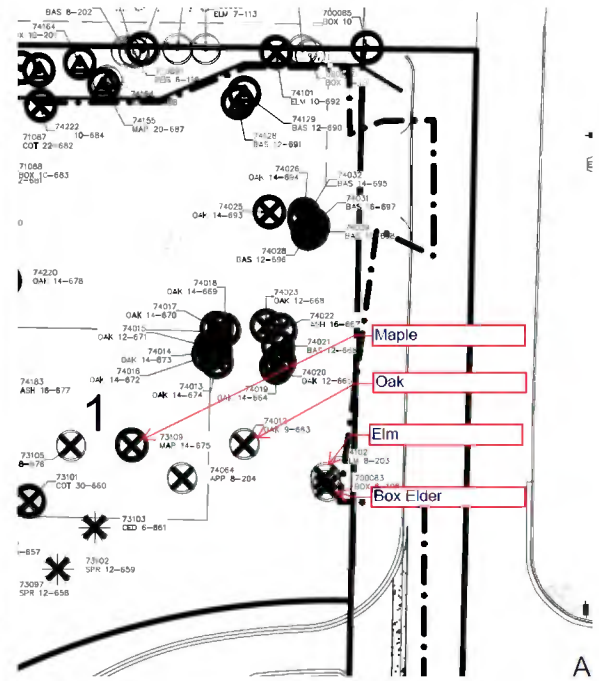


Figure 7: Tree preservation plan submitted May 2, 2022

- Staff initially commented that the tree inventory appeared to identify “a couple hundred” more trees than shown on the preservation plan. The newly submitted figure table suggests that fewer trees would be removed; however, no changes appear to be depicted on the plan. For example, the tables indicate 20 fewer trees to be removed from previous submissions, but staff is unable to identify which trees were removed from the count and why.

- The table of trees removed per lot does not reflect what is shown in the preservation plan. For example, the table indicates no significant trees removal on Lot 9. However, the preservation plan depicts the removal of two significant trees.

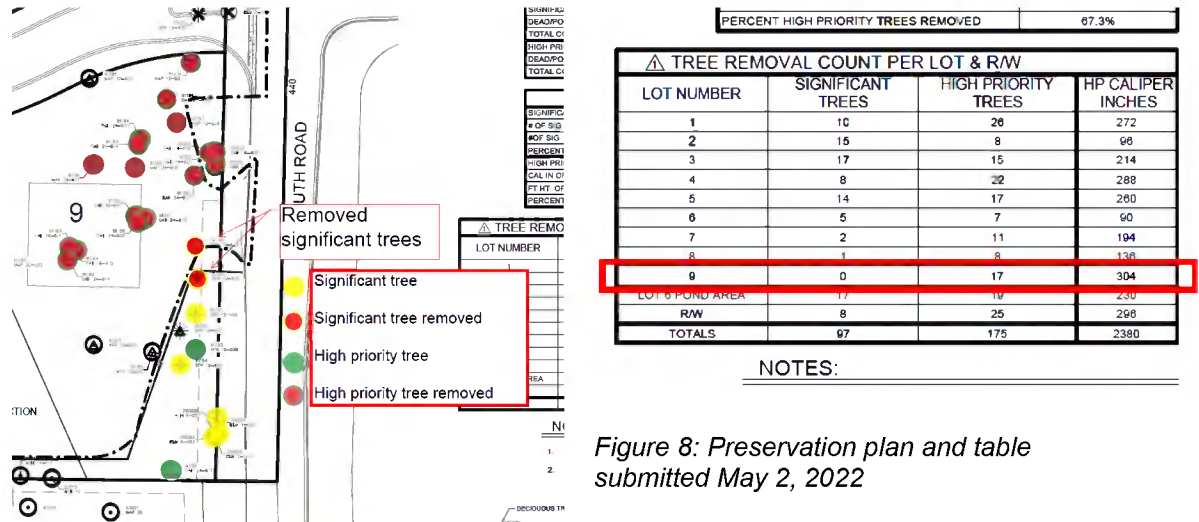


Figure 8: Preservation plan and table submitted May 2, 2022

As a result, staff is unable to verify or provide even basic feedback on the plans, as they continue to lack clear and accurate data. However, the following information is based on the information provided by the applicant and to avoid an inefficient use of time that has not been field-verified by staff:

	Removal allowed under <u>previous</u> ordinance	Removal allowed under <u>current</u> ordinance	Removal Proposed
High priority Trees	109 trees (35 percent)	91 trees (35 percent)	Approx. 175 trees Approx. 68-75 percent
Significant Trees	N/A	80 trees (50 percent)	Approx. 97 trees 60-63 percent

An exhibit provided by the developer indicates that 56 percent of the site's high-priority trees would be removed solely for the installation of the cul-de-sac, utilities, and the stormwater basin. This removal exceeds the maximum allocated by the ordinance even before the addition of the new homes and driveways. This indicates that the number of lots is irreverent [as shown in the other exhibits provided by the developer and included as attachments], as a significant redesign of the fundamental components [utilities, access, grading, etc.] for the development is required first.

Staff Comment

Staff acknowledges that the site is suitable for development. However, in the staff's opinion, the developer has completely disregarded the city's current – and previous – ordinances intended to protect the city's natural resources. This, coupled with the lack of accurate data and cooperation

from the developer, has left little room for staff to analyze the plans and provide meaningful feedback.

The developer has indicated that by denying the application, the property would be “unbuildable.” Staff finds this claim preposterous. The site has a substantial developable area but is simply not suitable for the development of the proposed intensity.

The intent of the city’s steep slope ordinance is to preserve steep slopes in essentially their natural state and encourage alternative approaches to conventional flatland development practices in areas of steep slopes. The ordinance does this by providing three findings to guide development into slopes. While a complete list can be found in the “Supporting Information” section of this report, the plans do not meet this ordinance as:

- The development is not designed “into” the slope but is located in one of the site’s predominant slopes area and grades out the slopes entirely to create building pads and the new street.
- The development would grade out slopes of 30 percent or more, which the city can prohibit. The plans do not suggest any design or engineered stabilizing techniques (such as benching or terracing).

The intent of the city’s tree protection ordinance is to maintain and enhance, as much as practical, the diversity and extent of the city’s trees and woodlands while balancing community responsibilities and private property rights. The ordinance provides the city the authority to:

- Identify, require, and enforce a tree preservation plan;
- Specify trees or groups of trees for preservation;
- Establish grading limits;
- Require the clustering of buildings or the relocation of roads, drives, buildings, utilities, or stormwater facilities where the location would preserve protected trees.
- Grant variances to the ordinance.

In some cases, the staff is comfortable bringing developments forward for review – with conditions of approval – when reasonable modifications to the plans would bring the plan into conformance with the tree protection ordinance. Conformance with the preservation plan and conformance with conditions of approval are verified at the time of a building or grading permit. In the case of the current proposal, the plans would require modifications well beyond what staff would comfortably condition or review administratively. The request for a variance to remove almost twice as many high priority trees than what the ordinance would allow is grossly unreasonable as:

- The requested variance is directly related to the applicant’s development design.
- Approval of the variance would significantly erode the intent of the city’s tree protection ordinance and could encourage similar requests from future developers.

- The tree removal would significantly change the character – and established buffers – within the neighborhood.

As with any rezoning, the decision to rezone a property to R-1A is a policy decision that the city council can make in its legislative capacity. This means that the city can utilize the greatest level of discretion in this land-use decision. While staff acknowledges that this site may be viable for rezoning to R-1A given the neighborhood context, the staff is not supporting the applicant's request at this time, as a future subdivision must be substantially consistent with the conceptual plan included in the resolution.

The staff has reviewed the plans, and at a minimum, the following is required before the staff can continue its review:

1. Submit a complete and accurate tree inventory, preferably from a third-party certified arborist. This plan must not exceed the removal thresholds established in the city's tree protection ordinance.
2. Submit a plan that maintains the integrity of the steep slopes through conservative grading and placement of the site improvements.
3. Submit a preliminary plat that eliminates the need for lot width variances for Lot 4.
4. Revise the utility plans to connect the water main to the existing stub between 2421 and 2431 Forest Meadow Circle.
5. Maintain the existing hydrology to the existing wetland to the north.

Staff Recommendation

Recommend the city council adopt the resolution denying the following for the properties at 2424 and 2440 Plymouth Road:

- Rezoning from R-1, low-density residential, to R-1A, residential alternative.
- Preliminary plat, with lot width variances and variances to the city's tree protection and steep slope ordinances.

Originator: Ashley Cauley, Senior Planner
Through: Loren Gordon, AICP, City Planner

Supporting Information

Project No. 21014.21b

Property 2424 and 2440 Plymouth Road

Applicant Airborne Woodhaven, LLC

Surrounding Land Uses Properties to the north, east, south, and west are zoned R-1, and guided for low density residential

Planning Guide Plan designation: Low density residential
 Zoning: R-1

Lot Standards The following chart is intended to summarize the required lot and setback standards:

Standard	R-1 zoning	R-1A zoning
Lot Area	22,000 sf	15,000 sf
Buildable Area	3,500 sf	2,400 sf
Lot width at Setback	110 ft.	75 ft.
Lot width at ROW	80 ft.; but 65 ft. at cul-de-sac bulb	55 ft.; but 45 ft. at cul-de-sac bulb
Lot Depth	125 ft.	125 ft.
Max. Impervious Surface	Regulated only within the shoreland overlay district	50%
Max. Floor Area Ratio (FAR)	N/A	Lots less than 17,500 sf. = 0.24 Lots 17,500 sf or greater = 0.22
Front Yard Setback	35 ft.; but 50 ft. from the ROW of major collector or arterial roadways	35 ft. from streets exterior to the R-1A district 25 ft. from streets interior to the R-1A district
Side Yard Setback	10 ft.; aggregate total of 30 ft.	10 ft.
Rear Yard Setback	40 ft. or 20% of the lot depth whichever is less	30 ft. or 20% of the lot depth, whichever is less

House sizes and Affordability

Within the R-1A zoning district, the city can regulate home construction only by the standards outlined in the ordinance. These standards include setbacks, maximum height, floor area ratio, and impervious surface requirements. The intent of these standards is to regulate the massing of a house relative to the size of the property in which it is built on. Essentially, a smaller lot gets a smaller house. However, in the R-1A district, the city cannot regulate house design or pricing.

Steep Slope

The city's ordinance defines a steep slope as a slope that:

- Rises at least 20 feet between the toe and top of the slope;
- Has an average slope of 20 percent or more;
- Has been field verified and located by city staff. In verifying and locating steep slopes, staff may consider site factors such as soil types, vegetation coverage, anticipated soil erosion issues, technical reports and studies, and other items staff considers pertinent for the protection of the slope.

By City Code §400.28, Subd. 20(b), staff will evaluate the extent to which the development meets the guidelines under each finding. While it is the intent of the ordinance to require compliance with as many of the guidelines as possible, the ordinance grants the city discretion to not require *total* compliance with *every* guideline if the overall finding is still achieved:

Ordinance Finding 1: The property is physically suitable for the design and siting of the proposed development and will preserve significant natural features by minimizing disturbance to existing topographical forms.

a. Design developments into steep slopes, rather than making significant alterations to the slope to fit the development:

1. Avoid building pads that result in extensive grading outside of the building footprint and driveway areas;

Staff Findings: The building pads for Lots 2, 3, 7, and 8 and the new cul-de-sac would result in extensive grading to the existing slopes.

2. Use retaining walls as an alternative to banks of cut-and-fill, and design and site such walls to avoid adverse visual impact;

Staff Findings: The developer does not appear to have explored alternative methods to avoid the cut-and-fill of the site.

3. Allow for clustering with different lot shapes and sizes, with the prime determinant being to maximize the preservation of the natural terrain;

Staff Findings: The plan does not contemplate clustering to reduce impacts to the terrain.

4. Allow flag lots when appropriate to minimize grading;

Staff Findings: No flag lots are proposed. Originally, the concept plan contemplated a lot-behind-lot in the northwest corner of the site. The inclusion of this lot would have resulted in greater impacts to the site's slopes.

5. Avoid cuts and fills greater than 25 feet in depth; and

Staff Findings: The plan would result in a cut-and-fill of roughly 15 feet.

6. Design grading to preserve the crest of prominent ridges. Buildings may be located on the prominent ridges as long as the requirements of this subdivision are met.

Staff Findings: The plans "grade out" the ridge and topography of the site.

- b. Design streets and driveways that generally follow existing contours, except where necessary for public safety or to minimize the adverse impacts from traffic:

1. Use cul-de-sacs and common drives where practical and desirable to preserve slopes; and

2. Avoid individual long driveways, unless necessary to locate the principal structures on a less sensitive areas of the site.

Staff Findings: The construction of the cul-de-sac would directly impact the steep slope and individual driveways are not proposed or justified.

- c. Concentrate development on the least sensitive portion of the site to maximize the preservation of significant trees and natural features:

1. Preserve sensitive areas by clustering buildings or using other innovative approaches; and

Staff Findings: The proposal is a “flatland” development that does not contemplate clustering or innovative design approaches to maintain natural features.

2. Maintain sufficient vegetation and design the scale of the development so that it does not overwhelm the natural character of the steep slope.

Staff Findings: The proposal would grade out the site and remove twice as many high-priority trees than the ordinance would allow.

- d. Preserve steep slopes that buffer residences from non-residential sources of light and noise.

Staff Findings: The slope – and buffer – would be graded out.

Finding 2: The development will not result in soil erosion, flooding, severe scarring, reduced water quality, inadequate drainage control, or other problems.

- a. Wherever practical, minimize the impervious surface area and maximize the use of natural drainage systems:
 1. Design any new drainage systems away from neighboring properties, away from cut faces or sloping surfaces of a fill, and towards appropriate drainage facilities, whether artificial or natural. Drainage systems must comply with the city’s water resources management plan; and
 2. Use existing natural drainage system as much as possible in its unimproved state if the natural system adequately controls erosion.

Staff Findings: Runoff would be directed to the basin in the southwest corner and the northern wetland.

- b. Avoid building on or creating steep slopes with an average grade of 30 percent or more. The city may prohibit building on or creating slopes in the following situations:
 1. where the city determines that reasonable development can occur on the site without building on or creating slopes; or
 2. development on such slopes would create real or potentially detrimental drainage or erosion problems.

Staff Findings: The site has areas containing slopes of 30 percent. The eastern area would be impacted by grading.

- c. design slopes to be in character with the surrounding natural terrain;

Staff Findings: The proposal would significantly change the natural terrain of the site both aesthetically and physically.

- d. Use benching, terracing, or other slope-stabilizing techniques for fill, as determined appropriate by the city engineer;

Staff Findings: The proposal does not contain any innovative approaches to slope stabilization.

- e. Install and maintain erosion control measures during construction in accordance with the current Minnesota pollution control agency best management practices; and

Staff Findings: If the city decided to approve the project, this would be included as a condition of approval.

- f. Revegetate disturbed areas as soon as practical after grading to stabilize steep slopes and prevent erosion, as required by the city.

Staff Findings: If the city decided to approve the project, this would be included as a condition of approval.

Finding 3. The proposed development provides adequate measures to protect public safety.

- a. Limit the slopes of private driveways to not more than 10 percent. The driveway should have sufficient flat areas at the top and toe to provide vehicles a landing area to avoid vehicles slipping into the adjacent street during icy conditions. The city may require a driveway turn-around; and
- b. Provide sufficient access for emergency vehicles to reach the proposed buildings.

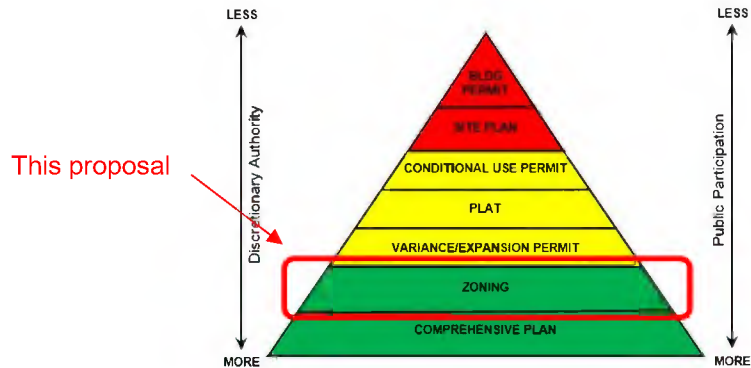
Staff Findings: The city's engineering and fire departments have reviewed the plans and find this condition suitably met.

Variance Standard

A variance may be granted from the requirements of the zoning ordinance when: (1) it is in harmony with the general purposes and intent of the ordinance; (2) it is consistent with the comprehensive plan; and (3) when an applicant establishes that there are practical difficulties in complying with the ordinance. Practical difficulties mean that the applicant proposes to use a property in a reasonable manner

not permitted by the ordinance, the plight of the landowner is due to circumstances unique to the property not created by the landowner, and, the variance, if granted, would not alter the essential character of the locality. (City Code §300.07)

Pyramid of Discretion



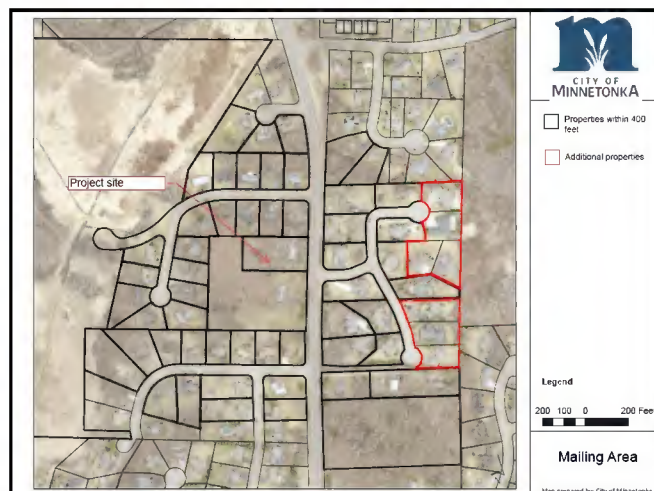
Motion options

The planning commission has two options:

1. Concur with the staff's recommendation. In this case, a motion should be made recommending the city council deny the request.
2. Disagree with the staff's recommendation. In this case, a motion should include findings and direction to staff to obtain the additional information and prepare a resolution and ordinance approving the request. This request may require the applicant to sign a 120-day waiver. The planning commission should indicate if they would like to see the request again prior to city council review.

Neighborhood Comments

The properties in red were originally included in the notification area approved by city council as part of the ordinance introduction on April 11, 2022.

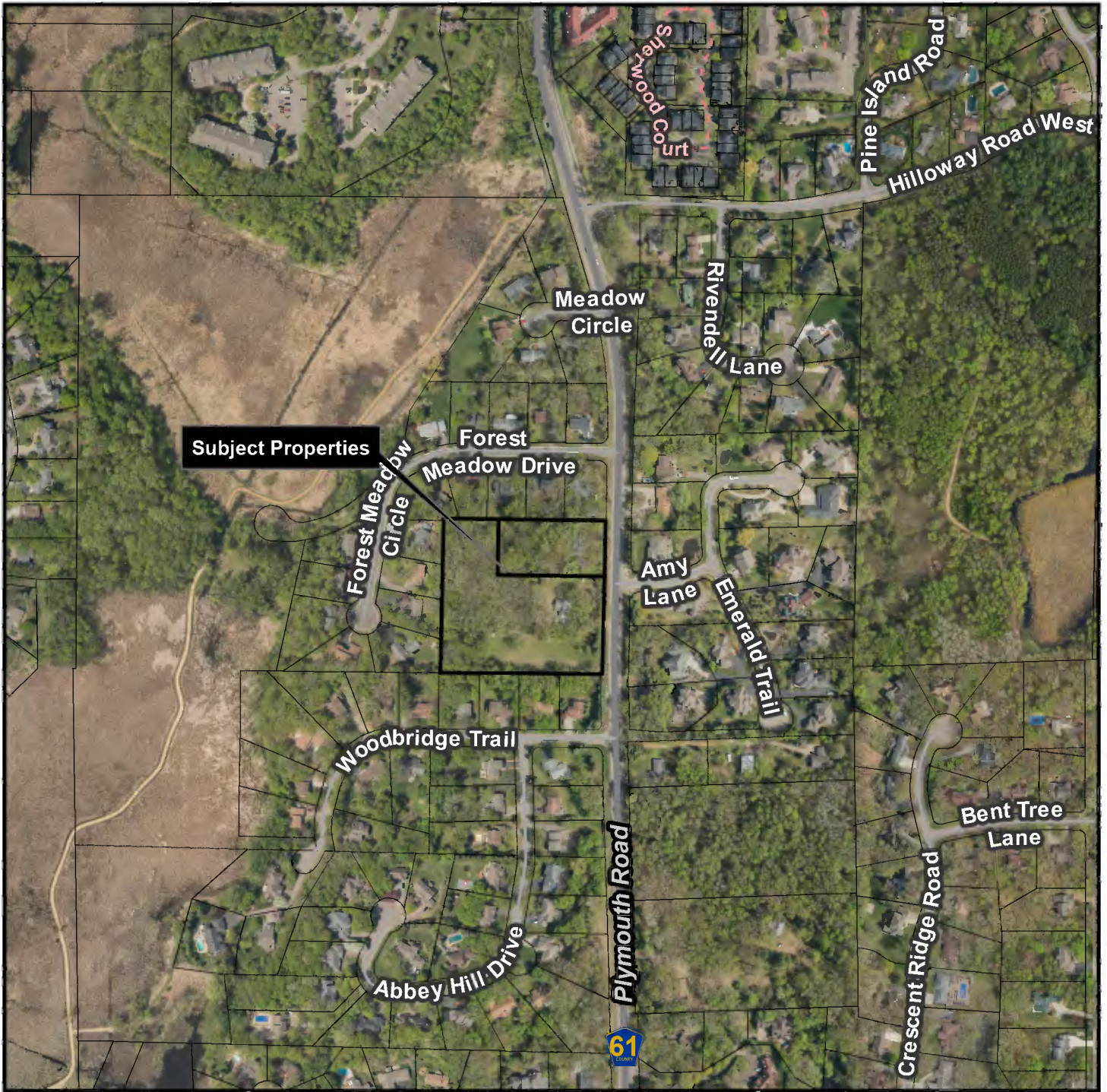


**Neighborhood
Comments**

The city sent notices to 66 area property owners and received the attached comments.

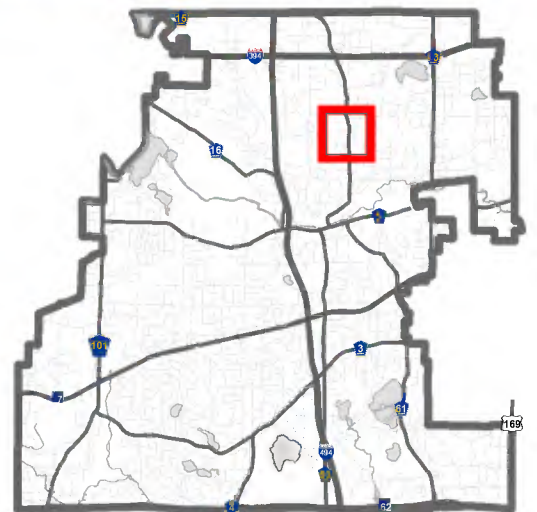
**Deadline for
Decision**

June 27, 2022



Location Map

Project: Woodhaven at Minnetonka
Address: 2424 & 2440 Plymouth Rd





Development Name: Woodhaven of Minnetonka
Location: 2424 & 2440 Plymouth Rd. Minnetonka, MN
Developed By: Airborne Woodhaven, LLC
Project #16523
Roger Anderson
612-889-4787

Development Narrative

History: Two (2), adjacent, homesteaded homes with parcels which total about 5.0 acres.

Zoned and Guided Low Density, Single Family Residential. Both homes currently access Plymouth Rd. Quite wooded with one (1) wetland on the northerly side.

Previous Meetings: Three (3) public meetings were held to obtain the input of the Neighborhood, the Planning Commission and the City Council. A concept plan of ten (10) lots was proposed at each meeting. The feedback from all three (3) meetings focused on storm water management, preservation of the wetland and tree retention. As a result of this input, the Engineering Plans and Application were carefully prepared to address these details.

Application and Rezoning: In response to the public meetings, the developer, Airborne Woodhaven LLC, decided to pursue a platting of the entire site into nine (9) single family, custom homestead pursuant to the R-1A Zoning Ordinance. The size of the newly platted lots will be an average of about 20,300 SF, matching the average lot size of the abutting 13 lots, which are at 19,244 square ft per lot. Per City guidelines, a public road with City utilities and

full-size cul-de-sac are shown, along with the required stormwater management features. As noted below, the “island” entrance will be maintained by the HOA. Both existing homes will be demolished, and both existing curb cuts to Plymouth Rd. will be eliminated, which served 2424 and 2440 respectively.

Design Basis and Variances Requested: The subject property has been owned by one family since the 1940’s. It is one of the few remaining stand-alone subdividable parcels in the City.

The parcel is zoned R1, but after review of market conditions, lot layout, and housing types we are requesting a zoning change to R1A with 15,000 sq ft lots versus the 22,000 sq ft lots on R1. This is along with the Floor Area Ratio guides the site to smaller homes than those typical of R1 zoning. Our intent here is to develop the site in a fashion similar to the surrounding properties.

In preparing the preliminary design, it was apparent that the R1A standards could be met.

However, other ordinances and requirements would have a significant impact on the plat. The primary development restrictions are those in storm water management, and the tree and steep slope ordinances, which were recently amended by the City. As a result, we are requesting variances from these code provisions.

We, I believe, would all agree Minnetonka is a great place to live. With this plan, we will provide a development that maintains that quality. Hopefully, we can strike a balance with the code provisions and allow this to occur.

Exhibits

We have provided exhibits to demonstrate how the various code requirements affect the development and to help the city and staff evaluate our proposal.

Exhibits 1: Aerial photo of the existing area with the 9 lot plan depicted.

Exhibits 2: Site survey with building and trees shown (464 total trees, about 92 trees per acre)

Exhibits 3: Site survey with the tree root zones shown. All trees with 30% root zone impacts must be included as removed.

Exhibits 4: Area of site and tree impacts to construct only the City required infrastructure needed (sewer, water, storm water management, street, demolition). House pads for new homes are not included in this plan. This work requires removal of approximately 37% of the significant trees and 55% of the high priority trees. The construction of these necessary improvement and road exceeds the code limitations on tree removal.

Exhibits 5: The tree ordinance contains a provision that, if you cannot meet the ordinance requirements, the site can only be developed into one acre lots. If we do one acre lots and use a typical Minnetonka house size, the tree impacts go to approximately 67% for significant trees and 72% for high priority trees, still above they ordinance limits.

Exhibits 6: A 7 lot, R1 plat (the existing zoning) has a similar impact with approximately 62% of significant trees and 74% of high priority trees removed.

Exhibits 7: This exhibit shows our proposal R1A development with removal of significant trees at 63% and high priority trees 75% lot plans, very similar to the 1 acre lot and 7 lot R1 plans.

Based on this review of various lot layouts in concert with of the ordinance requirements, it is apparent that a basic incompatibility exists between the code required platting rules, and the overlay of the other City Ordinance provisions.

Our Proposal Development – R1A with 9 lots

Below is the basis for our decision to propose a 9 lot R1A development:

1. The proposed plan creates a neighborhood with the look and feel of Minnetonka.
2. The design standards in place today are much improved on the past, with wetland protection, significantly improved storm water management, higher energy standards, erosion control, etc.
3. This land, with a family owner for 70 years, is in the position of the “last one in”. This should not prevent them from realizing the value of their property and being allowed to develop a neighborhood like those around it.
4. The development needs to be reviewed as a whole, without one provision overly regulating the project.
5. In reviewing typical developed lots in Minnetonka, everyone is allowed full City improvements and a suitable building pad, and has perimeter trees and landscape. The required features(infrastructure) determines how to best layout the site. The

vegetation and trees are primarily in the rear and side yard with landscaping and owner provided trees/landscaping in the front.

6. The tree ordinance replacement requirement for this project is 3083 caliper inches of additional trees. That is 1,638, 2 "caliper trees or 327 per acre! This is impossible to plant in this area.
7. Our proposal protects the rear yard trees where possible. This will provide a buffer the neighbors to the North and Northwest. We will also provide for the planting of as many trees as can be sustained in the rear and side yards as the property develops. The lots to the south will benefit greatly by planting in this location.
8. One important aspect not addressed in the ordinance is that of time. Any project, whether landscaping, or other improvements, takes time. Trees cover is one of those. We ask you to look at any of your City development projects that are mature, 5-7 plus years, and you can clearly see that development can proceed in an environmentally and tree friendly manner, and still be in keeping with the neighborhood esthetics that make Minnetonka great place to live.

Homeowners Association: Airborne wishes to create a HOA to do the maintenance of the grass and driveways (snow removal). The HOA will also be responsible to maintain the flower garden, shrubs, etc. at the "island" entry. Lastly, the HOA will retain a company to do an annual inspection of the on-site, stormwater management. Any corrective measures required from the inspection will be the responsibility of the HOA.

Custom Design and Build: Each home will be custom designed and built. The developer will record a Declaration of Covenants so that each home design will meet certain size and quality restrictions to assure a quality standard consistent with upper bracket homes as well as to adhere to the R1-A requirements.

Woodhaven at Minnetonka

2424 & 2440 Plymouth Rd, Minnetonka, MN 55305

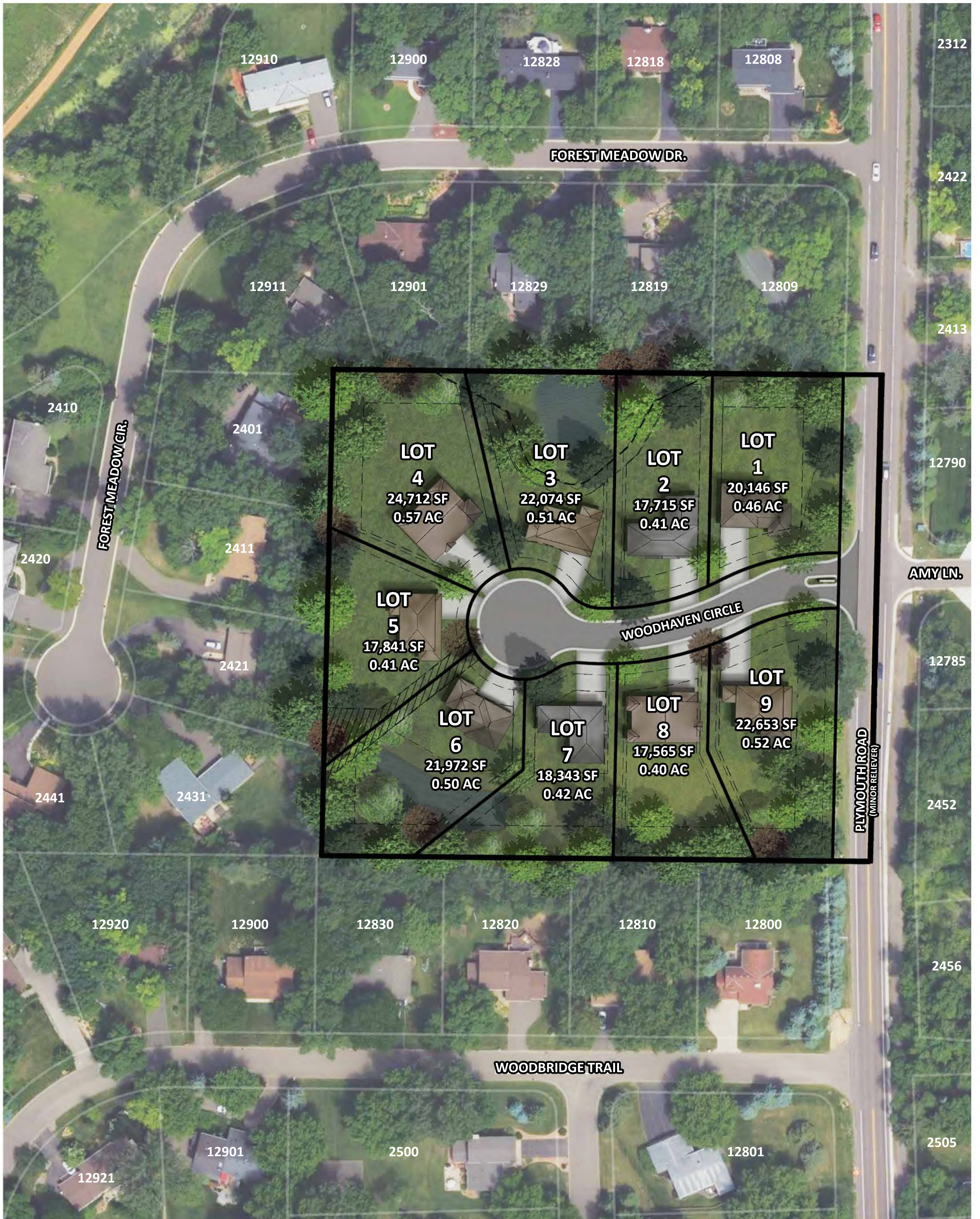


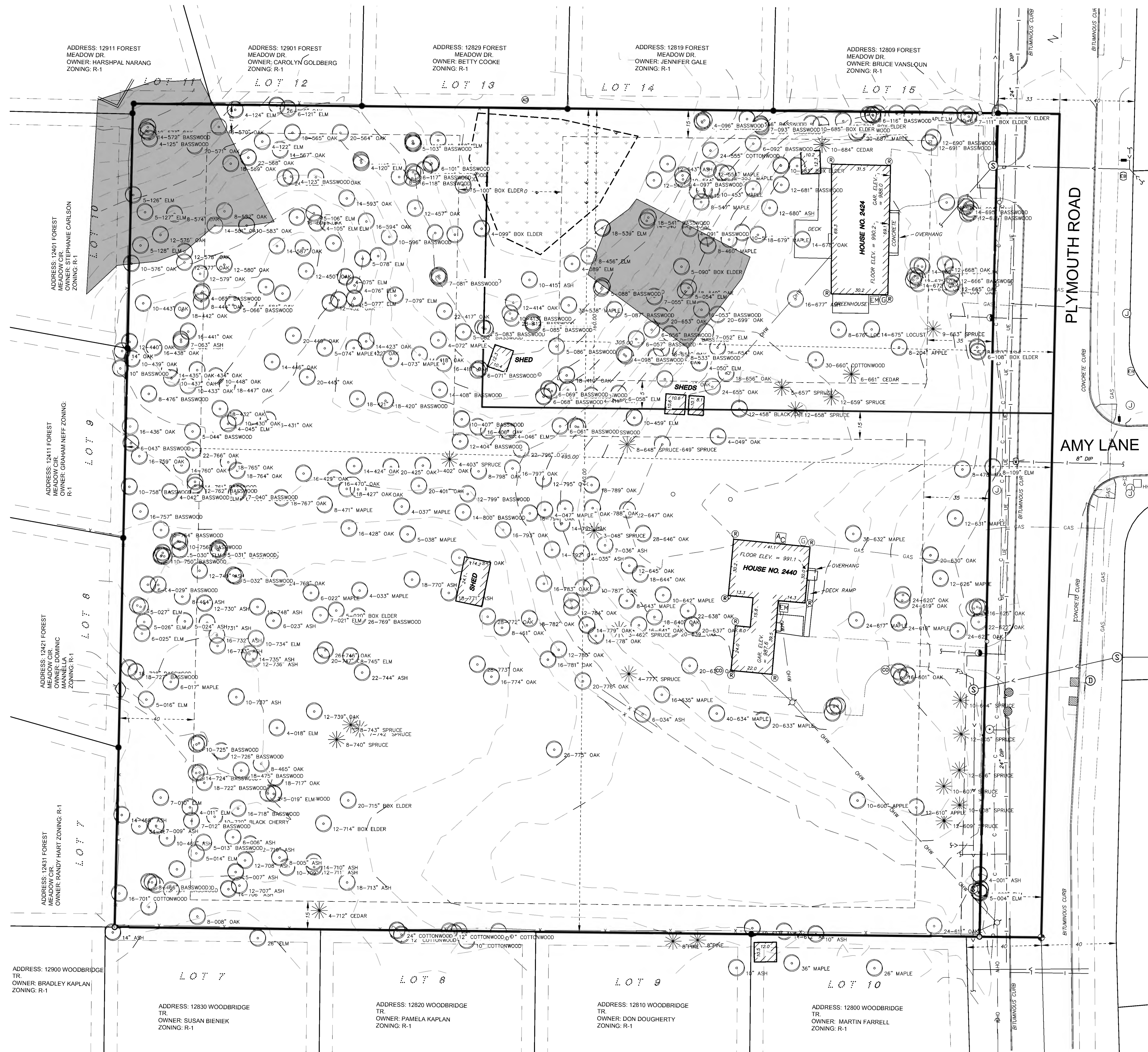
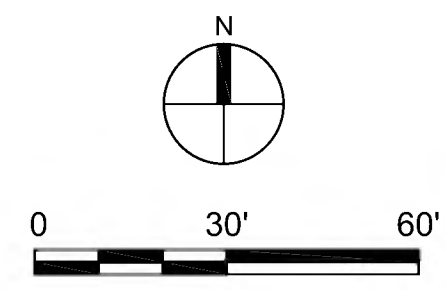
EXHIBIT DATED: 02-16-2022

DEVELOPED BY:
AIRBORNE WOODHAVEN LLC
ROGER ANDERSON
612-889-4787

ANDERSON

13605 1st Ave. N. #100 Plymouth, MN 55441
P 763.412.4000 | F 763.412.4090 | ae-mn.com

EXHIBIT 2: EXISTING TREES & STEEP SLOPES



LEGEND

- EXISTING DISIDUOUS TREE
- EXISTING CONIFEROUS TREE
- STEEP SLOPE AREA

TREE SUMMARY

TREES ON PROPERTY	464
TREES OFF PROPERTY	18
TOTAL TREE COUNT	482
SIG. TREES ON SITE	168
DEAD/POOR COND. SIG. TREES	8
TOTAL COUNTED SIG. TREES	160
HIGH PRIORITY TREES ON SITE	314
DEAD/POOR COND. HP TREES	54
TOTAL COUNTED HP TREES	260



13605 1st Avenue N. #100
Plymouth, MN 55441 | ae-mn.com
P 763.412.4000 | F 763.412.4090
Anderson Engineering of Minnesota, LLC

WOODHAVEN AT MINNETONKA

2424-2440 PLYMOUTH RD
MINNETONKA, MN 55305

AIRBORNE WOODHAVEN, LLC
13605 1ST AVE N #100
PLYMOUTH, MN 55441

REVISION LOG

NO.	DATE	DESCRIPTION OF REVISIONS

CITY SUBMITTAL

02/18/2022

DESIGNED:	DRAWN:	CHECKED BY:
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DRAWING TITLE

EXISTING TREES & STEEP SLOPES

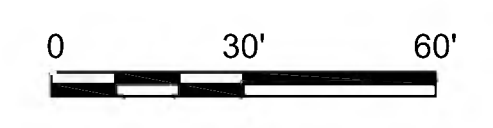
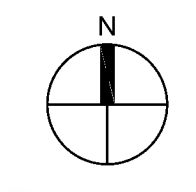
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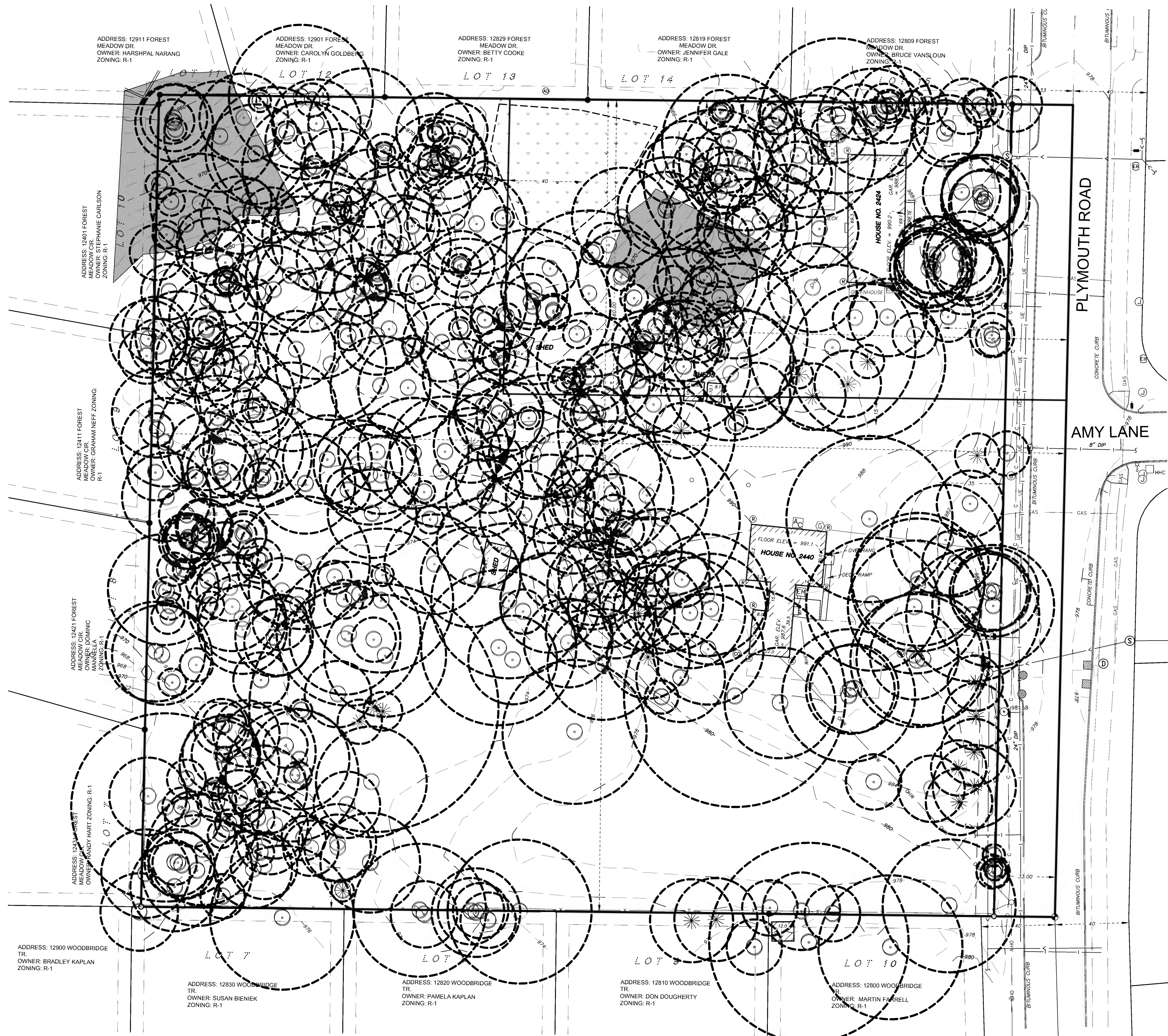
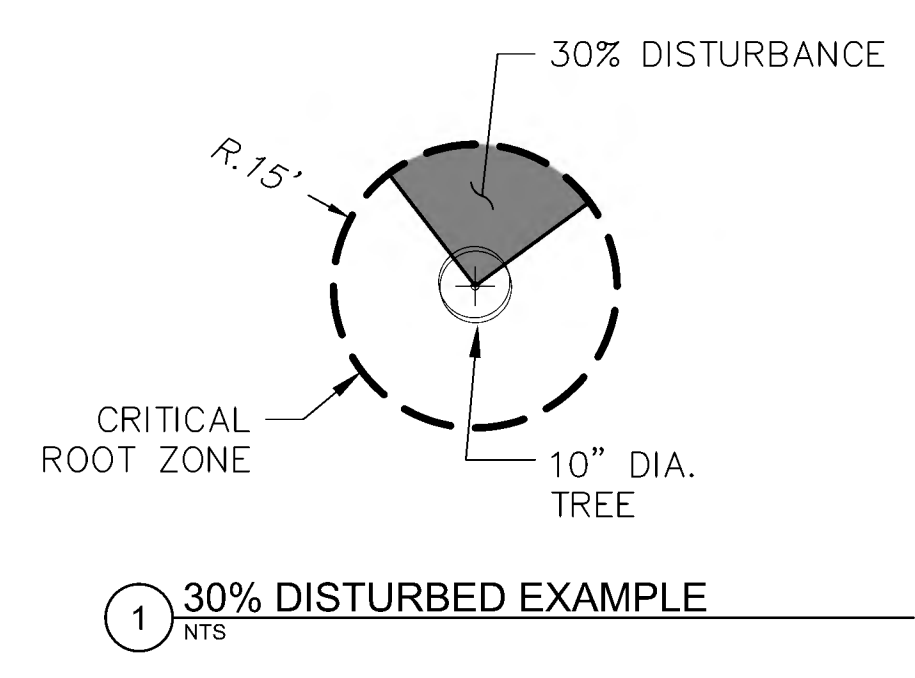
Feb 25, 2022 8:42am J:obias
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 Xref Filename: \\16523_s_henn co project points\16523 MN\topo_LIDAR_crop\16523 Title Block

EXHIBIT 3: EXISTING TREES WITH CRITICAL ROOT ZONE



LEGEND

- EXISTING DISIDUOUS TREE
- EXISTING CONIFEROUS TREE
- CRITICAL ROOT ZONE



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 Anderson Engineering of Minnesota, LLC

WOODHAVEN AT MINNETONKA

2424-2440 PLYMOUTH RD
 MINNETONKA, MN 55305

AIRBORNE WOODHAVEN, LLC
 13605 1ST AVE N #100
 PLYMOUTH, MN 55441

REVISION LOG

NO.	DATE	DESCRIPTION OF REVISIONS

CITY SUBMITTAL
 02/18/2022

DESIGNED:	DRAWN:	CHECKED BY:
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DRAWING TITLE

EXISTING TREES WITH CRITICAL ROOT ZONE

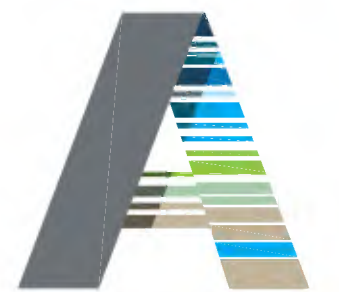
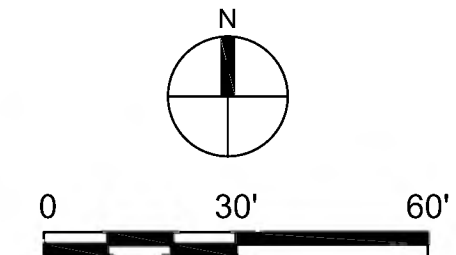
DRAWING NO.

3

PLOTTED:	COMM. NO.
---	16523

Feb 25, 2022 - 8:42am jDobias Y:\16500\16523 - airborne - plymouth rd property - minnetonka mn\07 civil\01 cad files\07 exhibits\Exhibit 3 - Tree Root Zone\16523_E3.dwg Xref Filename: \16523_s_henn co project points\16523 MN\topo_LIDAR_crop\16523 Title Block\16523_tree base

EXHIBIT 4: INFRASTRUCTURE IMPACT



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MINNETONKA, MN 55305

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13605 1ST AVE N #100
PLYMOUTH, MN 55441

REVISION LOG

NO.	DATE	DESCRIPTION OF REVISIONS

CITY SUBMITTAL

02/18/2022

DESIGNED: DRAWN: CHECKED BY:

DRAWING TITLE

INFRASTRUCTURE IMPACT

DRAWING NO.

4

PLOTTED: COMM. NO.
--- 16523

LEGEND

- PROPERTY LIMITS
- INFRASTRUCTURE GRADING LIMITS
- STEEP SLOPE AREA
- DEMOLISH EXISTING TREE
- DEAD/POOR CONDITION TREE

TREE SUMMARY

TREES ON PROPERTY	464
TREES OFF PROPERTY	18
TOTAL TREE COUNT	482
SIG. TREES ON SITE	168
DEAD/POOR COND. SIG. TREES	8
TOTAL COUNTED SIG. TREES	160
HIGH PRIORITY TREES ON SITE	314
DEAD/POOR COND. HP TREES	54
TOTAL COUNTED HP TREES	260

TREE REMOVAL SUMMARY

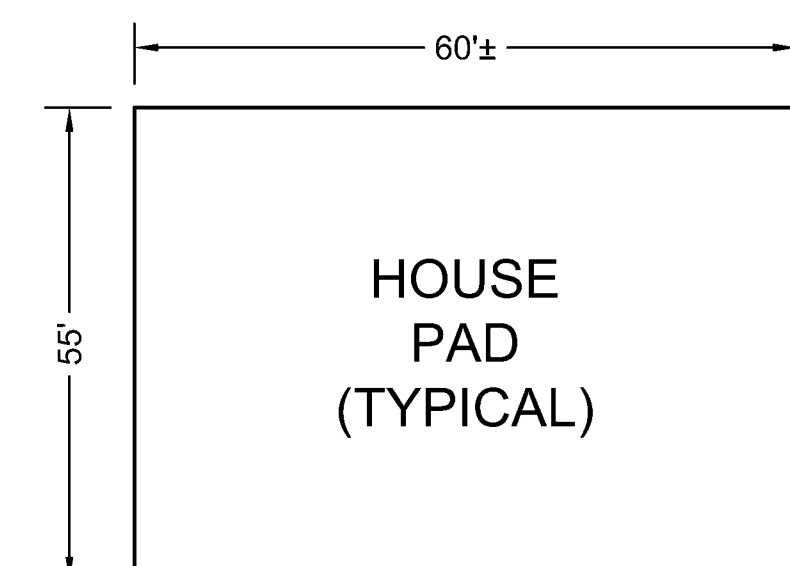
SIGNIFICANT TREES REMOVED	60
PERCENT SIGNIFICANT TREES REMOVED	37.5%
HIGH PRIORITY TREES REMOVED	145
PERCENT HIGH PRIORITY TREES REMOVED	55.8%

AREA SUMMARY

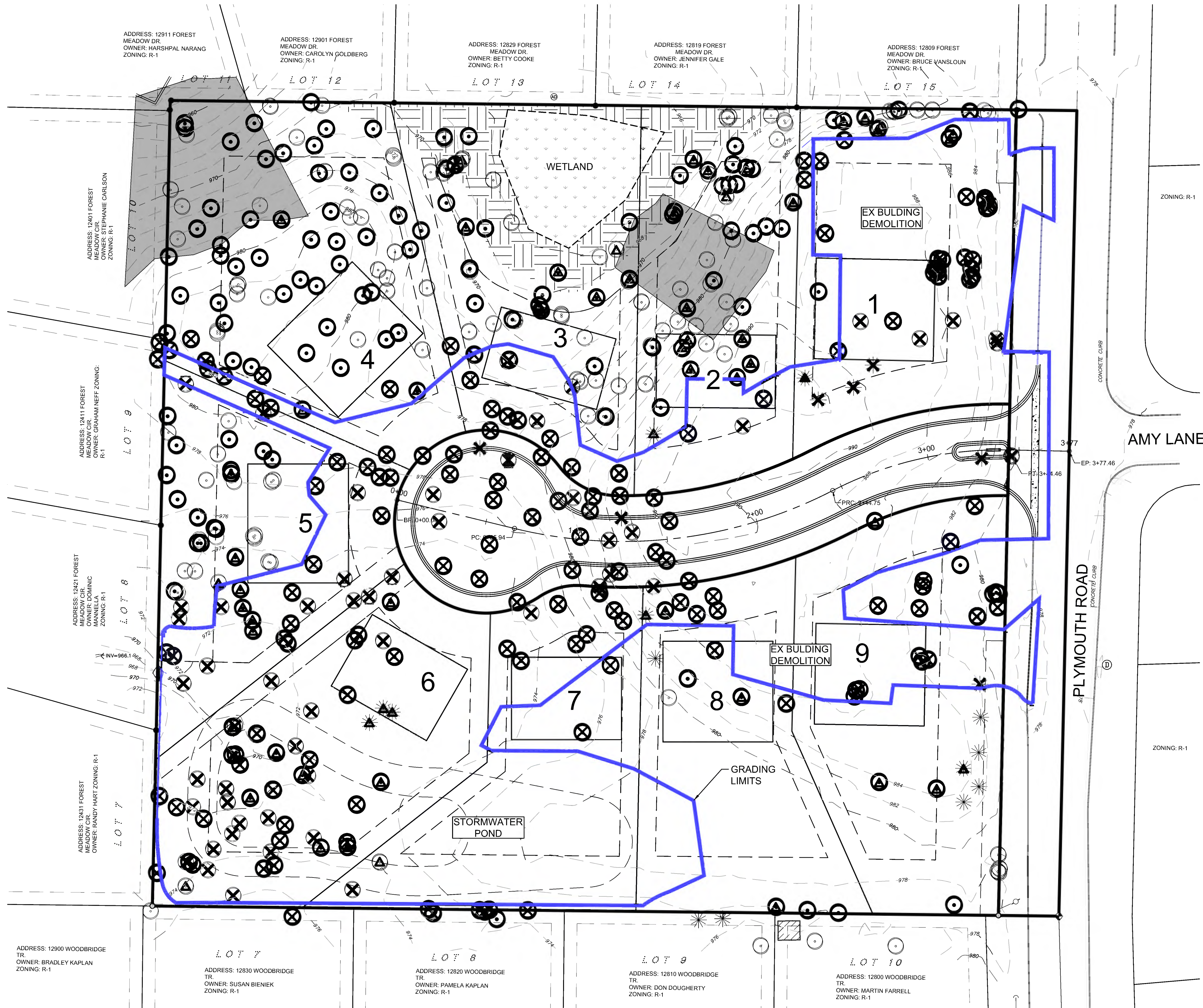
INFRASTRUCTURE AREA
DISTURBED = 108,601 SF

AREA PROPERTY = 217,800 SF

PERCENT DISTURBED = 49.9%

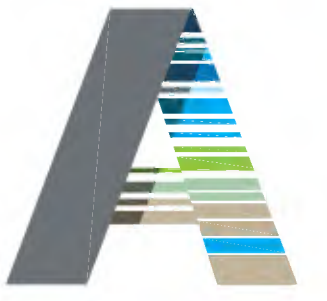
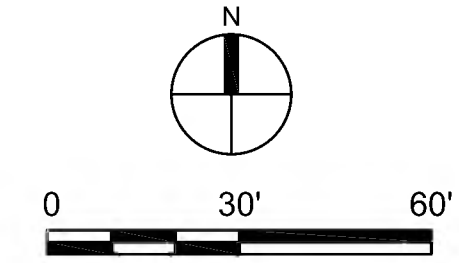


1 SIZE VARIES HOUSE PAD
NTS



Feb 25, 2022 - 8:42am J:\16500\16523 - airborne - plymouth rd property - minnetonka mn\07 civil\01 cad files\07 exhibits\Exhibit 4 - 9 Lot min impact\16523_E_9 LOT MIN.dwg
Xref Filename: \\16523_title_block\16523_tree_base_splot_min\16523_c_base\16523_s_base_civil_4lots

EXHIBIT 5: 4 LOT - 1 ACRE LAYOUT



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REVISION LOG

NO.	DATE	DESCRIPTION OF REVISIONS

CITY SUBMITTAL

02/18/2022

DESIGNED: _____ DRAWN: _____ CHECKED BY: _____

DRAWING TITLE

4 LOT - 1 ACRE
LAYOUT

DRAWING NO.

5

PLOTTED: ---

COMM. NO.
16523

LEGEND

- PROPERTY LIMITS
- INFRASTRUCTURE GRADING LIMITS
- BUILDING PAD GRADING LIMITS
- STEEP SLOPE AREA
- X DEMOLISH EXISTING TREE
- △ DEAD/POOR CONDITION TREE

TREE SUMMARY

TREES ON PROPERTY	464
TREES OFF PROPERTY	18
TOTAL TREE COUNT	482
SIG. TREES ON SITE	168
DEAD/POOR COND. SIG. TREES	8
TOTAL COUNTED SIG. TREES	160
HIGH PRIORITY TREES ON SITE	314
DEAD/POOR COND. HP TREES	54
TOTAL COUNTED HP TREES	260

TREE REMOVAL SUMMARY

SIGNIFICANT TREES REMOVED	108
PERCENT SIGNIFICANT TREES REMOVED	67.5%
HIGH PRIORITY TREES REMOVED	189
PERCENT HIGH PRIORITY TREES REMOVED	72.7%

AREA SUMMARY

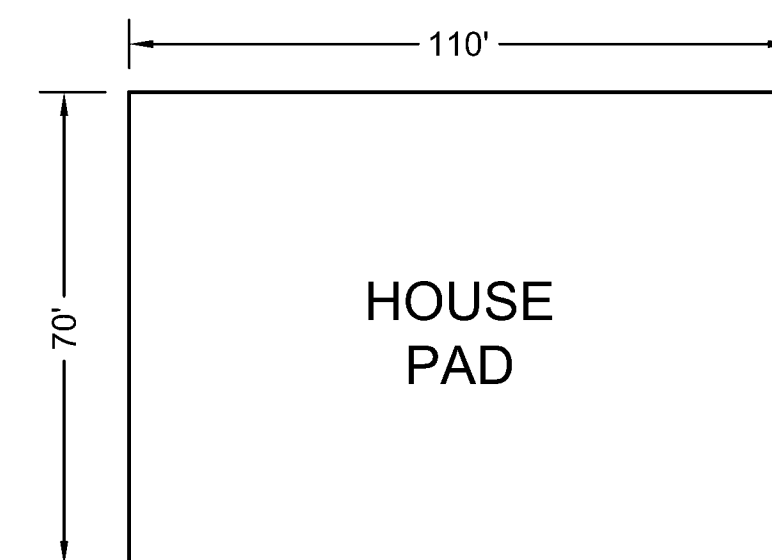
INFRASTRUCTURE AREA
DISTURBED = 108,601 SF

STRUCTURES AREA DISTURBED = 47,769 SF

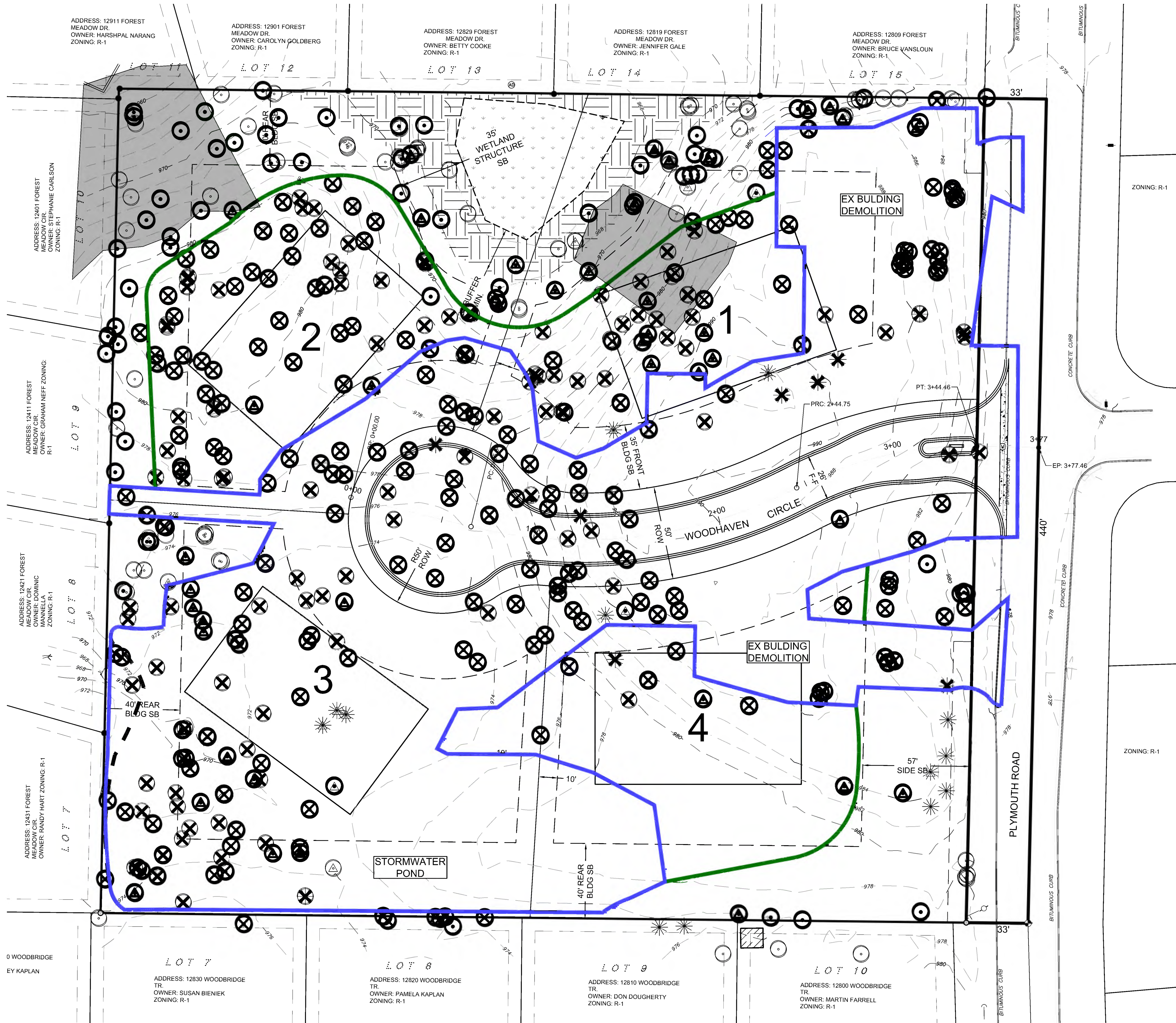
TOTAL AREA DISTURBED = 156,370 SF

AREA PROPERTY = 217,800 SF

PERCENT DISTURBED = 71.8%

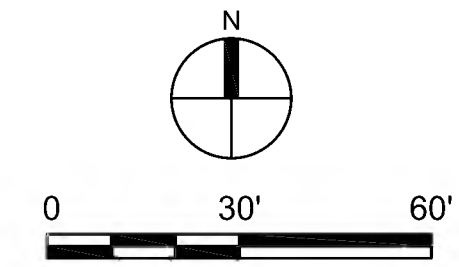


1 7,700 SF HOUSE PAD
NTS



Feb 25, 2022 - 8:42am J.Dobias
 Y:\16500\16523 - airborne - plymouth rd property - minnetonka mn\07 civil\01 cad files\07 exhibits\Exhibit 5 - 4 Lot Plat\16523_c_PLAT_4lots.dwg
 Xref Filename: \16523_title_block\16523_c_base_4lots\16523_s_base_civil_4lots\16523_tree_base_4lot_min

EXHIBIT 6: R1 - 7 LOT LAYOUT



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13605 1ST AVE N #100
PLYMOUTH, MN 55441

REVISION LOG

NO.	DATE	DESCRIPTION OF REVISIONS

CITY SUBMITTAL

02/18/2022

DESIGNED: DRAWN: CHECKED BY:

DRAWING TITLE

R1 - 7 LOT
LAYOUT

DRAWING NO.

6

PLOTTED: COMM. NO.
--- 16523

LEGEND

- PROPERTY LIMITS
- INFRASTRUCTURE GRADING LIMITS
- BUILDING PAD GRADING LIMITS
- STEEP SLOPE AREA
- DEMOLISH EXISTING TREE
- DEAD/POOR CONDITION TREE

TREE SUMMARY	
TREES ON PROPERTY	464
TREES OFF PROPERTY	18
TOTAL TREE COUNT	482
SIG. TREES ON SITE	168
DEAD/POOR COND. SIG. TREES	8
TOTAL COUNTED SIG. TREES	160
HIGH PRIORITY TREES ON SITE	314
DEAD/POOR COND. HP TREES	54
TOTAL COUNTED HP TREES	260

TREE REMOVAL SUMMARY	
SIGNIFICANT TREES REMOVED	100
PERCENT SIGNIFICANT TREES REMOVED	62.5%
HIGH PRIORITY TREES REMOVED	193
PERCENT HIGH PRIORITY TREES REMOVED	74.2%

AREA SUMMARY

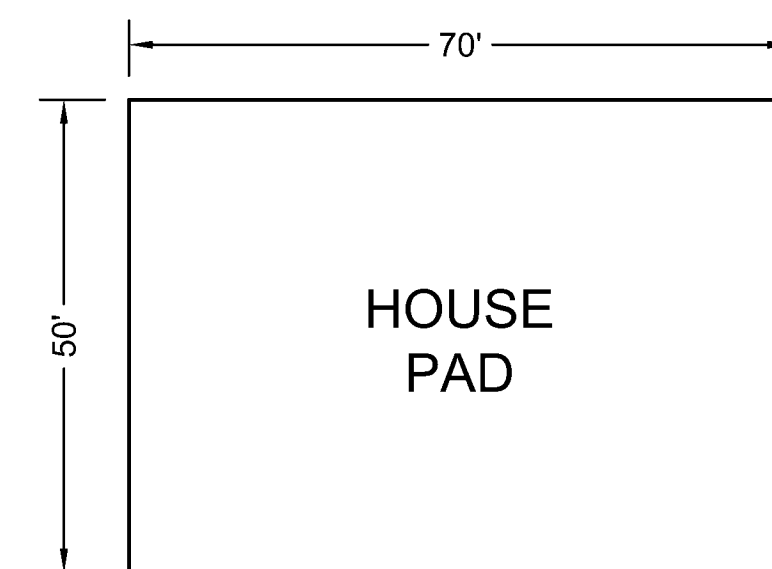
INFRASTRUCTURE AREA
DISTURBED = 108,601 SF

STRUCTURES AREA DISTURBED = 50,746 SF

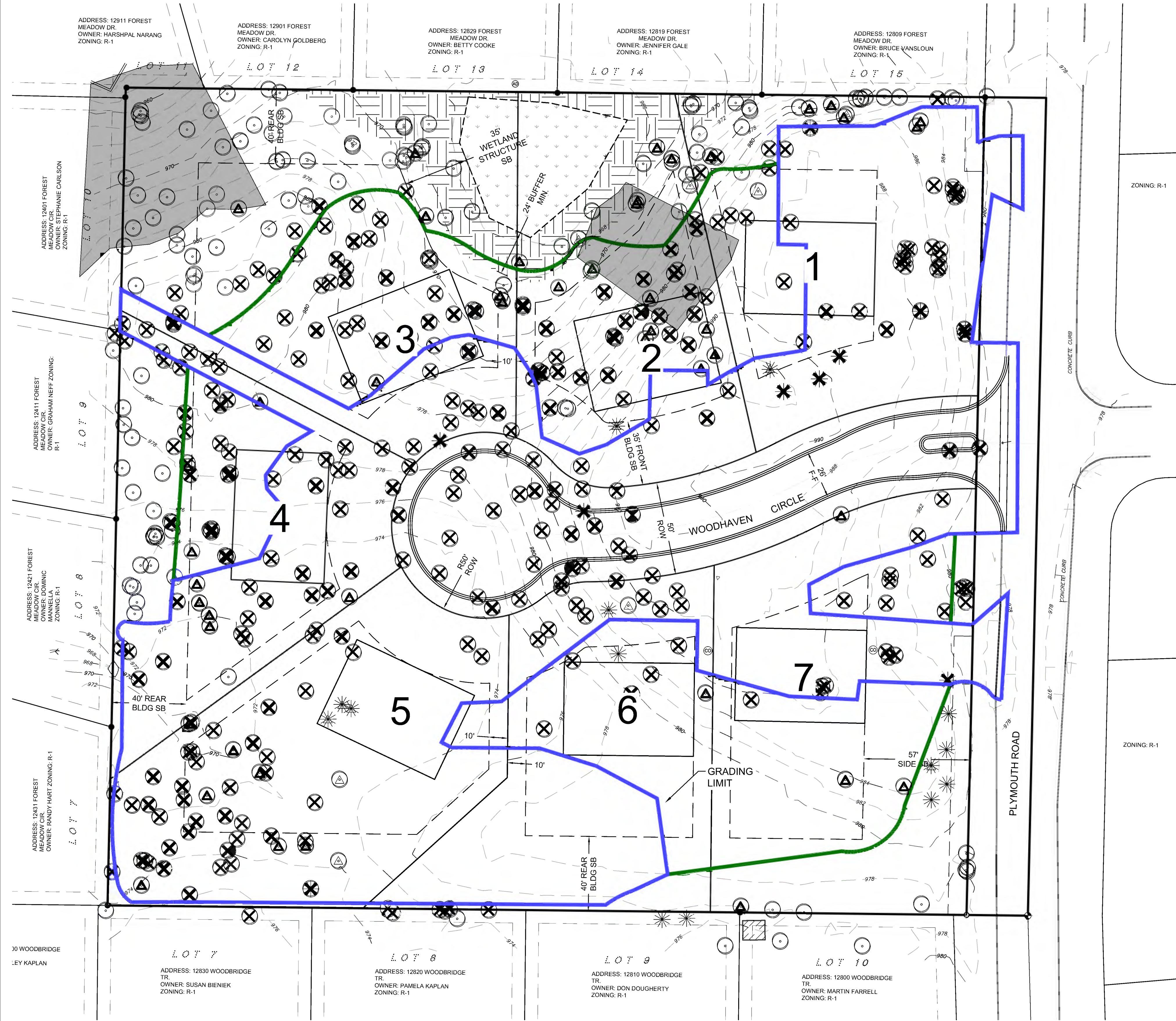
TOTAL AREA DISTURBED = 159,347 SF

AREA PROPERTY = 217,800 SF

PERCENT DISTURBED = 73.2%

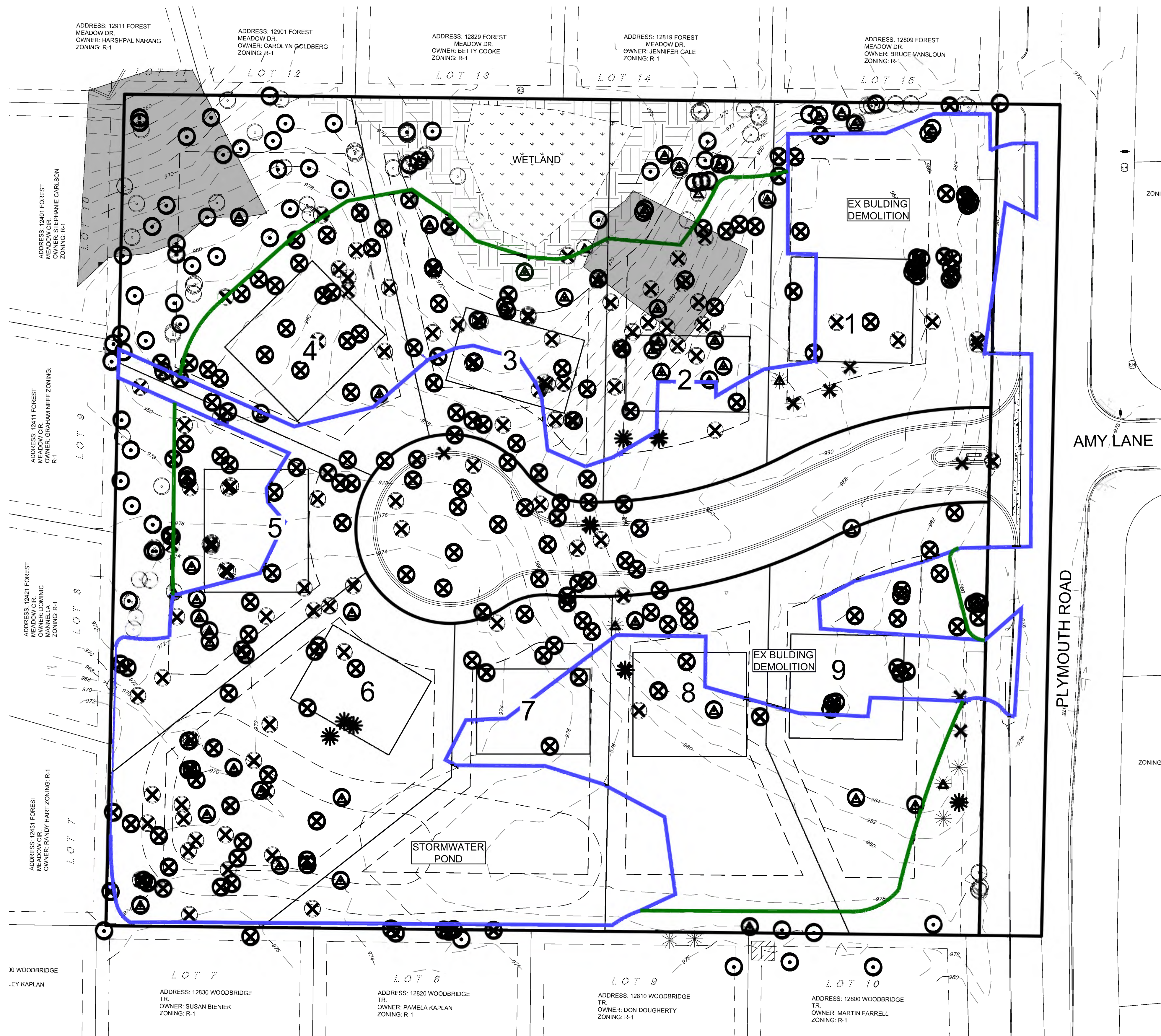
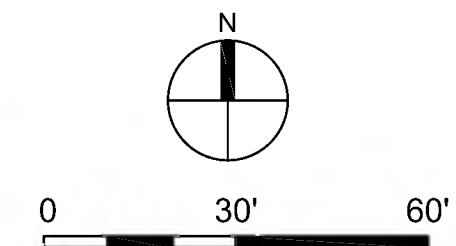


1 3,500 SF HOUSE PAD
NTS



Feb 25, 2022 - 8:43am J:Jobias Y:\16500\16523 - airborne - plymouth rd property - minnetonka mn\07 civil\01 cad files\07 exhibits\Exhibit 6 - 7 Lot R1 Plat\16523_c_PLAT_7lots.dwg
 Xref Filename: \16523 Title Block \16523_c_base_7lots \16523_s_base_civil_7lots \16523_tree_base_7lot min

EXHIBIT 7: R1A - 9 LOT LAYOUT



LEGEND

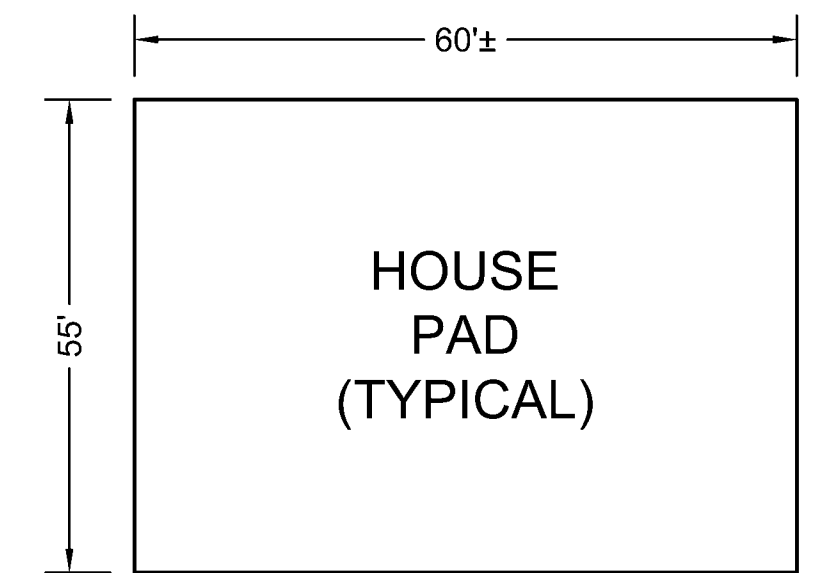
- PROPERTY LIMITS
- INFRASTRUCTURE GRADING LIMITS
- BUILDING PAD GRADING LIMITS
- STEEP SLOPE AREA
- X DEMOLISH EXISTING TREE
- △ DEAD/POOR CONDITION TREE

TREE SUMMARY	
TREES ON PROPERTY	464
TREES OFF PROPERTY	18
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DEAD/POOR COND. SIG. TREES	8
TOTAL COUNTED SIG. TREES	160
HIGH PRIORITY TREES ON SITE	314
DEAD/POOR COND. HP TREES	54
TOTAL COUNTED HP TREES	260

TREE REMOVAL SUMMARY	
SIGNIFICANT TREES REMOVED	102
PERCENT SIGNIFICANT TREES REMOVED	63.8%
HIGH PRIORITY TREES REMOVED	195
PERCENT HIGH PRIORITY TREES REMOVED	75.0%

AREA SUMMARY

INFRASTRUCTURE AREA DISTURBED = 108,601 SF
 STRUCTURES AREA DISTURBED = 53,080 SF
 TOTAL AREA DISTURBED = 161,681 SF
 AREA PROPERTY = 217,800 SF
 PERCENT DISTURBED = 74.2%



1 SIZE VARIES HOUSE PAD
NTS



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 Anderson Engineering of Minnesota, LLC

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MINNETONKA, MN 55305

AIRBORNE WOODHAVEN, LLC
 13605 1ST AVE N #100
 PLYMOUTH, MN 55441

REVISION LOG

NO.	DATE	DESCRIPTION OF REVISIONS

CITY SUBMITTAL

02/18/2022

DESIGNED:	DRAWN:	CHECKED BY:
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DRAWING TITLE

R1A - 9 LOT LAYOUT

DRAWING NO.

7

PLOTTED:	COMM. NO.
---	16523

Feb 25, 2022 - 8:43am jDobias
 Y:\16500\16523 - airborne - plymouth rd property - minnetonka mn\07 civil\01 cad files\07 exhibits\Exhibit 7 - 9 Lot R1A Acctual Tree\16523_L_TREE_PRESERVATION.dwg
 Xref Filename: \16523_s_base_civil\16523_s_base\16523_tree_base\16523_c_base

PRACTICAL DIFFICULTIES WORKSHEET

By state law, variances may be granted from the standards of the city's zoning ordinance only if:

- 1) The proposed variance is in harmony with the general purpose and intent of the zoning ordinance;
- 2) The proposed variance is consistent with the comprehensive plan; and
- 3) An applicant establishes that there are practical difficulties in complying with the ordinance standard from which they are requesting a variance. Practical difficulties means:
 - The proposed use is reasonable;
 - The need for a variance is caused by circumstances unique to the property, not created by the property owner, and not solely based on economic considerations; and
 - The proposed use would not alter the essential character of the surrounding area.

PRACTICAL DIFFICULTIES

<p>Describe why the proposed use is reasonable</p>	<p>The steep slope being altered is located in the rear of Lot 2 and is directly upstream from a regulated wetland. Alterations will cut the height of the slope and make it less steep. In turn, this will protect the existing wetland from erosion and increase its stability.</p>
<p>Describe:</p> <ul style="list-style-type: none"> • circumstances unique to the property; • why the need for variance was not caused by the property owner; and • and why the need is not solely based on economic considerations. 	<ul style="list-style-type: none"> • An existing wetland resides on the bottom end of the slope. • The existing wetland is naturally occurring and collects storm water from the surrounding development. • The alterations will protect the integrity of the existing wetland.
<p>Describe why the variance would not alter the essential character of the neighborhood</p>	<p>The existing wetland will remain in place along with the general topography of the site. A "woodland" feel will be maintained post construction.</p>

VARIANCE APPLICATIONS WILL NOT BE ACCEPTED IF THIS WORKSHEET IS NOT COMPLETE

PRACTICAL DIFFICULTIES WORKSHEET

By state law, variances may be granted from the standards of the city's zoning ordinance only if:

- 1) The proposed variance is in harmony with the general purpose and intent of the zoning ordinance;
- 2) The proposed variance is consistent with the comprehensive plan; and
- 3) An applicant establishes that there are practical difficulties in complying with the ordinance standard from which they are requesting a variance. Practical difficulties means:
 - The proposed use is reasonable;
 - The need for a variance is caused by circumstances unique to the property, not created by the property owner, and not solely based on economic considerations; and
 - The proposed use would not alter the essential character of the surrounding area.

PRACTICAL DIFFICULTIES	
<p>Describe why the proposed use is reasonable</p>	<p>The Proposed development will ultimately have a similar feel to the surrounding Minnetonka neighborhoods. Regardless of number of lots and lot layout, tree removal numbers remain comparable to one another.</p>
<p>Describe:</p> <ul style="list-style-type: none"> • circumstances unique to the property; • why the need for variance was not caused by the property owner; and • and why the need is not solely based on economic considerations. 	<p>The land has had the same property owner for 70 years, and being the last to develop in the area, are being held to much higher standards than previous developments.</p>
<p>Describe why the variance would not alter the essential character of the neighborhood</p>	<p>The proposed layout protects trees along the property line where possible. This will maintain a vegetative buffer from neighboring properties and blend well with the surrounding areas.</p>

VARIANCE APPLICATIONS WILL NOT BE ACCEPTED IF THIS WORKSHEET IS NOT COMPLETE

PROCESS

WOODHAVEN AT MINNETONKA

MINNETONKA, MN



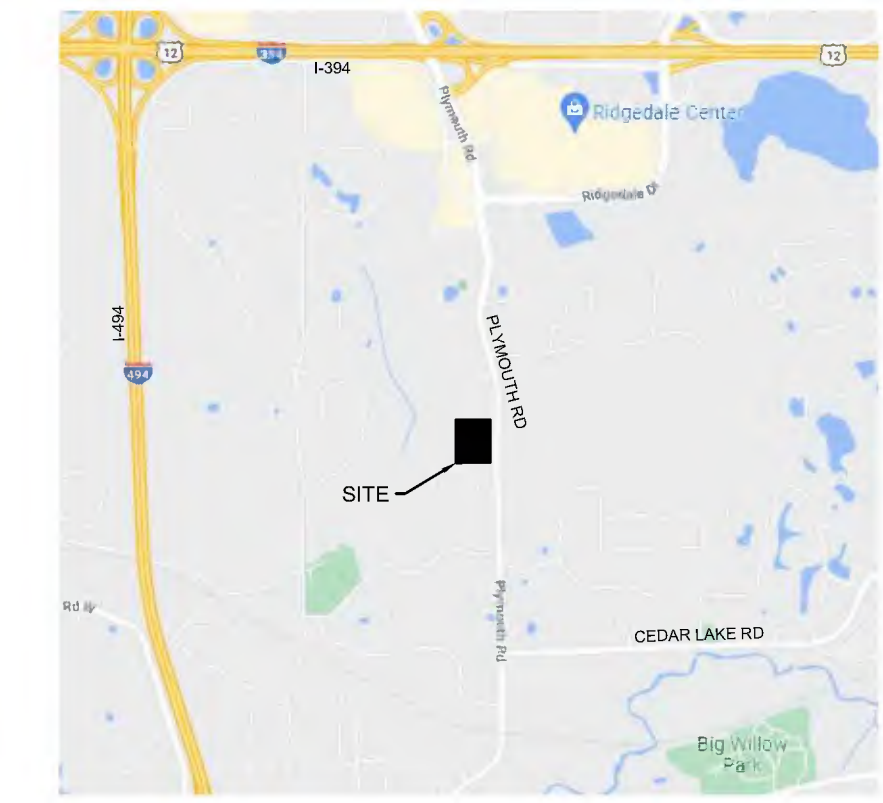
13605 1st Avenue N. #100
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 P 763.412.4000 | F 763.412.4090
 Anderson Engineering of Minnesota, LLC

WOODHAVEN AT MINNETONKA

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 MINNETONKA, MN 55305

AIRBORNE WOODHAVEN, LLC
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 PLYMOUTH, MN 55441

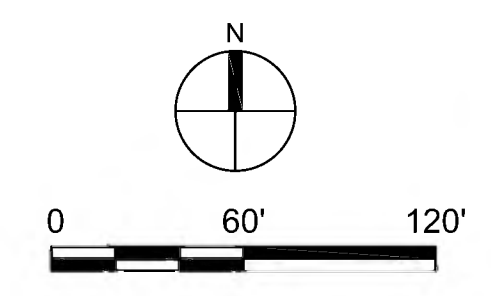
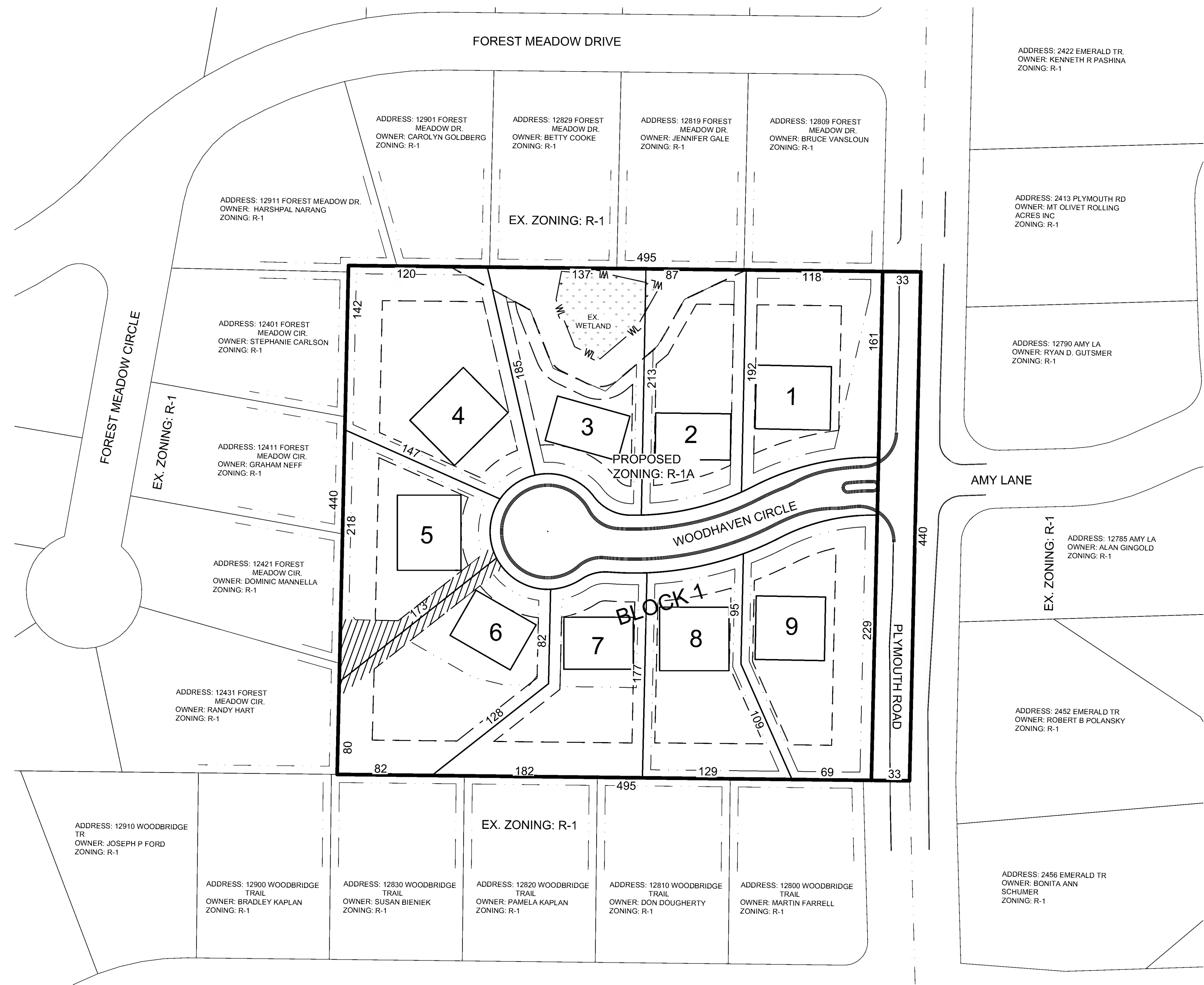
LOCATION MAP



N.T.S.

INDEX

SHEET	DESCRIPTION
C1	COVER SHEET
C2	EXISTING CONDITIONS SURVEY
C3	PRELIMINARY PLAT
C4	DEMOLITION PLAN
C5	GRADING & DRAINAGE PLAN
C6	UTILITY PLAN
C7	STREET PLAN & PROFILE
C8	SANITARY & STORM PROFILES
C9	EROSION & SEDIMENT CONTROL PLAN
C10	SWPPP - PG 1
C11	SWPPP - PG 2
C12	SITE DETAILS
L1	TREE PRESERVATION PLAN
L2	PLANTING PLAN
L3	PLANTING NOTES & DETAILS



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: BRIAN J. FIELD, PE

SIGNATURE: **NOT FOR CONSTRUCTION**

DATE: 05/02/2022 LICENSE NO. 57224

REVISION LOG

NO.	DATE	DESCRIPTION OF REVISIONS

CITY SUBMITTAL

05/02/2022

DESIGNED:	DRAWN:	CHECKED BY:
BJF	JPD	BJF

DRAWING TITLE

COVER SHEET

DRAWING NO.

C1

PLOTTED:	COMM. NO.
---	16523

May 02, 2022 - 8:08am BField
 Xref Filename: \\16523_s_base_civil\16523_s_base_civil\16523_title_block.dwg
 Y:\16500\16523 - AIRBORNE - PLYMOUTH RD PROPERTY - MINNETONKA MN\07 Civil\01 CAD files\01 SHEETS\16523_C_COVER.dwg

EXISTING CONDITIONS SURVEY

SURVEY FOR: **AIRBORNE CONSTRUCTION ONE LLC.**

PROPERTY ADDRESS:

2424 Plymouth Road and 2440 Plymouth Road, Minnetonka, Minnesota.

LEGAL DESCRIPTION:

The North 160 feet of the East 305 feet of the South 440 feet of the East 495 feet of the Southeast Quarter of the Northeast Quarter of Section 10, Township 117, Range 22, Hennepin County, Minnesota. (2424 Plymouth Road, Commitment No. 58624)

AND

The South 440 feet of the East 495 feet of the Southeast Quarter of the Northeast Quarter of Section 10, Township 117, Range 22, Hennepin County, Minnesota. (2440 Plymouth Road, Commitment No. 58625)

Both Torrens Property.

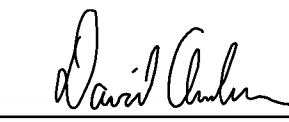
CERTIFICATION:

I hereby certify that this survey was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated: August 11, 2021

Anderson Engineering of Minnesota, LLC

by:



David Anderson
Minnesota License No. 43501

NOTES:

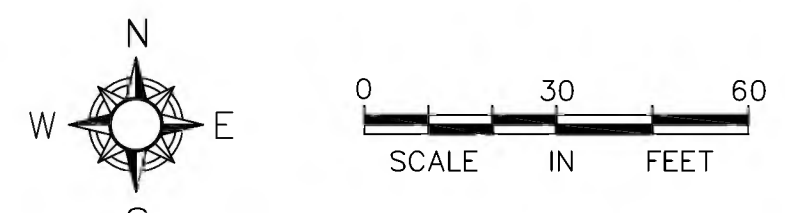
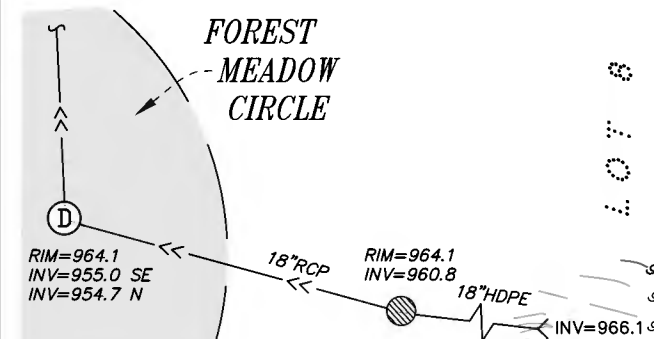
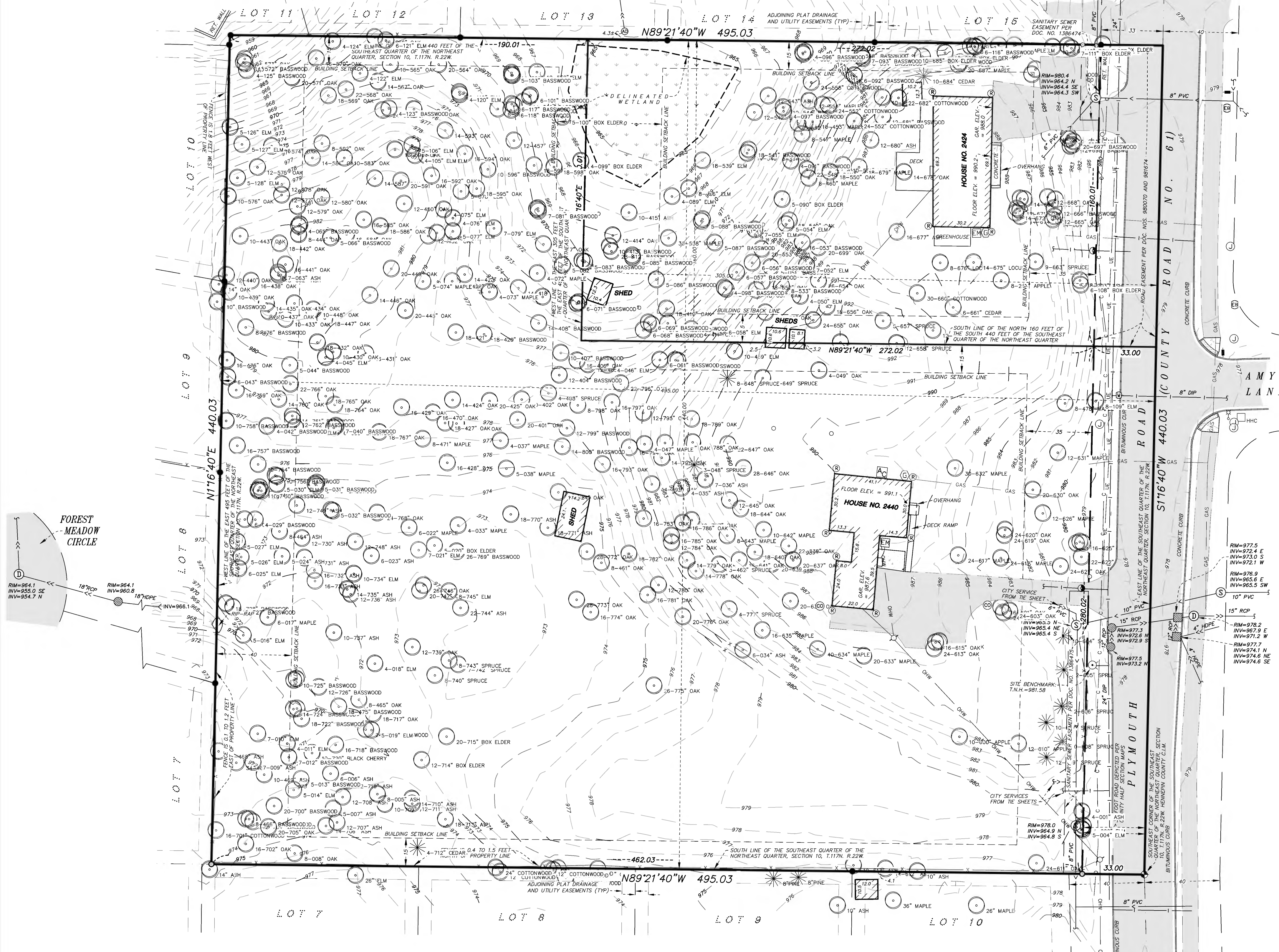
- The horizontal datum and bearings are based on the Hennepin County Coordinate System NAD83 (2011).
- The vertical datum is NAVD 88. The site bench mark is the top nut of the hydrant located on the west side of Plymouth Road and approximately 150 feet south of its intersection with Amy Lane (depicted hereon). Elevation = 981.58 feet.
- The area of the property addressed 2424 Plymouth Road is 48,803 square feet or 1.1204 acres. The area of said property less the road easement is 43523 square feet or 0.9992 acres.
- The area of the property addressed 2440 Plymouth Road is 169,010 square feet or 3.8799 acres. The area of said property less the road area is 159,769 square feet or 3.6678 acres.
- The location and extent of underground utilities, if shown, are based upon existing drawings provided by the utility companies, above ground evidence and Gopher State One Call markings per ticket numbers 211651304 and 211651305. Exclusive of excavation, there is no guarantee as to the accuracy or the completeness of this information. The size and location should be considered approximate. Additional underground utilities may be present. Verification of the existence and location of all utilities should be obtained from the utility owners prior to any planning or design. In accordance with State Statute, the location of utilities shall be confirmed prior to any demolition or construction.
- The tree information shown hereon was collected during the field survey by non-forestry trained Anderson Engineering of Minnesota survey personnel. Tree sizes are estimates and locations are accurate to plus or minus three feet.
- The legal description and easement information were provided by Chicago Title Insurance Company, Commitment for Title Insurance, Commitment Nos. 58624 and 58625, issued by its agent, Commercial Partners Title and dated May 10, 2021.
- According to the City of Minnetonka, the subject property is zoned R-1 and has the building setback requirements listed below. It is recommended that the property owner obtain a zoning letter from the City to verify all conditions that affect the property through the city zoning ordinance. This survey does not purport to describe all conditions contained in said ordinance.

BUILDING SETBACKS

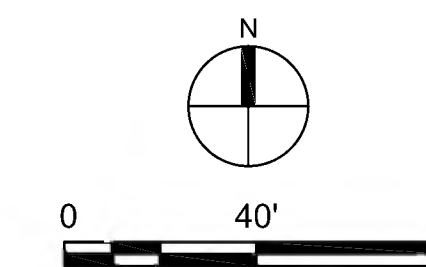
Front = 35 feet
Rear = 20% of lot depth or 40 feet, whichever is less.
Side = Aggregate of 30 feet. Minimum of 10 feet on one side.

LEGEND

	AIR CONDITIONER		COMMUNICATION
	AREA DRAIN		FENCE
	CATCH BASIN		FIBER OPTICS
	CLEAN OUT		GAS MAIN
	COMMUNICATION JUNCTION BOX		OVERHEAD WIRES
	CULVERT		SANITARY SEWER
	ELECTRIC BOX		STORM SEWER
	ELECTRIC METER		UNDERGROUND ELECTRIC
	GAS METER		WATER MAIN
	GAS VALVE		BITUMINOUS SURFACE
	POST		CONCRETE SURFACE
	HANDHOLE COMMUNICATIONS		TRUNCATED DOMES
	HYDRANT		WETLAND
	LIGHT POLE		DEPRESSION CONTOUR
	POWER POLE		WALL
	POWER POLE ANCHOR		CONIFEROUS TREE
	ROOF DRAIN		DECIDUOUS TREE
	SANITARY MANHOLE		STOP BOX
	SIGN		WATER VALVE
	STORM MANHOLE		FOUND IRON MONUMENT
	STOP BOX		SET MONUMENT WITH L.S. NO. 43501
	WATER VALVE		HENNEPIN CO. CAST IRON MONUMENT
	FOUND IRON MONUMENT		
	SET MONUMENT WITH L.S. NO. 43501		
	HENNEPIN CO. CAST IRON MONUMENT		
	DUCTILE IRON PIPE		
	HIGH-DENSITY POLYETHYLENE PIPE		
	POLYVINYL CHLORIDE PIPE		
	REINFORCED CONCRETE PIPE		



PRELIMINARY PLAT OF: WOODHAVEN AT MINNETONKA



ANDERSON

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Plymouth, MN 55441 | ae-mn.com
P 763.412.4000 | F 763.412.4090
Anderson Engineering of Minnesota, LLC

WOODHAVEN AT MINNETONKA

2424-2440 PLYMOUTH RD
MINNETONKA, MN 55305

AIRBORNE WOODHAVEN, LLC
13605 1ST AVE N #100
PLYMOUTH, MN 55441

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: BRIAN J. FIELD, PE

SIGNATURE: **NOT FOR CONSTRUCTION**

DATE: 05/02/2022 LICENSE NO. 57224

REVISION LOG

NO.	DATE	DESCRIPTION OF REVISIONS

CITY SUBMITTAL

05/02/2022

DESIGNED:	DRAWN:	CHECKED BY:
BJF	JPD	BJF

DRAWING TITLE

PRELIMINARY PLAT

DRAWING NO.

C3

PLOTTED:	COMM. NO.
---	16523

LEGEND

	PROPERTY LIMITS
	ADJACENT PROPERTY
	BUILDING SETBACKS
	EXISTING DRAINAGE AND UTILITY EASEMENT
	PROPOSED DRAINAGE AND UTILITY EASEMENT
	WETLAND BUFFER LINE
	WETLAND BUFFER
	MAINTENANCE ACCESS EASEMENT

SITE DATA

EXISTING

LEGAL DESCRIPTION:
SEE EXISTING CONDITIONS SURVEY
ZONING: R-1, LOW DENSITY RESIDENTIAL
GUIDED LAND-USE (COMP. PLAN): R-1, LOW DENSITY RESIDENTIAL

EXISTING PARCEL AREAS:

PARCEL A (PID #1011722140001):	48,803 SF	(1.1204 AC)
PARCEL B (PID #1011722140002):	169,010 SF	(3.8799 AC)
TOTAL:	217,813 SF	(5.0003 AC)
WETLAND AREA WITHIN PARCEL A:	4,410 SF	(0.10 AC)

WETLAND SETBACKS	CITY OF MINNETONKA	MCWD	DESIGN
STRUCTURE:	35 FEET	---	35 FEET
DECK:	<120 SF; 25 FEET	---	<120 SF; 25 FEET
BUFFER (MIN.)	16.5 FEET	24 FEET	24 FEET
BUFFER (AVE.)	---	30 FEET	30 FEET

PROPOSED

ZONING: R-1A, LOW DENSITY RESIDENTIAL
MAX. DENSITY: 3 UPA
GROSS DENSITY: 9 UNITS / 5.00 AC = 1.8 UNITS PER ACRE
NET DENSITY (LESS WETLAND/R.O.W.): 9 UNITS / 4.90 AC = 1.84 UNITS PER ACRE

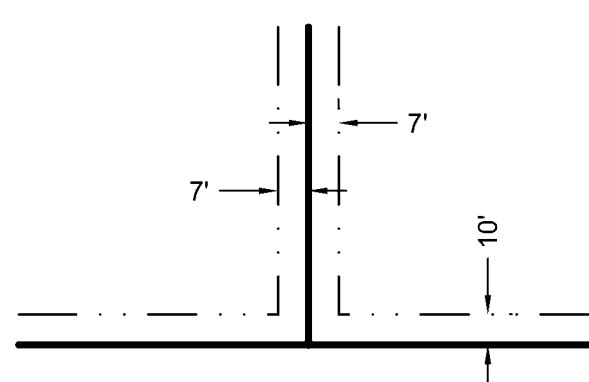
LOT SIZE	PROPOSED R-1A	R-1
WIDTH (AT FRONT SETBACK):	75 FEET MIN.	110 FEET
FRONTAGE (AT R.O.W.):	45 FEET MIN.	65 FEET
DEPTH:	125 FEET MIN.	125 FEET
BUILDABLE AREA:	2,400 SF MIN.	3,500 SF
LOT AREA:	15,000 SF MIN.	22,000 SF
IMPERVIOUS SURFACE:	50% MAX.	---
F.A.R. (>17,500 SF LOT AREA):	0.22 MAX.	---

LOT SETBACK	PROPOSED R-1A	R-1
FRONT:	25 FEET MIN.	35 FEET
FRONT (PLYMOUTH RD):	35 FEET MIN.	50 FEET
SIDE:	10 FEET MIN.	10 FEET
REAR:	30 FEET MIN.	40 FEET
WETLAND:	35 FEET MIN.	35 - 60 FEET

AREA SUMMARY

PARCEL	AREA (ACRES)	AREA (SF)	MAX F.A.R.
LOT 1	0.46	20146	4432
LOT 2	0.41	17769	3897
LOT 3	0.51	22020	4856
LOT 4	0.57	24712	5436
LOT 5	0.41	17841	3925
LOT 6	0.50	21972	4833
LOT 7	0.42	18343	4035
LOT 9	0.52	22653	4983
NEW ROAD ROW	0.47	20283	---
PLYMOUTH RD ROW	0.33	14521	---
TOTAL AREA	5.00	217813	---
TOTAL LOT AREA	4.20	183009	---
AVG. LOT AREA	0.47	20335	---

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 14' IN WIDTH, UNLESS OTHERWISE INDICATED, AND ADJOINING LOT LINES, AND 10' IN WIDTH UNLESS OTHERWISE INDICATED, AND ADJOINING RIGHT-OF-WAY LINES AS SHOWN ON THE PLAT.

1 DRAINAGE & UTILITY EASEMENTS NTS

ADDRESS: 12911 FOREST MEADOW DR.
OWNER: HARSHPAL NARANG
ZONING: R-1

ADDRESS: 12901 FOREST MEADOW DR.
OWNER: CAROLYN GOLDBERG
ZONING: R-1

ADDRESS: 12829 FOREST MEADOW DR.
OWNER: BETTY COOKE
ZONING: R-1

ADDRESS: 12819 FOREST MEADOW DR.
OWNER: JENNIFER GALE
ZONING: R-1

ADDRESS: 12809 FOREST MEADOW DR.
OWNER: BRUCE VANSLOUN
ZONING: R-1

ADDRESS: 12401 FOREST MEADOW CIR.
OWNER: STEPHANIE CARLSON
ZONING: R-1

ADDRESS: 12411 FOREST MEADOW CIR.
OWNER: GRAHAM NEFF
ZONING: R-1

ADDRESS: 12421 FOREST MEADOW CIR.
OWNER: DOMINIC MANNELLA
ZONING: R-1

ADDRESS: 12431 FOREST MEADOW CIR.
OWNER: RANDY HART
ZONING: R-1

ADDRESS: 12900 WOODBRIDGE TR.
OWNER: BRADLEY KAPLAN
ZONING: R-1

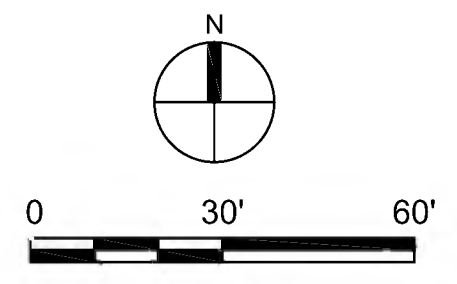
ADDRESS: 12830 WOODBRIDGE TR.
OWNER: SUSAN BIENIEK
ZONING: R-1

ADDRESS: 12820 WOODBRIDGE TR.
OWNER: PAMELA KAPLAN
ZONING: R-1

ADDRESS: 12810 WOODBRIDGE TR.
OWNER: DON DOUGHERTY
ZONING: R-1

ADDRESS: 12800 WOODBRIDGE TR.
OWNER: MARTIN FARRELL
ZONING: R-1

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DESIGNED: BJF	DRAWN: JPD	CHECKED BY: BJF
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DRAWING TITLE

DEMOLITION PLAN

DRAWING NO.

C4

PLOTTED: ---	COMM. NO. 16523
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LEGEND

- PROPERTY LIMITS
- CONSTRUCTION LIMITS
- EXISTING WATERMAIN
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING FENCE
- EXISTING GAS MAIN
- EXISTING OVERHEAD WIRES
- EXISTING TELEPHONE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING HYDRANT AND GV
- EXISTING SANITARY MANHOLE
- EXISTING STORM SEWER INLET
- REMOVE EXISTING UTILITY LINE
- REMOVE EXISTING BUILDING STRUCTURE
- REMOVE EXISTING PAVEMENT
- REMOVE EXISTING CONCRETE C&G
- EXISTING TREE

KEY NOTES

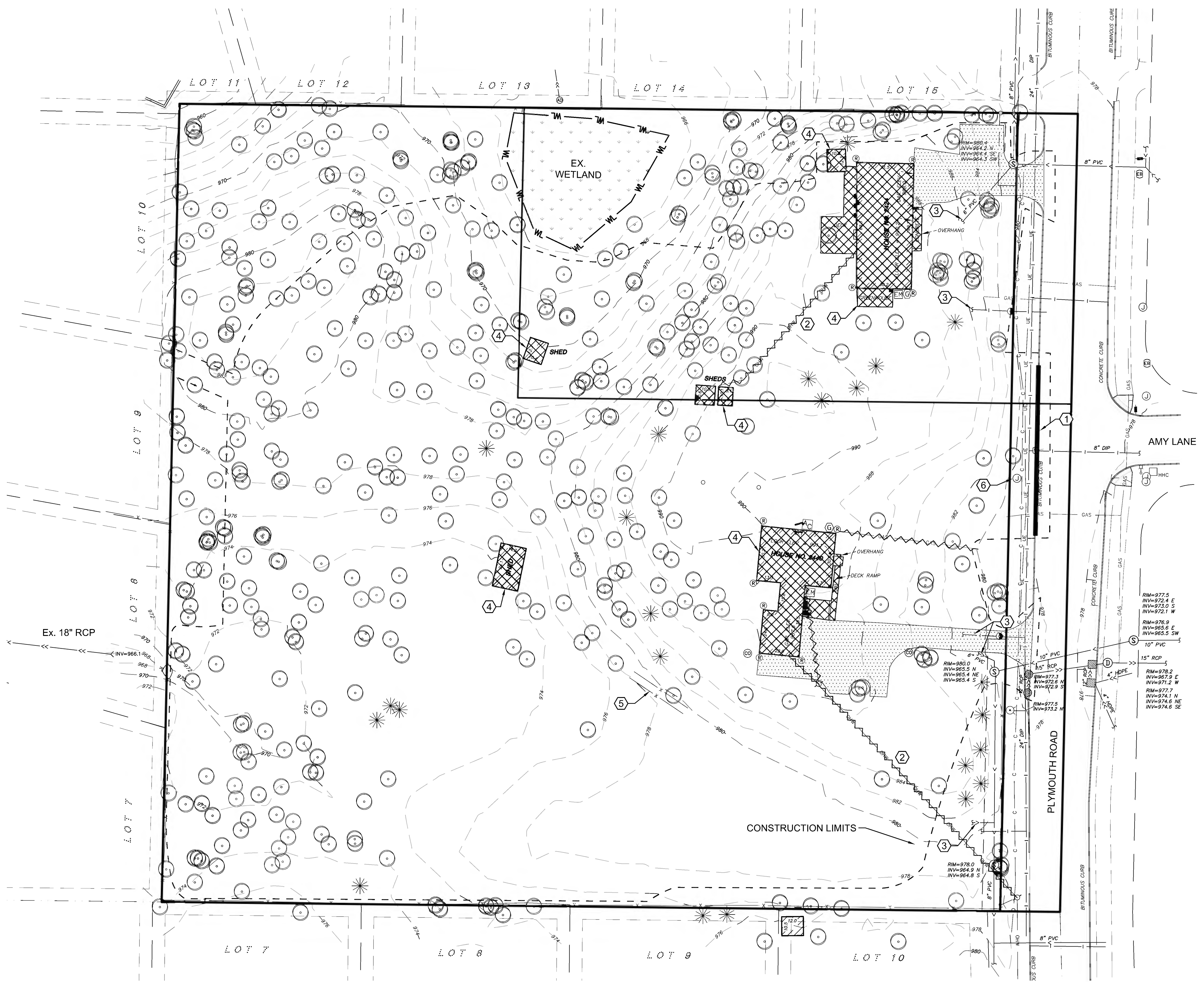
- 1 REMOVE EXISTING CONCRETE CURB & GUTTER
- 2 REMOVE EXISTING OVERHEAD POWER
- 3 REMOVE EXISTING SERVICES FOR ADDRESS 2424 & 2440 PER CITY STANDARDS
- 4 REMOVE EXISTING HOUSE, FOUNDATIONS, AND AMENITIES IN IT'S ENTIRETY.
- 5 REMOVE EXISTING FENCE
- 6 CONTRACTOR TO COORDINATE W/ UTILITY OWNER TO REMOVE & RELOCATE EX. ELECTRICAL MH.

CONTRACTOR NOTES

1. UTILITIES SHOWN HERE ON IS FOR INFORMATIONAL USE ONLY AND IS NOT GUARANTEED IN IT'S ACCURACY. VERIFY ALL TOPOGRAPHIC INFORMATION PRIOR TO COMMENCING WORK. NOTIFY PROJECT MANAGER OF ANY/ALL DISCREPANCIES IMMEDIATELY.
2. CONTRACTOR SHALL HIRE PRIVATE UTILITY LOCATOR AS NECESSARY TO VERIFY UNDERGROUND UTILITIES. UTILITIES SHOWN ON PLANS MAY VARY FROM EXISTING CONDITIONS, AND CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO UTILITY LINES SHOWN, NOT SHOWN, OR SHOWN INCORRECTLY.

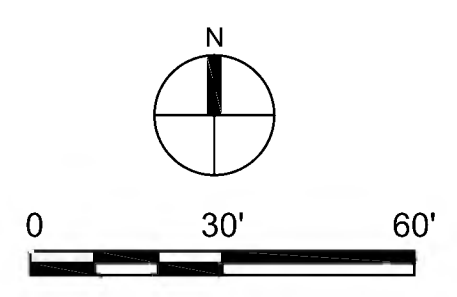
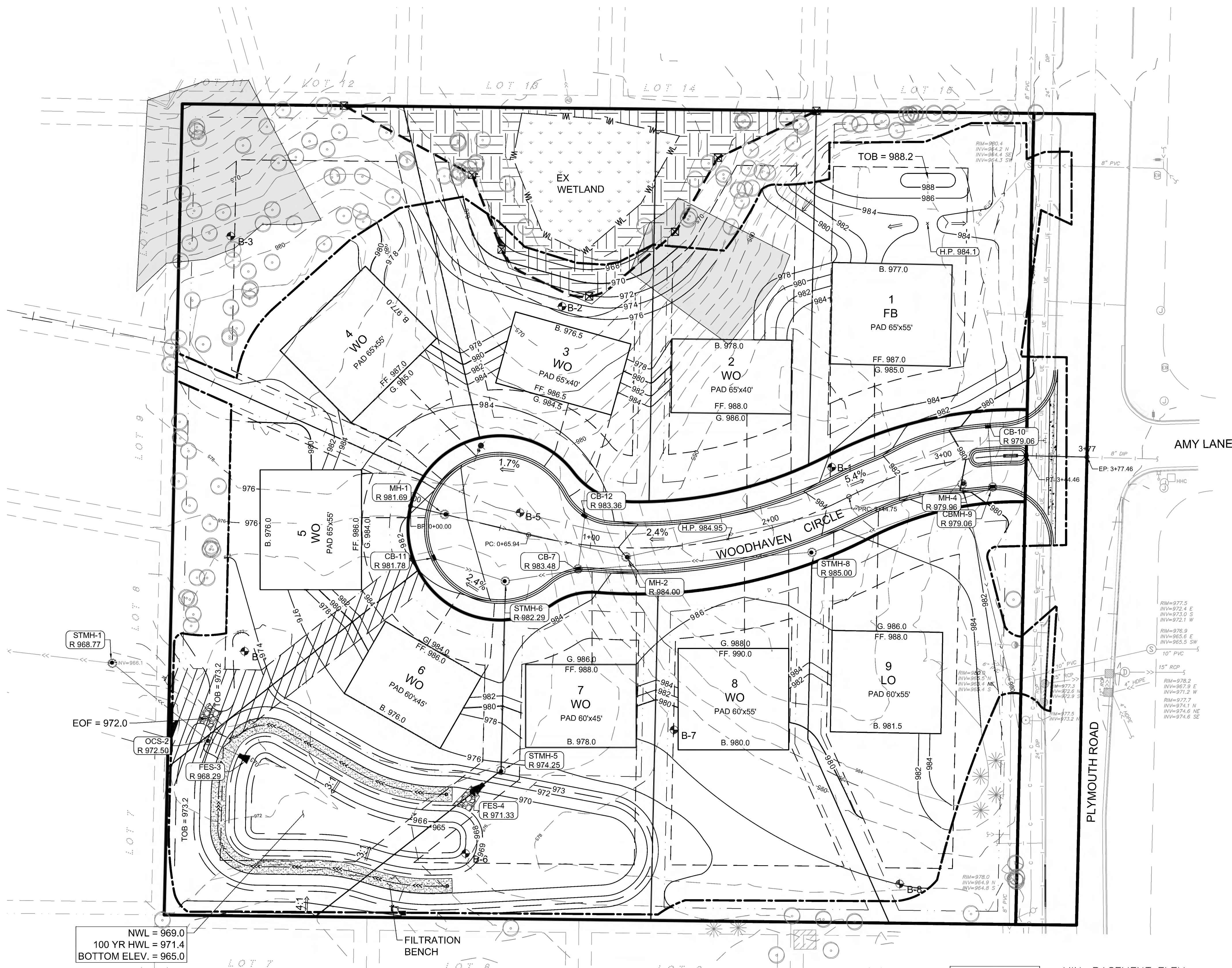
TREE NOTES

1. SEE SHEET L1 - TREE PRESERVATION PLAN FOR TREE REMOVAL/PROTECTION PLAN.



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 16523_c_base 16523 Title Block 16523_tree base



LEGEND

---	PROPERTY LIMITS
- - -	CONSTRUCTION LIMITS
--- 966 ---	EXISTING MINOR CONTOUR
--- 965 ---	EXISTING MAJOR CONTOUR
--- 966 ---	PROPOSED MINOR CONTOUR
--- 965 ---	PROPOSED MAJOR CONTOUR
x 959.4	EXISTING SPOT ELEVATION
→	DRAINAGE ARROW
---	PROPOSED CONCRETE C&G
⊕ B-1	SOIL BORING LOCATION
⊗	WETLAND BUFFER SIGN (6/C14)
WL	WETLAND LINE
- - -	WETLAND BUFFER LINE
▨	STEEP SLOPE AREA

SPOT ELEVATION KEY

FG	FINISHED GRADE
±	EXISTING GRADE
FL	GUTTER FLOW LINE
HP	HIGH POINT ELEVATION
LP	LOW POINT ELEVATION
R.	RIM ELEVATION
I.	INVERT ELEVATION
TOB	TOP OF BERM ELEVATION
EOF	EMERGENCY OVERFLOW ELEVATION

- CONTRACTOR NOTES**
1. THE TOTAL DISTURBED AREA IS EQUAL TO 3.83 ACRES. AN MPCA PERMIT IS REQUIRED.
 2. PROPOSED SPOT ELEVATIONS ARE TO TOP OF FINISHED SURFACE UNLESS PRECEDED BY LETTER DESIGNATION SHOWN ABOVE.
 3. TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES. LOCATIONS OF UTILITIES SHOWN BASED ON SURVEY AND AS-BUILT INFORMATION AND MAY NOT REPRESENT ACTUAL CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR UTILIZING UTILITY LOCATES PRIOR TO STARTING ANY WORK.

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 05/02/2022

DESIGNED: BJF	DRAWN: JPD	CHECKED BY: BJF
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DRAWING TITLE

GRADING & DRAINAGE PLAN

DRAWING NO.

C5

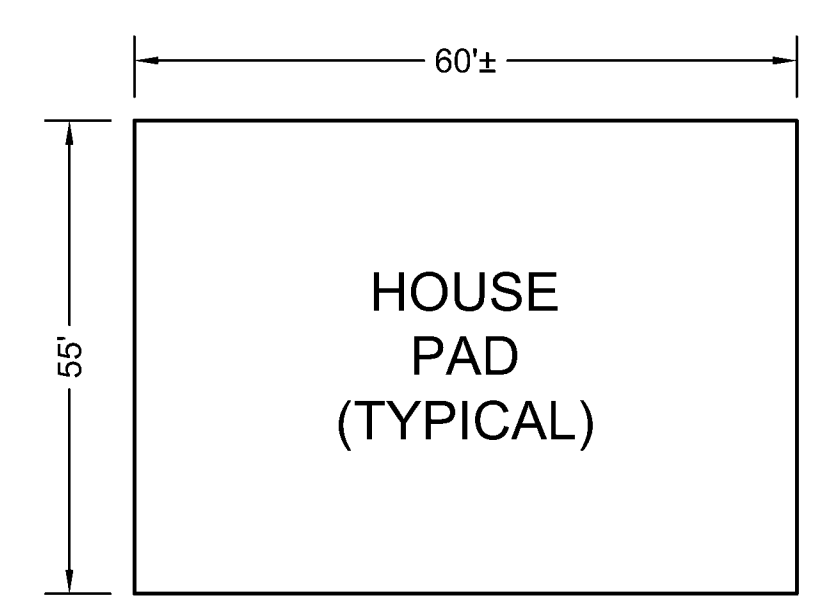
PLOTTED: ---	COMM. NO. 16523
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NWL = 969.0
 100 YR HWL = 971.4
 BOTTOM ELEV. = 965.0

FILTRATION BENCH

B 976.0	MIN. BASEMENT ELEV.
5	LOT NO.
WO	TYP. WALKOUT HOUSE TYPE
FF 986.0	FIRST FLOOR ELEV.
G 984.0	GARAGE ELEV.

TYPICAL HOUSE PAD
 NOT TO SCALE



1 SIZE VARIES HOUSE PAD
 NTS

SERVICE UTILITY NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER UNLESS DIRECTED OTHERWISE (SEE GEOTECHNICAL REPORT ON SEPTEMBER 14, 2021 BY KILO ENGINEERING).
2. ALL CONSTRUCTION SHALL COMPLY WITH CITY OF MINNETONKA ENGINEERING STANDARDS AND THE 2018 EDITION OF MNDOT SPECIFICATIONS, UNLESS DIRECTED OTHERWISE.
3. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE MUNICIPAL, WATERSHED DISTRICT, COUNTY, MPCA, DEPT. OF HEALTH, AND MNDOT PERMITS. VERIFY RECEIPT OF ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
4. EXISTING TOPOGRAPHIC AND UTILITY INFORMATION PROVIDED BY THE OWNER ON A SURVEY PREPARED BY ANDERSON ENGINEERING. BE ADVISED THAT THE LOCATION AND TYPE OF EXISTING UTILITIES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE INFORMATION IS NOT WARRANTED TO BE ACCURATE OR COMPLETE. THE CONTRACTOR, IN COOPERATION WITH THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY, IS RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND DEPTH OF ALL UNDERGROUND UTILITIES.
5. WATER LINES ARE REQUIRED TO BE INSTALLED AT 8 FEET MINIMUM DEPTH OF COVER AND PROVIDE MINIMUM 10' HORIZONTAL AND 18" VERTICAL SEPARATION OF ALL WATERMAIN CROSSINGS FROM STORM OR SANITARY SEWER. WATERMAIN TO BE

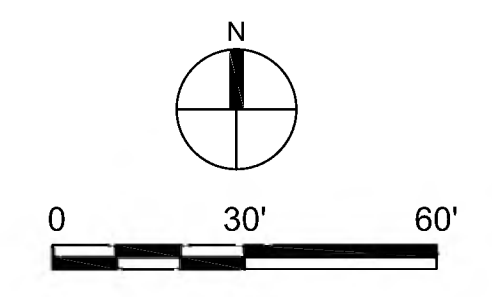
6. WATER MAIN MATERIALS SHALL BE CL52 DIP. CONTRACTOR SHALL VERIFY EXISTING SERVICE SIZE AND MATERIALS PRIOR TO CONSTRUCTION. ALL INSTALLED PIPE WILL REQUIRE TESTING PER CITY AND STATE REQUIREMENTS. THIS WILL INCLUDE, AT A MINIMUM, CONDUCTIVITY AND PRESSURE TESTING, AS WELL AS TESTING FOR BACTERIA AND PROPER DISINFECTION. FOLLOW C.E.A.M. STANDARD SPECIFICATIONS UNLESS NOTED OTHERWISE. INSTALL TRACER WIRE, JOINT RESTRAINTS AND THRUST BLOCKING ON ALL WATERMAIN PIPE AND FITTING, PER CITY OF MINNETONKA STANDARDS.
7. SANITARY SEWER PIPE MATERIALS SHALL BE PVC SDR 26. PIPE SHALL BE INSULATED PER CITY AND C.E.A.M. STANDARDS WHERE 7.5 FOOT COVER DEPTHS ARE NOT ACHIEVED. THIS APPLIES TO ALL PROPOSED NEW PIPE FOR THIS PROJECT. ALL SANITARY SEWER PIPE WILL REQUIRE TESTING PER CITY AND C.E.A.M. STANDARDS. THIS WILL INCLUDE, AT A MINIMUM, LEAKAGE AND ALIGNMENT TESTING.
8. ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE WATER TIGHT. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATER TIGHT CONNECTIONS TO MANHOLES AND CATCH BASINS.

KEY NOTES

1. CONNECT TO EXISTING 24" DIP W.M. VIA 24"x8" WET TAP.
2. TYPICAL 8" CL52 DIP WATER MAIN & 8" PVC SDR 26 SANITARY SEWER INSTALLATION.
3. INSTALL 6" LEAD, HYDRANT, 8"x6" TEE, & 6" GATE VALVE.
4. INSTALL DRAINTILE CLEAN OUT (TYP.)
5. OUTLET CONTROL STRUCTURE
6. EXTEND 8" W.M. VIA DIRECTIONAL BORE TO FOREST MEADOW CIRCLE AND CONNECT VIA 6"x6" WET TAP AND 8"x6" REDUCER.
7. RESTORE CITY PAVEMENT IN-KIND WITHIN FOREST MEADOW CIRCLE. RESTORE DISTURBED ARE BETWEEN 12401 FOREST MEADOW CIR. AND 12411 MEADOW CIR. VIA SOD.
8. INSTALL OUTSIDE DROP PER DETAIL 420/C13.

LEGEND

- PROPERTY LIMITS
- EXISTING WATERMAIN
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED WATERMAIN
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED 6" DRAINTILE
- PROPOSED SANITARY MANHOLE AND CLEANOUT
- PROPOSED STORM INLETS



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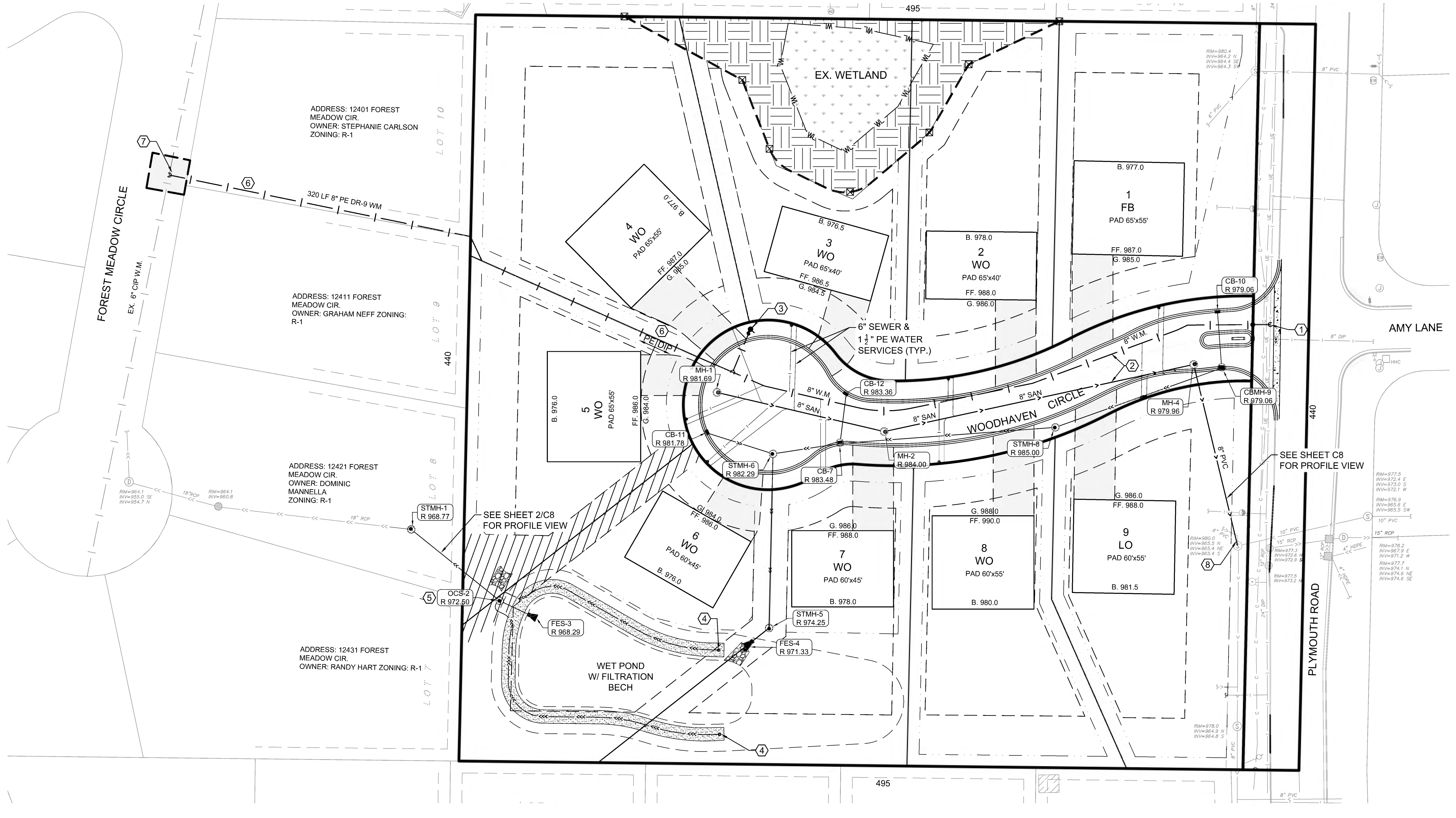
DRAWING TITLE

UTILITY PLAN

DRAWING NO.

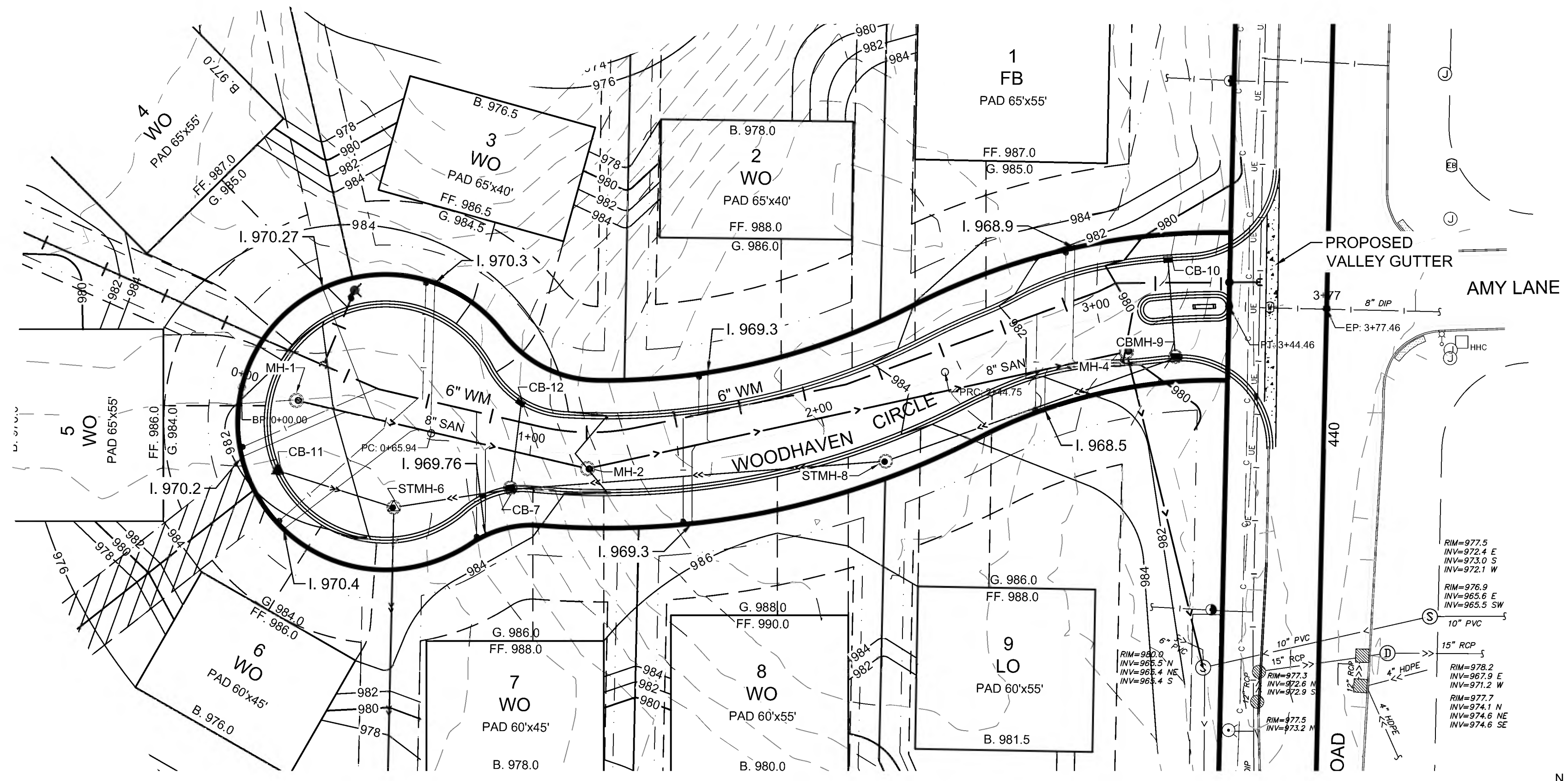
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PLOTTED: ---	COMM. NO. 16523
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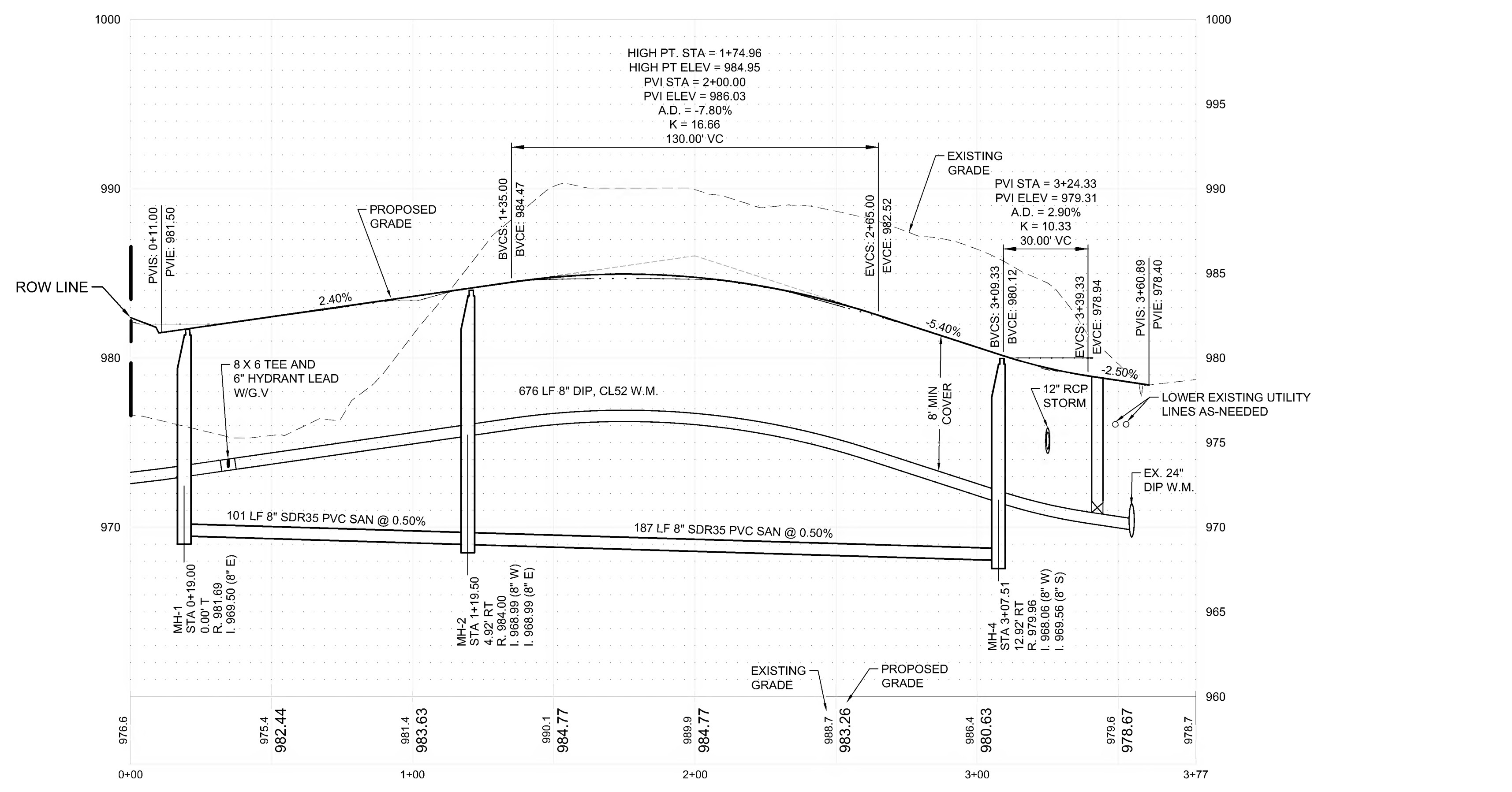


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1 PLAN VIEW - WOODHAVEN CIRCLE
 SCALE: 1" = 30'



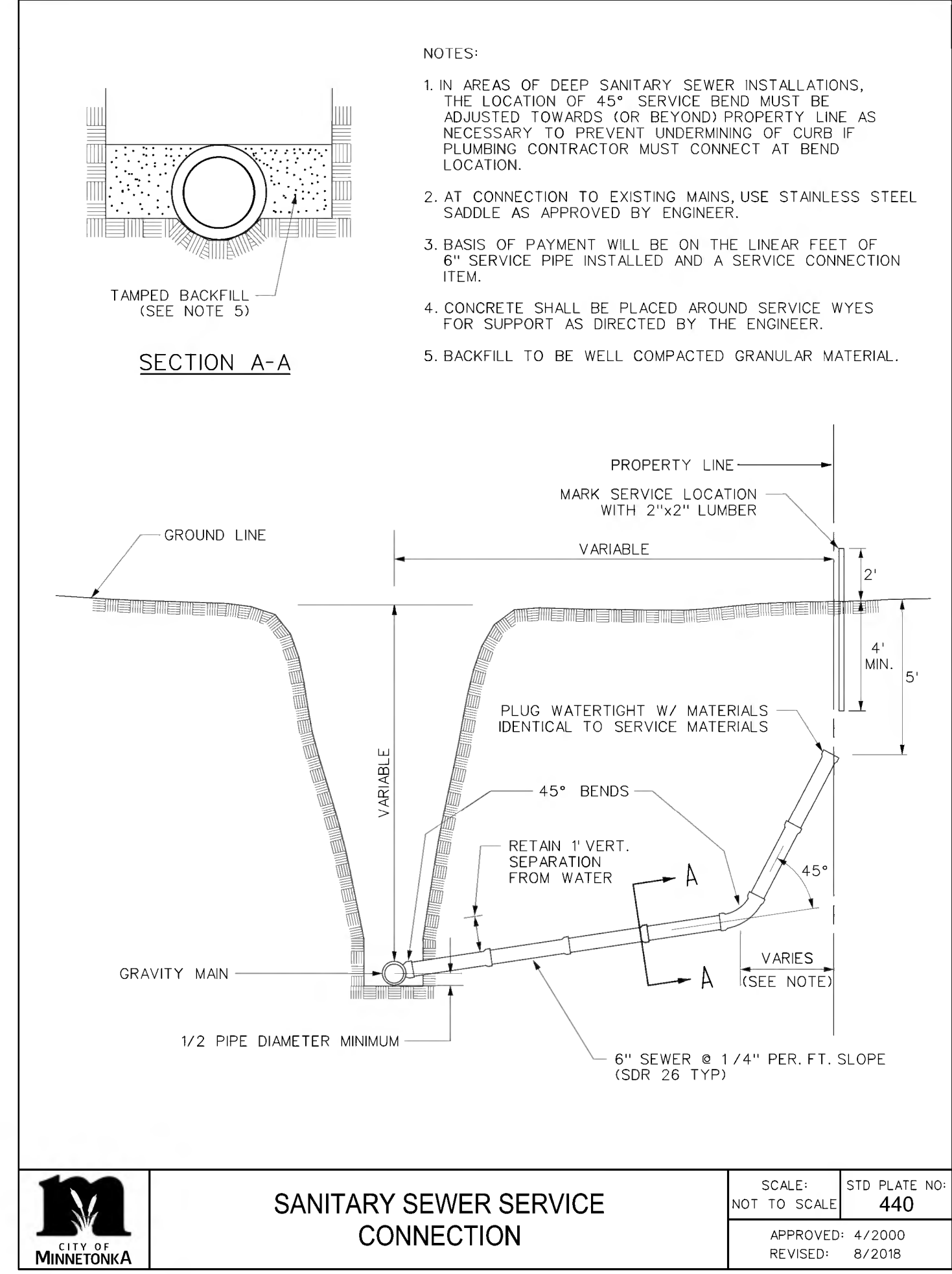
2 PROFILE VIEW - WOODHAVEN CIRCLE
 SCALE: HORIZONTAL 1" = 30' VERTICAL 1" = 5'

LEGEND

- PROPERTY LIMITS
- EXISTING WATERMAIN
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED WATERMAIN
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED DRAINTILE
- PROPOSED SANITARY MANHOLE AND CLEANOUT
- PROPOSED STORM INLETS

W.M. & SAN. SEWER NOTES:

1. ALL CONSTRUCTION TO BE IN ACCORDANCE W/ CITY OF MINNETONKA DETAIL PLATES AND CONSTRUCTION STANDARDS.
2. WATER SERVICE TO BE 1 1/2" TYPE PE COPPER WITH CURB STOP PLACED WITHIN 1' OF R.O.W. LINE.
3. SERVICE LOCATIONS SHOWN ARE APPROXIMATE & MAY BE RELOCATED INFIELD BY THE ENGINEER.
4. SANITARY SERVICES TO BE 6" PVC SDR 26 PLACED PER DETAIL.
5. UTILITY SERVICES SHALL HAVE A 3' MINIMUM HORIZONTAL SEPARATION.
6. INSTALL CLEANOUTS ON SANITARY SEWER SERVICES LONGER THAN 70'.
7. TIE ALL FITTINGS, VALVES, & HYDRANTS W/ (2) 3/4" RODS, OR APPROVED EQUAL.
8. HYDRANT ASSEMBLY INCLUDES 6" GATE VALVE, HYDRANT, AND 6" DIP CL. 52 CONNECTING PIPE BETWEEN TEE, GATE VALVE & HYDRANT.



SANITARY SEWER SERVICE CONNECTION
 SCALE: NOT TO SCALE
 STD PLATE NO: 440
 APPROVED: 4/2000
 REVISED: 8/2018

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DRAWING TITLE

STREET PLAN & PROFILE

DRAWING NO.

C7

PLOTTED: ---	COMM. NO. 16523
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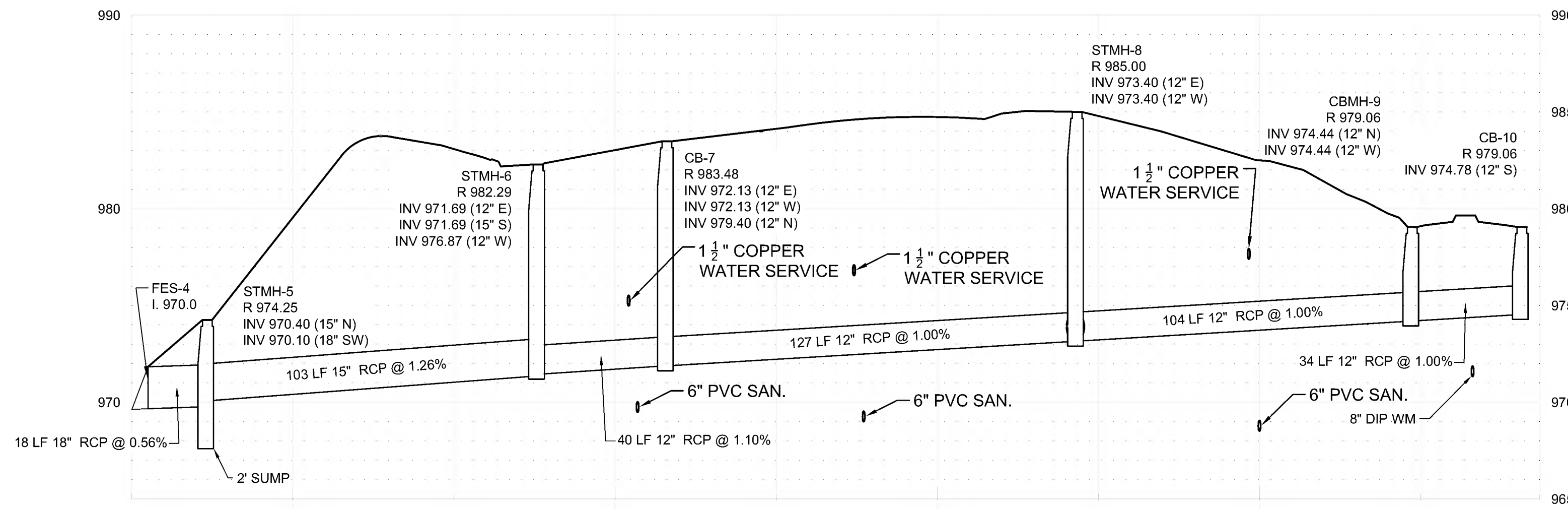
WOODHAVEN AT MINNETONKA

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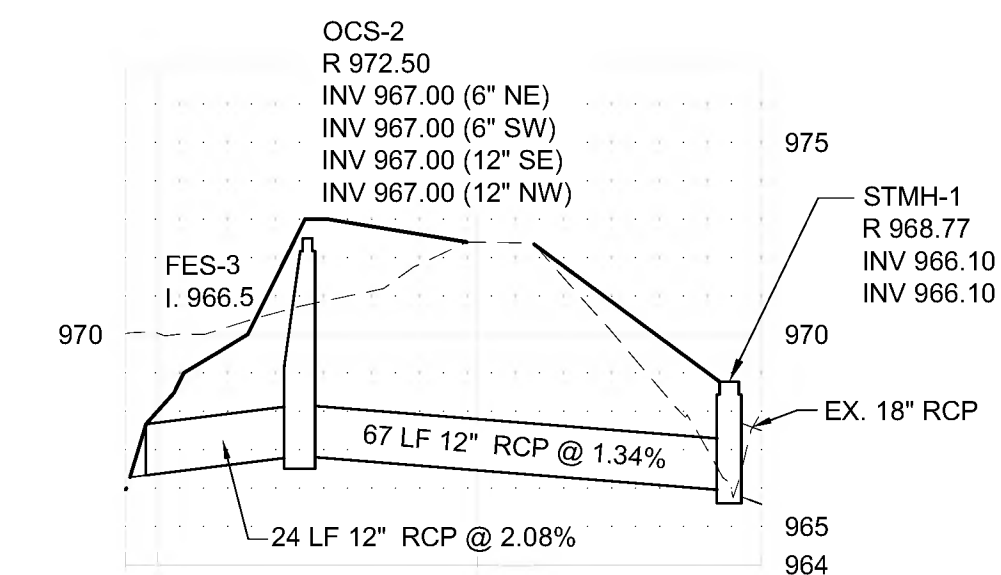
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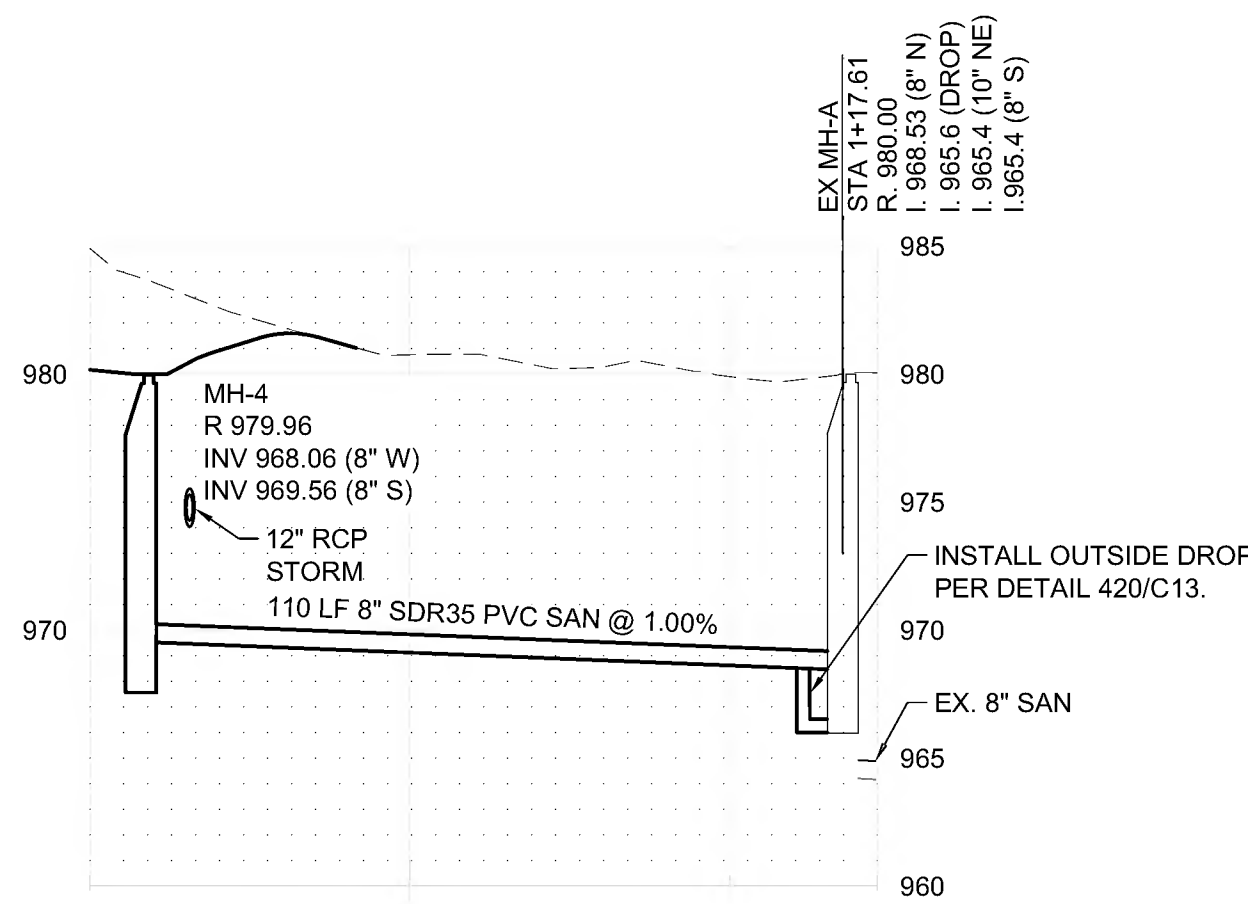
- ALL WATERMAIN TO BE 8" PVC UNLESS OTHERWISE NOTED.



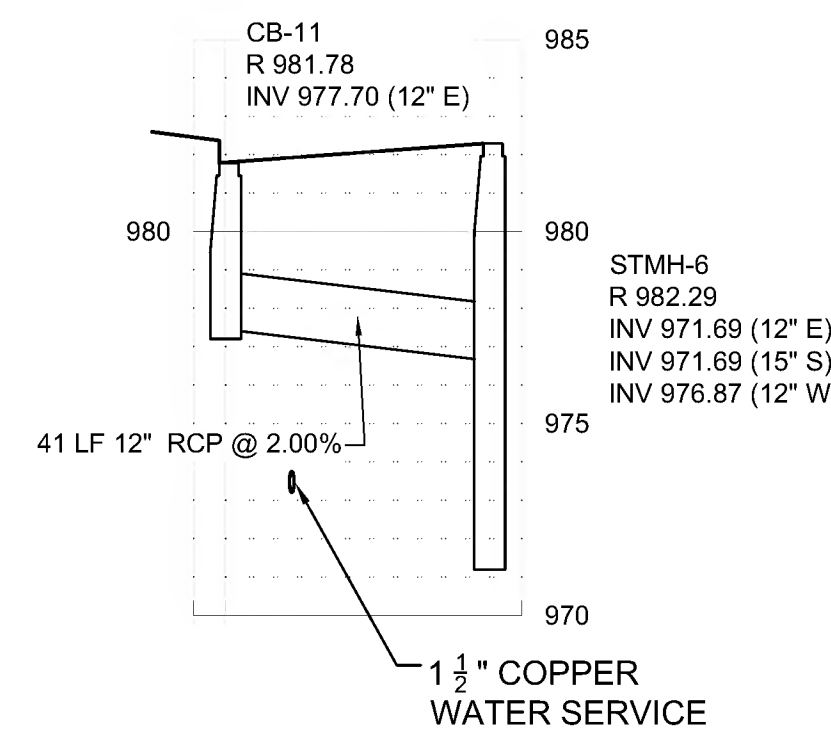
3 FES-4 TO CB-10
HORIZONTAL 1" = 30' VERTICAL 1" = 5'



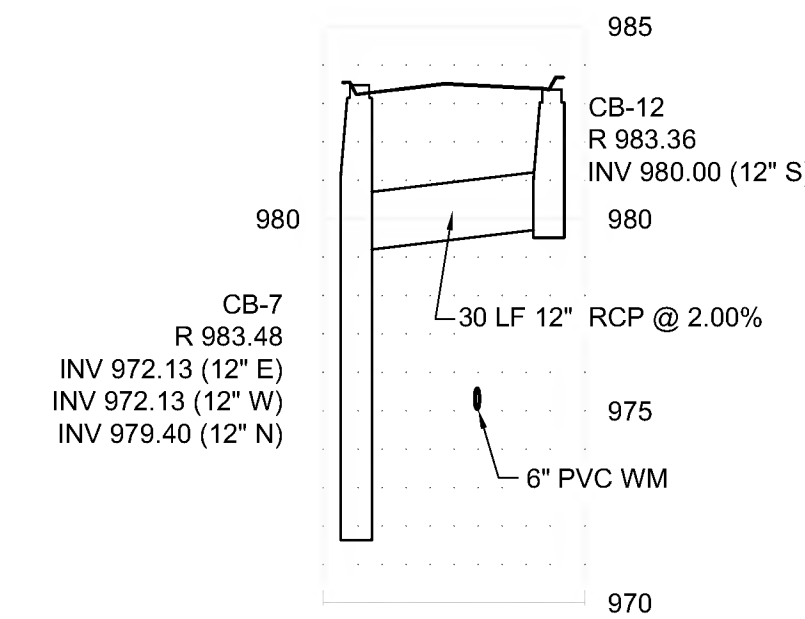
2 FES-3 TO STMH-1
HORIZONTAL 1" = 30' VERTICAL 1" = 5'



1 MH-4 TO EX MH-A
HORIZONTAL 1" = 30' VERTICAL 1" = 5'



4 CB-11 TO STMH-6
HORIZONTAL 1" = 30' VERTICAL 1" = 5'



5 CB-7 TO CB-12
HORIZONTAL 1" = 30' VERTICAL 1" = 5'

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PRINT NAME: BRIAN J. FIELD, PE

SIGNATURE: **NOT FOR CONSTRUCTION**

DATE: 05/02/2022 LICENSE NO. 57224

REVISION LOG

NO.	DATE	DESCRIPTION OF REVISIONS

CITY SUBMITTAL

05/02/2022

DESIGNED: BJF	DRAWN: JPD	CHECKED BY: BJF
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DRAWING TITLE

SANITARY & STORM PROFILES

DRAWING NO.

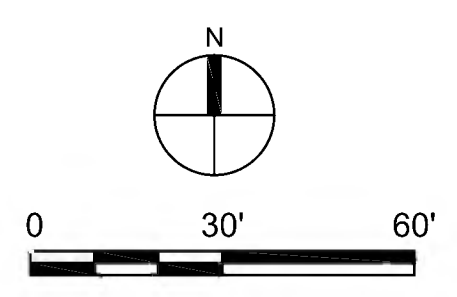
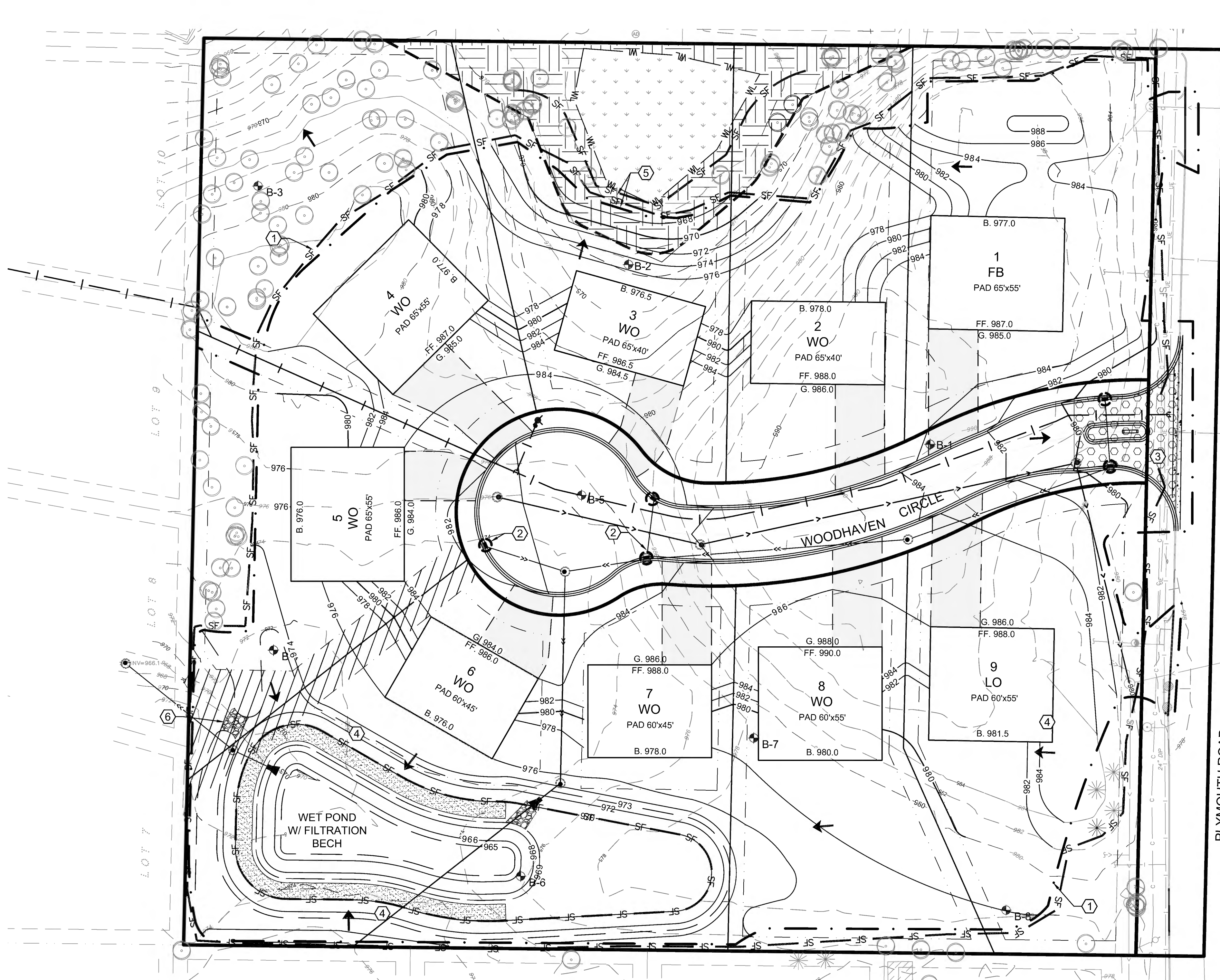
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PLOTTED:

COMM. NO.
16523

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LEGEND

	PROPERTY LIMITS
	CONSTRUCTION LIMITS
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	EXISTING SPOT ELEVATION
	SOIL BORING LOCATION
	DRAINAGE ARROW
	SILT FENCE
	INLET PROTECTION
	ROCK ENTRANCE

- KEY NOTES**
- INSTALL & MAINTAIN SILT FENCE PERIMETER SEDIMENT PROTECTION IN TURF AREAS. USE BIO-ROLLS AS NEED IN PAVED AREA FOR PHASING PURPOSES.
 - INSTALL AND MAINTAIN INLET SEDIMENT PROTECTION.
 - INSTALL TEMP ROCK ENTRANCE OR HARD SURFACE ASPHALT/CONCRETE AT CONSTRUCTION INGRESS & EGRESS LOCATION(S) PRIOR TO EXCAVATION & TO BE MAINTAINED THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS.
 - AREA WITH SLOPES 4:1 OR STEEPER TO HAVE EROSION CONTROL BLANKET & SEED INSTALLED. EROSION CONTROL BLANKET TO BE "NATURAL NET ONLY" CATEGORY 3N PER MNDOT SPEC 3885
 - INSTALL REDUNDANT SILT FENCE ALONG EXISTING WETLAND 5' APART
 - INSTALL RIP-RAP AT EMERGENCY OVERFLOW SPILLWAY.

- GENERAL NOTES:**
- PROPOSED WET POND TO SERVE AS TEMPORARY SEDIMENT BASIN DURING CONSTRUCTION.
 - CONTRACTOR TO EXCAVATE EXCESS SEDIMENT BUILDUP WITHIN POND AS A RESULT OF CONSTRUCTION ACTIVITIES.

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2424-2440 PLYMOUTH RD
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AIRBORNE WOODHAVEN, LLC
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 PLYMOUTH, MN 55441

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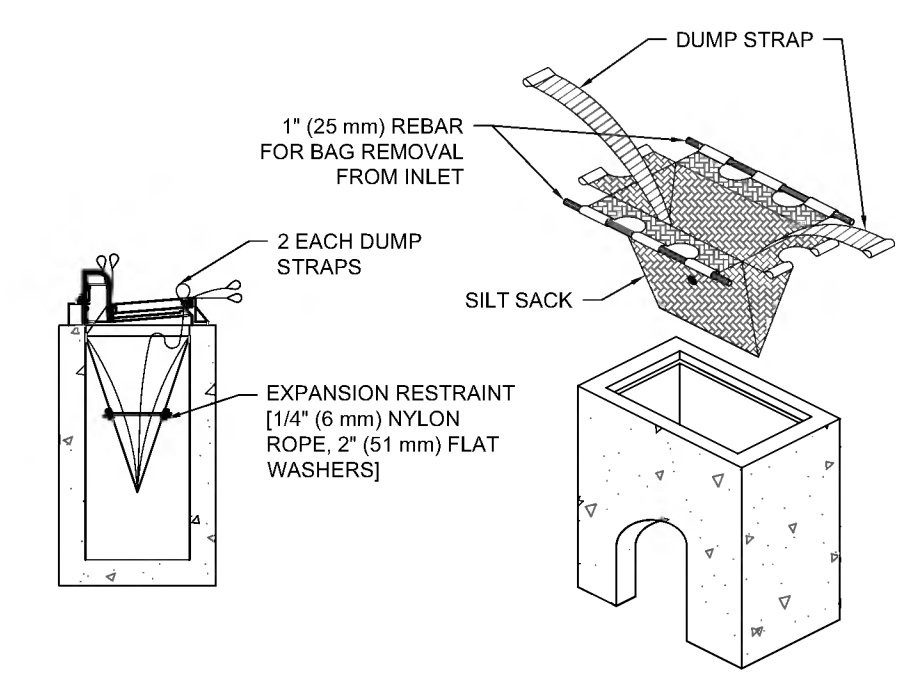
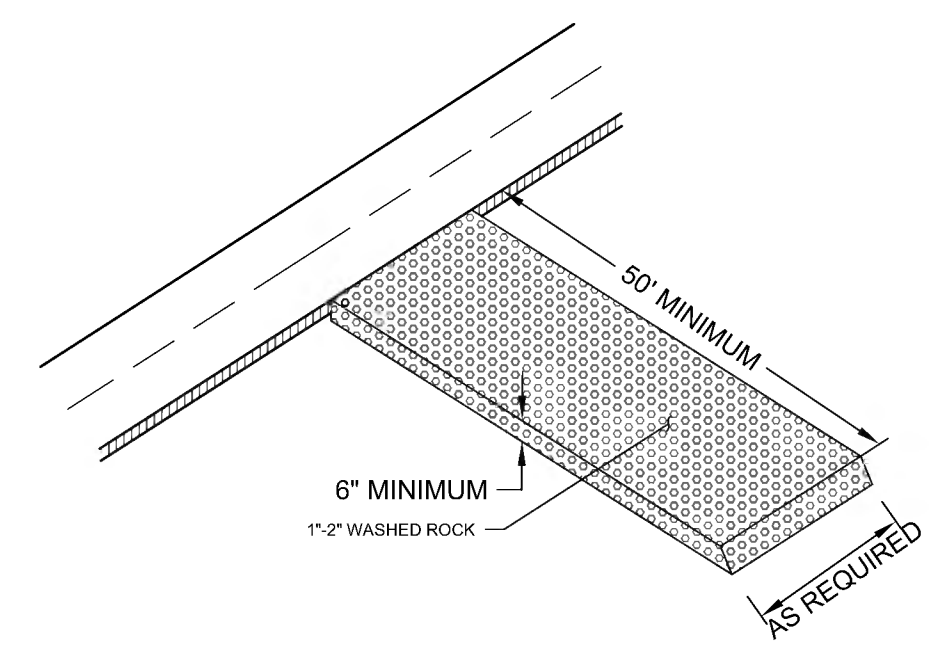
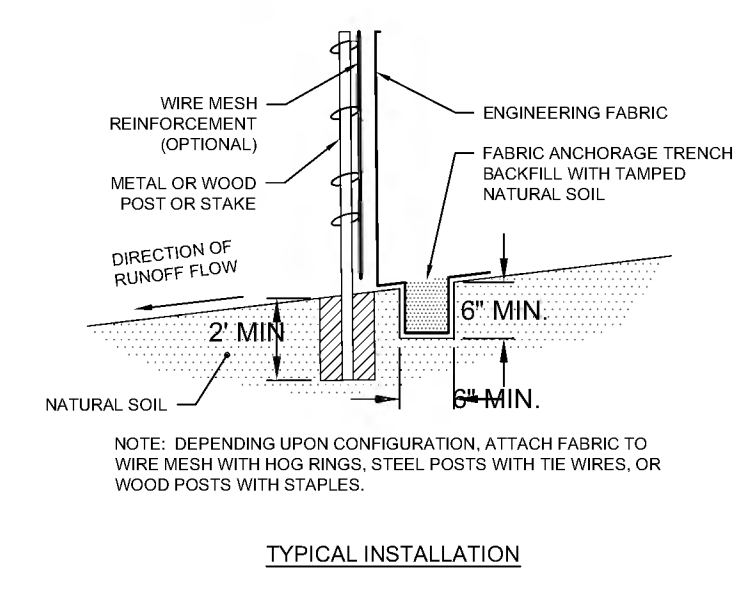
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EROSION & SEDIMENT CONTROL PLAN

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STORM WATER POLLUTION PREVENTION PLAN NARRATIVE - PAGE 1 OF 2

PROJECT DESCRIPTION/LOCATION

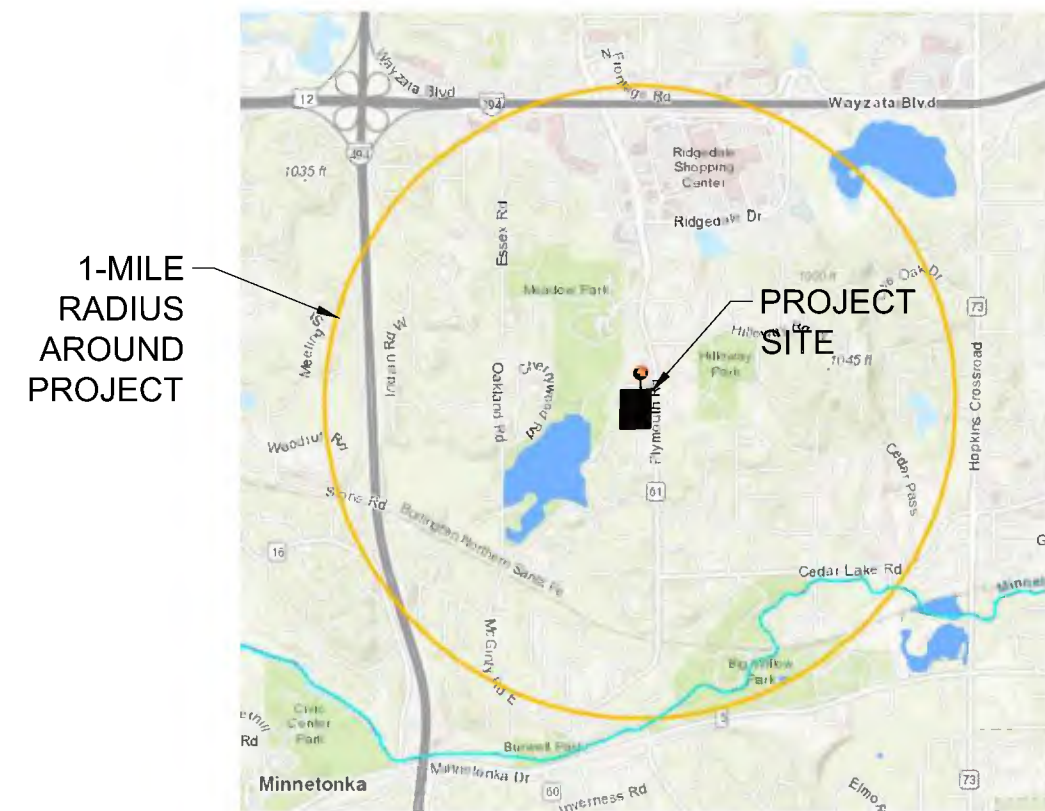
WOODHAVEN AT MINNETONKA IS LOCATED IN THE CITY OF MINNETONKA IN HENNEPIN COUNTY, BOUNDED BY FOREST MEADOW DR TO THE NORTH, WOODBRIDGE TRAIL TO THE SOUTH, FOREST MEADOW CIR TO THE WEST, AND PLYMOUTH RD TO THE EAST. THE PROPERTY IS LOCATED IN THE MINNEHAHA CREEK WATERSHED DISTRICT, AND ENCOMPASSES 4.67 ACRES.

THE PLANNED SCOPE OF THE PROJECT INCLUDES:

- THE INSTALLATION OF EROSION CONTROL MEASURES AS REQUIRED FOR THE MASS GRADING OF THE SITE FOR THE CONSTRUCTION OF NEW BUILDINGS AND ACCOMPANYING PARKING/DRIVEWAYS
- GRADING AS REQUIRED FOR THE INSTALLATION OF THE STRUCTURES, ROADS, ETC
- INSTALLATION OF SANITARY SEWER, WATERMAIN, AND STORM SEWER.
- PLACEMENT OF CONCRETE AS REQUIRED TO ESTABLISH CURB, GUTTER, AND SIDEWALKS THROUGHOUT THE SITE.
- CONSTRUCTION OF NEW BUILDINGS AND ACCOMPANYING PARKING/DRIVEWAYS

RECEIVING WATERS

THESE WATERS ARE LOCATED WITHIN ONE MILE (AERIAL RADIUS) OF THE PROJECT LIMITS AND RECEIVE RUNOFF FROM THE PROJECT SITE. DUE TO THE PROXIMITY OF THE RECEIVING WATERS, THE BMPS DESCRIBED IN APPENDIX A OF THE NPDES PERMIT MAY APPLY TO ALL AREAS OF THE SITE.

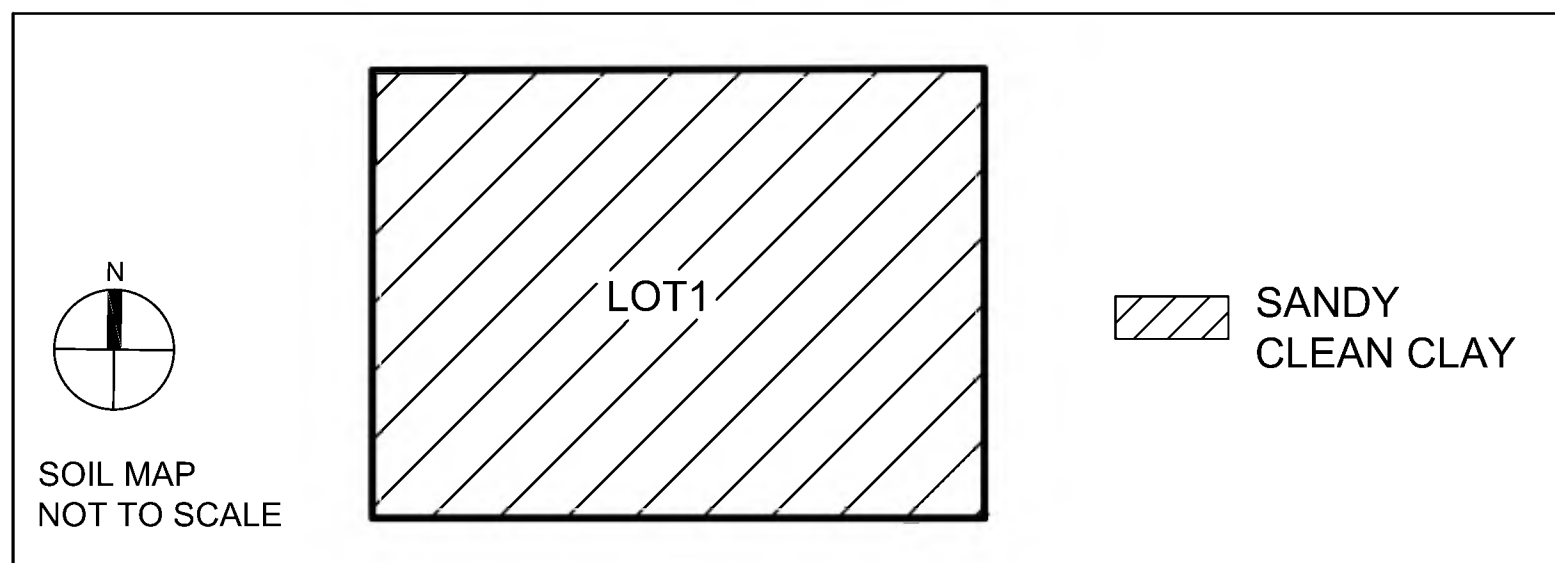


WATERS WITHIN 1 MILE RADIUS

NAME OF WATER BODY	TYPE (LAKE, RIVER, WETLAND, DITCH, ETC)	APPENDIX A SPECIAL WATER (YES OR NO)	IMPAIRED WATER WITHIN 1 MILE OF PROJECT SITE (YES OR NO)	APPROVED TMDL	RECEIVING WATERS (YES OR NO)
MINNEHAHA CREEK	CREEK	NO	YES	YES	NO
CRANE LAKE	LAKE	NO	NO	YES	NO

SOIL TYPES

SOIL TYPES TYPICALLY FOUND ON THIS PROJECT RANGE FROM SANDY LEAN CLAY, CLAYEY SAND, & SILTY SAND PER SOIL BORINGS TAKEN BY KILO ENGINEERING ON 09/14/2021. REPORT IS TO BE KEPT ON SITE AS PART OF THE SWPPP & IS TO BE MADE AVAILABLE UPON REQUEST.



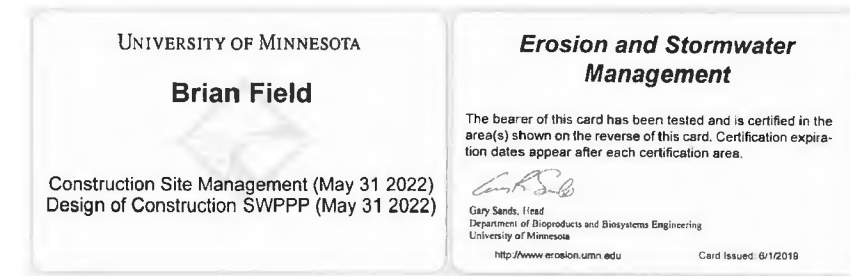
PROJECT PERSONNEL AND TRAINING

THIS SWPPP WAS PREPARED BY PERSONNEL THAT ARE VERIFIED IN THE DESIGN OF CONSTRUCTION SWPPP. COPIES OF THE CERTIFICATIONS ARE ON FILE WITH THE ENGINEER.

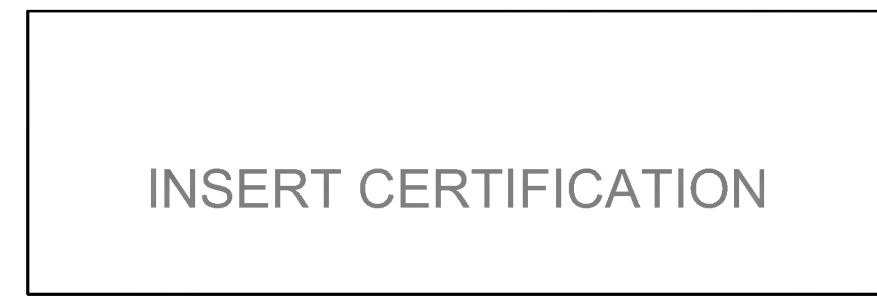
PROVIDE A CERTIFIED EROSION CONTROL SUPERVISOR IN GOOD STANDING WHO IS KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES. THE EROSION CONTROL SUPERVISOR WILL WORK WITH THE PROJECT ENGINEER / SWPPP DESIGNER TO OVERSEE THE IMPLEMENTATION OF THE SWPPP AND THE INSTALLATION, INSPECTION, AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMPS BEFORE, DURING, AND AFTER CONSTRUCTION UNTIL THE NOTICE OF TERMINATION (NOT) HAS BEEN FILED WITH THE MPCA. PROVIDE PROOF OF CERTIFICATION AT THE RECONSTRUCTION MEETING. WORK WILL NOT BE ALLOWED TO COMMENCE UNTIL PROOF OF CERTIFICATION HAS BEEN PROVIDED TO THE PROJECT ENGINEER.

PROVIDE AT LEAST ONE CERTIFIED INSTALLER FOR EACH CONTRACTOR OR SUBCONTRACTOR THAT INSTALLS THE PRODUCTS LISTED IN SPECIFICATION SECTION 2573.3.A.2 CERTIFIED INSTALLERS. PROVIDE PROOF OF CERTIFICATION AT THE RECONSTRUCTION MEETING. WORK WILL NOT BE ALLOWED TO COMMENCE UNTIL PROOF OF CERTIFICATION HAS BEEN PROVIDED TO THE PROJECT ENGINEER.

DESIGN OF CONSTRUCTION SWPPP



CONSTRUCTION INSTALLER



CONSTRUCTION SITE MANAGEMENT



CHAIN OF RESPONSIBILITY

THE OWNER AND CONTRACTOR ARE CO-PERMITTEES FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION PERMIT. THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL ASPECTS OF THE NPDES CONSTRUCTION PERMIT AT ALL TIMES UNTIL THE NOTICE OF TERMINATION (NOT) HAS BEEN FILED WITH THE MPCA. THE CONTRACTOR WILL DEVELOP A CHAIN OF COMMAND WITH ALL OPERATORS ON THE SITE TO ENSURE THAT THE SWPPP WILL BE IMPLEMENTED AND STAY IN EFFECT UNTIL THE CONSTRUCTION PROJECT IS COMPLETE. THE ENTIRE SITE HAS UNDERGONE FINAL STABILIZATION, AND A NOTICE OF TERMINATION (NOT) HAS BEEN SUBMITTED TO THE MPCA.

PROJECT CONTACTS

THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP AND INSTALLATION, INSPECTION, AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMPS BEFORE, DURING, AND AFTER CONSTRUCTION UNTIL THE NOTICE OF TERMINATION (NOT) HAS BEEN FILED.

CONTACT INFORMATION		
ORGANIZATION	CONTACT NAME	PHONE
AIRBORNE WOODHAVEN (OWNER)		
ANDERSON ENGINEERING (SWPPP DESIGN)	BRIAN FIELD*	763-412-4000
CONTRACTOR		

*CERTIFIED FOR DESIGN OF CONSTRUCTION SWPPP BY UNIVERSITY OF MINNESOTA, EXPIRES 5/31/22

MPCA DUTY OFFICER 24 HOUR EMERGENCY NOTIFICATION:
651-649-5451 OR 800-422-0798

SITE INSPECTION AND MAINTENANCE

CONTRACTOR SHALL PROVIDE NAME, CONTACT INFO, AND TRAINING DOCUMENTATION FOR THE PERSON RESPONSIBLE FOR SWPPP IMPLEMENTATION AND INSPECTION/MAINTENANCE OF BMPS.

INSPECT THE ENTIRE CONSTRUCTION SITE A MINIMUM OF ONCE EVERY SEVEN DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES WITHIN A 24 HOUR TIME FRAME. INSPECT ALL TEMPORARY AND PERMANENT WATER QUALITY MANAGEMENT, EROSION PREVENTION AND SEDIMENT CONTROL BMPS UNTIL THE SITE HAS UNDERGONE FINAL STABILIZATION AND THE N.O.T. HAS BEEN SUBMITTED. INSPECT SURFACE WATER INCLUDING DRAINAGE DITCHES FOR SIGNS OF EROSION AND SEDIMENT DEPOSITION. INSPECT CONSTRUCTION SITE VEHICLE EXIT LOCATIONS FOR EVIDENCE OF TRACKING ONTO PAVED SURFACES. INSPECT SURROUNDING PROPERTIES FOR EVIDENCE OF OFF SITE SEDIMENT ACCUMULATION.

RAINFALL AMOUNTS MUST BE OBTAINED BY A PROPERLY MAINTAINED RAIN GAUGE INSTALLED ONSITE, OR BY A WEATHER STATION THAT IS WITHIN ONE MILE OR BY A WEATHER REPORTING SYSTEM. A RAIN GAUGE IS PREFERRED FOR THIS PROJECT.

RECORD ALL INSPECTIONS AND MAINTENANCE ACTIVITIES IN WRITING WITHIN 24 HOURS. SUBMIT INSPECTION REPORTS IN A FORMAT THAT IS ACCEPTABLE TO THE PROJECT ENGINEER.

FOR PROJECTS THAT DISCHARGE TO PROHIBITED WATERS, CONDUCT ROUTINE SITE INSPECTIONS AT A MINIMUM OF ONCE EVERY 72 HOURS (3 DAYS).

INCLUDE THE FOLLOWING IN THE RECORDS OF EACH INSPECTION AND MAINTENANCE ACTIVITY:

- DATE AND TIME OF INSPECTIONS
- NAME OF PERSONS CONDUCTING INSPECTIONS
- FINDINGS OF INSPECTIONS, INCLUDING RECOMMENDATIONS FOR CORRECTIVE ACTIONS
- CORRECTIVE ACTION TAKEN, INCLUDING DATES, TIMES, AND PARTY COMPLETING MAINTENANCE ACTIVITIES
- DATE AND AMOUNT OF ALL RAINFALL EVENTS GREATER THAN 0.5 INCH IN 24 HOURS
- DOCUMENTS AND CHANGES MADE TO THE SWPPP
- MAKE NOTE OF ANY OBSERVATIONS OF DISCHARGE THAT MAY BE OCCURRING DURING THE INSPECTION. THIS SHOULD BE DESCRIBED IN DETAIL AND PHOTOGRAPHED.

REPLACE, REPAIR OR SUPPLEMENT ALL NONFUNCTIONAL BMPS BY IN THE TIME PROVIDED BELOW:

- REPAIR, REPLACE, OR SUPPLEMENT PERIMETER CONTROL DEVICES WHEN IT BECOMES NONFUNCTIONAL OR SEDIMENT REACHES ½ THE HEIGHT OF THE DEVICE. COMPLETE REPAIRS BY THE END OF THE NEXT BUSINESS DAY FOLLOWING DISCOVERY.
- REPAIR OR REPLACE INLET PROTECTION DEVICES WHEN THEY BECOME NONFUNCTIONAL OR SEDIMENT REACHES ½ THE HEIGHT AND/OR DEPTH OF THE DEVICE. COMPLETE REPAIRS BY THE END OF THE NEXT BUSINESS DAY FOLLOWING DISCOVERY.
- DRAIN AND REMOVE SEDIMENT FROM TEMPORARY AND PERMANENT SEDIMENT BASINS ONCE THE SEDIMENT HAS REACHED ½ THE STORAGE VOLUME.
- REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATER INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS. RESTABILIZED ANY AREAS THAT ARE DISTURBED BY SEDIMENT REMOVAL OPERATION. SEDIMENT REMOVAL AND STABILIZATION MUST BE COMPLETED WITHIN 7 DAYS OF DISCOVERY. PREPARE AND SUBMIT A SITE

MANAGEMENT PLAN FOR WORKING IN SURFACE WATERS.

- REMOVE TRACKED SEDIMENT FROM PAVED SURFACES BOTH ON AND OFF SITE WITHIN 24 HOURS OF DISCOVERY. STREET SWEEPING MAY HAVE TO OCCUR MORE OFTEN TO MINIMIZE OFF SITE IMPACTS. LIGHTLY WET THE PAVEMENT PRIOR TO SWEEPING
- MAINTAIN ALL BMPS UNTIL WORK HAS BEEN COMPLETED, SITE HAS GONE UNDER FINAL STABILIZATION, AND THE NOTICE OF TERMINATION (NOT) HAS BEEN SUBMITTED TO THE MPCA.

AREA SUMMARY

ACREAGE SUMMARY	
AREA	ACRES
PROPERTY	4.67
DISTURBED	3.83
IMP. PRE-CONSTRUCTION	0.25
IMP. POST-CONSTRUCTION	1.00
PERVIOUS AT COMPLETION	3.67

SPECIAL SITE NOTES

IF SITE REQUIRES PERMANENT STORMWATER MANAGEMENT HYDROLOGIC AND WATER QUALITY MODELING DATA IS AVAILABLE UPON REQUEST.

THE SWPPP COORDINATOR MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY THE MPCA AND SHALL BE RESPONSIBLE FOR THE FOLLOWING:

- SUBMIT THE NPDES PERMIT APPLICATION AND COMPLY WITH ALL REQUIREMENTS
- IMPLEMENT THE SWPPP.
- OVERSEE INSTALLATION AND MAINTENANCE PRACTICES AND REPAIRS IDENTIFIED IN THE SWPPP.
- IMPLEMENT AND OVERSEE EMPLOYEE TRAINING AND RECORD IN OR WITH THE SWPPP.
- CONDUCT OR PROVIDE FOR INSPECTION AND MONITORING ACTIVITIES AND MAINTAIN LOGS AS PERMIT REQUIRES.
- IDENTIFY OTHER POTENTIAL POLLUTANT SOURCES NOT LISTED IN THE SWPPP AND ADD THEM.
- IDENTIFY ANY DEFICIENCIES IN THE SWPPP AND CORRECT THEM.
- ENSURE THAT CHANGES TO CONSTRUCTION PLANS ARE ADDRESSED IN THE SWPPP.
- FILE THE NOTICE OF TERMINATION UPON PROJECT COMPLETION.

AFTER THE NOTICE OF TERMINATION HAS BEEN FILED, THE OWNER SHALL BE RESPONSIBLE FOR ASSIGNING RESPONSIBILITY FOR PERMANENT MAINTENANCE MEASURES.

PERMITS

THE FOLLOWING PERMITS APPLY TO THIS PROJECT:

AGENCY	TYPE OF PERMIT	PERMIT # AND DATES
MINNESOTA POLLUTION CONTROL AGENCY (MPCA)	NPDES CONSTRUCTION PERMIT	
CITY OF MINNETONKA	GRADING PERMIT	
CITY OF MINNETONKA	BUILDING PERMIT	

LOCATION OF SWPPP REQUIREMENTS

THE REQUIRED SWPPP ELEMENTS MAY BE LOCATED IN MANY PLACES WITHIN THE PLAN SET. PLAN VIEW OF THE EROSION CONTROL MEASURES CAN BE FOUND OF SHEET C9 - EROSION & SEDIMENT CONTROL PLAN OF THE PLANS.

SWPPP AMENDMENTS

A QUALIFIED INDIVIDUAL MUST COMPLETE ALL SWPPP CHANGES. CHANGES INVOLVING THE USE OF A LESS STRINGENT BMP MUST INCLUDE A JUSTIFICATION DESCRIBING HOW THE REPLACEMENT BMP IS EFFECTIVE FOR THE SITE CHARACTERISTICS.

PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPS AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OF ADDRESS SITUATIONS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION OPERATION, MAINTENANCE, WEATHER, OR SEASONAL CONDITIONS HAVING A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER.

PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPS AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER INSPECTIONS OR INVESTIGATIONS BY THE SITE OWNER OR OPERATOR, USEPA OR MPCA OFFICIALS INDICATE THE SWPPP IS NOT EFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER OR THE DISCHARGES ARE CAUSING WATER QUALITY STANDARD EXCEEDANCE OR THE SWPPP IS NOT CONSISTENT WITH THE OBJECTIVES OF A USEPA APPROVED TMDL.

STABILIZATION TIME FRAMES

ALL AREAS DISTURBED BY CONSTRUCTION WILL RECEIVE SEED OR SOD ACCORDING TO THE PLANS AND SPECIFICATIONS AND WITHIN THE SPECIFIED VEGETATIVE TIME SCHEDULE. FINAL STABILIZATION WILL OCCUR WHEN THE SITE HAS A UNIFORM VEGETATIVE COVER WITH A DENSITY OF 70% OVER THE ENTIRE DISTURBED AREA COMPARED TO EXISTING CONDITIONS. ALL TEMPORARY SYNTHETIC EROSION PREVENTION AND SEDIMENT CONTROL BMPS MUST BE REMOVED AS PART OF THE SITE FINAL STABILIZATION. ALL SEDIMENT MUST BE CLEANED OUT OF CONVEYANCES AND TEMPORARY SEDIMENTATION BASINS IF APPLICABLE. STABILIZATION TIME FRAMES CAN BE SEEN ON THE FOLLOWING TABLE AND THE FOLLOWING SHEET OF THE SWPPP NARRATIVE.

AREA	TIME FRAME	NOTES
LAST 200 LINEAL FEET OF DRAINAGE DITCH OR SWALE	WITHIN 24 HOURS OF CONNECTION TO SURFACE WATER OR PROPERTY EDGE	1, 2, 3
REMAINING PORTIONS OF DRAINAGE DITCH OR SWALE	7 DAYS	1, 3
PIPE AND CULVERT OUTLETS	24 HOURS	
STOCKPILES	7 DAYS	1
PERMANENT COVER METHODS FOR EXPOSED SOILS	7 DAYS	6



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SWPPP - PG1

DRAWING NO.

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STORM WATER POLLUTION PREVENTION PLAN NARRATIVE - PAGE 2 OR 2

- INITIATE INLET STABILIZATION IMMEDIATELY WHEN CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED ON ANY PORTION OF THE SITE. COMPLETE STABILIZATION WITHIN THE TIME FRAME LISTED. IN MANY INSTANCES THIS WILL REQUIRE STABILIZATION TO OCCUR MORE THAN ONCE DURING THE COURSE OF THE PROJECT. TEMPORARY SOIL STOCKPILES WITHOUT SIGNIFICANT CLAY OR SILT AND STOCKPILED AND CONSTRUCTED ROAD BASE ARE NOT APPROPRIATE AND THEREFORE EXEMPT FROM THE STABILIZATION REQUIREMENT.
- APPLICATION OF MULCH, HYDROMULCH, TACKIFIER AND POLYACRYLAMIDE ARE NOT ACCEPTABLE STABILIZATION METHODS IN THESE AREAS.
- STABILIZE ALL AREAS OF THE SITE PRIOR TO THE ONSET OF WINTER, ANY WORK STILL BEING PERFORMED WILL BE SNOW MULCHED, SEEDED, AND BLANKETED WITHIN THE TIME FRAMES IN THE NPDES PERMIT.
- TOPSOIL BERMS MUST BE STABILIZED IN ORDER TO BE CONSIDERED PERIMETER CONTROL BMPS. USE RAPID STABILIZATION METHOD 2, 3, OR 4 AS DIRECTED BY THE ENGINEER. THE SEED MIX USED IN THE RAPID STABILIZATION MAY BE SUBSTITUTED AS FOLLOWS:
 - SINGLE YEAR CONSTRUCTION BETWEEN MAY 1 - AUGUST 1, SEED WITH SEED MIXTURE 21.111
 - SINGLE YEAR CONSTRUCTION BETWEEN AUGUST 1 AND OCTOBER 31, SEED WITH SEED MIXTURE 21-112
 - MULTI YEAR CONSTRUCTION 22-111
- KEEP DITCHES AND EXPOSED SOILS IN AN EVEN ROUGH GRADED CONDITION IN ORDER TO BE ABLE TO APPLY EROSION CONTROL MULCHES, HYDROMULCHES AND BLANKETS.
- AREAS THAT HAVE SLOPES LESS THAN 3:1 TO RECEIVE HYDROMULCH APPLICATION. AREAS WITHIN LAST 200 LINEAL FEET OF DRAINAGE DITCH OR SWALE & AREAS WITH SLOPES GRATER THAN 3:1, TO RECEIVE A COVER OF EROSION CONTROL BLANKET.
- TEMPORARY OR PERMANENT DITCHES OR SWALES THAT ARE BEING USED AS A SEDIMENT CONTAINMENT SYSTEM DURING CONSTRUCTION MUST BE STABILIZED WITHIN 24 HOURS AFTER NO LONGER BEING USED AS A SEDIMENT CONTAINMENT SYSTEM.
- SEED SHALL BE APPLIED AT A RATE AS SPECIFIED PER MNDOT SEEDING MANUAL. WITH 2 TONS SHREDDED AND PUNCHED IN PLACE STRAW PER ACRE. HYDROSEEDING PER MNDOT SPEC SECTION 3884 & MULCHING IS AN ACCEPTABLE ALTERNATE FOR COVER.

GENERAL SWPPP NOTES FOR CONSTRUCTION ACTIVITY

- CONTRACTOR SHALL AMEND THE SWPPP AND DOCUMENT ANY AND ALL CHANGES TO THE SWPPP AND ASSOCIATED PLAN SHEETS WITHIN 7 DAYS UPON IMPLEMENTATION. STORE THE SWPPP AND ALL AMENDMENTS ON SITE AT ALL TIMES.
- PREPARE AND SUBMIT A SITE MANAGEMENT PLAN FOR THE ENGINEER'S ACCEPTANCE FOR CONCRETE MANAGEMENT, CONCRETE SLURRY APPLICATION AREAS, WORK IN AND NEAR AREAS OF ENVIRONMENTAL SENSITIVITY, AREAS IDENTIFIED IN THE PLANS AS "SITE MANAGEMENT PLAN AREA", ANY WORK THAT WILL REQUIRE DEWATERING, AND AS REQUESTED BY THE ENGINEER. SUBMIT ALL SITE MANAGEMENT PLANS TO THE ENGINEER IN WRITING. ALLOW ALL MINIMUM OF 7 DAYS FOR THE ENGINEER TO REVIEW AND ACCEPT SITE MANAGEMENT PLAN SUBMITTALS. WORK WILL NOT BE ALLOWED TO COMMENCE IF A SITE MANAGEMENT PLAN IS REQUIRED UNTIL ACCEPTANCE HAS BEEN GRANTED BY THE ENGINEER. THERE WILL BE NO EXTRA TIME ADDED TO THE CONTRACT DUE TO THE UNTIMELY SUBMITTAL.
- IT IS THE DESIGNER'S INTENT THAT THE CONTRACTOR BUILD PONDS AND INSTALL EROSION CONTROL BMPS BEFORE PUTTING THEM INTO ACTIVE SERVICE TO THE MAXIMUM EXTENT PRACTICABLE.
- BURNING OF ANY MATERIAL IS NOT ALLOWED WITHIN PROJECT BOUNDARY.
- DO NOT DISTURB AREAS OUTSIDE OF THE CONSTRUCTION LIMITS. DELINEATE AREAS NOT TO BE DISTURBED PRIOR TO STARTING GROUND DISTURBING ACTIVITIES. IF IT BECOMES NECESSARY TO DISTURBED AREAS OUTSIDE OF THE CONSTRUCTION LIMITS OBTAIN WRITTEN PERMISSION FROM THE PROJECT ENGINEER PRIOR TO PROCEEDING. PRESERVE ALL NATURAL BUFFERS SHOWN ON THE PLANS.
- ROUT STORMWATER AROUND UNSTABILIZED AREAS OF THE SITE WHENEVER FEASIBLE. PROVIDE EROSION CONTROL AND VELOCITY DISSIPATION DEVICES AS NEEDED TO KEEP CHANNELS FROM ERODING AND TO PREVENT NUISANCE CONDITIONS AT THE OUTLET.
- DIRECT DISCHARGES FROM BMPS TO VEGETATED AREA WHENEVER FEASIBLE. PROVIDE VELOCITY DISSIPATION DEVICES AS NEEDED TO PREVENT EROSION.
- THE EROSION PREVENTION AND SEDIMENT CONTROL BMPS SHALL BE PLACED AS NECESSARY TO MINIMIZE EROSION FROM DISTURBED SURFACES AND TO CAPTURE SEDIMENT ON SITE. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY REMOVAL WORK AND/OR GROUND DISTURBING ACTIVITIES COMMENCE.
- ESTABLISH SEDIMENT CONTROL DEVICES ON ALL DOWN GRADIENT PERIMETERS AND UP GRADIENT OF ANY BUFFER ZONES BEFORE AND UP GRADIENT LAND DISTURBING ACTIVITIES BEGIN. MAINTAIN SEDIMENT CONTROL DEVICES UNTIL CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- LOCATE PERIMETER CONTROL ON THE CONTOUR TO CAPTURE OVERLAND, LOW-VELOCITY SHEET FLOWS DOWN GRADIENT OF ALL EXPOSED SOILS AND PRIOR TO DISCHARGING TO SURFACE WATERS. PLACE J-HOOKS AT A MAXIMUM OF 100 FOOT INTERVALS.
- PROVIDE PERIMETER CONTROL AROUND ALL STOCKPILES. PLACE BMP A MINIMUM 5 FEET FROM THE TOE OF SLOPE WHERE FEASIBLE. DO NOT PLACE STOCKPILES IN NATURAL BUFFER AREAS, SURFACE WATERS OR STORMWATER CONVEYANCES.
- FLOATING SILT CURTAIN IS ALLOWED AS PERIMETER CONTROL FOR IN WATER WORK ONLY. INSTALL THE FLOATING SILT CURTAIN AS CLOSE TO SHORE AS POSSIBLE. PLACE PERIMETER CONTROL BMP ON LAND IMMEDIATELY AFTER THE IN WATER WORK IS COMPLETED.
- DITCH CHECKS WILL BE PLACED AS INDICATED ON THE PLANS DURING ALL PHASES OF CONSTRUCTION.
- PLACE CONSTRUCTION EXITS, AS NECESSARY, TO PREVENT TRACKING OF SEDIMENT ONTO PAVED SURFACES BOTH ON AND OFF THE PROJECT SITE. PROVIDE CONSTRUCTION EXITS OF SUFFICIENT SIZE TO PREVENT TRACK OUT. MAINTAIN CONSTRUCTION EXITS WHEN EVIDENCE OF TRACKING IS DISCOVERED. REGULAR STREET SWEEPING IS NOT AN ACCEPTABLE ALTERNATIVE TO PROPER CONSTRUCTION EXIT INSTALLATION AND MAINTENANCE. CONSTRUCTION EXITS ARE INCIDENTAL.
- DISCHARGE TURBID OR SEDIMENT LADEN WATER TO TEMPORARY SEDIMENT BASINS WHENEVER FEASIBLE. IN THE EVENT THAT IT IS NOT FEASIBLE TO DISCHARGE THE SEDIMENT LADEN WATER TO A TEMPORARY SEDIMENT BASIN, THE WATER MUST BE TREATED SO THAT IT DOES NOT CAUSE A NUISANCE CONDITION IN THE RECEIVING WATERS OR TO DOWNSTREAM LANDOWNERS. CLEAN OUT ALL PERMANENT STORMWATER BASINS REGARDLESS OF WHETHER USED AS TEMPORARY SEDIMENT BASINS OR TEMPORARY SEDIMENT TRAPS TO THE DESIGN CAPACITY AFTER ALL UP GRADIENT LAND DISTURBING ACTIVITY IS COMPLETED.
- PROVIDE SCOUR PROTECTION AT ANY OUTFALL OF DEWATERING ACTIVITIES.
- PROVIDE STABILIZATION IN ANY TRENCHES CUT FOR DEWATERING OR SITE DRAINING PURPOSES.

POLLUTION PREVENTION

- PROVIDE A SPILL KIT AT EACH WORK LOCATION ON THE SITE.
- STORE ALL BUILDING MATERIALS THAT HAVE THE POTENTIAL TO LEACH POLLUTANTS, PESTICIDES, HERBICIDES, INSECTICIDES, FERTILIZERS, TREATMENT CHEMICALS, AND LANDSCAPE MATERIALS UNDER COVER WITH SECONDARY CONTAINMENT.
- PROVIDE A SECURE STORAGE AREA WITH RESTRICTED ACCESS FOR ALL HAZARDOUS MATERIALS AND TOXIC WASTE. RETURN ALL HAZARDOUS MATERIALS AND TOXIC WASTE TO THE DESIGNATED STORAGE AREA AT THE END OF THE BUSINESS DAY UNLESS INFEASIBLE. STORE ALL HAZARDOUS MATERIALS AND TOXIC WASTE (INCLUDING BUT NOT LIMITED TO OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT, PETROLEUM BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) IN SEALED CONTAINERS WITH SECONDARY CONTAINMENT. CLEAN UP SPILLS IMMEDIATELY.
- STORE, COLLECT AND DISPOSE OF ALL SOLID WASTE.
- POSITION ALL PORTABLE TOILETS SO THAT THEY ARE SECURE AND CANNOT BE TIPPED OR KNOCKED OVER. PROPERLY DISPOSE OF ALL SANITARY WASTE.
- FUEL AND MAINTAIN VEHICLES IN A DESIGNATED CONTAINED AREA WHENEVER FEASIBLE. USE DRIP PANS OR ABSORBENT MATERIALS TO PREVENT SPILLS OR LEAKED CHEMICALS FORM DISCHARGING TO SURFACE WATER OR STORMWATER CONVEYANCES. PROVIDE A SPILL KIT AT EACH LOCATION THAT VEHICLES AND EQUIPMENT ARE FUELED OR MAINTAINED AT.
- LIMIT VEHICLE AND EQUIPMENT WASHING TO A DEFINED AREA OF THE SITE. CONTAIN RUNOFF FROM THE WASHING AREA TO A TEMPORARY SEDIMENT BASIN OR OTHER EFFECTIVE CONTROL. PROPERLY DISPOSE OF ALL WASTE GENERATED BY VEHICLE AND EQUIPMENT WASHING. ENGINE DEGREASING IS NOT ALLOWED ON THE SITE.
- PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OF CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS. LIQUID AND SOLID WASHOUT WASTES MUST NOT CONTACT THE GROUND. DESIGN THE CONTAINMENT SO THAT IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR CONTAINMENT AREA.
- CREATE AND FOLLOW A WRITTEN DISPOSAL PLAN FOR ALL WASTE MATERIALS. INCLUDE IN THE PLAN HOW THE MATERIAL WILL BE DISPOSED OF AND THE LOCATION OF THE DISPOSAL SITE. SUBMIT PLAN TO THE ENGINEER.
- USE METHODS AND OPERATIONAL PROCEDURES THAT PREVENT DISCHARGE OR PLACEMENT OF BITUMINOUS GRINDINGS, CUTTING, MILLINGS, AND OTHER BITUMINOUS WASTES FROM AREAS OF EXISTING OR FUTURE VEGETATED SOILS AND FROM ALL WATER CONVEYANCE SYSTEMS, INCLUDING INLETS, DITCHES AND CURB FLOW LINES.
- USE METHODS AND OPERATIONAL PROCEDURES THAT PREVENT CONCRETE DUST, PARTICLES, CONCRETE WASH OUT, AND OTHER CONCRETE WASTES FROM LEAVING SITE, DEPOSITING IN EXISTING OR FUTURE VEGETATED AREAS, AND FROM ENTERING STORMWATER CONVEYANCE SYSTEMS, INCLUDING INLETS, DITCHES AND CURB FLOW LINES. USE METHODS AND OPERATIONAL PROCEDURES THAT PREVENT SAW CUT SLURRY AND PLANING WASTE FROM LEAVING SITE AND FROM ENTERING STORMWATER CONVEYANCE SYSTEMS INCLUDING DITCHES AND CULVERTS.

RECORD RETENTION

THE SWPPP, ALL CHANGES TO IT AND INSPECTION AND MAINTENANCE RECORDS MUST BE KEPT ON-SITE DURING CONSTRUCTION. THE OWNER MUST RETAIN A COPY OF THE SWPPP ALONG WITH THE FOLLOWING RECORDS FOR THREE (3) YEARS AFTER SUBMITTAL OF THE NOTICE OF TERMINATION (NOT).

- ANY OTHER PERMITS REQUIRED FOR THE PROJECT.
- RECORDS OF ALL INSPECTION AND MAINTENANCE CONDUCTED DURING CONSTRUCTION
- ALL PERMANENT OPERATIONS AND MAINTENANCE AGREEMENT THAT HAVE BEEN IMPLEMENTED INCLUDING ALL RIGHT OF WAY, CONTRACTS, COVENANTS AND OTHER BINDING REQUIREMENTS REGARDING PERPETUAL MAINTENANCE; AND
- ALL REQUIRED CALCULATIONS FOR DESIGN OF THE TEMPORARY AND PERMANENT STORMWATER MANAGEMENT SYSTEMS.

SWPPP SCHEDULE OF INSTALLATION & MAINTENANCE

ITEM	INSTALLATION	INSPECTION & MAINTENANCE	REMOVAL
SILT FENCE	PRIOR TO COMMENCEMENT OF EARTHWORK OPERATIONS.	INSPECT & MAINT. AFTER EACH RUN-OFF EVENT. REMOVE SEDIMENTS AS REQUIRED.	AFTER TRIBUTARY DRAINAGE AREA IS RESTORED.
ROCK CONST. ENTRANCE	PRIOR TO COMMENCEMENT OF EARTHWORK OPERATIONS.	INSPECT REGULARLY. MAINTAIN AS NEEDED.	PRIOR TO PAVING.
OUTLET SKIMMER STRUCTURE	AFTER POND GRADING IS COMPLETED.	INSPECT REGULARLY. MAINTAIN AS NEEDED.	PERMANENT.
RIP-RAP & FILTER	UPON COMPLETION OF POND GRADING, CONC. SWALE CONST. AND OUTLET INSTALLATION.	INSPECT & MAINTAIN AT LEAST ANNUALLY AND AFTER HEAVY RAINFALL EVENT.	PERMANENT.
DETENTION POND	DURING EARTHWORK OPERATIONS.	AFTER HEAVY RAINFALL EVENTS. REMOVE SEDIMENTS AS NEEDED.	PERMANENT.
SEED & MULCH	AFTER POND GRADING IS COMPLETED.	INSPECT & MAINTAIN AFTER HEAVY RAINS. REPLACE WASH-OUT AREAS IMMEDIATELY	NO REMOVAL NECESSARY.
INLET PROTECTION	UPON INLET CONSTRUCTING	WHEN 1/3 CAPACITY OF BMP IS REACHED	AFTER TRIBUTARY AREAS ARE FULLY RESTORED

SITE CONSTRAINTS

THE EXISTING CLAYEY SOILS MAY COLLECT WATER DURING TIMES OF INCLEMENT WEATHER OR SNOW MELT. WATER SHOULD BE REMOVED FROM WITHIN EXCAVATION DURING CONSTRUCTION. THE SITE HAS AN EXISTING WETLAND TO THE NORTH.

LONG TERM MAINTENANCE & OPERATION OF PERMANENT STORMWATER MANAGEMENT AIRBORNE WOODHAVEN IS RESPONSIBLE FOR THE LONG TERM OPERATION & MAINTENANCE OF THE STORMWATER POND LOCATED IN THE SOUTHWEST CORNER OF THE PROPERTY AND ALL OTHER STORMWATER DEVICES ON SITE. AIRBORNE WOODHAVEN PLANS TO ENTER INTO A MAINTENANCE AGREEMENT WITH THE CITY OF MINNETONKA THAT IDENTIFIES THAT AIRBORNE WOODHAVEN IS RESPONSIBLE FOR ONGOING MAINTENANCE, AND HOW RESPONSIBILITY WILL BE TRANSFERRED TO OTHER AGENTS.

MINIMIZE SOIL COMPACTION & PRESERVE TOPSOIL
THE FOLLOWING ACTIONS CAN BE MADE TO MINIMIZE / PREVENT SOIL COMPACTION DURING CONSTRUCTION ACTIVITIES:

- REDUCE CONTACT AREA PRESSURE TO PROTECT TOPSOIL BY INCREASING THE CONTACT AREA OF THE WHEEL. USE WIDE TIRES OR FLOTATION TIRES. USE TIRE INFLATION PRESSURE CONTROL SYSTEM, USE CRAWLER TRACKS ON SENSITIVE SITES.
- REDUCE WHEEL LOAD
- REDUCE WHEEL SLIP
- REDUCE THE NUMBER ON PASSES

SOIL RIPPING / SUBSOILING NOTES

- SOIL RIPPING CAN BE CONDUCTED PRIOR TO OR AFTER TOPSOIL PLACEMENT
- SOIL SHOULD BE RIPPED TO A TARGET DEPTH OF 20 INCHES WITH AN EFFECTIVE DEPTH OF 15-18 INCHES
- SPACING OF THE SHANKS SHOULD BE 30 INCHES
- CALL FOR LOCATES PRIOR TO DEEP SOUL RIPPING.
- SOIL RIPPING IS TO BE USED WHERE TOP SOIL HAS BECOME OVER COMPACTED AND WITHIN INFILTRATION/FILTRATION AREAS.

DESIGN OF TEMPORARY EROSION PREVENTION & SEDIMENT CONTROL BMPS

- THE EXPECTED FREQUENCY OF RAINFALL IS A 1-YEAR EVENT WITH AN INTENSITY OF 2.48 IN/HR FOR A 24 HOUR DURATION.
- EXPECTED FLOW FROM IMPERVIOUS SURFACE IS APPROXIMATELY 1.18 CFS AT IT'S PEAK WITH A VOLUME OF 0.09 ACRE FEET.
- RUNOFF WILL BE CAPTURED VIA STORM SEWER & ROUTED TO THE NEW FILTRATION POND.
- PEAK DISCHARGE RATES WITHIN SWALES AND AT FLARED END SECTIONS ARE TO BE BELOW 5.0 FEET PER SECOND TO PREVENT SCOURING.
- SOIL PARTICLE SIZES EXPECTED TO BE PRESENT ON SITE ARE SANDY CLEAN CLAY SILT OR SMALLER.

PERMANENT STORMWATER MANAGEMENT

FILTRATION BASIN:

A FILTRATION BASIN WILL BE CONSTRUCTED NEAR THE SOUTHWEST CORNER OF THE SITE AND WILL TREAT THE STORMWATER FOR THE SITE. SURFACE AREA OF THE POND WILL BE APPROXIMATELY 12,300 SF. A FILTRATION BENCH WITH A 6" PERFORATED PVC UNDERDRAIN WILL ALSO BE INSTALLED AROUND THE STORMWATER POND. DISCHARGE FROM THE POND WILL BE CONTROLLED BY AN OUTLET CONTROL STRUCTURE (OCS) LOCATED ON THE WEST SIDE OF THE STORMWATER POND AND OUTLETS WEST AND TIES INTO AN EXISTING 18" RCP STORM PIPE. A BROAD CRESTED RIP-RAP EMERGENCY SPILLWAY WILL BE LOCATED IN THE NORTHWEST CORNER OF THE STORMWATER POND. THE SPILLWAY WILL BE 25 FT LONG BY 5 FT WIDE AND 1 FOOT IN HEIGHT. THE BASIN HAS A PEAK DISCHARGE RATE OF 6.55 CFS.

WATER QUALITY & DRAW DOWN TIME:

DUE TO THE POOR UNDERLYING SOILS, INFILTRATION OF THE 1.1" REQUIRED BY THE MINNEHAHA CREEK WATERSHED DISTRICT IS NOT FEASIBLE. PER WATERSHED RULE 6.1.2.1 OF APPENDIX A, FILTRATION WITH AN UNDERDRAIN WILL BE UTILIZED. A 8" WIDE SAND FILTER STRIP (MEDIA MIX D) WILL BE INSTALLED AROUND THE PERMANENT STORAGE OF THE STORMWATER POND. THE STORMWATER POND HAS BEEN SIZED TO TREAT THE FULL AMOUNT OF THE REQUIRED VOLUME ABSTRACTION. RELEASE OF STORMWATER FROM THE POND WILL BE ELEVATED THROUGH A RECTANGULAR NOTCHED CONCRETE WEIR WITHIN OCS-2. THE NOTCH ELEVATION WILL BE THE LOWEST ELEVATION FOR THE POND AND WILL BE SET AT 969.60. THE REQUIRED ABSTRACTION IS CALCULATED FROM THE VOLUME BELOW THE LOWEST OUTLET ELEVATION AND ABOVE THE NWL ELEVATION OF 969.00. PER THE STORMWATER MANAGEMENT PLAN FOUND IN THE CONSTRUCTION DOCS, THE TOTAL VOLUME ABSTRACTION EQUALS 5,031 CF.

THE PROPOSED STORMWATER POND WITH FILTRATION BENCH HAS BEEN SIZED TO ALLOW A DRAWDOWN TIME OF LESS THAN 48 HOURS ACCORDING TO THE MINNEHAHA CREEK WATERSHED DISTRICT DESIGN CRITERIA. BY USING A DESIGN INFILTRATION RATE OF 1.63 IN/HR, THE FILTRATION BENCH SURFACE AREA, AND VOLUME BELOW THE LOWEST OUTLET THE DRAWDOWN TIME HAS BEEN CALCULATED AS FOLLOWS.

$$\text{DRAWDOWN TIME (HR)} = V/VA\left(\frac{1}{2}\right) = 5,031/(1.63 \times 2545)\left(\frac{1}{2}\right) = 14.55 \text{ HR}$$

TOTAL SUSPENDED SOLIDS (TSS) REMOVAL:

THE PROPOSED STORMWATER POND HAS BEEN SIZED AND DESIGNED PER THE MINNEHAHA CREEK WATERSHED DISTRICT TO ENSURE NO NET INCREASE IN TOTAL PHOSPHORUS (TP) OR TOTAL SUSPENDED SOLIDS (TSS) FROM PRE-DEVELOPMENT LAND COVER TO POST-DEVELOPMENT LAND COVER. PER THE MIDS REPORT FOUND IN THE APPENDIX OF THE STORMWATER MANAGEMENT PLAN FOUND IN THE CONSTRUCTION DOCS, THE STORMWATER POND REMOVES 80% OF THE TOTAL ANNUAL TSS DIRECTED FROM THE WATERSHED AND 60% OF THE TOTAL PHOSPHORUS.

NOTICE OF TERMINATION NOTES

- PRIOR TO SUBMITTING A NOTICE OF TERMINATION TO THE MPCA, THE PERMANENT STORMWATER TREATMENT SYSTEM HAS BEEN CONSTRUCTED, INSPECTED, AND IS OPERATING AS DESIGNED.
- SUBMIT NOTICE OF TERMINATION TO THE MPCA ONCE PERMIT TERMINATION CONDITION ARE MET.

ESTIMATED BMPS QUANTITIES

BMP	ORIGINAL ESTIMATE	MODIFICATION	DATE
TEMP. DIVERSION DIKES			
CHECK DAMS			
PERMANENT SEEDING	128,500 SF		
PERMANENT SODDING			
MULCHES (SPECIFY TYPES)			
BIO-ROLL			
SILT FENCING	2,400 LF		
EROSION CONTROL MATS			
STORM DRAIN INLET PROTECTION	5 EACH		
TEMPORARY OR PERMANENT SEDIMENTATION BASINS	1 EACH		
CONSTRUCTION ENTRANCE	1 EACH		
CONCRETE TRUCK WASHOUT	OFF SITE		



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PRINT NAME: BRIAN J. FIELD, PE

SIGNATURE: **NOT FOR CONSTRUCTION**

DATE: 05/02/2022 LICENSE NO. 57224

REVISION LOG

NO.	DATE	DESCRIPTION OF REVISIONS

CITY SUBMITTAL

05/02/2022

DESIGNED: BJF	DRAWN: JPD	CHECKED BY: BJF
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DRAWING TITLE

SWPPP - PG2

DRAWING NO.

C11

PLOTTED: ---	COMM. NO. 16523
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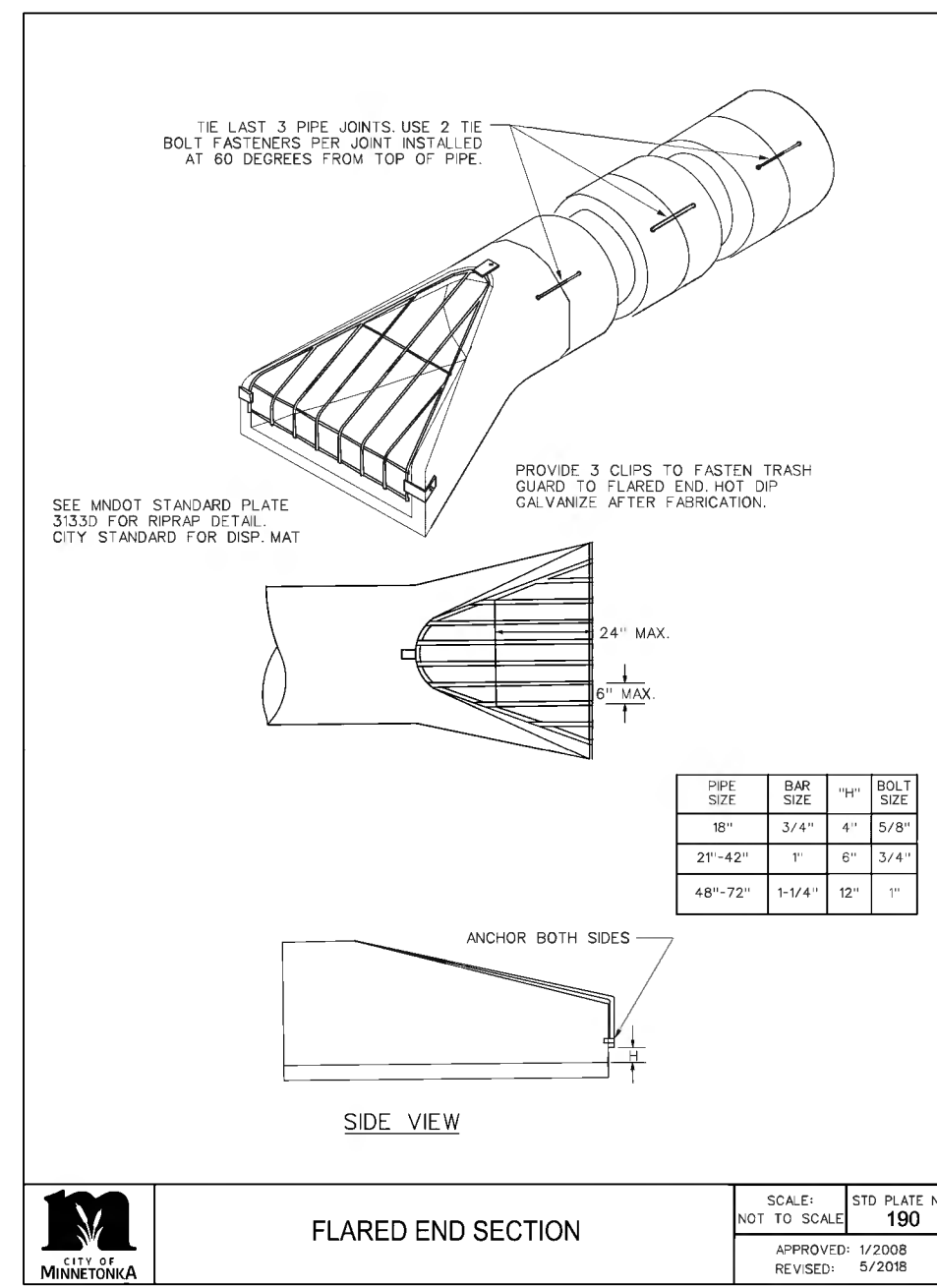
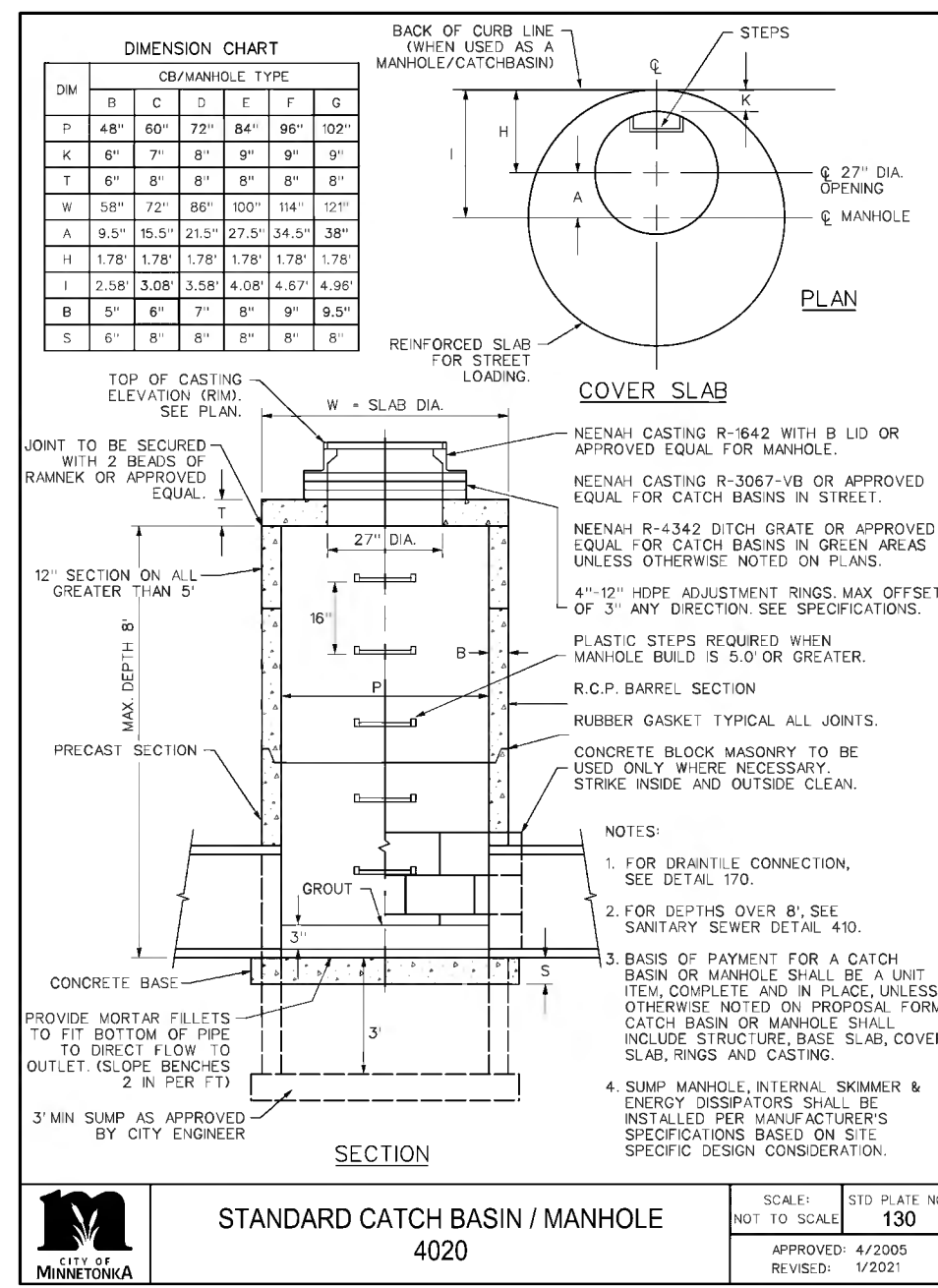
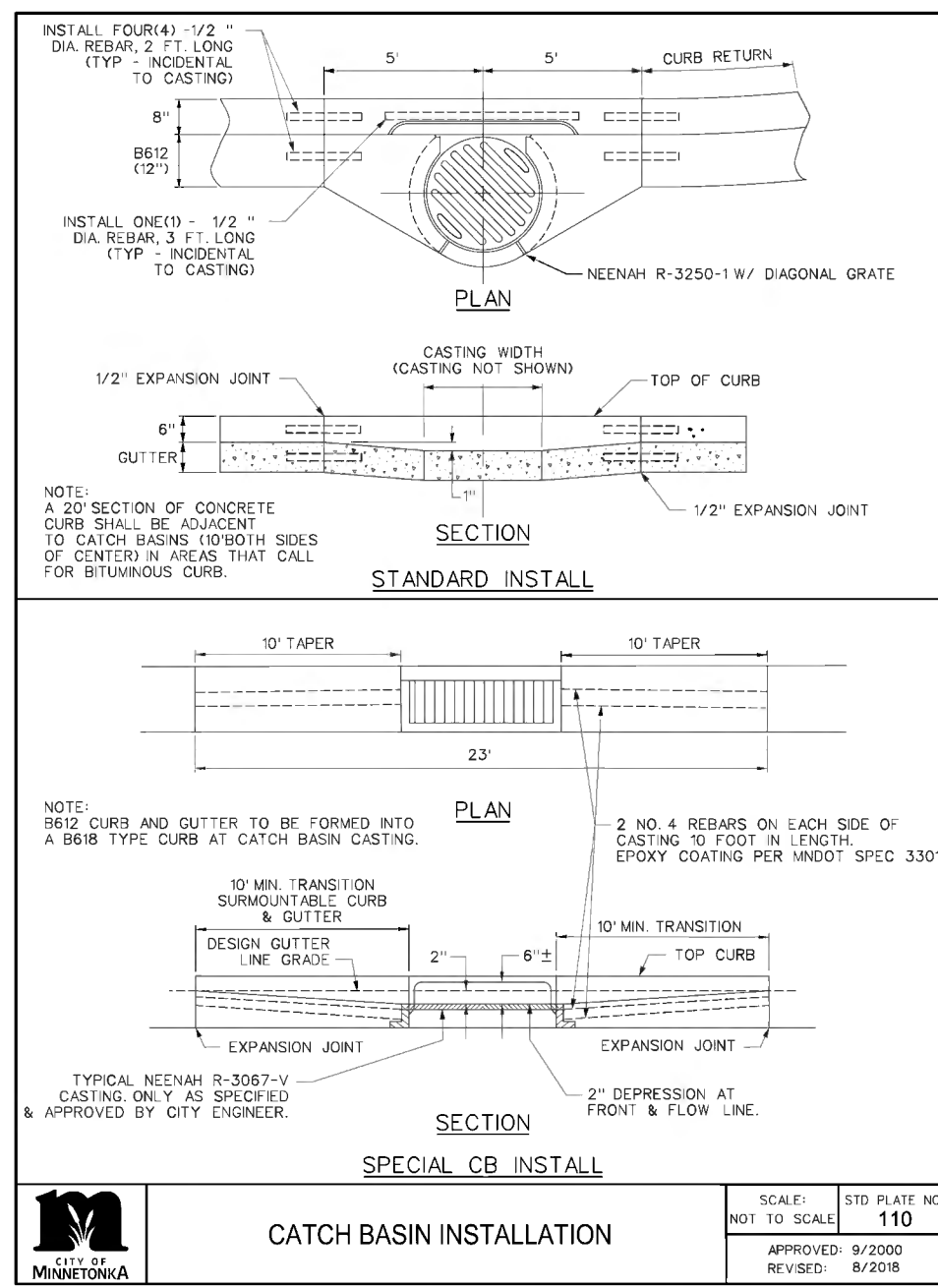


TABLE OF QUANTITIES RIPRAP AT RCP OUTLETS

CLASS II	CLASS III				CLASS IV			
	DEPTH	LENGTH	WIDTH	AREA	DEPTH	LENGTH	WIDTH	AREA
18"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
24"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
30"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
36"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
42"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
48"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0

TABLE OF QUANTITIES RIPRAP AT RCP INLETS

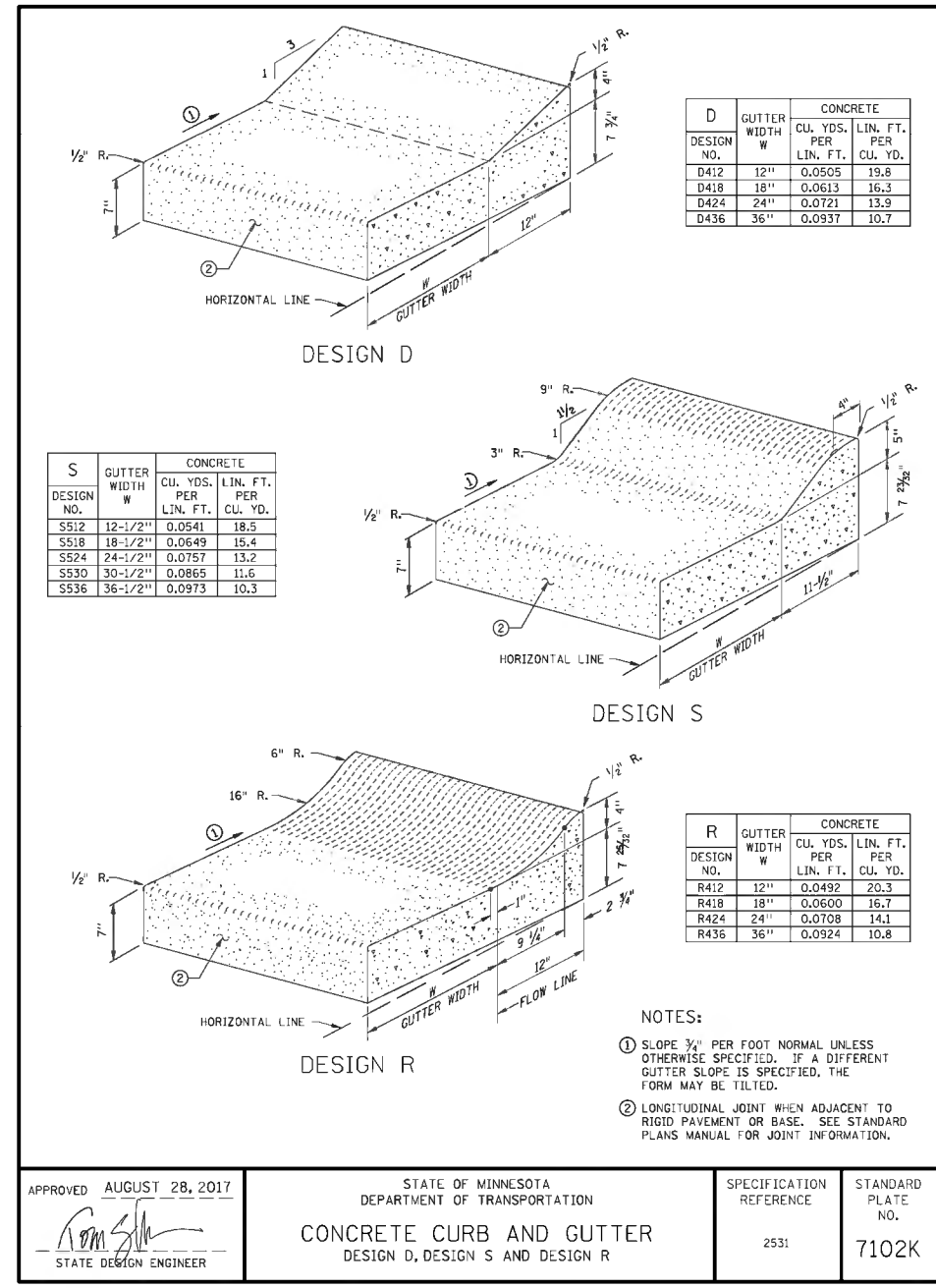
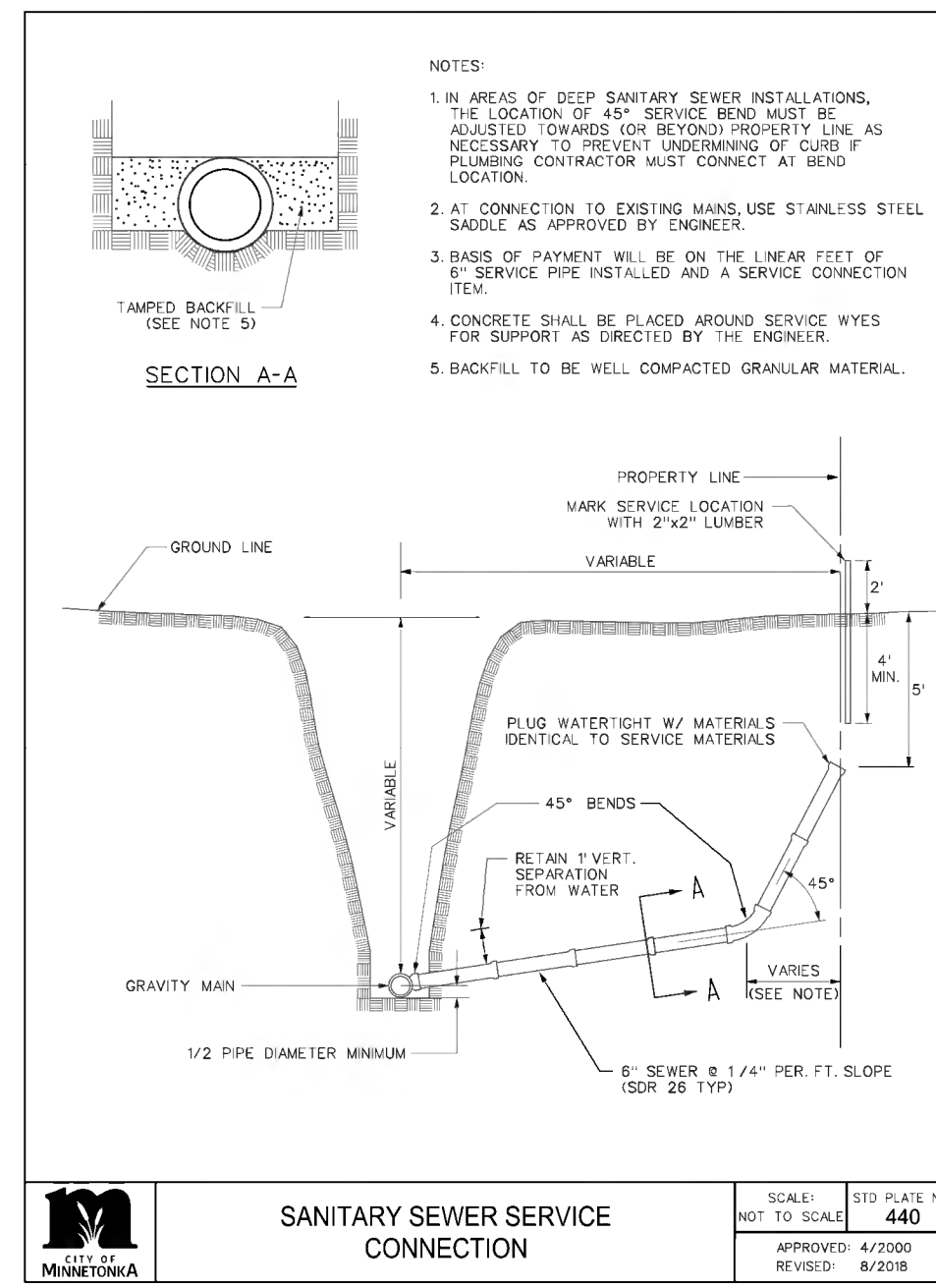
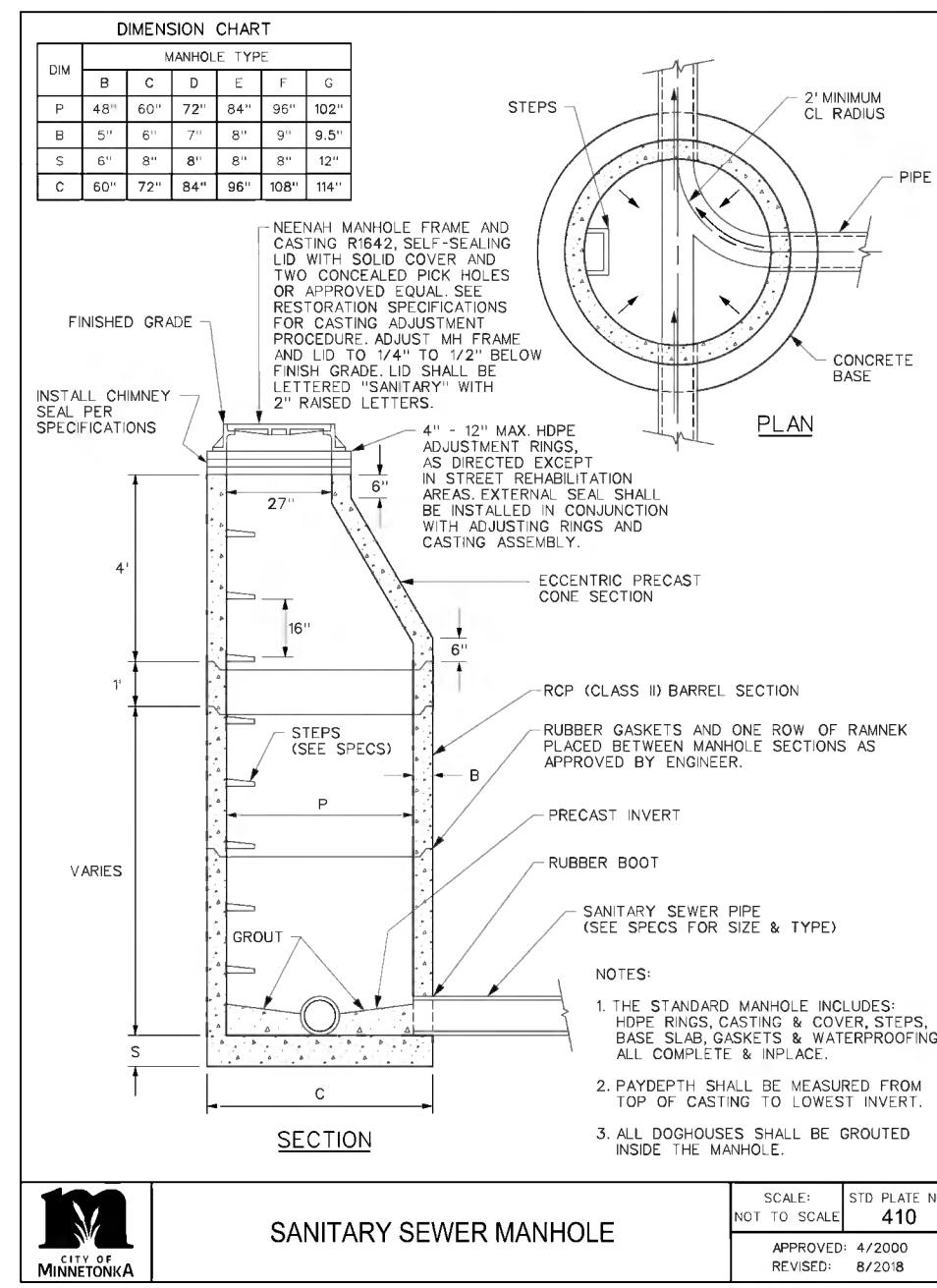
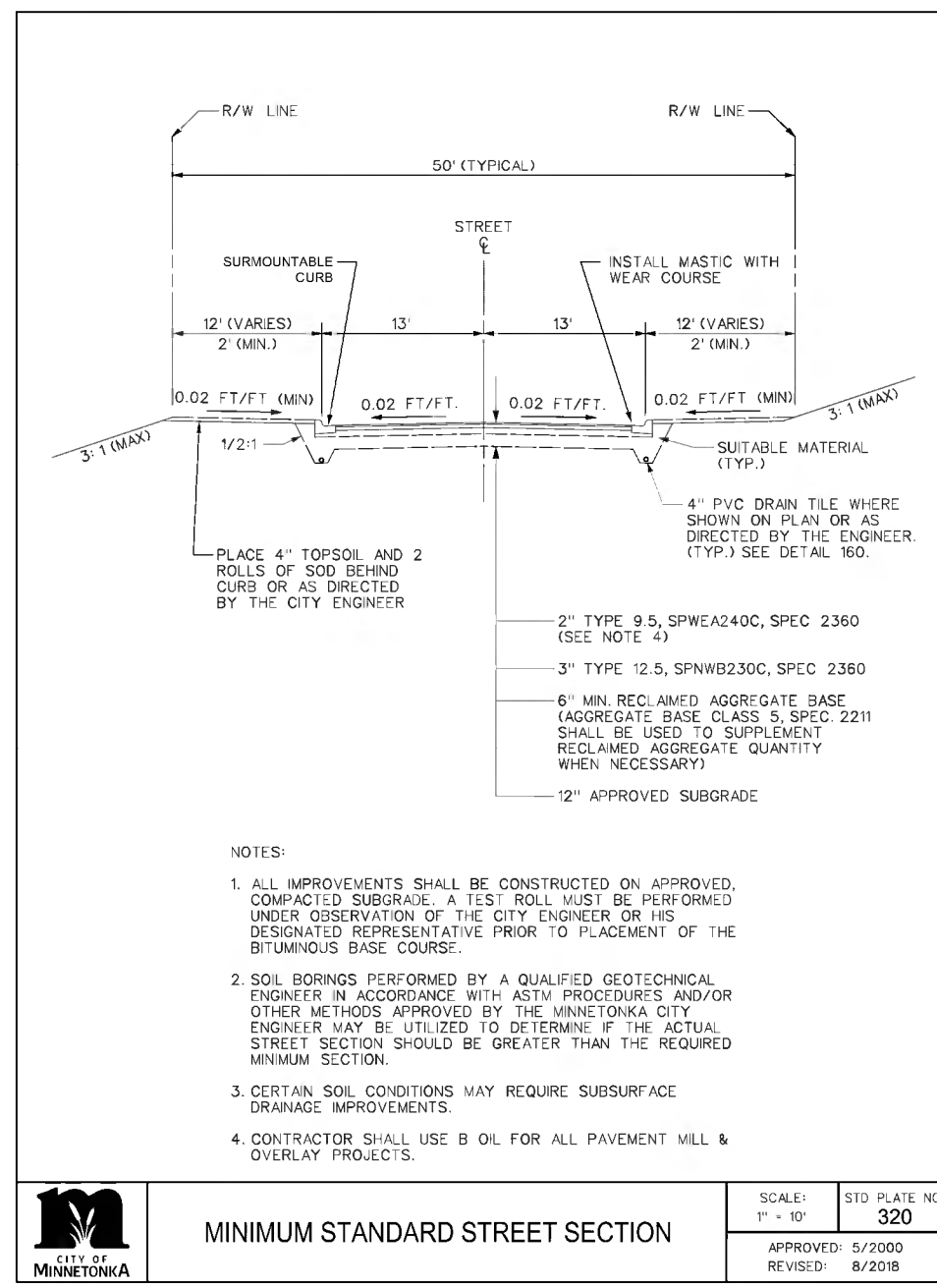
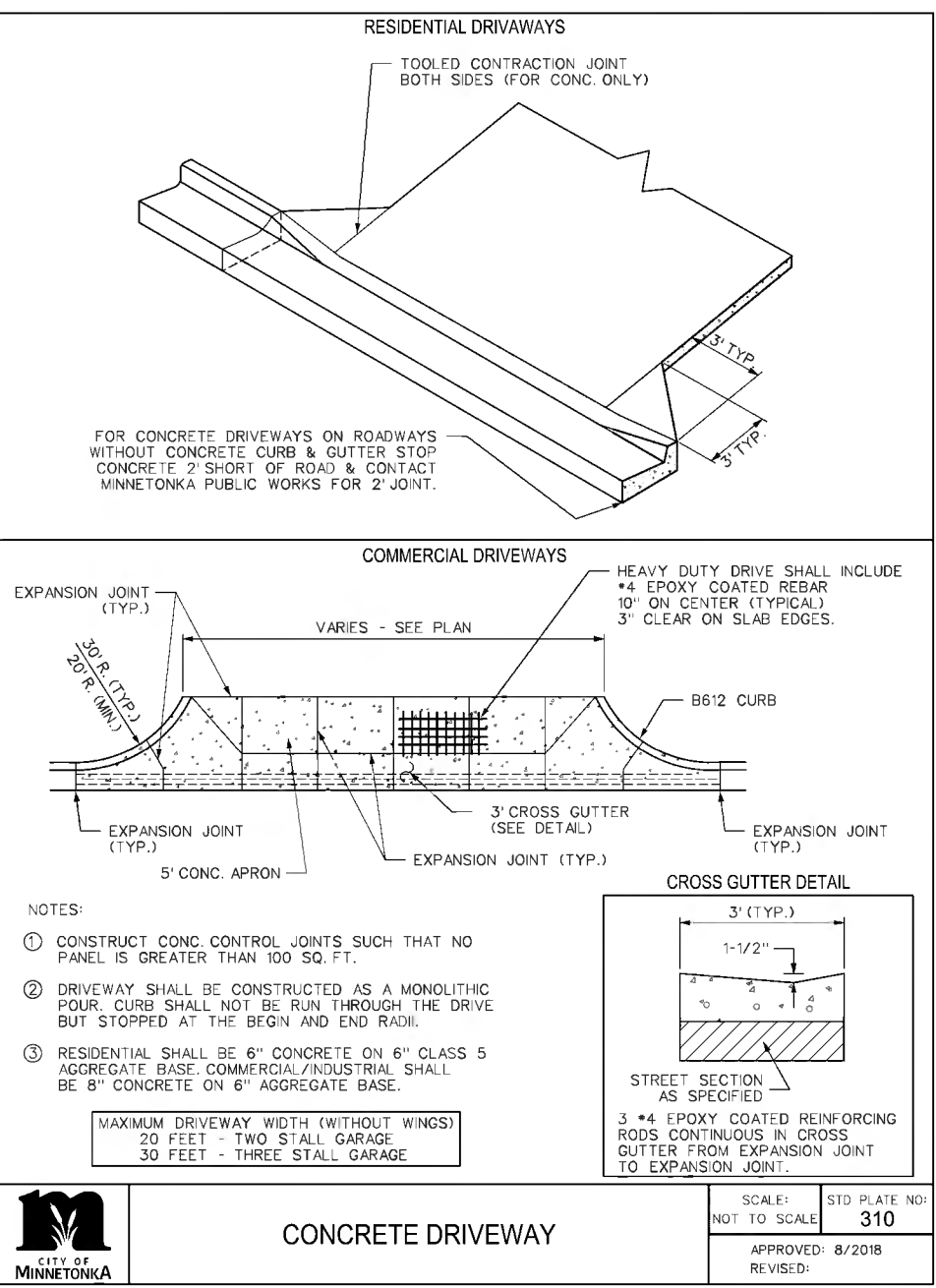
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	DEPTH	LENGTH	WIDTH	AREA	DEPTH	LENGTH	WIDTH	AREA
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30"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
36"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
42"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
48"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0

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30"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
36"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
42"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
48"	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0

CONCRETE DRIVEWAY

SCALE: NOT TO SCALE
STD. PLATE NO. 310
APPROVED: 8/2008



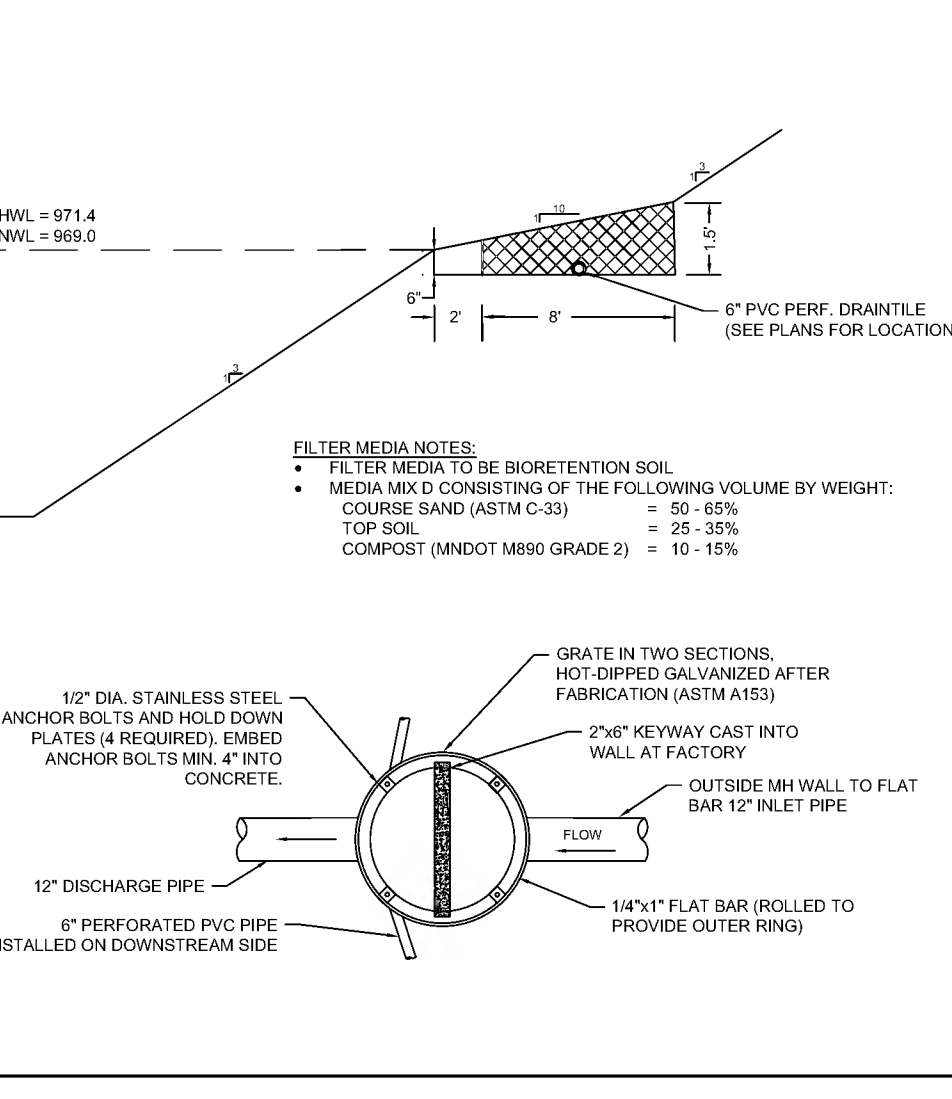
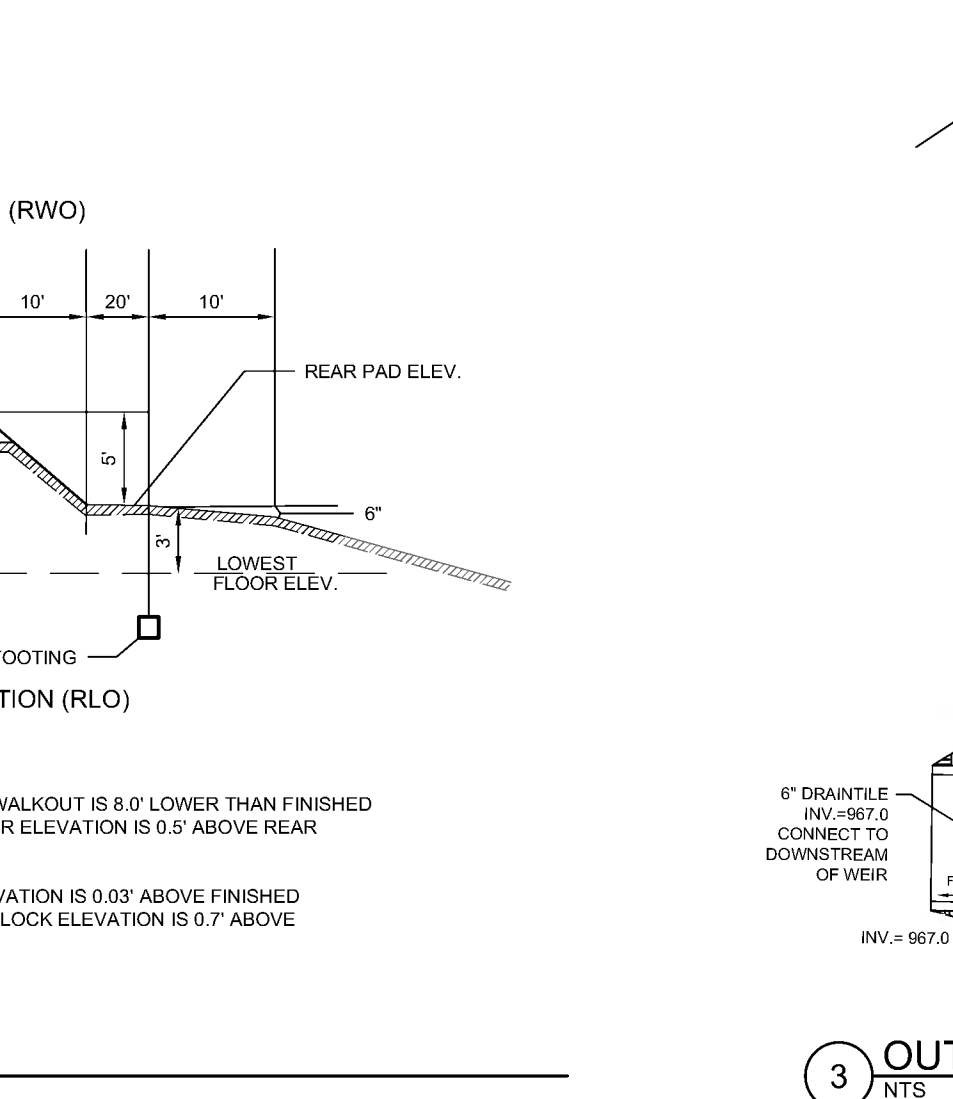
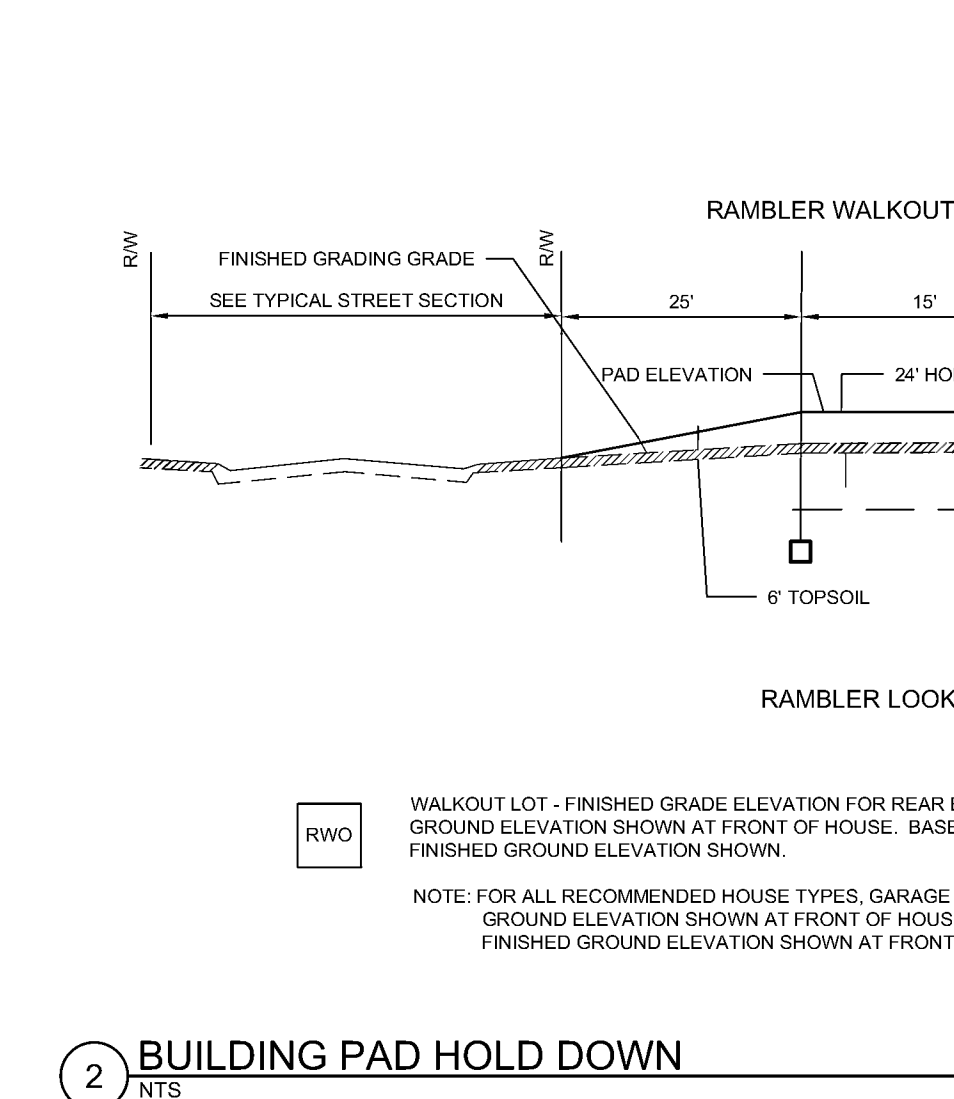
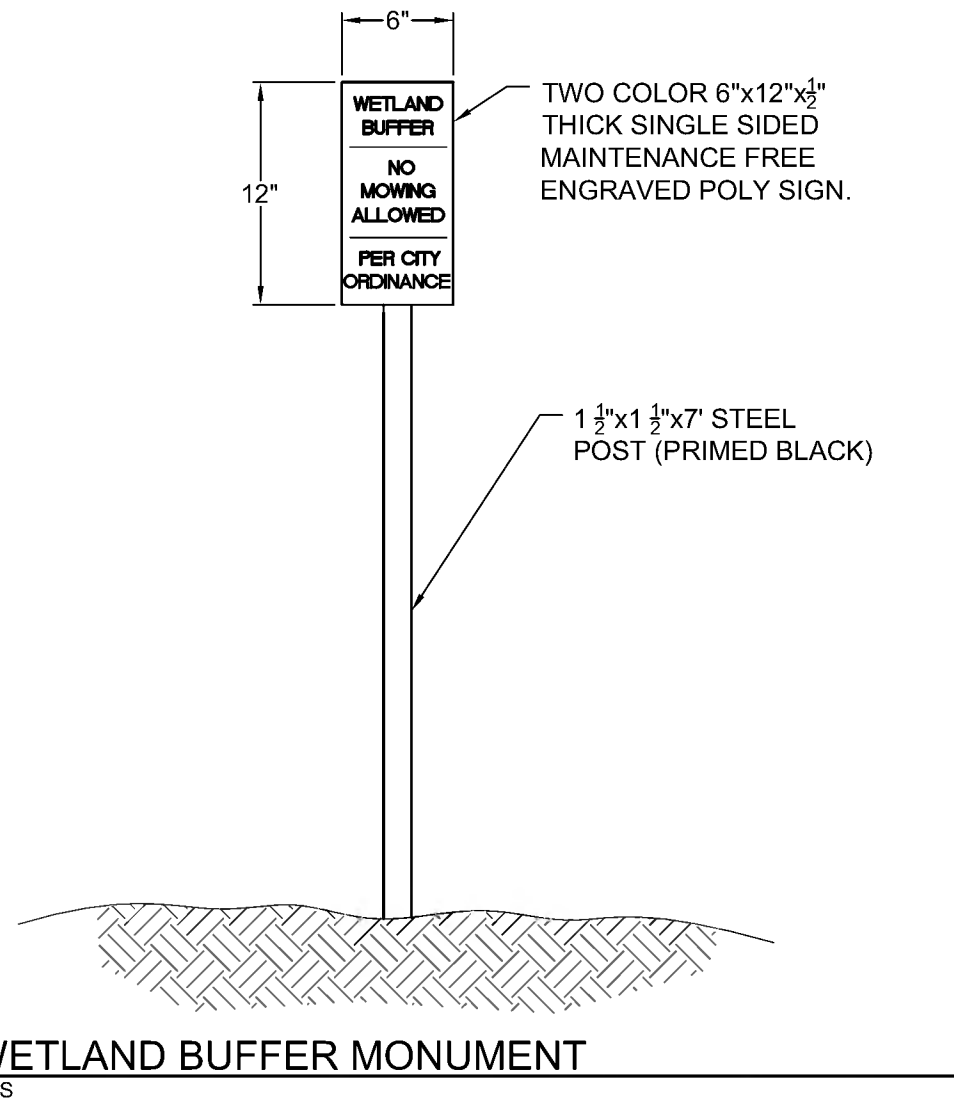
STORM STRUCTURE SCHEDULE

STRUCTURE NUMBER	SIZE	CASTING (NEENAH OR APPROVED EQUAL)
STMH-1	48" ROUND	R-1642-D, SOLID, "STORM"
OCS-2	60" ROUND	HAALA 60-57 SPLIT TYPE
FES-3	18" RCP	-
FES-4	18" RCP	-
STMH-5	48" ROUND	R-1642-D, SOLID, "STORM"
STMH-6	48" ROUND	R-1642-D, SOLID, "STORM"
CBMH-7	48" ROUND	R-3067-V
STMH-8	48" ROUND	R-1642-D, SOLID, "STORM"
CBMH-9	48" ROUND	R-3067-V
CB-10	2' X 3' BOX	R-3067-V
CB-11	2' X 3' BOX	R-3067-V
CB-12	2' X 3' BOX	R-3067-V

SANITARY STRUCTURE SCHEDULE

STRUCTURE NUMBER	SIZE	CASTING (NEENAH OR APPROVED EQUAL)
MH-1	48" ROUND	R-1642-D, SOLID, "SANITARY"
MH-2	48" ROUND	R-1642-D, SOLID, "SANITARY"
MH-3	48" ROUND	R-1642-D, SOLID, "SANITARY"
MH-4	48" ROUND	R-1642-D, SOLID, "SANITARY"

STRUCTURE SCHEDULE



ANDERSON

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DESIGNED: BJF DRAWN: JPD CHECKED BY: BJF

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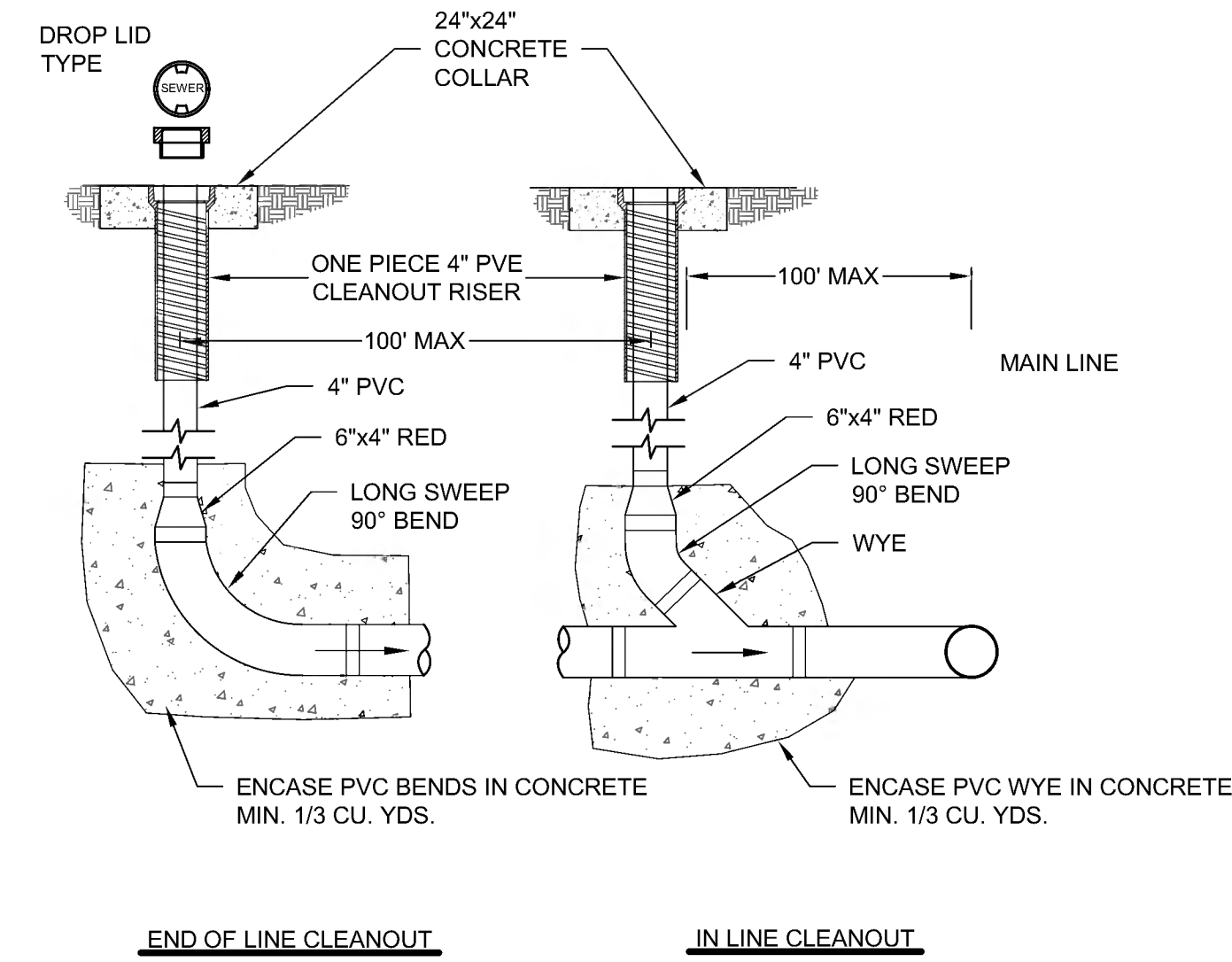
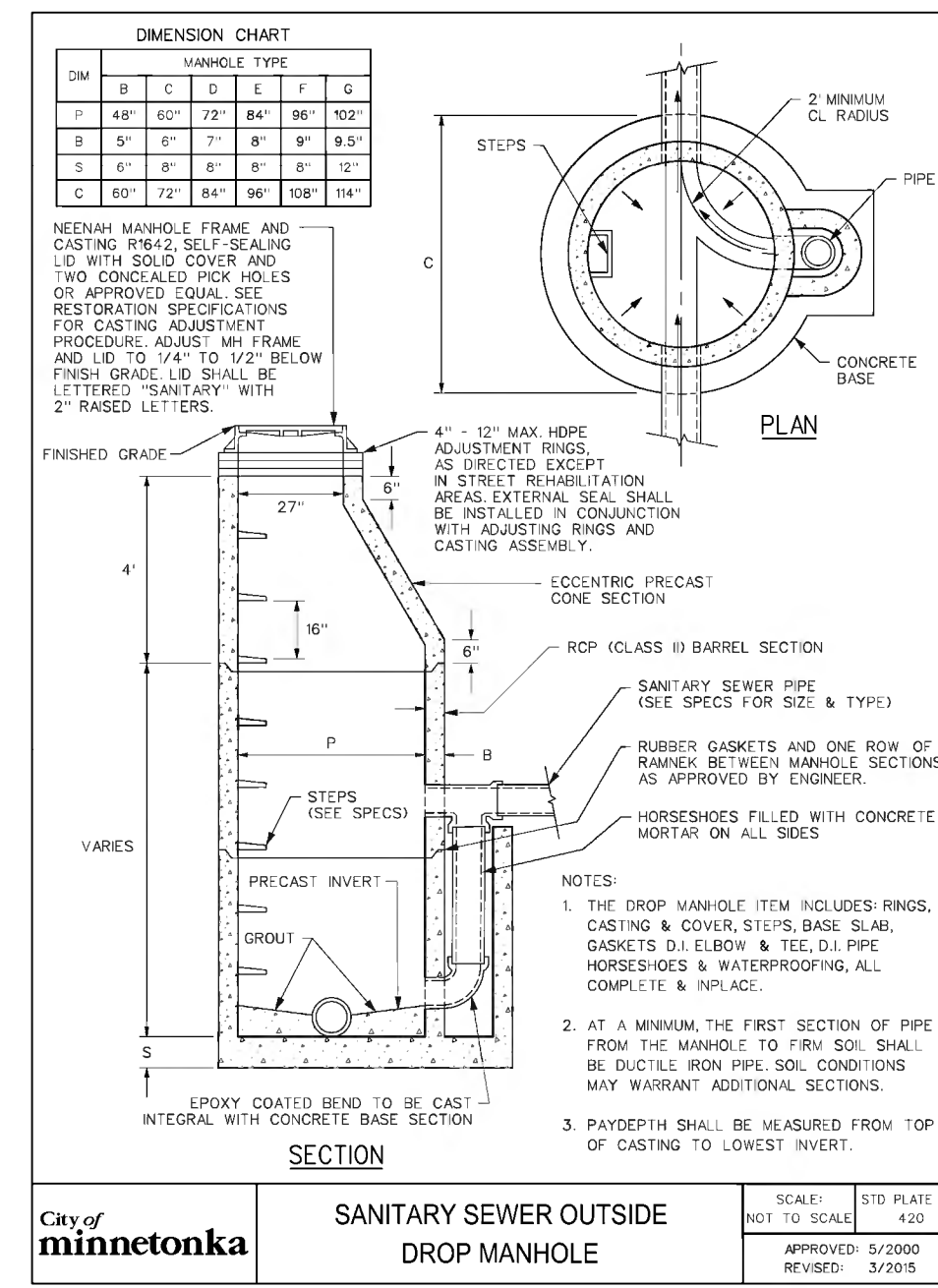
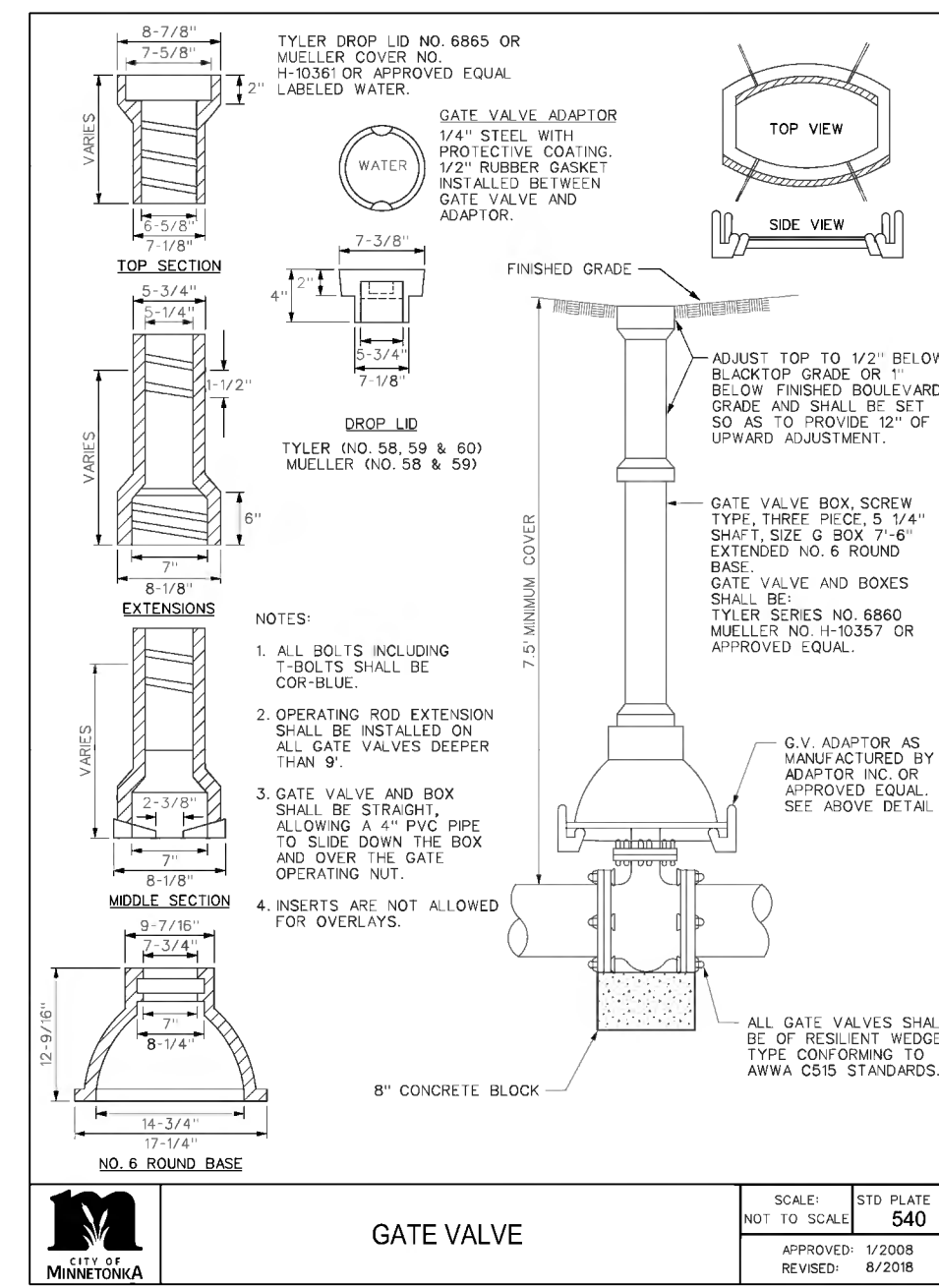
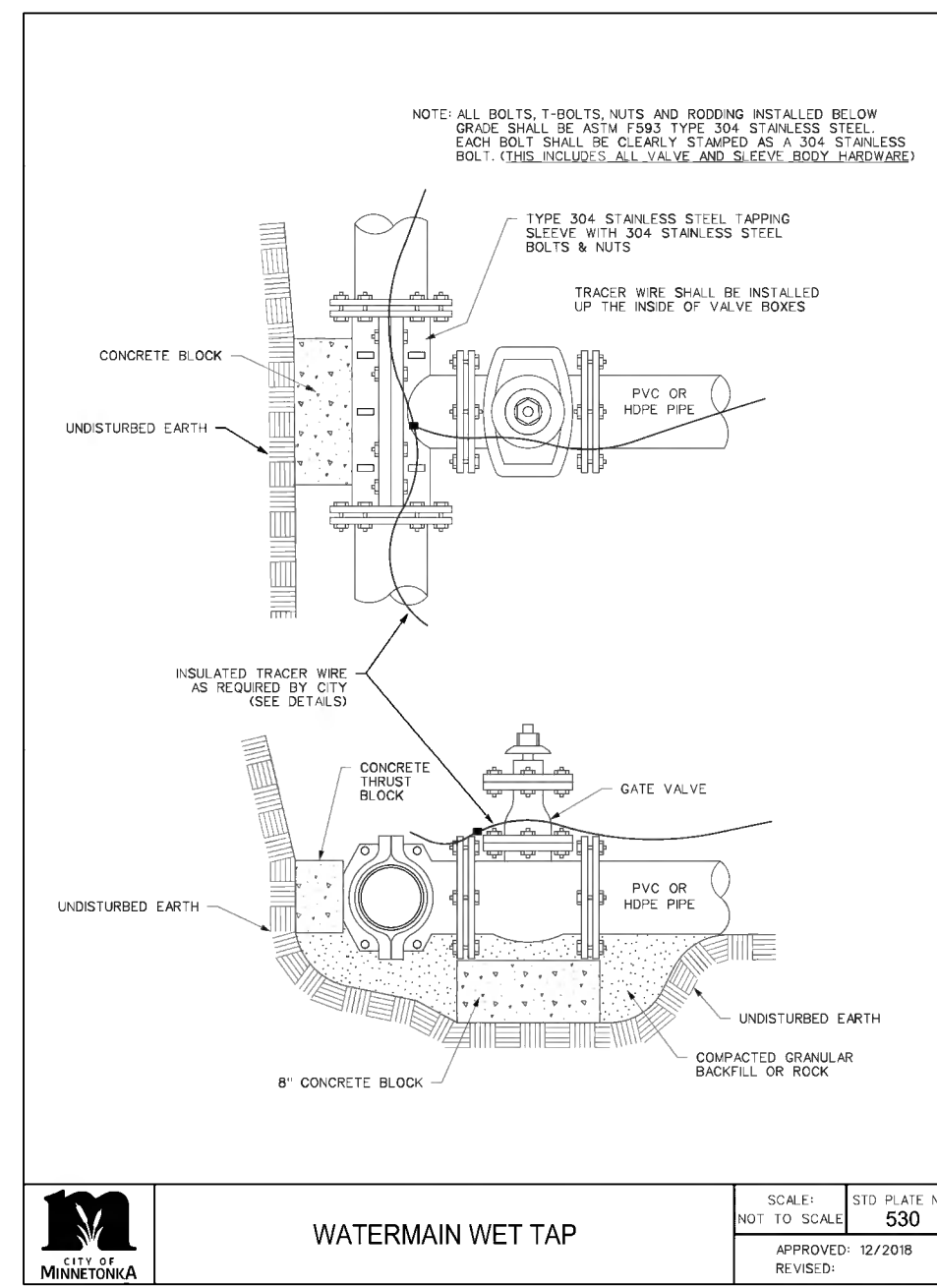
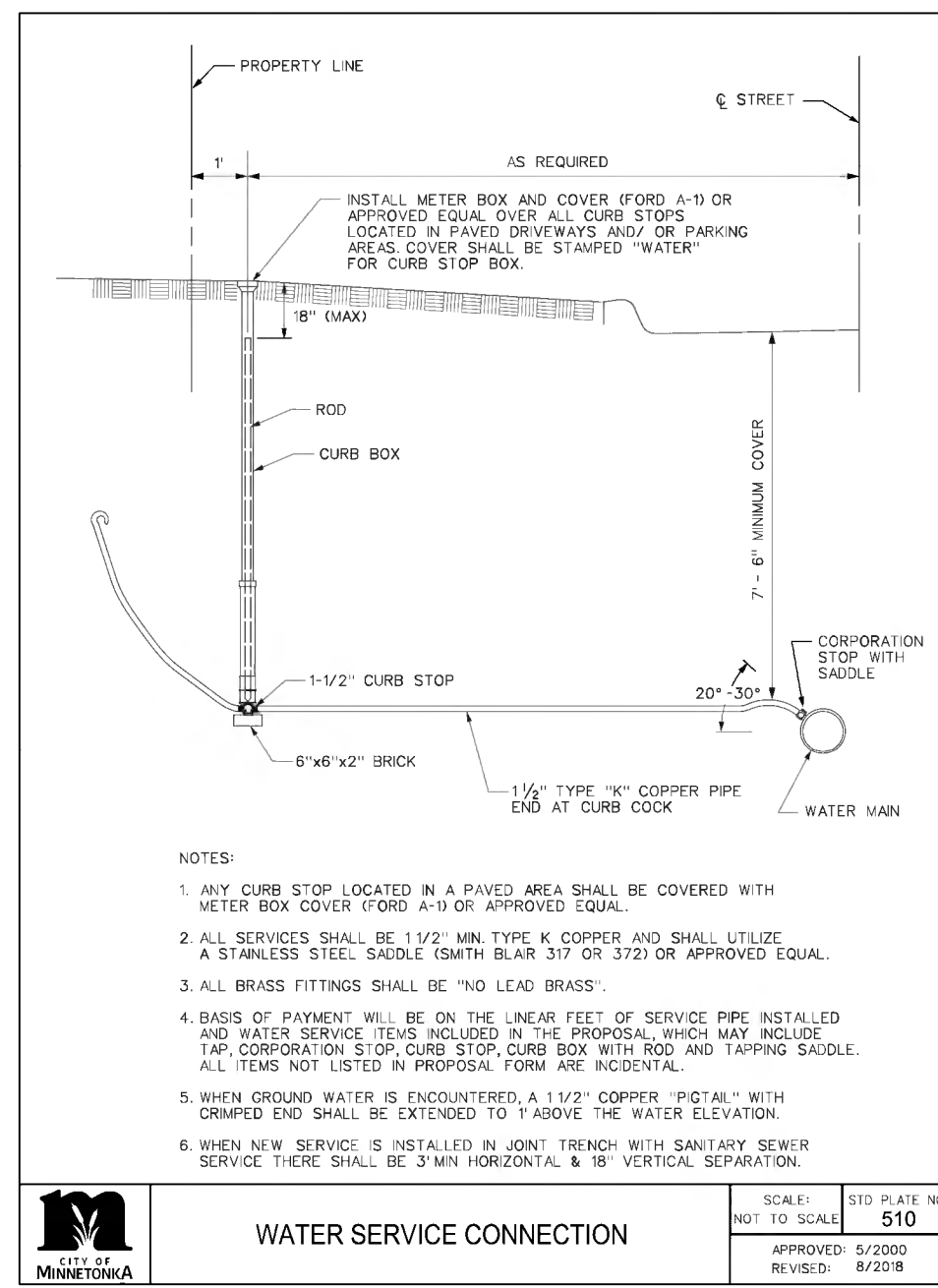
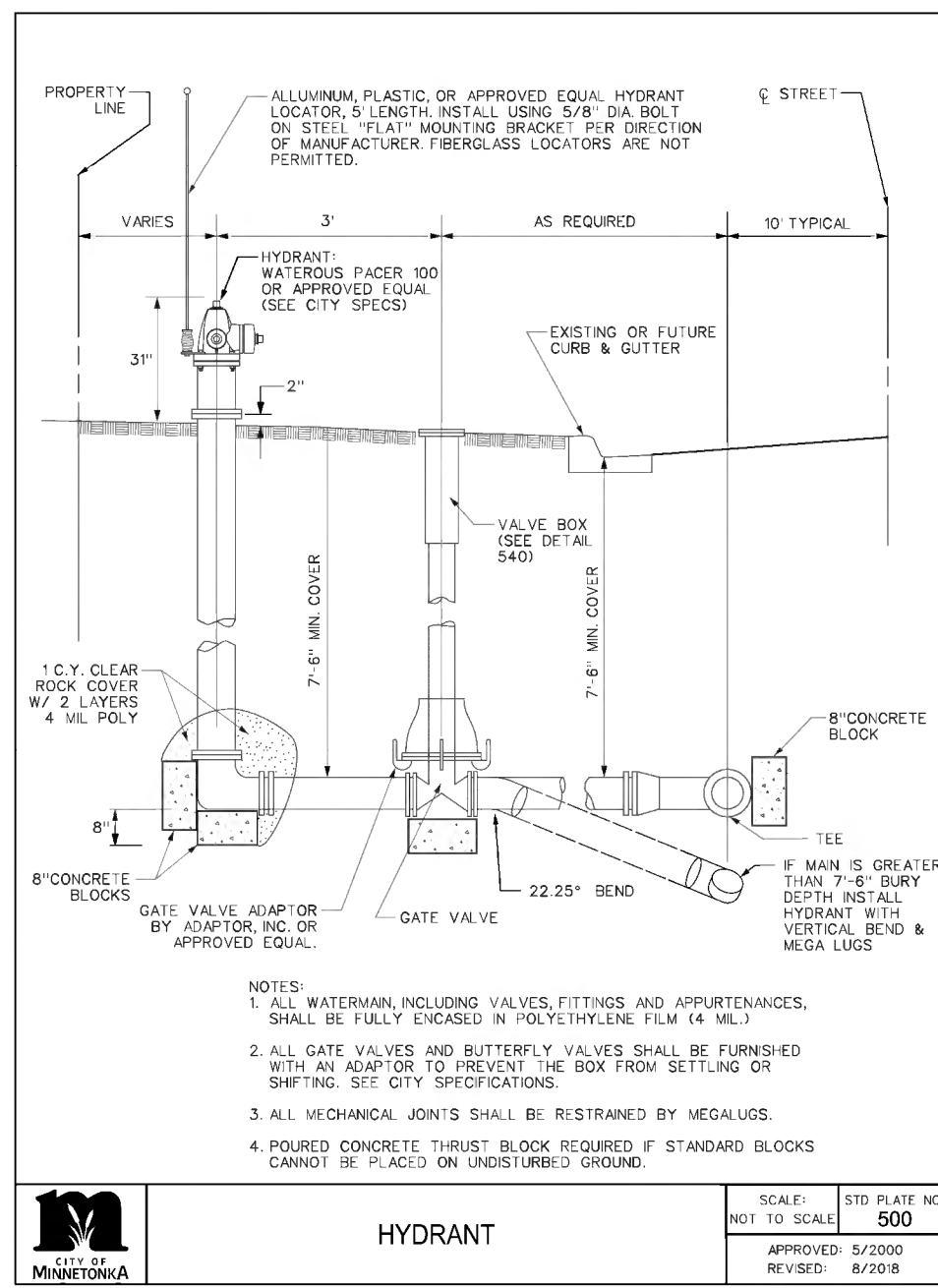
SITE DETAILS

DRAWING NO.

C12

PLOTTED: --- COMM. NO. 16523

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1 CLEANOUT DETAIL



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DESIGNED: BJF	DRAWN: JPD	CHECKED BY: BJF
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DRAWING TITLE

SITE DETAILS

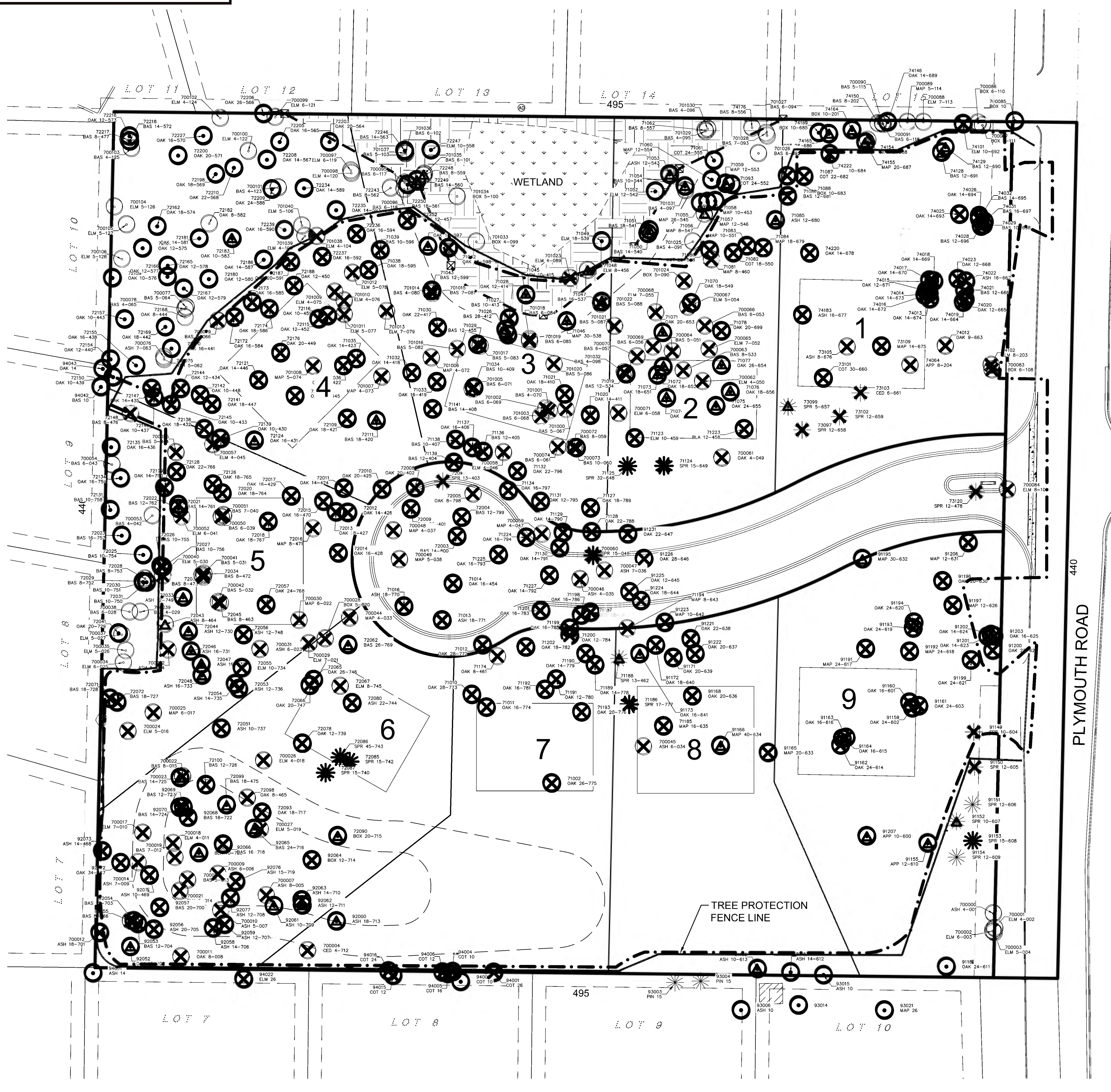
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C13

PLOTTED: ---	COMM. NO. 16523
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May 02, 2022 - 8:11am BField
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 Xref Filename: 16523_s_base.civil 16523_tree base 16523_c_base



LEGEND

- PROPERTY LIMITS
- D&U SETBACK
- BUILDING SETBACK
- GRADING LIMITS
- SIGNIFICANT TREE
- HIGH PRIORITY TREE
- DEMOLISH EXISTING TREE
- DEAD/POOR CONDITION TREE
- TREE PROTECTION FENCE

TREE SPECIES IDENTIFICATION

APP	APPLE	COT	COTTONWOOD
ASH	ASH	ELM	ELM
BAS	BASSWOOD	MAP	MAPLE
BLA	BLACK CHERRY	OAK	OAK
BOX	BOX ELDER	PIN	PINE
CED	CEDAR	SPR	SPRUCE

TREE SUMMARY

TREES ON PROPERTY	464
TREES OFF PROPERTY (PROTECTED)	0
TOTAL TREE COUNT	464
SIGNIFICANT TREES ON SITE	168
DEAD/POOR COND. SIG. TREES	8
TOTAL COUNTED SIG. TREES	160
HIGH PRIORITY TREES ON SITE	314
DEAD/POOR COND. HP TREES	54
TOTAL COUNTED HP TREES	260

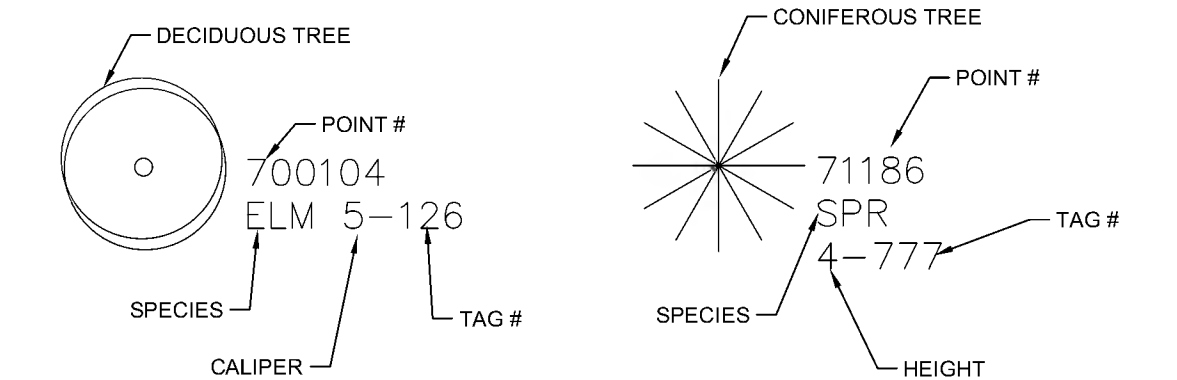
TREE REMOVAL SUMMARY

SIGNIFICANT TREES REMOVED	97
# OF SIG. DECIDUOUS TREES REMOVED	89
#OF SIG. CONIFEROUS TREES REMOVED	8
PERCENT SIGNIFICANT TREES REMOVED	60.6%
HIGH PRIORITY TREES REMOVED	175
CAL IN OF HIGH PRIORITY DECIDUOUS TREES	2380
FT HT. OF HIGH PRIORITY CONIFEROUS TREES	27
PERCENT HIGH PRIORITY TREES REMOVED	67.3%

TREE REMOVAL COUNT PER LOT & R/W

LOT NUMBER	SIGNIFICANT TREES	HIGH PRIORITY TREES	HP CALIPER INCHES
1	10	26	272
2	15	8	96
3	17	15	214
4	8	22	288
5	14	17	260
6	5	7	90
7	2	11	194
8	1	8	136
9	0	17	304
LOT 6 POND AREA	17	19	230
R/W	8	25	296
TOTALS	97	175	2380

- NOTES:**
- TREES OFF PROPERTY BOUNDARY DO NOT HAVE TREE TAG NUMBERS.
 - INDIVIDUAL TREES ON NEIGHBORING PROPERTIES BUT WITH POSSIBLE ROOT ZONE IMPACTS WILL BE REVIEWED ON AN INDIVIDUAL BASIS.



1 TREE PRESERVATION PLAN
SCALE: 1" = 30' (22" x 34" PAPER SIZE)



2 TREE LABEL KEY
NTS

ANDERSON
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Plymouth, MN 55441 | ae-mn.com
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Anderson Engineering of Minnesota, LLC

WOODHAVEN AT MINNETONKA

2424-2440 PLYMOUTH RD
MINNETONKA, MN 55305

AIRBORNE WOODHAVEN, LLC
13605 1ST AVE N #100
PLYMOUTH, MN 55441

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: CURT H. CLAEYS, PLA

SIGNATURE: **NOT FOR CONSTRUCTION**

DATE: 05/02/2022 LICENSE NO. 45613

REVISION LOG

NO.	DATE	DESCRIPTION OF REVISIONS
1	5/11/22	REVIEW & UPDATE TREE DATA

CITY SUBMITTAL

05/02/2022

DESIGNED: CHC	DRAWN: CHC	CHECKED BY: JAF
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DRAWING TITLE

TREE PRESERVATION PLAN

DRAWING NO.

L1

PLOTTED: --- COMM. NO. 16523

REQUIREMENTS

MINIMUM LANDSCAPING REQUIREMENTS:

- SIMILAR IN QUANTITY HAVING A MINIMUM VALUE IN CONFORMANCE WITH PROJECT VALUE, INCLUDING BUILDING CONSTRUCTION.
 - BELOW \$1,000,000 = 2%
 - \$1,000,001 - \$2,000,000 = \$20,000 + 1% OF PROJECT VALUE
 - \$2,000,001 - \$3,000,000 = \$30,000 + 1% OF PROJECT VALUE
 - \$3,000,001 - \$5,000,000 = \$37,000 + 2% OF PROJECT VALUE
 - OVER \$4,000,000 = 1%
- AT LEAST PERCENT OF PROPOSED NEW PLANTINGS MUST BE SPECIES BENEFICIAL TO POLLINATORS DERIVED FROM THE CITY'S NATIVE OR NATIVE CULTIVAR PLANT LIST
- NOT MORE THAN 25 PERCENT OF THE REQUIRED NUMBER OF TREES MAY BE COMPOSED OF ANY ONE SPECIES

TREE PRESERVATION AND RESTORATION:

TREE REPLACEMENT REQUIREMENTS: SIGNIFICANT TREES

- 96 TREES TOTAL NUMBER OF DECIDUOUS SIGNIFICANT TREES LOST AS A RESULT OF THE LAND ALTERATION
- 96 TREES SIGNIFICANT DECIDUOUS TREES REPLACEMENT RATE OF 1:1 @ 2" CAL. MIN. (96"1" = 96 TREES)
- 6 TREES TOTAL NUMBER OF CONIFEROUS SIGNIFICANT TREES LOST AS A RESULT OF THE LAND ALTERATION
- 6 TREES SIGNIFICANT CONIFEROUS TREES FEET REPLACEMENT RATE OF 1:1 @ 6" HT. MIN. (6"1" = 6 TREE)

TREE REPLACEMENT REQUIREMENTS: HIGH PRIORITY TREES

- 3083 CAL IN TOTAL CALIBER INCHES OF DECIDUOUS HIGH PRIORITY TREES LOST AS A RESULT OF THE LAND ALTERATION
- 1,542 TREES HIGH PRIORITY DECIDUOUS TREES REPLACEMENT RATE OF 1:1 CAL. INCHES (3083"1" = 3083 CALIBER INCHES / 2 = 1,541.5 TREES)
- 71 FT HT TOTAL NUMBER OF CONIFEROUS HIGH PRIORITY TREES FEET HT. LOST AS A RESULT OF THE LAND ALT.
- 12 TREES HIGH PRIORITY CONIFEROUS TREES FEET HEIGHT REPLACEMENT RATE OF 1:1 (71"1" = 71 FEET IN HEIGHT / 6 = 11.833 - 12 TREES)

TOTAL TREE REPLACEMENT REQUIRED:

1,638 DECIDUOUS TREES @ 2" CAL. EACH
18 CONIFEROUS TREES @ 6" HT. EACH

LEGEND

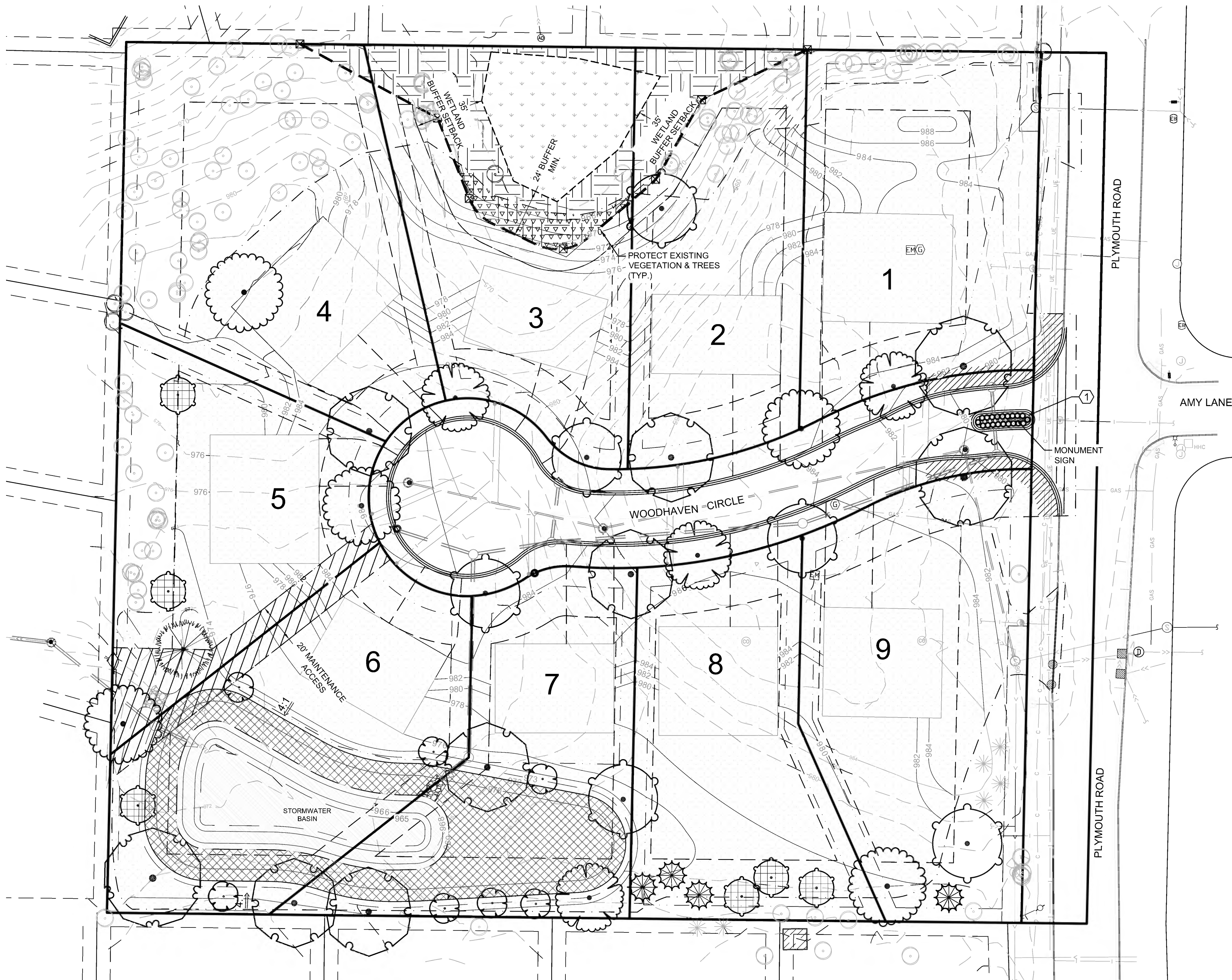
- PROPERTY LIMITS
- CONSTRUCTION LIMITS
- NEW SOD w/IRRIGATION
- MESIC PRAIRIE MIX MN 35-241
- ZONE 4 - FLOODPLAIN ZONE SEED MIX PER MINNESOTA STORMWATER MANUAL VARIETY SHALL BE AN EQUAL PERCENTAGE OF: BOTTLEBRUSH SEDGE, VIRGINIA WILD RYE, RICE-CUT GRASS, SWITCHGRASS, GREEN BULRUSH, PRAIRIE CORD GRASS
- 2" PLUGS PLANTED AT 24" O.C. VARIETY SHALL BE AN EQUAL PERCENTAGE OF: BOTTLEBRUSH SEDGE, VIRGINIA WILD RYE, RICE-CUT GRASS, SWITCHGRASS, GREEN BULRUSH, PRAIRIE CORD GRASS
- RIPARIAN SOUTH AND WEST MIX - MN 34-261 - PER MNDOT RECOMMENDATIONS.
- 3" DP SHREDDED HARDWOOD MULCH W/OUT FABRIC
- COMMERCIAL GRADE POLY EDGER

NOTES

- ALL PLANTINGS WITHIN PROPERTY LIMITS SHALL RECEIVE IRRIGATION (SEE L3 FOR IRRIGATION NOTES)
- REFER TO PLAN SHEET L3 FOR SODDING, SEEDING, FERTILIZER AND TOPSOIL NOTES
- INSTALL SEED MIX ON ALL SLOPES 3:1 AND GRATER WITH EROSION CONTROL BLANKET; SEED MIX PER PLAN.
- INSTALL TREE PROTECTION AROUND EXISTING TREES TO REMAIN (TYP.). WHERE CLUSTERS OF TREES ARE TO BE PROTECTED, CONTRACTOR SHALL INSTALL PROTECTION FENCING AROUND THE OUTERMOST DRIPLINE OF THE CLUSTER. SEE 4/L3.

PLANTING SCHEDULE

CONIFEROUS TREES	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL/HT
	JVE	5	EASTERN RED CEDAR JUNIPERUS VIRGINIANA	B&B	6" HT.
	LLA	1	AMERICAN LARCH LARIX LARICINA	B&B	6" HT.
	PGD	4	BLACK HILLS WHITE SPRUCE PICEA GLAUCA 'DENSATA'	B&B	6" HT.
CONIFEROUS TOTAL: 10					
DECIDUOUS TREES	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL/HT
	AGA	7	AUTUMN BRILLIANCE APPLE SERVICEBERRY AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	B&B	2" CAL.
	COC	5	COMMON HACKBERRY CELTIS OCCIDENTALIS	B&B	2" CAL.
	GTS	4	SKYLINE HONEY LOCUST GLEDITSIA TRIACANTHOS 'SKYLINE'	B&B	2" CAL.
	GDO	6	KENTUCKY COFFEETREE GYMNOCLADUS DIOICA	B&B	2" CAL.
	QBI	3	SWAMP WHITE OAK QUERCUS BICOLOR	B&B	2" CAL.
	TAR	6	REDMOND AMERICAN LINDEN TILIA AMERICANA 'REDMOND'	B&B	2" CAL.
DECIDUOUS TOTAL: 31					
ORNAMENTAL GRASS	CODE	QTY	COMMON / BOTANICAL NAME	CONT	SIZE
	SH	20	PRAIRIE DROPSPEED SPOROBOLUS HETEROLEPIS	CONT.	3 GAL.
PERENNIALS	CODE	QTY	COMMON / BOTANICAL NAME	CONT	SIZE
	VS	5	HOARY VERVAIN VERBENA STRICTA	CONT.	3 GAL.



1 PLANTING PLAN
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DRAWING TITLE

PLANTING PLAN

DRAWING NO.

L2

PLOTTED: --- COMM. NO. 16523

May 02, 2022 - 8:11am BField
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GENERAL LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID TO BECOME COMPLETELY FAMILIAR WITH SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN IMMEDIATE AREA.
- IT IS THE RESPONSIBILITY OF THE OWNER & CONTRACTOR TO IDENTIFY ALL UNDERGROUND CABLES, CONDUITS, WIRES, ETC., ON THE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLETE MAINTENANCE OF THE PLANT MATERIAL (WATERING, SPRAYING, FERTILIZING, MOWING, ETC.) UNTIL THE WORK HAS BEEN ACCEPTED, BY THE OWNER.
- IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER OF PLANTS SHOWN IN THE PLANT SCHEDULE, THE NUMBER OF PLANTS SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- ALL CONTAINER MATERIAL TO BE GROWN IN CONTAINER A MINIMUM OF 6 MONTHS.
- ALL MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
- GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR. DECIDUOUS TREES WILL BE GUARANTEED FOR TWO CALENDAR YEARS FROM TIME OF PROVISIONAL ACCEPTANCE.
- ALL PROPOSED PLANTS SHALL BE LOCATED CAREFULLY AS SHOWN ON THE PLANS AND SHALL BE APPROVED BY OWNERS REPRESENTATIVE BEFORE THEY ARE INSTALLED.
- CONTRACTOR CAN SUBSTITUTE MACHINE MOVED MATERIAL USING APPROPRIATE SIZE TREE SPADE FOR B & B WITH OWNERS REPRESENTATIVE APPROVAL.
- LANDSCAPE CONTRACTOR SHALL ENSURE THAT NEW TREES MOVED ONTO THE SITE ARE DUG FROM SIMILAR SITES WITH SIMILAR SOILS TO THE SOILS OF THIS PROJECT (HEAVY TO HEAVY, LIGHT TO LIGHT, HEAVY TO LIGHT SOILS).
- LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE OWNER WITH MAINTENANCE INFORMATION DURING GUARANTEE PERIOD RELATING TO WATERING, FEEDING, PRUNING, PEST CONTROL, AND RELATED ITEMS. THIS WILL BE PREPARED AND DELIVERED TO OWNER AFTER PROVISIONAL INSPECTION APPROVAL HAS BEEN GIVEN BY OWNERS REPRESENTATIVE.
- BREATHABLE SYNTHETIC FABRIC TREE WRAP: WHITE IN COLOR, IN 3 INCH WIDE ROLLS. MATERIAL SHALL BE SPECIFICALLY MANUFACTURED FOR TREE WRAPPING. TREE WRAP SHALL BE SECURED TO THE TRUNK USING BIO-DEGRADABLE TAPE SUITABLE FOR NURSERY USE AND WHICH IS EXPECTED TO DEGRADE IN SUNLIGHT IN LESS THAN 2 YEARS AFTER INSTALLATION. WRAP ALL TREES, EXCEPT HACKBERRY TREE SHALL BE PROTECTED PRIOR TO 12/1.
- POLY EDGER UNLESS SPECIFIED OTHERWISE, SHALL BE BLACK VINYL STYLE EDGER.
- ALL PLANTING AREAS SPECIFIED SHALL RECEIVE 3" DEPTH 1" TO 1-1/2" SHREDDED HARDWOOD MULCH BE INSTALLED WITHOUT LANDSCAPED FABRIC AS INDICATED ON THE PANS & DETAILS.
- ALL TREES PLANTED INDEPENDENTLY OF SPECIFIED BEDS SHALL RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH WITHOUT FABRIC.
- ALL PLANTINGS SHALL RECEIVE FERTILIZER AND APPLIED AT THE RATE INDICATED BY THE MANUFACTURER. FERTILIZER SHALL BE GENERAL PURPOSE 10-10-10.
- DECIDUOUS SHRUBS SHALL HAVE MINIMUM OF FIVE (5) CANES AT SPECIFIED HEIGHT NOTED IN PLANT SCHEDULE.
- IF THE CONTRACTOR FEELS AN ERROR HAS BEEN MADE REGARDING SPACING OR HARDINESS OF A SPECIES OF PLANT MATERIAL INDICATED ON THE PLAN, NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF PLANT MATERIAL.
- ALL NEWLY INSTALLED PLANT MATERIAL SHALL BE PLANTED IN WELL-DRAINED AREAS. CONTRACTOR SHALL AVOID INSTALLING ANY PLANT MATERIAL IN DRAINAGE SWALES OR WET & POORLY DRAINED AREAS.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ALL TREE STAKES, GUYS, STRAPS AND TRUNK PROTECTION MEASURES FOLLOWING THE COMPLETION OF THE WARRANTEE PERIOD OR AS DIRECTED BY THE OWNER.
- THE PRACTICE OF STAKING SHOULD NOT ALLOW NAILS, SCREWS, WIRES, ETC. TO PENETRATE THE OUTER SURFACE OF THE TREES.
- THE CONTRACTOR SHALL MEET WITH THE OWNER ON SITE WHEN THEY FEEL THE PROJECT IS COMPLETE ACCORDING TO THE CONTRACT DOCUMENTS. IF ALL WORK IS SATISFACTORY AND COMPLETE ACCORDING TO THE CONDITIONS OF THE CONTRACT DOCUMENTS, THEN THE OWNER MUST DECLARE THE PROJECT COMPLETE. THIS DECLARATION WILL CONSTITUTE AS THE BEGINNING OF THE WARRANTEE PERIOD FOR ALL PLANT MATERIAL. THE OWNER SHALL PROVIDE A LETTER WITH SIGNATURE STATING THE DATE OF ACCEPTANCE.

IRRIGATION NOTES

- PRIOR TO CONSTRUCTION, VERIFY WITH THE GENERAL CONTRACTOR AND ALL LOCAL UTILITY COMPANIES TO LOCATE EXACT LOCATIONS OF UNDERGROUND UTILITIES.
- THE IRRIGATION SHALL BE DESIGN/BUILD SYSTEM BY THE CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATIONS AS PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE OWNER PRIOR TO ORDER AND/OR INSTALLATION.
- VALVE AND CIRCUITS SHALL BE SEPARATED BASED ON WATER USE, SO THAT TURF AREAS ARE WATERED SEPARATELY FROM SHRUB AND GROUND COVER AREAS. IRRIGATION HEADS IN TURF AREAS SHALL BE VALVED SEPARATELY FROM SHRUB AND GROUND COVER AREAS; IT IS RECOMMENDED THAT FULL SUN AND SHADY AREAS TO BE VALVED SEPARATELY AS WELL AS HIGH RUN-OFF AND LOW RUN-OFF AREAS TO BE VALVED SEPARATELY.
- CONFIRM LIMITS OF IRRIGATION, EXISTING AND FUTURE HARDSCAPE AND BUILDING LOCATIONS PRIOR TO THE DESIGN OF THE IRRIGATION SYSTEM.
- CONTRACTOR SHALL VERIFY WATER SOURCE LOCATION AND PRESSURE AND SUPPLY A SYSTEM THAT PROVIDES FULL AND COMPLETE COVERAGE TO ALL AREAS TO BE IRRIGATED.
- SYSTEM SHOULD BE DESIGNED TO OPERATE AT UP TO 300 GPM @ 90 PSI TO COMPLETE WATER SCHEDULES WITHIN 12-HOURS MAXIMUM.
- RAIN SENSORS AND OTHER WATER SAVING TECHNOLOGIES SHALL BE INCLUDED WITHIN THE IRRIGATION DESIGN.
- PROVIDE THE OWNER WITH AN OPERATING SCHEDULE THAT WORKS WITH THE APPROVED LAYOUT PLAN AND IDENTIFY ANY FIELD ADJUSTMENTS PRIOR TO PROJECT COMPLETION.
- AVOID OVER-SPRAY ONTO ROADS, SIDEWALKS, SIGNS AND PARKING AREAS. SPRINKLER ARCS SHALL BE DETERMINED ON SITE BY THE IRRIGATION INSTALLER TO PROVIDE THE MAXIMUM COVERAGE POSSIBLE. CAREFULLY ADJUST THE ARCS AND RADIUS OF EACH SPRINKLER TO PROVIDE HEAD-TO-HEAD COVERAGE.
- WITHIN EXTREME SLOPED AREAS:
 - INSTALL STATIONS SEPARATELY FOR TOP AND BOTTOM OF SLOPED AREAS
 - INSTALL LATERAL PIPES PARALLEL TO SLOPE IF SLOPE IS TOO EXTREME FOR MACHINERY. INSTALL LATERAL PIPES SAFELY AND TEE-FEED INDIVIDUAL SPRINKLERS VIA DOWNHILL PIPING PERPENDICULAR TO FEED LINE
- LOCATE VALVE BOXES AWAY FROM ROAD/CURB SO THEY ARE LESS VISUAL WHERE APPLICABLE.
- DO NOT TRENCH THROUGH THE ROOT BALLS OF NEW PLANTINGS.
- MAINLINE PIPING BENEATH TRAFFIC AREAS SHALL BE INSTALLED WITH A MINIMUM EARTH COVER OF 30-INCHES FROM BOTTOM OF ROAD SUB-GRADE AND CONTAIN SLEEVES NOT LESS THAN TWO NOMINAL DIMENSIONS GREATER THAT THE PIPE PASSING THROUGH.
- IRRIGATION INSTALLER SHALL FURNISH AND INSTALL SLEEVE MATERIAL UNDER ALL ROADWAYS, WALKS AND DRIVEWAYS WHERE NECESSARY
- TOP OF MAINLINES SHALL BE AT LEAST 30-INCHES BELOW GRADE IN TURF AREAS.
- TOP OF LATERAL LINES SHALL BE AT LEAST 18-INCHES BELOW GRADE.
- MAINLINE PRESSURE PIPE FITTINGS 3-INCHES AND LARGER SHALL BE PUSH ON GASKET JOINED AND SHALL HAVE MECHANICAL JOINT RESTRAINTS. MAINLINE PRESSURE PIPE FITTINGS 2.5-INCHES AND SMALLER SHALL BE GLUED AND SHALL HAVE CONCRETE THRUST BLOCKS AT FITTINGS THAT COMPRISE CHANGE IN DIRECTION.
- OTHERS SHALL FURNISH, INSTALL AND BRING 24-INCHES ABOVE GRADE A MUNICIPAL POTABLE STUB FOR IRRIGATION, COORDINATE WITH GENERAL CONTRACTOR.
- INSTALLER IS RESPONSIBLE FOR FURNISHING AND INSTALLING THE BACKFLOW PREVENTOR, WATER METER AND BOOSTER PUMP, IF APPLICABLE.
- IRRIGATION CONTROL WIRE SHALL BE DIGITAL TWO-WIRE, UL LISTED FOR DIRECT BURIAL.
- CONNECT ALL ELECTRICAL WIRING IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ALL APPLICABLE LOCAL ELECTRIC UTILITY CODES INCLUDING:
 - ALL LOW VOLTAGE IRRIGATION CONTROL WIRE SHALL BE INSTALLED WITH THE MAINLINE PIPE WHERE POSSIBLE
 - DO NOT LOOP THE LOW VOLTAGE IRRIGATION CONTROL WIRE PATH.
 - SNAKE WIRE AT BOTTOM OF TRENCH BENEATH MAINLINE.
 - PROVIDE 18-INCH OF SLACK CONTROL WIRE AT ALL CHANGES IN DIRECTION.
 - PROVIDE 24-INCH OF SLACK CONTROL WIRE AT EACH REMOTE CONTROL VALVE COILED INSIDE VALVE BOX.
 - ALL WIRE SPLICES SHALL BE WATERTIGHT CONNECTORS AND CONTAINED IN VALVE BOX.
 - ALL WIRING BENEATH HARDSCAPES SHALL BE CONTAINED IN SLEEVING, SEPARATE FROM PIPING. ELECTRICAL SLEEVES ARE TO BE SIZED APPROPRIATELY FOR EASE OF WIRE INSTALLATION AND REPAIR.
 - ALL WIRING SHALL BE IDENTIFIED AT EACH END TO PROVIDE INDICATION AS TO WHICH LOCATION THE WIRE IS CONNECTED.
 - GROUNDING PER MANUFACTURER'S RECOMMENDATION OR LOCAL ELECTRICAL CODE.
- SCHEDULE AND PROGRAM CONTROLLER AND VALVES FOR APPROPRIATE LANDSCAPE WATER REQUIREMENTS.

GENERAL SODDING, SEEDING & TOPSOIL

- SOD SHALL BE HIGHLAND SOD, 30" X 100' ROLLS PREFERRED WHERE APPLICABLE. TO BE LAID PARALLEL TO THE CONTOURS AND HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR DRAINAGE SWALES, THE SOD SHALL BE STAKED INTO THE GROUND. SCARIFY THE EXISTING GRADES WITH FIELD CULTIVATOR TO A MIN. DEPTH OF 12" PRIOR TO PLACING OF TOPSOIL AND FINISH GRADING FOR SOD. IMMEDIATELY PRIOR TO PLACING SOD, CONTRACTOR SHALL APPLY 10-6-4 FERTILIZER AT THE RATE OF 10 POUNDS PER 1000 SQ. FT.
- PLANTING SOIL REQUIRED: MIXTURE TO INCLUDE 45% TOPSOIL, 45% PEAT OR MANURE AND 10% SAND. ALL TREE, SHRUB AND PERENNIAL PLANTINGS SHALL RECEIVE 8" DEPTH OF PLANTING SOIL MIXTURE. ALL SODDED AREAS TO RECEIVE 4" DEPTH OF PLANTING SOIL MIXTURE.
- ALL SODDED AREAS SHALL HAVE 6" MINIMUM DEPTH OF TOPSOIL.
- ALL AREAS SPECIFIED AS MESIC PRAIRIE MIX TO BE SEEDDED WITH MN DOT 35-241 MESIC PRAIRIE GENERAL MIX. BROAD CAST AT A RATE OF 37 LBS./AC. (INCLUDES COVER CROP). EROSION CONTROL MEASURES AS REQUIRED PER CIVIL.
- ALL AREAS SPECIFIED AS 'NATIVE SEED MIX' TO BE SEEDDED WITH MNDOT MIX 33-262. BROAD CAST, DRILL AND/OR HYDROSEED AT A RATE OF 44 LBS./AC. WITH 2 TONS SHREDDED AND PUNCHED IN PLACE STRAW PER ACRE. SEED MIX SHALL BE ABLE TO WITHSTAND PERIODIC FLOODING.
- ALL AREAS SPECIFIED AS 'WET PRAIRIE MIX' TO BE SEEDDED WITH MN DOT 34-262 WET PRAIRIE MIX. BROAD CAST AT A RATE OF 15 LBS./AC. (INCLUDES COVER CROP) WITH EROSION CONTROL BLANKET AS REQUIRED PER CIVIL. SEE CIVIL FOR NORMAL WATER LEVEL.



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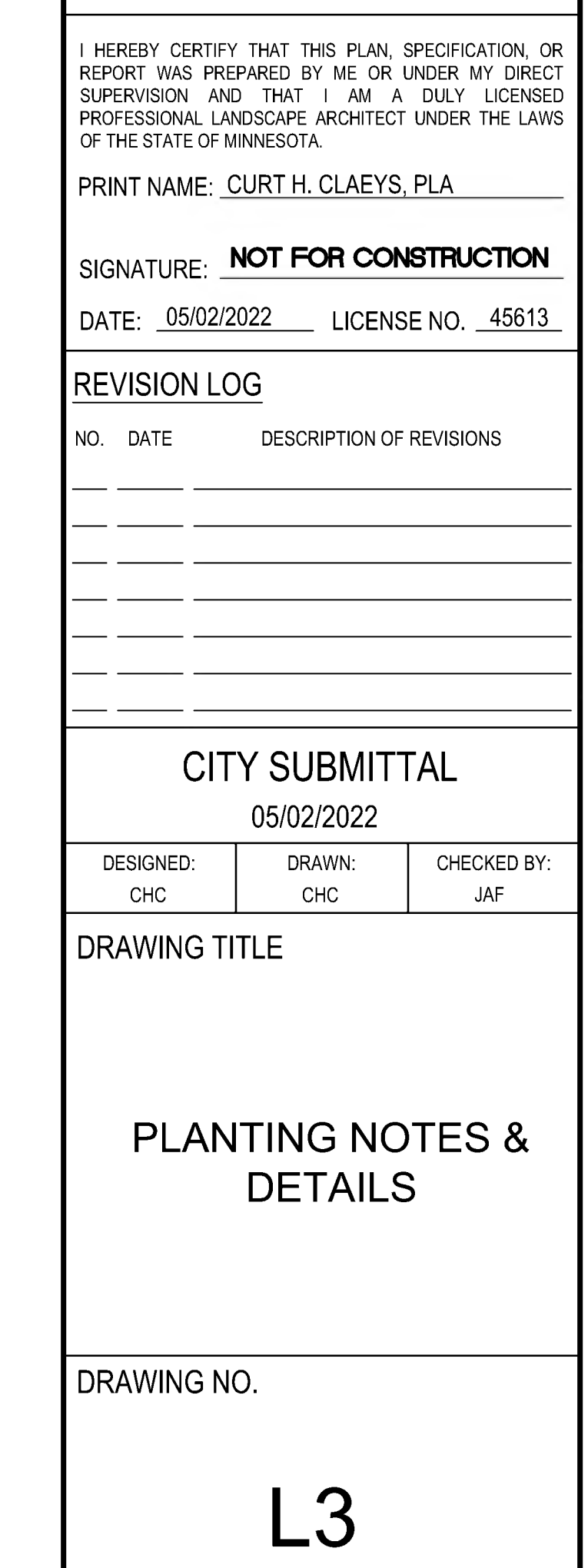
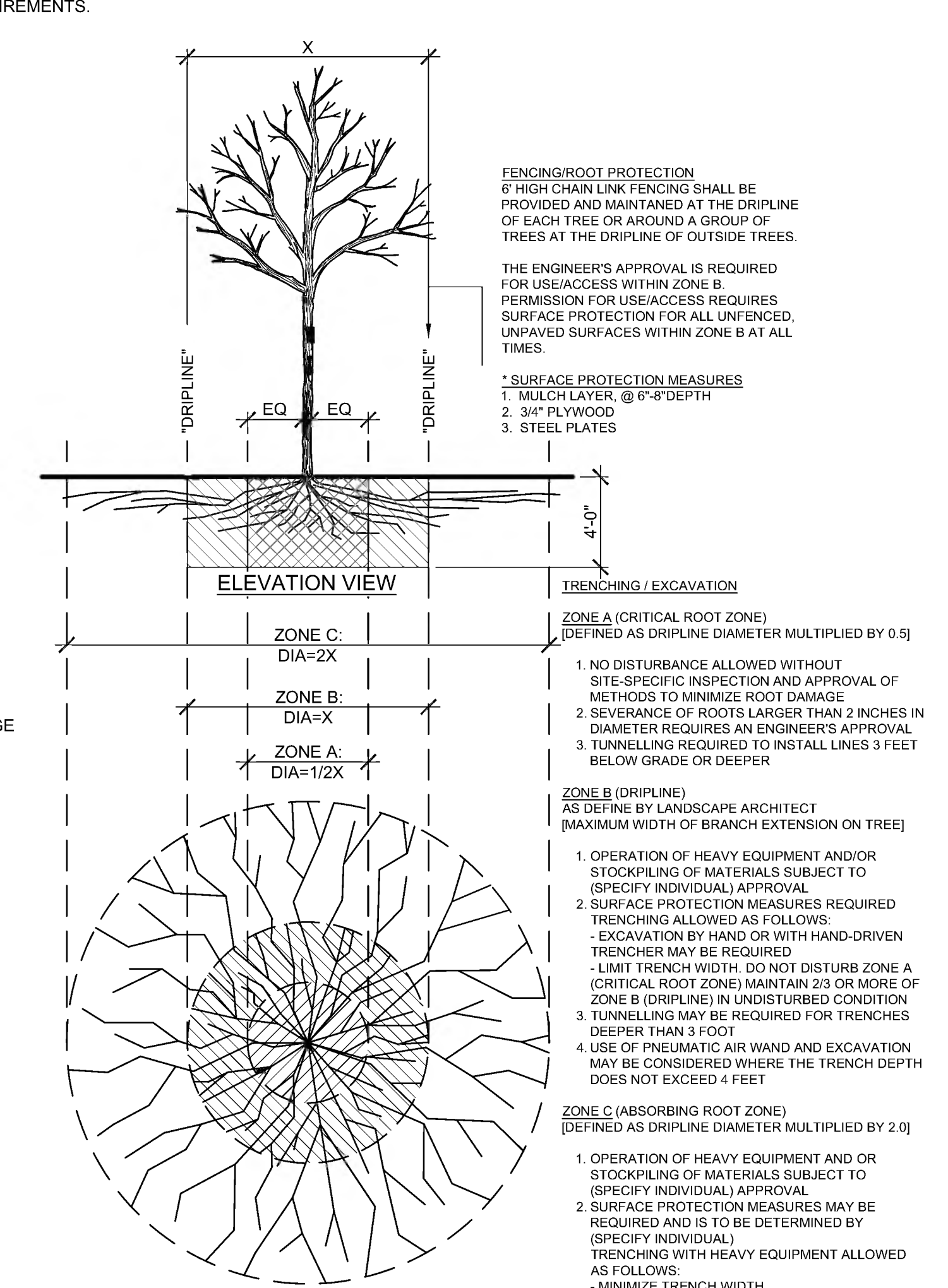
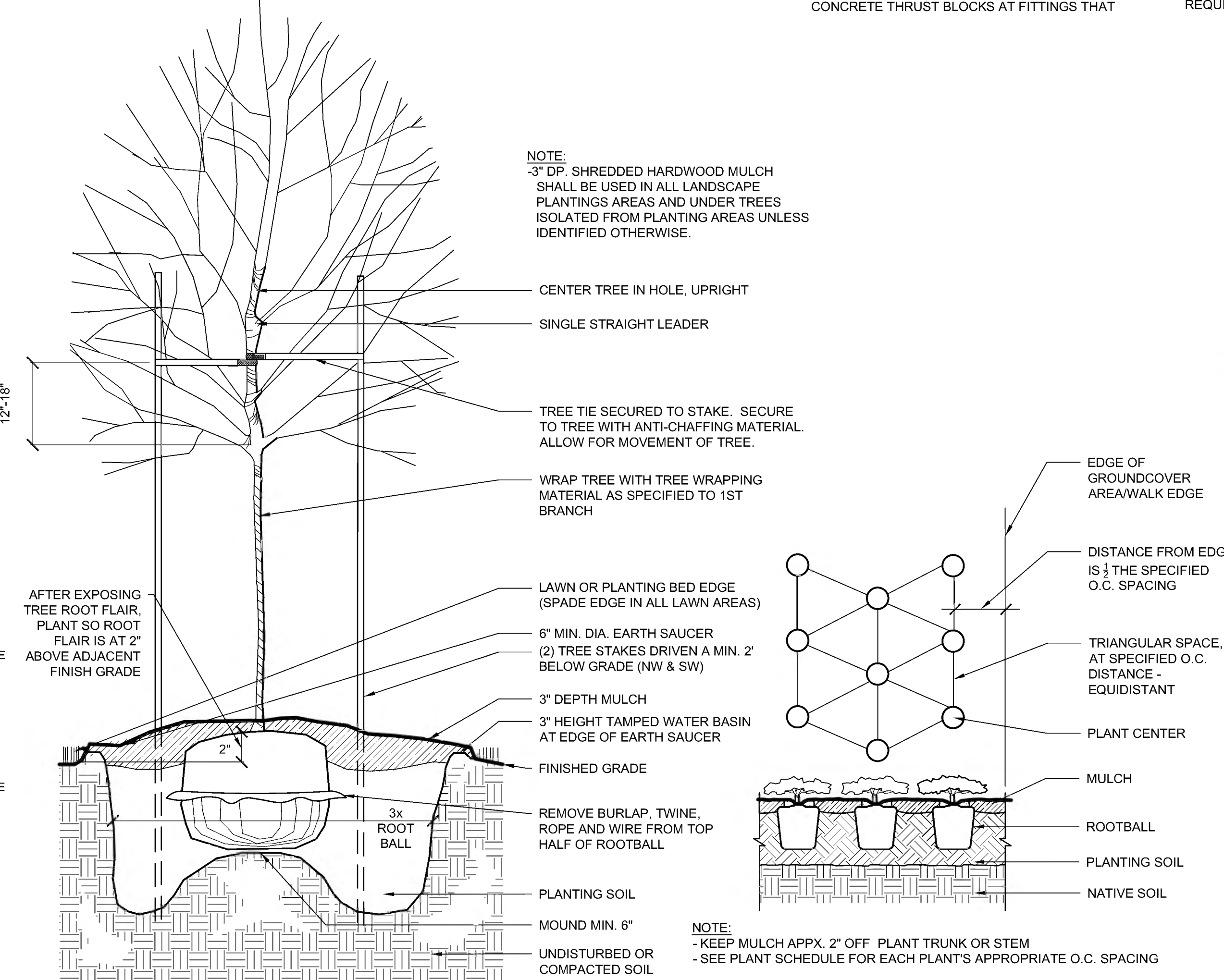
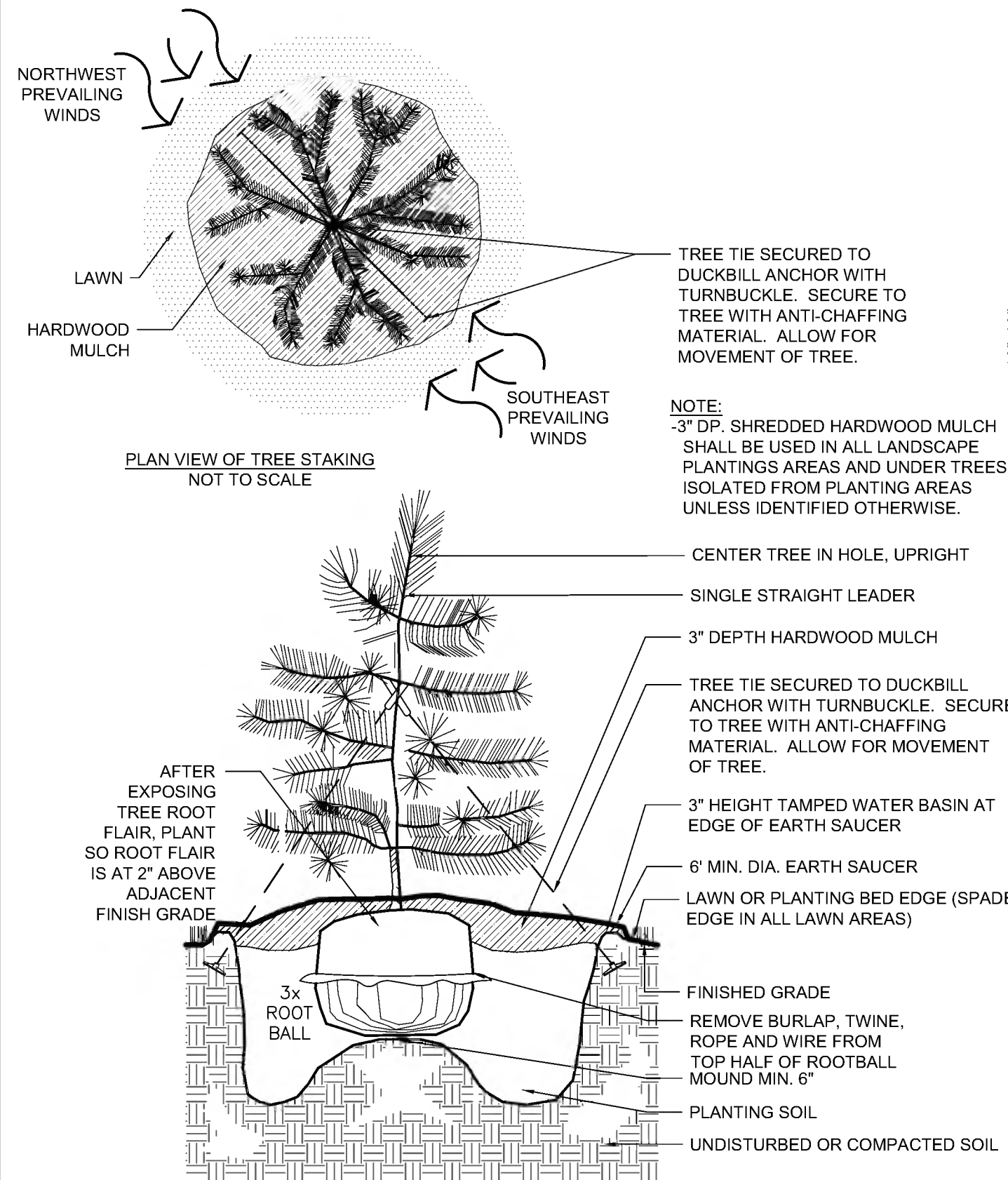
DRAWING TITLE

PLANTING NOTES & DETAILS

DRAWING NO.

L3

PLOTTED:	COMM. NO.
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13605 1st Avenue N. #100
Plymouth, MN 55441 | ae-mn.com
P 763.412.4000 | F 763.412.4090
Anderson Engineering of Minnesota, LLC

WOODHAVEN AT MINNETONKA

2424-2440 PLYMOUTH RD
MINNETONKA, MN 55305

AIRBORNE WOODHAVEN, LLC
13605 1ST AVE N #100
PLYMOUTH, MN 55441

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: CURT H. CLAEYS, PLA

SIGNATURE: **NOT FOR CONSTRUCTION**

DATE: 05/02/2022 LICENSE NO. 45613

REVISION LOG

NO.	DATE	DESCRIPTION OF REVISIONS
1	5/11/22	REVIEW & UPDATE TREE DATA

CITY SUBMITTAL

05/02/2022

DESIGNED:	DRAWN:	CHECKED BY:
CHC	CHC	JAF

DRAWING TITLE

TREE PRESERVATION PLAN

DRAWING NO.

L1

PLOTTED: --- COMM. NO. 16523

LEGEND

- PROPERTY LIMITS
- D&U SETBACK
- BUILDING SETBACK
- GRADING LIMITS
- SIGNIFICANT TREE
- HIGH PRIORITY TREE
- DEMOLISH EXISTING TREE
- DEAD/POOR CONDITION TREE
- TREE PROTECTION FENCE

TREE SPECIES IDENTIFICATION

APP	APPLE	COT	COTTONWOOD
ASH	ASH	ELM	ELM
BAS	BASSWOOD	MAP	MAPLE
BLA	BLACK CHERRY	OAK	OAK
BOX	BOX ELDER	PIN	PINE
CED	CEDAR	SPR	SPRUCE

TREE SUMMARY

TREES ON PROPERTY	464
TREES OFF PROPERTY (PROTECTED)	0
TOTAL TREE COUNT	464
SIGNIFICANT TREES ON SITE	168
DEAD/POOR COND. SIG. TREES	8
TOTAL COUNTED SIG. TREES	160
HIGH PRIORITY TREES ON SITE	314
DEAD/POOR COND. HP TREES	54
TOTAL COUNTED HP TREES	260

TREE REMOVAL SUMMARY

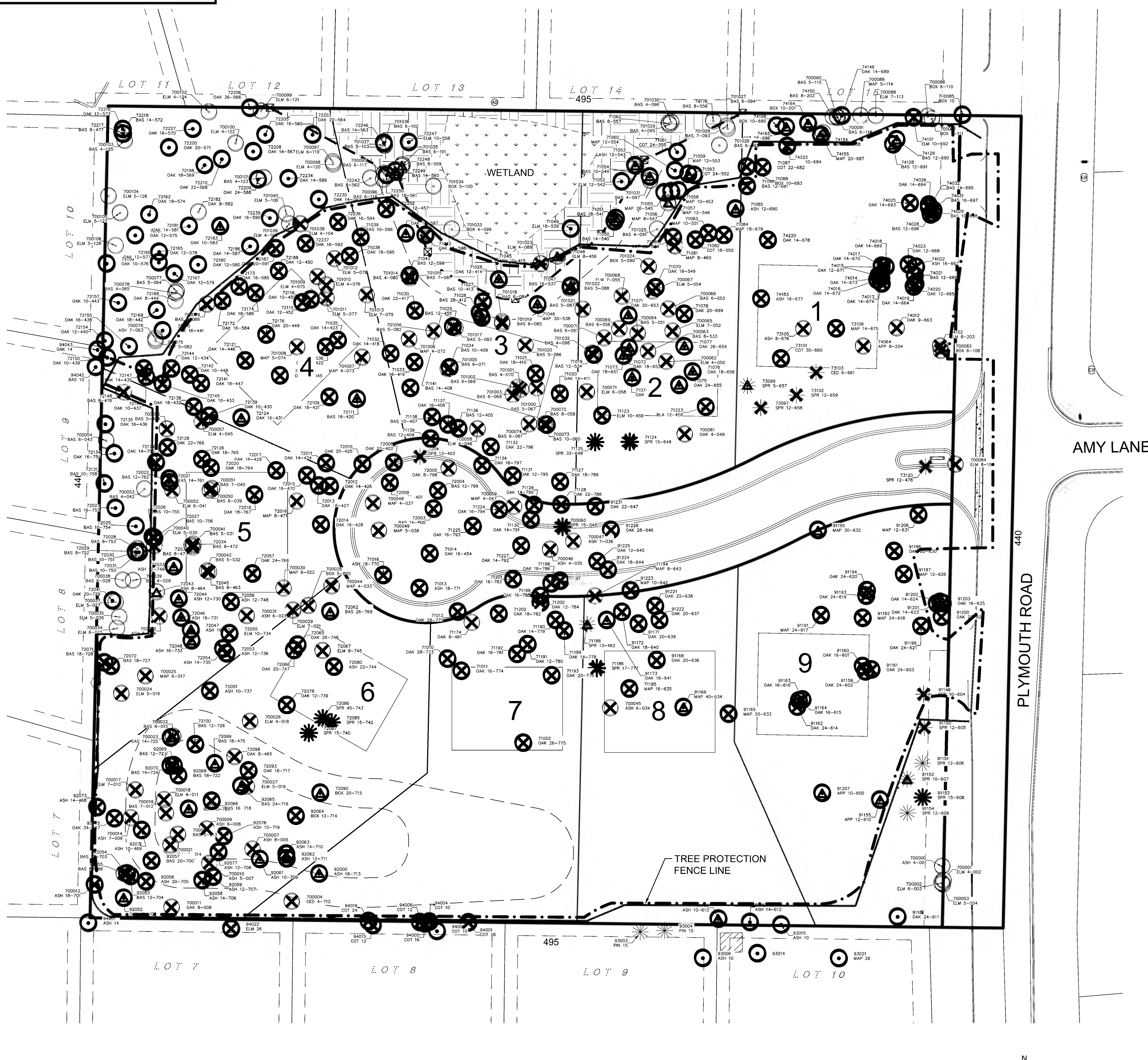
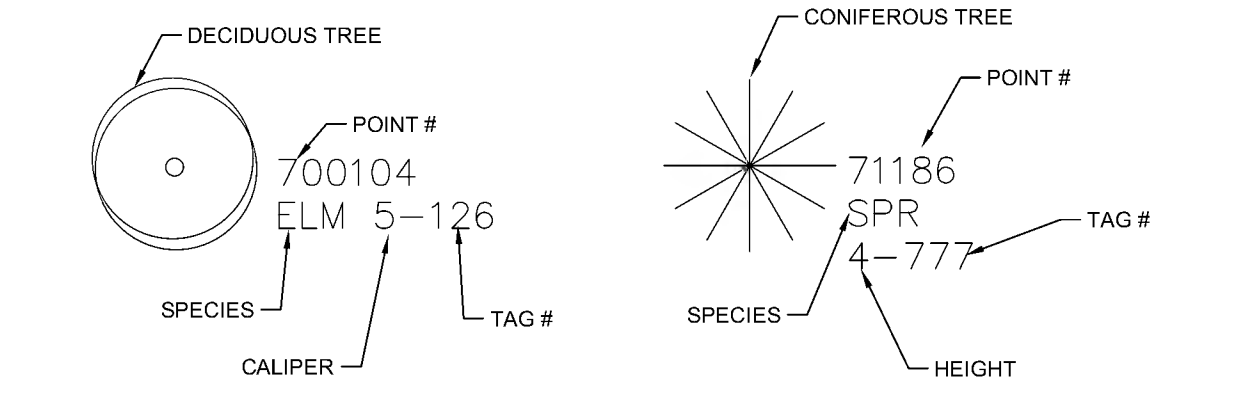
SIGNIFICANT TREES REMOVED	97
# OF SIG. DECIDUOUS TREES REMOVED	89
#OF SIG. CONIFEROUS TREES REMOVED	8
PERCENT SIGNIFICANT TREES REMOVED	60.6%
HIGH PRIORITY TREES REMOVED	175
GAL IN OF HIGH PRIORITY DECIDUOUS TREES	2380
FT HT. OF HIGH PRIORITY CONIFEROUS TREES	27
PERCENT HIGH PRIORITY TREES REMOVED	67.3%

TREE REMOVAL COUNT PER LOT & R/W

LOT NUMBER	SIGNIFICANT TREES	HIGH PRIORITY TREES	HP CALIPER INCHES
1	10	26	272
2	15	8	96
3	17	15	214
4	8	22	288
5	14	17	260
6	5	7	90
7	2	11	194
8	1	8	136
9	0	17	304
LOT 6 POND AREA	17	19	230
R/W	8	25	296
TOTALS	97	175	2380

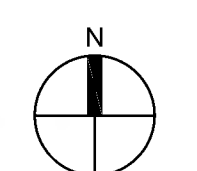
NOTES:

- TREES OFF PROPERTY BOUNDARY DO NOT HAVE TREE TAG NUMBERS.
- INDIVIDUAL TREES ON NEIGHBORING PROPERTIES BUT WITH POSSIBLE ROOT ZONE IMPACTS WILL BE REVIEWED ON AN INDIVIDUAL BASIS.



1 TREE PRESERVATION PLAN

SCALE: 1" = 30' (22" x 34" PAPER SIZE)



2 TREE LABEL KEY

NTS

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PRINT NAME: CURT H. CLAEYS, PLA

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DATE: 02/18/2022 LICENSE NO. 45613

REVISION LOG

NO.	DATE	DESCRIPTION OF REVISIONS

CITY SUBMITTAL

02/18/2022

DESIGNED: CHC	DRAWN: CHC	CHECKED BY: JAF
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DRAWING TITLE

TREE PRESERVATION PLAN

DRAWING NO.

L1

PLOTTED: ---	COMM. NO. 16523
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LEGEND

- PROPERTY LIMITS
- D&U SETBACK
- BUILDING SETBACK
- GRADING LIMITS
- SIGNIFICANT TREE
- HIGH PRIORITY TREE
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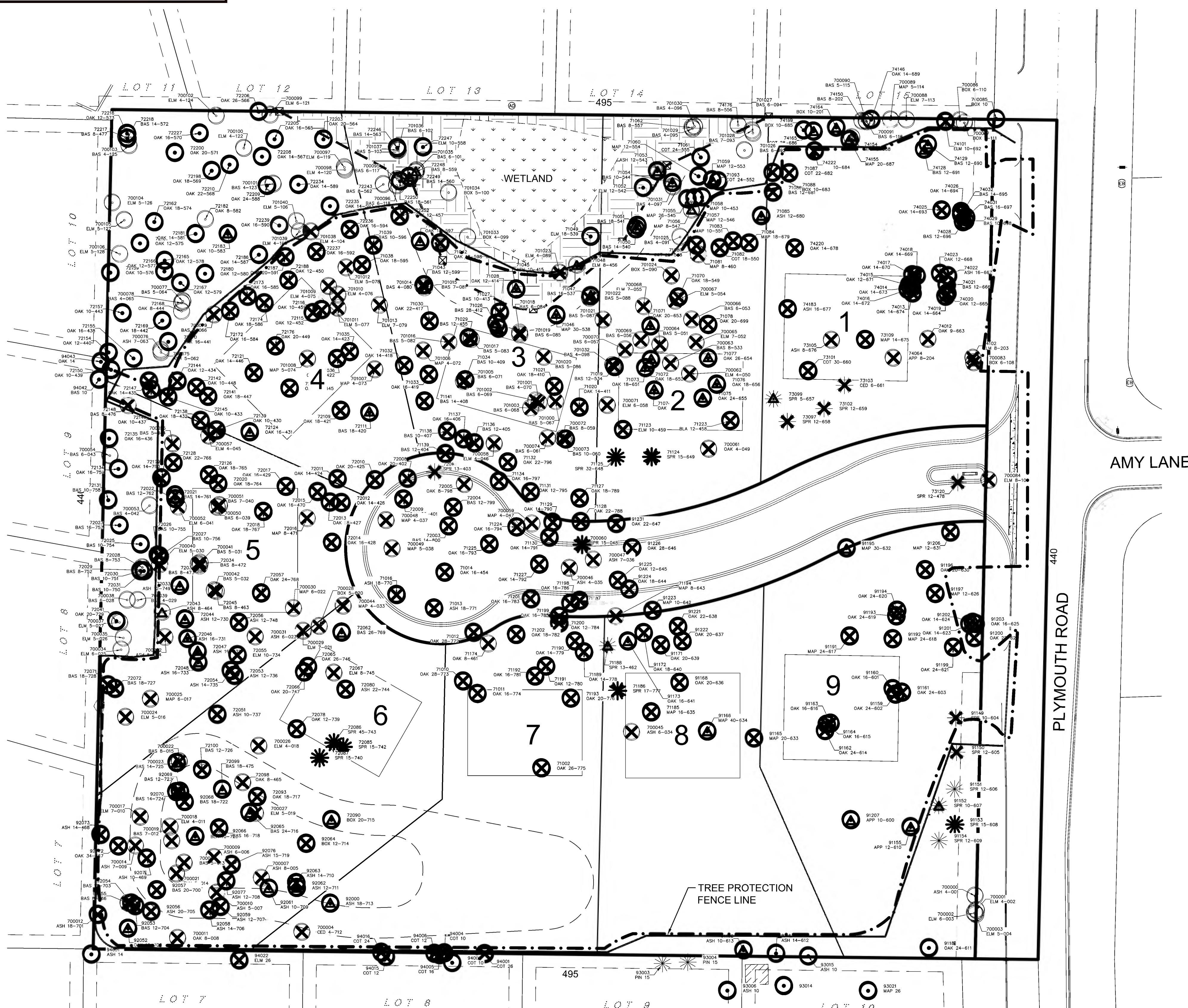
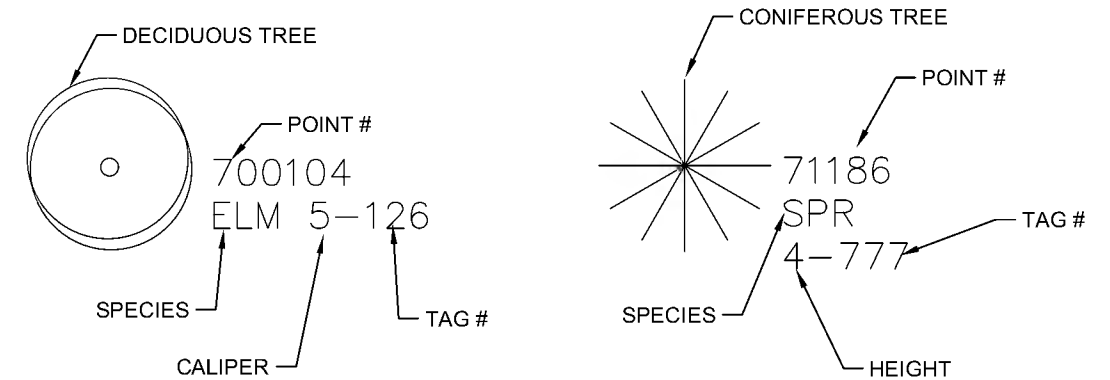
TREE SUMMARY	
TREES ON PROPERTY	464
TREES OFF PROPERTY	18
TOTAL TREE COUNT	482
SIGNIFICANT TREES ON SITE	168
DEAD/POOR COND. SIG. TREES	8
TOTAL COUNTED SIG. TREES	160
HIGH PRIORITY TREES ON SITE	314
DEAD/POOR COND. HP TREES	54
TOTAL COUNTED HP TREES	260

TREE REMOVAL SUMMARY	
SIGNIFICANT TREES REMOVED	102
# OF SIG. DECIDUOUS TREES REMOVED	96
#OF SIG. CONIFEROUS TREES REMOVED	6
PERCENT SIGNIFICANT TREES REMOVED	63.8%
HIGH PRIORITY TREES REMOVED	195
CAL IN OF HIGH PRIORITY DECIDUOUS TREES	3083
FT HT. OF HIGH PRIORITY CONIFEROUS TREES	71
PERCENT HIGH PRIORITY TREES REMOVED	75.0%

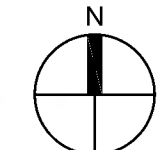
TREE COUNT PER LOT		
LOT NUMBER	SIGNIFICANT TREES	HIGH PRIORITY TREES
1	48	35
2	56	31
3	51	30
4	102	56
5	63	34
6	55	31
7	18	14
8	16	13
9	32	28
TOTALS	441	272

NOTES:

- TREES OFF PROPERTY BOUNDARY DO NOT HAVE TREE TAG NUMBERS.



1 TREE PRESERVATION PLAN
SCALE: 1" = 30' (22" x 34" PAPER SIZE)



2 TREE LABEL KEY
NTS

Mar 04, 2022 - 12:42pm J:\16500\16523 - AIRBORNE - PLYMOUTH RD PROPERTY - MINNETONKA, MN - 06 LA_01 CAD FILES\01 SHEETS\16523_L_TREE PRESERVATION.dwg
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REQUIREMENTS

MINIMUM LANDSCAPING REQUIREMENTS:

- SIMILAR IN QUANTITY HAVING A MINIMUM VALUE IN CONFORMANCE WITH PROJECT VALUE, INCLUDING BUILDING CONSTRUCTION.
 - BELOW \$1,000,000 = 2%
 - \$1,000,001 - \$2,000,000 = \$20,000 + 1% OF PROJECT VALUE
 - \$2,000,001 - \$3,000,000 = \$30,000 + 1.5% OF PROJECT VALUE
 - \$3,000,001 - \$5,000,000 = \$37,000 + 2.5% OF PROJECT VALUE
 - OVER \$4,000,000 = 1%
- AT LEAST PERCENT OF PROPOSED NEW PLANTINGS MUST BE SPECIES BENEFICIAL TO POLLINATORS DERIVED FROM THE CITY'S NATIVE OR NATIVE CULTIVAR PLANT LIST
- NOT MORE THAN 25 PERCENT OF THE REQUIRED NUMBER OF TREES MAY BE COMPOSED OF ANY ONE SPECIES

TREE PRESERVATION AND RESTORATION:

- TREE REPLACEMENT REQUIREMENTS: SIGNIFICANT TREES**
- 96 TREES TOTAL NUMBER OF DECIDUOUS SIGNIFICANT TREES LOST AS A RESULT OF THE LAND ALTERATION
 - 96 TREES SIGNIFICANT DECIDUOUS TREES REPLACEMENT RATE OF 1:1 @ 2" CAL. MIN. (96 "1" = 96 TREES)
 - 6 TREES TOTAL NUMBER OF CONIFEROUS SIGNIFICANT TREES LOST AS A RESULT OF THE LAND ALTERATION
 - 6 TREES SIGNIFICANT CONIFEROUS TREES FEET REPLACEMENT RATE OF 1:1 @ 6" HT. MIN. (6 "1" = 6 TREE)

- TREE REPLACEMENT REQUIREMENTS: HIGH PRIORITY TREES**
- 3083 CAL IN TOTAL CALIBER INCHES OF DECIDUOUS HIGH PRIORITY TREES LOST AS A RESULT OF THE LAND ALTERATION
 - 1,542 TREES HIGH PRIORITY DECIDUOUS TREES REPLACEMENT RATE OF 1:1 CAL. INCHES @ 2" CAL REPLACEMENTS (3083 "1" = 3083 CALIBER INCHES / 2 = 1,541.5 TREES)
 - 71 FT HT TOTAL NUMBER OF CONIFEROUS HIGH PRIORITY TREES FEET HT. LOST AS A RESULT OF THE LAND ALT.
 - 12 TREES HIGH PRIORITY CONIFEROUS TREES FEET HEIGHT REPLACEMENT RATE OF 1:1 @ 6" HT REPLACEMENTS (71 "1" = 71 FEET IN HEIGHT / 6 = 11.833 - 12 TREES)

TOTAL TREE REPLACEMENT REQUIRED:
 1,638 DECIDUOUS TREES @ 2" CAL. EACH
 18 CONIFEROUS TREES @ 6" HT. EACH

LEGEND

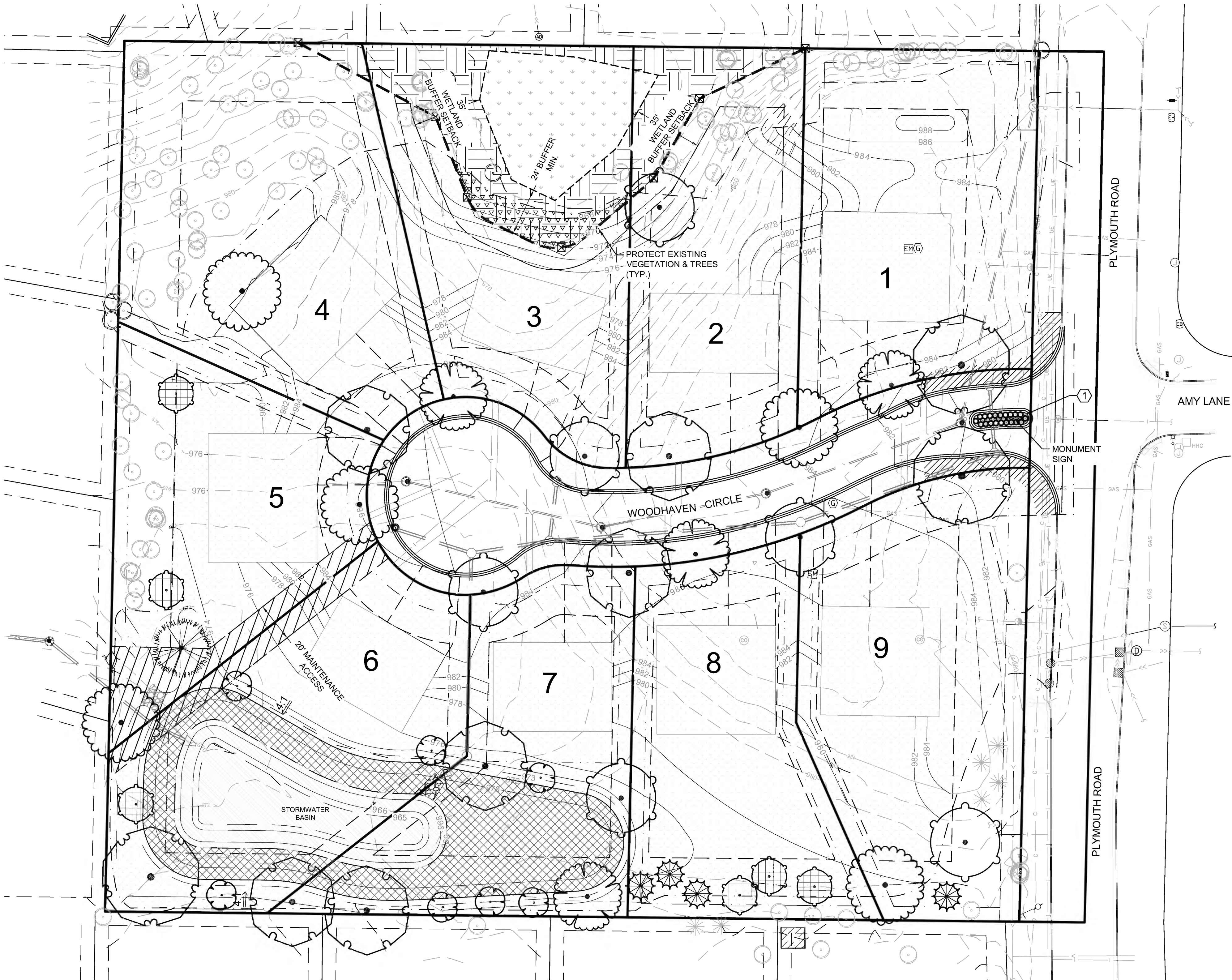
- PROPERTY LIMITS
- CONSTRUCTION LIMITS
- NEW SOD w/IRRIGATION
- MESIC PRAIRIE MIX MN 35-241
- ZONE 4 - FLOODPLAIN ZONE SEED MIX PER MINNESOTA STORMWATER MANUAL VARIETY SHALL BE AN EQUAL PERCENTAGE OF: BOTTLEBRUSH SEDGE, VIRGINIA WILD RYE, RICE-CUT GRASS, SWITCHGRASS, GREEN BULRUSH, PRAIRIE CORD GRASS
- 2" PLUGS PLANTED AT 24" O.C. VARIETY SHALL BE AN EQUAL PERCENTAGE OF: BOTTLEBRUSH SEDGE, VIRGINIA WILD RYE, RICE-CUT GRASS, SWITCHGRASS, GREEN BULRUSH, PRAIRIE CORD GRASS
- RIPARIAN SOUTH AND WEST MIX - MN 34-261 - PER MNDOT RECOMMENDATIONS.
- 3" DP SHREDDED HARDWOOD MULCH W/OUT FABRIC
- COMMERCIAL GRADE POLY EDGER

NOTES

- ALL PLANTINGS WITHIN PROPERTY LIMITS SHALL RECEIVE IRRIGATION (SEE L3 FOR IRRIGATION NOTES)
- REFER TO PLAN SHEET L3 FOR SODDING, SEEDING, FERTILIZER AND TOPSOIL NOTES
- INSTALL SEED MIX ON ALL SLOPES 3:1 AND GRATER WITH EROSION CONTROL BLANKET; SEED MIX PER PLAN.
- INSTALL TREE PROTECTION AROUND EXISTING TREES TO REMAIN (TYP.). WHERE CLUSTERS OF TREES ARE TO BE PROTECTED, CONTRACTOR SHALL INSTALL PROTECTION FENCING AROUND THE OUTERMOST DRIPLINE OF THE CLUSTER. SEE 4/L3.

PLANTING SCHEDULE

CONIFEROUS TREES	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL/HT
	JVE	5	EASTERN RED CEDAR JUNIPERUS VIRGINIANA	B&B	6' HT.
	LLA	1	AMERICAN LARCH LARIX LARICINA	B&B	6' HT.
	PGD	4	BLACK HILLS WHITE SPRUCE PICEA GLAUCA 'DENSATA'	B&B	6' HT.
CONIFEROUS TOTAL: 10					
DECIDUOUS TREES	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL/HT
	AGA	7	AUTUMN BRILLIANCE APPLE SERVICEBERRY AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	B&B	2" CAL.
	COC	5	COMMON HACKBERRY CELTIS OCCIDENTALIS	B&B	2" CAL.
	GTS	4	SKYLINE HONEY LOCUST GLEDITSIA TRIACANTHOS 'SKYLINE'	B&B	2" CAL.
	GDO	6	KENTUCKY COFFEETREE GYMNOCLADUS DIOICA	B&B	2" CAL.
	QBI	3	SWAMP WHITE OAK QUERCUS BICOLOR	B&B	2" CAL.
	TAR	6	REDMOND AMERICAN LINDEN TILIA AMERICANA 'REDMOND'	B&B	2" CAL.
DECIDUOUS TOTAL: 31					
ORNAMENTAL GRASS	CODE	QTY	COMMON / BOTANICAL NAME	CONT	SIZE
	SH	20	PRAIRIE DROPSPEED SPOROBOLUS HETEROLEPIS	CONT.	3 GAL.
PERENNIALS	CODE	QTY	COMMON / BOTANICAL NAME	CONT	SIZE
	VS	5	HOARY VERVAIN VERBENA STRICTA	CONT.	3 GAL.



1 PLANTING PLAN
 SCALE: 1" = 30' (22" x 34" PAPER SIZE)

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REVISION LOG

NO.	DATE	DESCRIPTION OF REVISIONS

CITY SUBMITTAL
 02/18/2022

DESIGNED: CHC	DRAWN: CHC	CHECKED BY: JAF
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DRAWING TITLE

PLANTING PLAN

DRAWING NO.

L2

PLOTTED: --- COMM. NO. 16523

Mar 04, 2022 - 12:42pm J:Dobias Y:\16500\16523 - AIRBORNE - PLYMOUTH RD PROPERTY - MINNETONKA MN\06 LA\01 CAD files\01 SHEETS\16523_L_PLANTING.dwg Xref Filename: \\16523_s_base_civil\16523_title_block\16523_tree_base

GENERAL LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID TO BECOME COMPLETELY FAMILIAR WITH SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN IMMEDIATE AREA.
- IT IS THE RESPONSIBILITY OF THE OWNER & CONTRACTOR TO IDENTIFY ALL UNDERGROUND CABLES, CONDUITS, WIRES, ETC., ON THE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLETE MAINTENANCE OF THE PLANT MATERIAL (WATERING, SPRAYING, FERTILIZING, MOWING, ETC.) UNTIL THE WORK HAS BEEN ACCEPTED, BY THE OWNER.
- IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER OF PLANTS SHOWN IN THE PLANT SCHEDULE, THE NUMBER OF PLANTS SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- ALL CONTAINER MATERIAL TO BE GROWN IN CONTAINER A MINIMUM OF 6 MONTHS.
- ALL MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
- GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR. DECIDUOUS TREES WILL BE GUARANTEED FOR TWO CALENDAR YEARS FROM TIME OF PROVISIONAL ACCEPTANCE.
- ALL PROPOSED PLANTS SHALL BE LOCATED CAREFULLY AS SHOWN ON THE PLANS AND SHALL BE APPROVED BY OWNERS REPRESENTATIVE BEFORE THEY ARE INSTALLED.
- CONTRACTOR CAN SUBSTITUTE MACHINE MOVED MATERIAL USING APPROPRIATE SIZE TREE SPADE FOR B & B WITH OWNERS REPRESENTATIVE APPROVAL.
- LANDSCAPE CONTRACTOR SHALL ENSURE THAT NEW TREES MOVED ONTO THE SITE ARE DUG FROM SIMILAR SITES WITH SIMILAR SOILS TO THE SOILS OF THIS PROJECT (HEAVY TO HEAVY, LIGHT TO LIGHT, HEAVY TO LIGHT SOILS).
- LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE OWNER WITH MAINTENANCE INFORMATION DURING GUARANTEE PERIOD RELATING TO WATERING, FEEDING, PRUNING, PEST CONTROL, AND RELATED ITEMS. THIS WILL BE PREPARED AND DELIVERED TO OWNER AFTER PROVISIONAL INSPECTION APPROVAL HAS BEEN GIVEN BY OWNERS REPRESENTATIVE.
- BREATHABLE SYNTHETIC FABRIC TREE WRAP: WHITE IN COLOR, IN 3 INCH WIDE ROLLS. MATERIAL SHALL BE SPECIFICALLY MANUFACTURED FOR TREE WRAPPING. TREE WRAP SHALL BE SECURED TO THE TRUNK USING BIO-DEGRADABLE TAPE SUITABLE FOR NURSERY USE AND WHICH IS EXPECTED TO DEGRADE IN SUNLIGHT IN LESS THAN 2 YEARS AFTER INSTALLATION. WRAP ALL TREES, EXCEPT HACKBERRY TREE SHALL BE PROTECTED PRIOR TO 12/1.
- POLY EDGER UNLESS SPECIFIED OTHERWISE, SHALL BE BLACK VINYL STYLE EDGER.
- ALL PLANTING AREAS SPECIFIED SHALL RECEIVE 3" DEPTH 1" TO 1-1/2" SHREDDED HARDWOOD MULCH BE INSTALLED WITHOUT LANDSCAPED FABRIC AS INDICATED ON THE PANS & DETAILS.
- ALL TREES PLANTED INDEPENDENTLY OF SPECIFIED BEDS SHALL RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH WITHOUT FABRIC.
- ALL PLANTINGS SHALL RECEIVE FERTILIZER AND APPLIED AT THE RATE INDICATED BY THE MANUFACTURER. FERTILIZER SHALL BE GENERAL PURPOSE 10-10-10.
- DECIDUOUS SHRUBS SHALL HAVE MINIMUM OF FIVE (5) CANES AT SPECIFIED HEIGHT NOTED IN PLANT SCHEDULE.
- IF THE CONTRACTOR FEELS AN ERROR HAS BEEN MADE REGARDING SPACING OR HARDINESS OF A SPECIES OF PLANT MATERIAL INDICATED ON THE PLAN, NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF PLANT MATERIAL.
- ALL NEWLY INSTALLED PLANT MATERIAL SHALL BE PLANTED IN WELL-DRAINED AREAS. CONTRACTOR SHALL AVOID INSTALLING ANY PLANT MATERIAL IN DRAINAGE SWALES OR WET & POORLY DRAINED AREAS.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ALL TREE STAKES, GUYS, STRAPS AND TRUNK PROTECTION MEASURES FOLLOWING THE COMPLETION OF THE WARRANTEE PERIOD OR AS DIRECTED BY THE OWNER.
- THE PRACTICE OF STAKING SHOULD NOT ALLOW NAILS, SCREWS, WIRES, ETC. TO PENETRATE THE OUTER SURFACE OF THE TREES.
- THE CONTRACTOR SHALL MEET WITH THE OWNER ON SITE WHEN THEY FEEL THE PROJECT IS COMPLETE ACCORDING TO THE CONTRACT DOCUMENTS. IF ALL WORK IS SATISFACTORY AND COMPLETE ACCORDING TO THE CONDITIONS OF THE CONTRACT DOCUMENTS, THEN THE OWNER MUST DECLARE THE PROJECT COMPLETE. THIS DECLARATION WILL CONSTITUTE AS THE BEGINNING OF THE WARRANTEE PERIOD FOR ALL PLANT MATERIAL. THE OWNER SHALL PROVIDE A LETTER WITH SIGNATURE STATING THE DATE OF ACCEPTANCE.

IRRIGATION NOTES

- PRIOR TO CONSTRUCTION, VERIFY WITH THE GENERAL CONTRACTOR AND ALL LOCAL UTILITY COMPANIES TO LOCATE EXACT LOCATIONS OF UNDERGROUND UTILITIES.
- THE IRRIGATION SHALL BE DESIGN/BUILD SYSTEM BY THE CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATIONS AS PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE OWNER PRIOR TO ORDER AND/OR INSTALLATION.
- VALVE AND CIRCUITS SHALL BE SEPARATED BASED ON WATER USE, SO THAT TURF AREAS ARE WATERED SEPARATELY FROM SHRUB AND GROUND COVER AREAS. IRRIGATION HEADS IN TURF AREAS SHALL BE VALVED SEPARATELY FROM SHRUB AND GROUND COVER AREAS. IT IS RECOMMENDED THAT FULL SUN AND SHADY AREAS TO BE VALVED SEPARATELY AS WELL AS HIGH RUN-OFF AND LOW RUN-OFF AREAS TO BE VALVED SEPARATELY.
- CONFIRM LIMITS OF IRRIGATION, EXISTING AND FUTURE HARDSCAPE AND BUILDING LOCATIONS PRIOR TO THE DESIGN OF THE IRRIGATION SYSTEM.
- CONTRACTOR SHALL VERIFY WATER SOURCE LOCATION AND PRESSURE AND SUPPLY A SYSTEM THAT PROVIDES FULL AND COMPLETE COVERAGE TO ALL AREAS TO BE IRRIGATED.
- SYSTEM SHOULD BE DESIGNED TO OPERATE AT UP TO 300 GPM @ 90 PSI TO COMPLETE WATER SCHEDULES WITHIN 12-HOURS MAXIMUM.
- RAIN SENSORS AND OTHER WATER SAVING TECHNOLOGIES SHALL BE INCLUDED WITHIN THE IRRIGATION DESIGN.
- PROVIDE THE OWNER WITH AN OPERATING SCHEDULE THAT WORKS WITH THE APPROVED LAYOUT PLAN AND IDENTIFY ANY FIELD ADJUSTMENTS PRIOR TO PROJECT COMPLETION.
- AVOID OVER-SPRAY ONTO ROADS, SIDEWALKS, SIGNS AND PARKING AREAS. SPRINKLER ARCS SHALL BE DETERMINED ON SITE BY THE IRRIGATION INSTALLER TO PROVIDE THE MAXIMUM COVERAGE POSSIBLE. CAREFULLY ADJUST THE ARCS AND RADIUS OF EACH SPRINKLER TO PROVIDE HEAD-TO-HEAD COVERAGE.
- WITHIN EXTREME SLOPED AREAS:
 - INSTALL STATIONS SEPARATELY FOR TOP AND BOTTOM OF SLOPED AREAS
 - INSTALL LATERAL PIPES PARALLEL TO SLOPE IF SLOPE IS TOO EXTREME FOR MACHINERY. INSTALL LATERAL PIPES SAFELY AND TEE-FEED INDIVIDUAL SPRINKLERS VIA DOWNHILL PIPING PERPENDICULAR TO FEED LINE
- LOCATE VALVE BOXES AWAY FROM ROAD/CURB SO THEY ARE LESS VISUAL WHERE APPLICABLE.
- DO NOT TRENCH THROUGH THE ROOT BALLS OF NEW PLANTINGS.
- MAINLINE PIPING BENEATH TRAFFIC AREAS SHALL BE INSTALLED WITH A MINIMUM EARTH COVER OF 30-INCHES FROM BOTTOM OF ROAD SUB-GRADE AND CONTAIN SLEEVES NOT LESS THAN TWO NOMINAL DIMENSIONS GREATER THAT THE PIPE PASSING THROUGH.
- IRRIGATION INSTALLER SHALL FURNISH AND INSTALL SLEEVE MATERIAL UNDER ALL ROADWAYS, WALKS AND DRIVEWAYS WHERE NECESSARY
- TOP OF MAINLINES SHALL BE AT LEAST 30-INCHES BELOW GRADE IN TURF AREAS.
- TOP OF LATERAL LINES SHALL BE AT LEAST 18-INCHES BELOW GRADE.
- MAINLINE PRESSURE PIPE FITTINGS 3-INCHES AND LARGER SHALL BE PUSH ON GASKET JOINED AND SHALL HAVE MECHANICAL JOINT RESTRAINTS. MAINLINE PRESSURE PIPE FITTINGS 2.5-INCHES AND SMALLER SHALL BE GLUED AND SHALL HAVE CONCRETE THRUST BLOCKS AT FITTINGS THAT COMPRISE CHANGE IN DIRECTION.
- OTHERS SHALL FURNISH, INSTALL AND BRING 24-INCHES ABOVE GRADE A MUNICIPAL POTABLE STUB FOR IRRIGATION, COORDINATE WITH GENERAL CONTRACTOR.
- INSTALLER IS RESPONSIBLE FOR FURNISHING AND INSTALLING THE BACKFLOW PREVENTOR, WATER METER AND BOOSTER PUMP, IF APPLICABLE.
- IRRIGATION CONTROL WIRE SHALL BE DIGITAL TWO-WIRE, UL LISTED FOR DIRECT BURIAL.
- CONNECT ALL ELECTRICAL WIRING IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ALL APPLICABLE LOCAL ELECTRIC UTILITY CODES INCLUDING:
 - ALL LOW VOLTAGE IRRIGATION CONTROL WIRE SHALL BE INSTALLED WITH THE MAINLINE PIPE WHERE POSSIBLE
 - DO NOT LOOP THE LOW VOLTAGE IRRIGATION CONTROL WIRE PATH.
 - SNAKE WIRE AT BOTTOM OF TRENCH BENEATH MAINLINE.
 - PROVIDE 18-INCH OF SLACK CONTROL WIRE AT ALL CHANGES IN DIRECTION.
 - PROVIDE 24-INCH OF SLACK CONTROL WIRE AT EACH REMOTE CONTROL VALVE COILED INSIDE VALVE BOX.
 - ALL WIRE SPLICES SHALL BE WATERTIGHT CONNECTORS AND CONTAINED IN VALVE BOX.
 - ALL WIRING BENEATH HARDSCAPES SHALL BE CONTAINED IN SLEEVING, SEPARATE FROM PIPING. ELECTRICAL SLEEVES ARE TO BE SIZED APPROPRIATELY FOR EASE OF WIRE INSTALLATION AND REPAIR.
 - ALL WIRING SHALL BE IDENTIFIED AT EACH END TO PROVIDE INDICATION AS TO WHICH LOCATION THE WIRE IS CONNECTED.
 - GROUNDING PER MANUFACTURER'S RECOMMENDATION OR LOCAL ELECTRICAL CODE.
- SCHEDULE AND PROGRAM CONTROLLER AND VALVES FOR APPROPRIATE LANDSCAPE WATER REQUIREMENTS.

GENERAL SODDING, SEEDING & TOPSOIL

- SOD SHALL BE HIGHLAND SOD, 30" X 100' ROLLS PREFERRED WHERE APPLICABLE. TO BE LAID PARALLEL TO THE CONTOURS AND HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR DRAINAGE SWALES, THE SOD SHALL BE STAKED INTO THE GROUND. SCARIFY THE EXISTING GRADES WITH FIELD CULTIVATOR TO A MIN. DEPTH OF 12" PRIOR TO PLACING OF TOPSOIL AND FINISH GRADING FOR SOD. IMMEDIATELY PRIOR TO PLACING SOD, CONTRACTOR SHALL APPLY 10-6-4 FERTILIZER AT THE RATE OF 10 POUNDS PER 1000 SQ. FT.
- PLANTING SOIL REQUIRED: MIXTURE TO INCLUDE 45% TOPSOIL, 45% PEAT OR MANURE AND 10% SAND. ALL TREE, SHRUB AND PERENNIAL PLANTINGS SHALL RECEIVE 8" DEPTH OF PLANTING SOIL MIXTURE. ALL SODDED AREAS TO RECEIVE 4" DEPTH OF PLANTING SOIL MIXTURE. ALL SEEDS AREAS TO RECEIVE 2" DEPTH OF PLANTING SOIL MIXTURE.
- ALL SODDED AREAS SHALL HAVE 6" MINIMUM DEPTH OF TOPSOIL.
- ALL AREAS SPECIFIED AS MESIC PRAIRIE MIX TO BE SEEDDED WITH MN DOT 35-241 MESIC PRAIRIE GENERAL MIX. BROAD CAST AT A RATE OF 37 LBS./AC. (INCLUDES COVER CROP). EROSION CONTROL MEASURES AS REQUIRED PER CIVIL.
- ALL AREAS SPECIFIED AS 'NATIVE SEED MIX' TO BE SEEDDED WITH MN DOT 33-262. BROAD CAST, DRILL AND/OR HYDROSEED AT A RATE OF 44 LBS./AC. WITH 2 TONS SHREDDED AND PUNCHED IN PLACE STRAW PER ACRE. SEED MIX SHALL BE ABLE TO WITHSTAND PERIODIC FLOODING.
- ALL AREAS SPECIFIED AS 'WET PRAIRIE MIX' TO BE SEEDDED WITH MN DOT 34-262 WET PRAIRIE MIX. BROAD CAST AT A RATE OF 15 LBS./AC. (INCLUDES COVER CROP) WITH EROSION CONTROL BLANKET AS REQUIRED PER CIVIL. SEE CIVIL FOR NORMAL WATER LEVEL.



WOODHAVEN AT MINNETONKA

2424-2440 PLYMOUTH RD
MINNETONKA, MN 55305

AIRBORNE WOODHAVEN, LLC
13605 1ST AVE N #100
PLYMOUTH, MN 55441

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: CURT H. CLAEYS, PLA

SIGNATURE: **NOT FOR CONSTRUCTION**

DATE: 02/18/2022 LICENSE NO. 45613

REVISION LOG

NO.	DATE	DESCRIPTION OF REVISIONS

CITY SUBMITTAL

02/18/2022

DESIGNED:	DRAWN:	CHECKED BY:
CHC	CHC	JAF

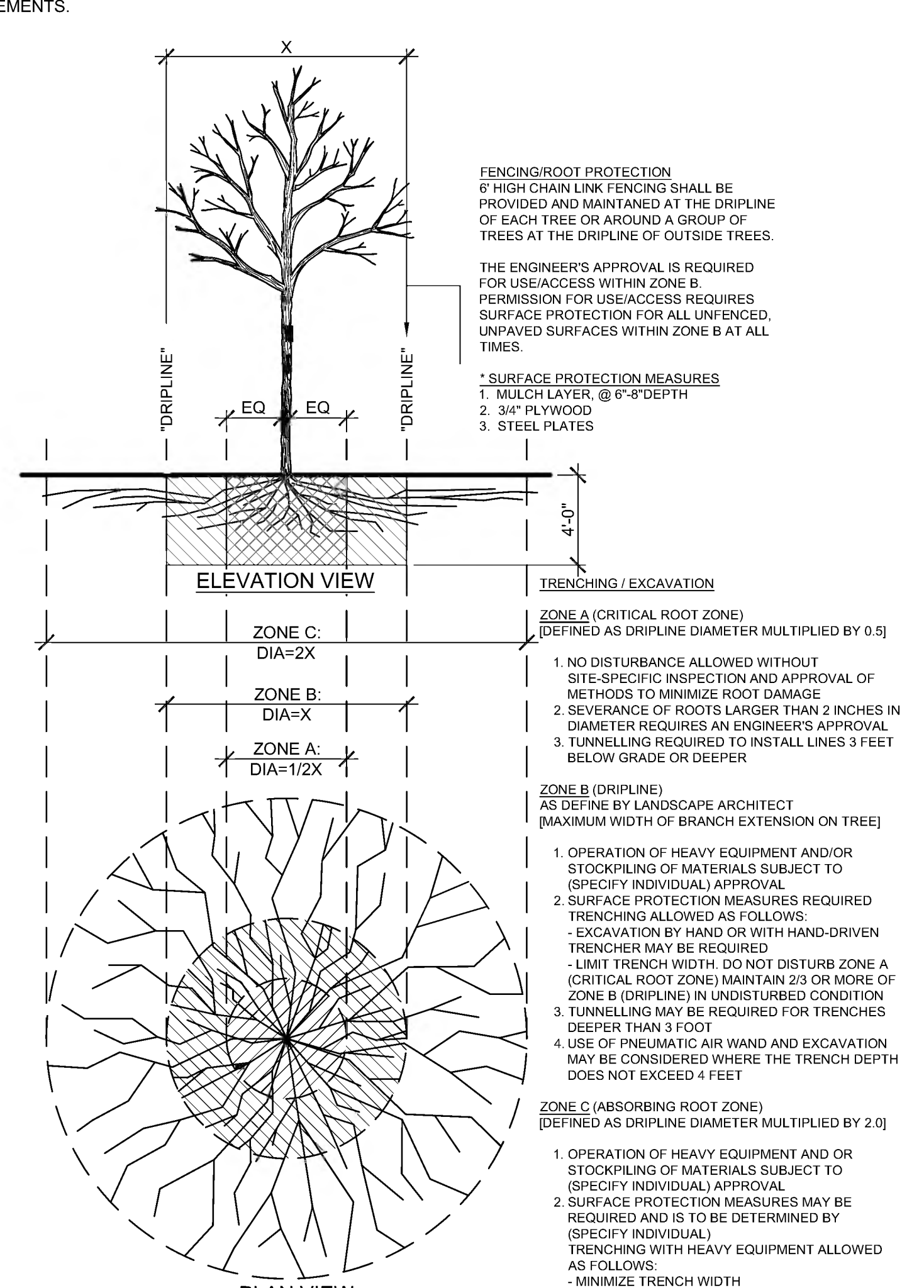
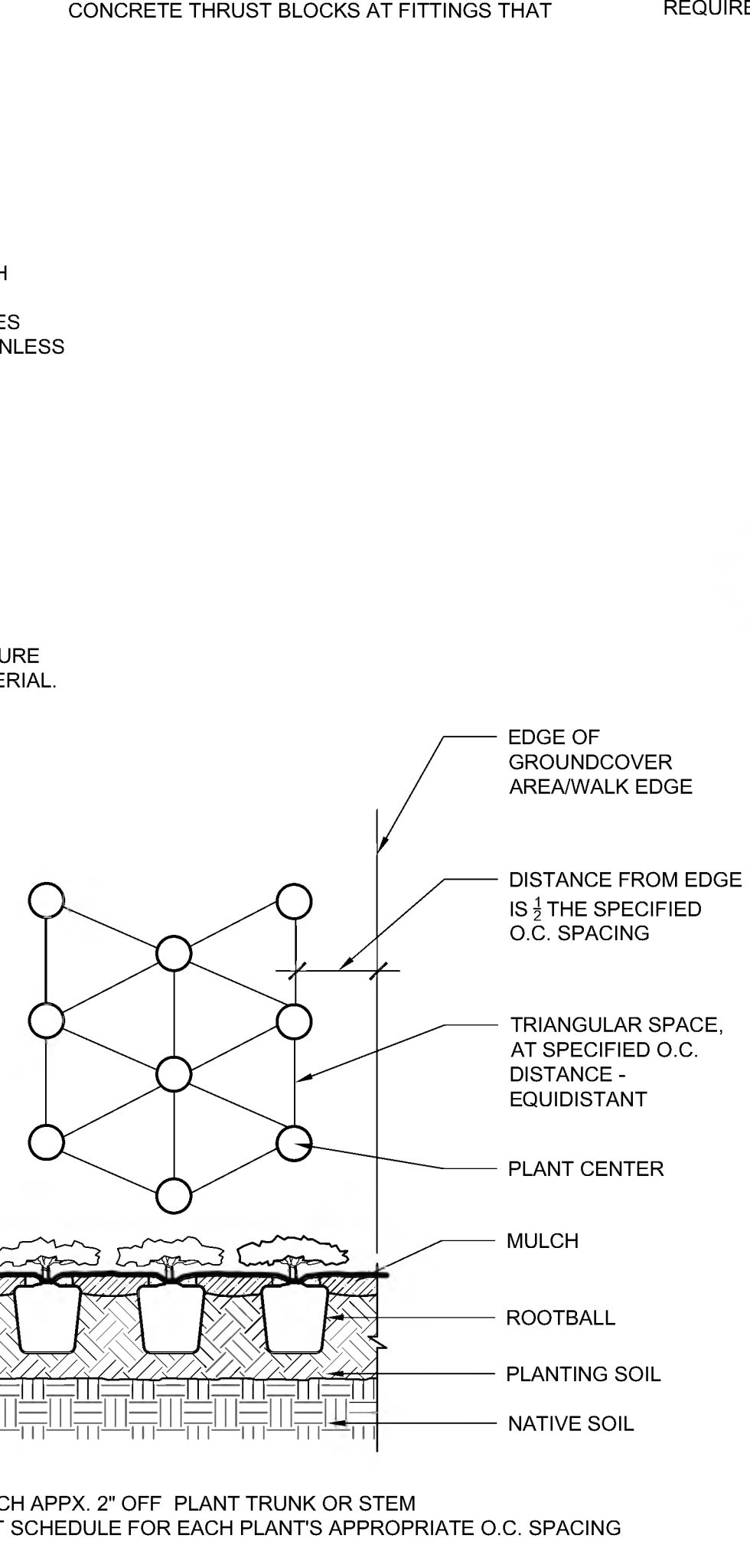
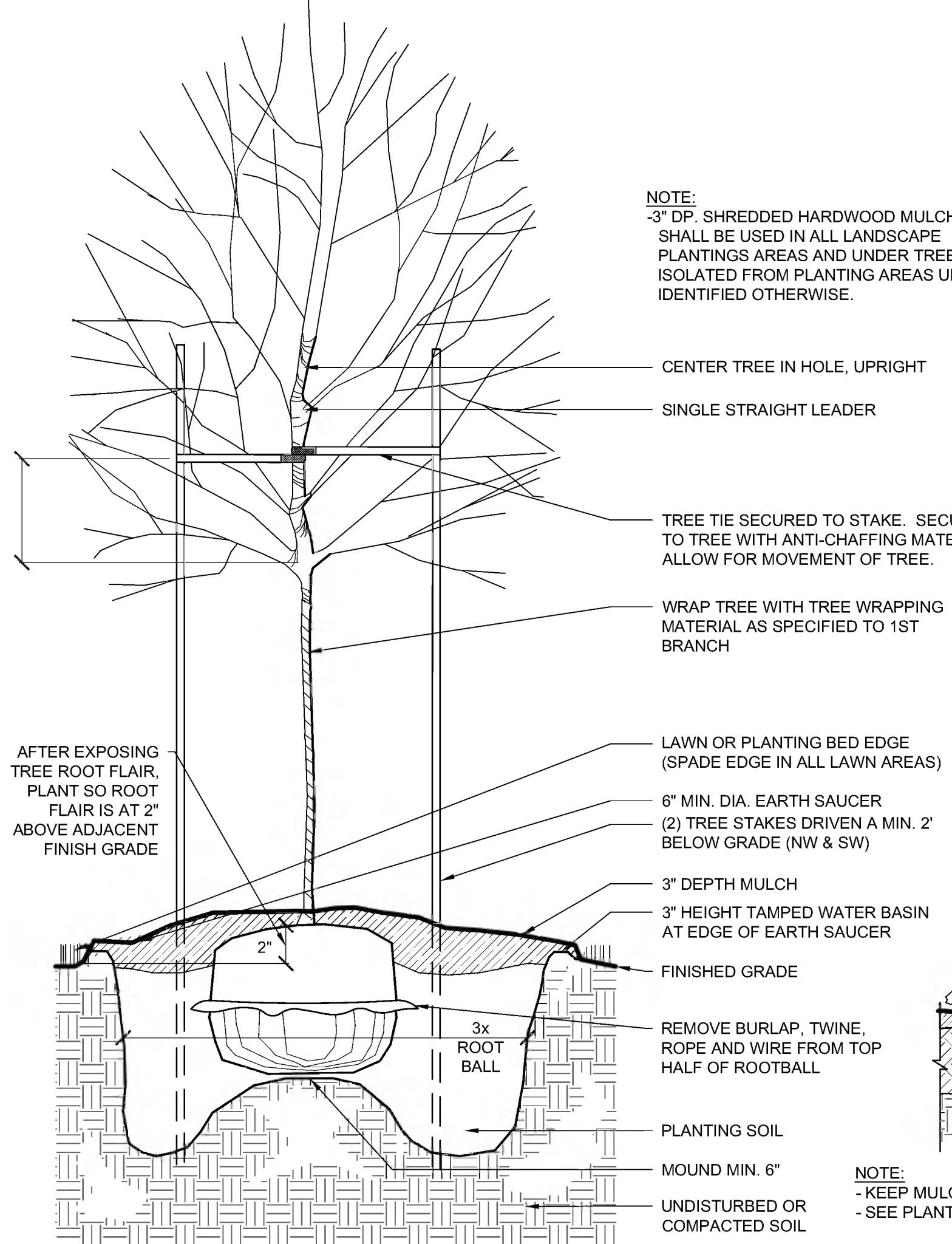
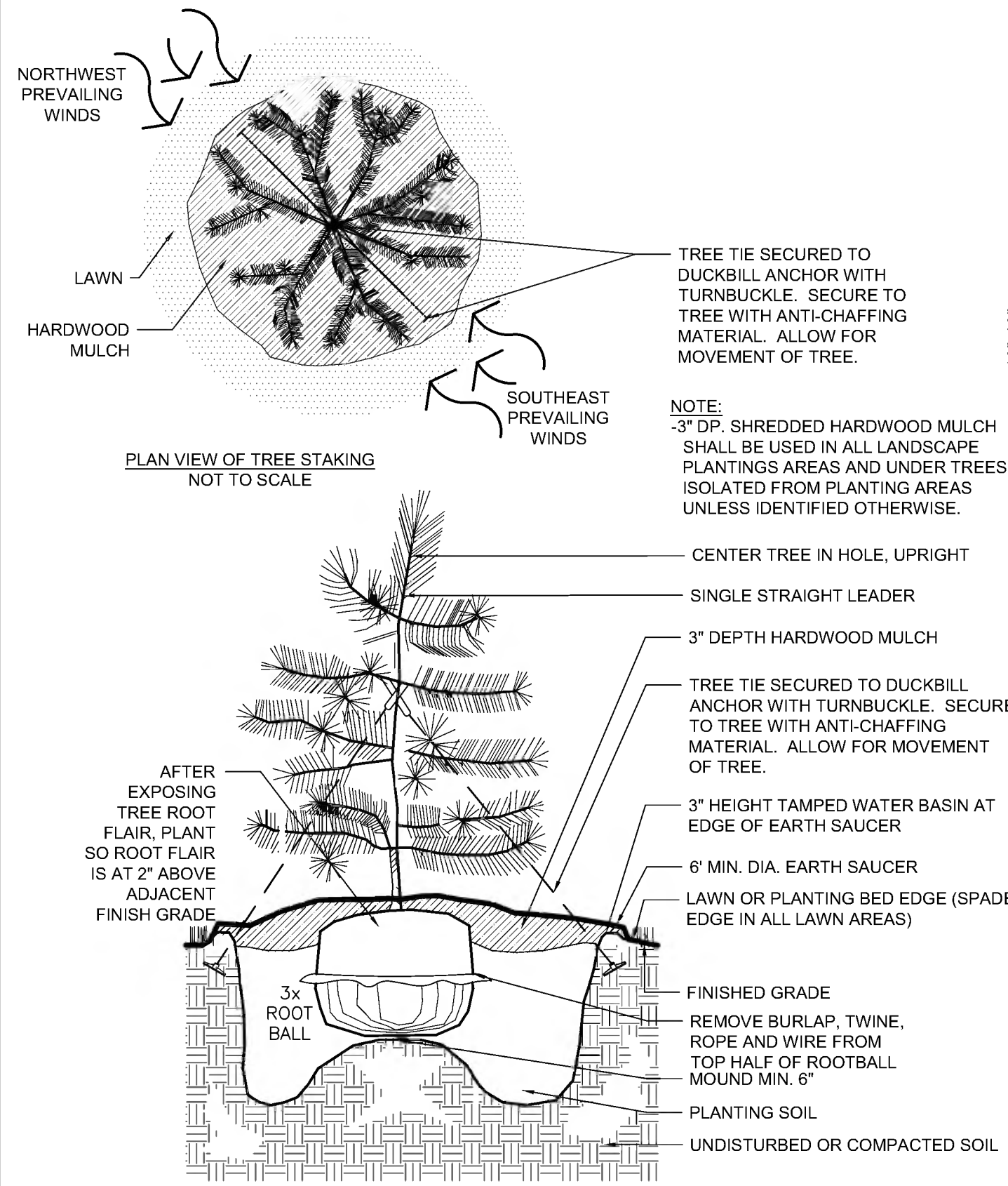
DRAWING TITLE

PLANTING NOTES & DETAILS

DRAWING NO.

L3

PLOTTED:	COMM. NO.
---	16523



Mar 04, 2022 - 12:42pm J:Jobsias
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Tree information submitted Feb. 18. 2022



PROJECT NAME Woodhaven at Minnetonka
TREE PRESERVATION PLAN WORKSHEET
 AE PROJ # 16523 DATE: 2/22/2022

Tree Summary	
Trees on Property	464
Trees Off Property	18
Total Tree Count	482
Significant Trees on Site	168
Dead/Poor Cond. Sig. Trees	8
Total Counted Sig. Trees	160
High Priority Trees on Site	314
Dead/Poor Cond. HP Trees	54
Total Counted HP Trees	260
Tree Removal Summary	
Significant Trees Removed	102
# of Sig. Deciduous Trees Removed	96
# of Sig. Coniferous Trees Removed	6
Percent Significant Trees Removed	63.8%
High Priority Trees Removed	195
Cal in of High Priority Deciduous Trees	3083
FT HT. of High Priority Coniferous Trees	71
Percent High Priority Trees Removed	75.0%

Species Key	
APP	APPLE
ASH	ASH
BAS	BASSWOOD
BLA	BLACK CHERRY
BOX	BOX ELDER
CED	CEDAR
COT	COTTONWOOD
ELM	ELM
MAP	MAPLE
OAK	OAK
PIN	PINE
SPR	SPRUCE

Condition Key	
P:	Poor
D:	Dead

Point No.	Species	Cal. in	HT.	Tree Tot.	High Priority	% in Grading Limits	Tree in	Condition	Arborist Notes	Critical Root Zone (SF)	Critical Root Zone in Limits (SF)
700000	ASH	4		1		0%				113	0
700001	ELM	4		2		0%				113	0
700002	ELM	6		3		0%				254	0
700003	ELM	5		4		0%				177	0
700007	ASH	8		5		100%	YES			452	452
700009	ASH	6		6		100%	YES			254	254
700010	ASH	5		7		100%	YES			177	177
700011	OAK	8		8		70%	YES			452	317
700014	ASH	7		9		100%	YES			346	346
700017	ELM	7		10		100%	YES			346	346
700018	ELM	4		11		100%	YES			113	113
700019	BAS	7		12		100%	YES			346	346
700020	BAS	5		13		100%	YES			177	177
700021	ELM	5		14		100%	YES			177	177
700022	BAS	8		15		100%	YES			452	452
700024	ELM	5		16		100%	YES			177	177
700025	MAP	6		17		100%	YES			254	254
700026	ELM	4		18		100%	YES			113	113
700027	ELM	5		19		100%	YES			177	177
700028	BOX	5		20		100%	YES			177	177
700029	ELM	7		21		100%	YES			346	346
700030	MAP	6		22		100%	YES			254	254
700031	ASH	6		23		100%	YES			254	254
700032	ASH	5		24		77%	YES			177	136
700034	ELM	6		25		18%				254	45
700035	ELM	5		26		0%				177	0
700037	ELM	5		27		0%				177	0
700038	BAS	6		28		0%				254	0
700039	BAS	4		29		0%				113	0
700040	ELM	5		30		42%	YES			177	75
700041	BAS	5		31		100%	YES			177	177
700042	BAS	5		32		100%	YES			177	177
700044	MAP	4		33		100%	YES			113	113
700045	ASH	6		34		100%	YES			254	254
700046	ASH	4		35		100%	YES			113	113
700047	ASH	7		36		100%	YES			346	346
700048	MAP	4		37		100%	YES			113	113
700049	MAP	5		38		100%	YES			177	177
700050	BAS	6		39		100%	YES			254	254
700051	BAS	7		40		100%	YES			346	346
700052	ELM	6		41		100%	YES			254	254
700053	BAS	4		42		0%				113	0
700054	BAS	6		43		0%				254	0
700055	BAS	5		44		91%	YES			177	160
700057	ELM	4		45		100%	YES			113	113
700058	ELM	4		46		100%	YES			113	113
700059	MAP	4		47		100%	YES			113	113
700060	SPR		15	48	YES	100%	YES			1590	1590
700061	OAK	4		49		100%	YES			113	113
700062	ELM	4		50		100%	YES			113	113
700064	BAS	5		51		100%	YES			177	177
700065	ELM	7		52		100%	YES			346	346
700066	BAS	6		53		100%	YES			254	254
700067	ELM	5		54		100%	YES			177	177
700068	ELM	7		55		100%	YES			346	346
700069	BAS	6		56		100%	YES			254	254
700070	BAS	6		57		100%	YES			254	254
700071	ELM	6		58		100%	YES			254	254
700072	BAS	8		59		100%	YES			452	452
700073	BAS	10		60	YES	100%	YES			707	707
700074	BAS	6		61		100%	YES			254	254
700075	ASH	5		62		0%				177	0
700076	ASH	7		63		0%				346	0
700077	BAS	5		64		0%				177	0

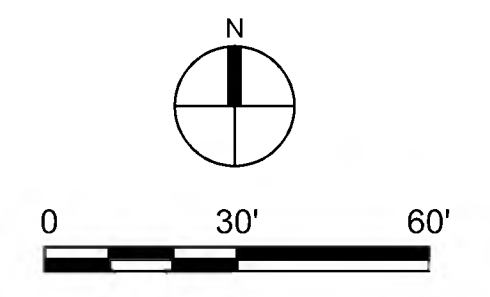
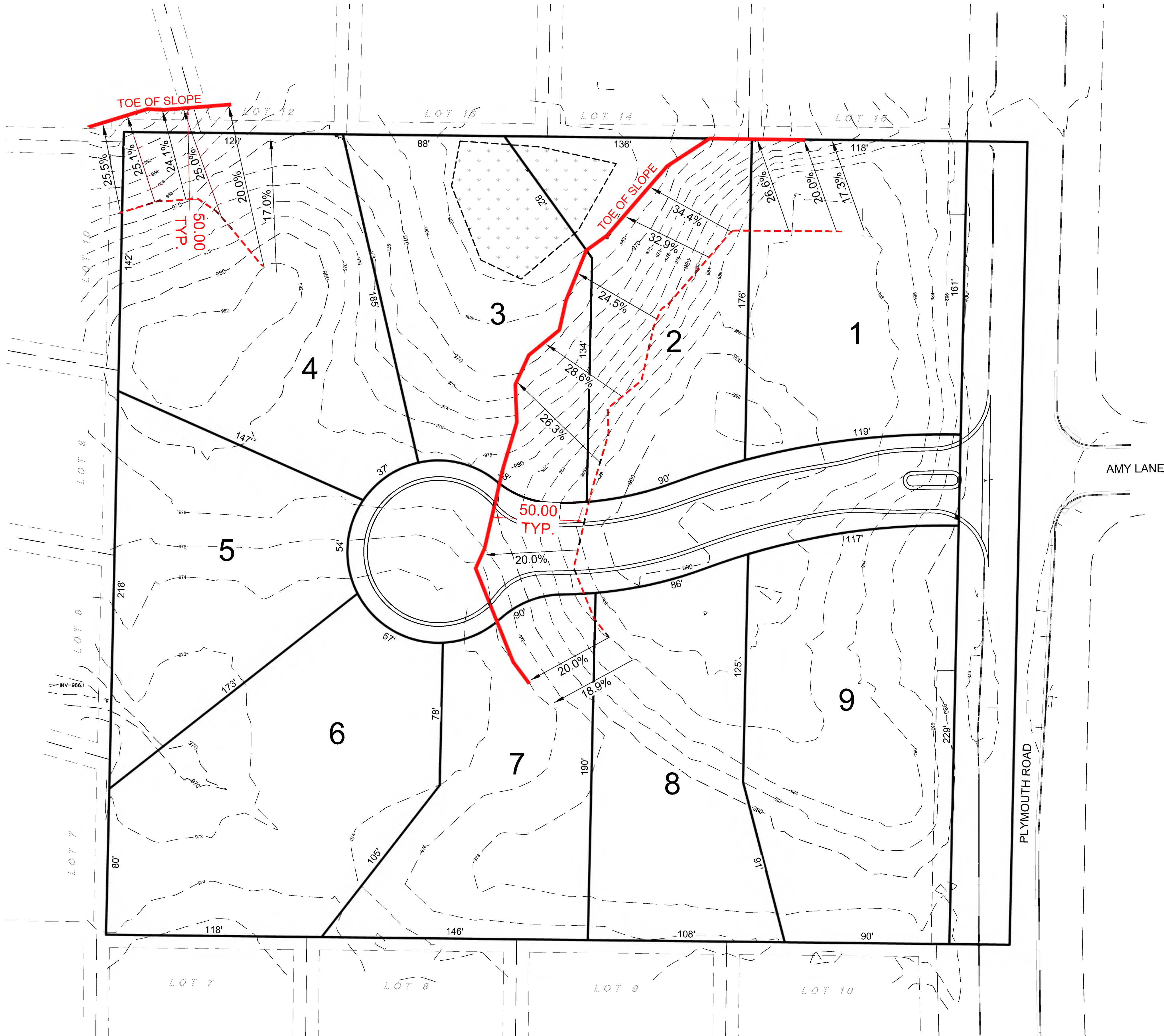
Plant Code	Species	Age	DBH	Tree ID	High Priority	% In Grading Limits	Health	Condition	Arborist Notes	Critical Root Zone (SF)	Critical Root Zone In Limits (SF)
700078	BAS	4		65		0%				113	0
700079	BAS	5		66		51%	YES			177	91
701000	BAS	5		67		100%	YES			177	177
701003	BAS	6		68		100%	YES			254	254
701002	BAS	6		69		100%	YES			254	254
701001	BAS	4		70		100%	YES			113	113
701005	BAS	6		71		100%	YES			254	254
701006	MAP	4		72		100%	YES			113	113
701007	MAP	4		73		100%	YES			113	113
701008	MAP	5		74		100%	YES			177	177
701009	ELM	4		75		100%	YES			113	113
701010	ELM	4		76		100%	YES			113	113
701011	ELM	5		77		100%	YES			177	177
701012	ELM	5		78		100%	YES			177	177
701013	ELM	7		79		100%	YES			346	346
701014	BAS	4		80		100%	YES			113	113
701015	BAS	7		81		100%	YES			346	346
701016	BAS	5		82		100%	YES			177	177
701017	BAS	5		83		100%	YES			177	177
701018	BAS	6		84		100%	YES			254	254
701019	BAS	6		85		100%	YES			254	254
701020	BAS	5		86		100%	YES			177	177
701021	BAS	5		87		100%	YES			177	177
701022	BAS	5		88		100%	YES			177	177
701023	ELM	4		89		46%	YES			113	52
701024	BOX	5		90		100%	YES			177	177
701025	BAS	4		91		7%				113	8
701026	BAS	6		92		0%				254	0
701028	BAS	7		93		0%				346	0
701027	BAS	6		94		0%				254	0
701029	BAS	4		95		0%				113	0
701030	BAS	4		96		0%				113	0
701031	BAS	4		97		0%				113	0
701032	BAS	4		98		100%	YES			113	113
701033	BOX	4		99		0%				113	0
701034	BOX	5		100		0%				177	0
701035	BAS	6		101		0%				254	0
701036	BAS	6		102		0%				254	0
701037	BAS	5		103		0%				177	0
701038	ELM	4		104		38%	YES			113	43
701039	ELM	4		105		7%				113	8
701040	ELM	5		106		0%				177	0
700083	BOX	6		108		82%	YES			254	209
700084	ELM	8		109		100%	YES			452	452
700086	BOX	6		110		18%				254	46
700087	BOX	7		111		29%				346	102
700088	ELM	7		113		0%				346	0
700089	MAP	5		114		0%				177	0
700090	BAS	5		115		0%				177	0
700091	BAS	6		116		0%				254	0
700095	BAS	6		117		0%				254	0
700096	BAS	6		118		0%				254	0
700097	ELM	6		119		0%				254	0
700098	ELM	4		120		0%				113	0
700099	ELM	6		121		0%				254	0
700100	ELM	4		122		0%				113	0
700101	BAS	4		123		0%				113	0
700102	ELM	4		124		0%				113	0
700103	BAS	4		125		0%				113	0
700104	ELM	5		126		0%				177	0
700105	ELM	5		127		0%				177	0
700106	ELM	5		128		0%				177	0
74164	BOX	10		201	YES	7%		P	ROTTEN BASE	707	48
74150	BAS	8		202		0%				452	0
74102	ELM	8		203		79%	YES			452	356
74064	APP	8		204		100%	YES			452	452
72009	OAK	20		401	YES	100%	YES			2827	2827
72008	OAK	20		402	YES	100%	YES			2827	2827
72007	SPR		13	403		100%	YES			1195	1195
71139	BAS	12		404	YES	100%	YES			1018	1018
71136	BAS	12		405	YES	100%	YES			1018	1017
71137	OAK	16		406	YES	100%	YES			1810	1810
71138	BAS	10		407	YES	100%	YES			707	707
71141	BAS	14		408	YES	100%	YES			1385	1385
71034	BAS	10		409	YES	100%	YES			707	707
71021	OAK	18		410	YES	100%	YES			2290	2290
71020	OAK	14		411	YES	100%	YES			1385	1385
71026	BAS	28		412	YES	93%	YES	P		5542	5162
71027	BAS	10		413	YES	100%	YES	P	DECAY IN BASE OF TRUNK	707	707
71028	OAK	12		414	YES	100%	YES			1018	1018
71045	ASH	10		415	YES	85%	YES	P	DEAD TOP	707	603
71030	OAK	22		417	YES	100%	YES			3421	3421
71032	OAK	14		418	YES	100%	YES			1385	1385
71033	OAK	16		419	YES	100%	YES			1810	1810
72111	BAS	18		420	YES	100%	YES	P	CANLEERS, ROTTEN BASE	2290	2290
72109	OAK	18		421	YES	100%	YES			2290	2290
71036	OAK	14		422	YES	100%	YES			1385	1385
71035	OAK	14		423	YES	100%	YES			1385	1385
72011	OAK	14		424	YES	100%	YES			1385	1385
72010	OAK	20		425	YES	100%	YES			2827	2827
72012	OAK	14		426	YES	100%	YES			1385	1385
72013	OAK	18		427	YES	100%	YES			2290	2290
72014	OAK	16		428	YES	100%	YES			1810	1810
72017	OAK	16		429	YES	100%	YES			1810	1810
72139	OAK	10		430	YES	100%	YES			707	707
72124	OAK	16		431	YES	100%	YES	P	ROTTEN BASE	1810	1810
72138	OAK	18		432	YES	95%	YES			2290	2166
72145	OAK	10		433	YES	79%	YES			707	555
72144	OAK	12		434	YES	70%	YES			1018	717
72147	OAK	14		435	YES	49%	YES			1385	676
72135	OAK	16		436	YES	4%				1810	72
72146	OAK	10		437	YES	60%	YES			707	423
72155	OAK	16		438	YES	20%				1810	357
72150	OAK	10		439	YES	25%				707	175
72154	OAK	12		440	YES	8%				1018	82
72170	OAK	16		441	YES	24%				1810	433
72169	OAK	18		442	YES	10%				2290	231
72157	OAK	10		443	YES	0%				707	0
72168	OAK	8		444		0%				452	0
72122	OAK	20		445	YES	100%	YES			2827	2827

Plant Code	Species	DBH	Height	Trunk Dia.	High Priority	% In Grading Limits	Health	Condition	Arborist Notes	Critical Root Zone (SF)	Critical Root Zone In Limits (SF)
72121	OAK	14		446	YES	100%	YES			1385	1385
72141	OAK	18		447	YES	96%	YES			2290	2189
72142	OAK	10		448	YES	99%	YES			707	698
72176	OAK	20		449	YES	100%	YES			2827	2827
72188	OAK	12		450	YES	91%	YES			1018	926
72116	OAK	10		451	YES	100%	YES			707	707
72115	OAK	12		452	YES	100%	YES			1018	1018
71058	MAP	10		453	YES	23%	YES			707	163
71014	OAK	16		454	YES	100%	YES			1810	1810
71029	BAS	12		455	YES	100%	YES			1018	1018
71048	ELM	8		456		46%	YES	D	DEAD	452	208
72252	OAK	12		457	YES	57%	YES			1018	584
71223	BLA	12		458	YES	100%	YES			1018	1018
71123	ELM	10		459	YES	100%	YES			707	707
71081	MAP	8		460		91%	YES		SILVER MAPLE	452	412
71174	OAK	8		461		100%	YES			452	452
71188	SPR		13	462		100%	YES	P	HALF DEAD	1195	1195
72045	BAS	8		463		100%	YES			452	452
72043	ASH	8		464		55%	YES	P		452	249
72098	OAK	8		465		100%	YES			452	452
92055	BAS	8		466		100%	YES			452	452
92072	OAK	34		467	YES	62%	YES			8171	5046
92073	ASH	14		468	YES	53%	YES			1385	730
92071	ASH	10		469	YES	100%	YES			707	707
72015	OAK	16		470	YES	100%	YES			1810	1810
72016	MAP	8		471		100%	YES			452	452
72034	BAS	8		472		100%	YES			452	452
72035	BAS	8		473		100%	YES			452	452
72099	BAS	18		475	YES	100%	YES	P	BROKEN TOP & TRUNK **VERY DANGEROUS	2290	2290
72148	BAS	8		476		50%	YES			452	226
72217	BAS	8		477		0%				452	0
73120	SPR		12	478		100%	YES			1018	1018
700063	BAS	8		533		100%	YES			452	452
71019	BAS	12		534	YES	100%	YES			1018	1018
71047	BAS	16		537	YES	91%	YES	P	LEANING	1810	1644
71046	MAP	30		538	YES	83%	YES	P	LARGE CRACK IN BASE	6362	5309
71049	ELM	18		539	YES	19%				2290	436
71050	BAS	14		540	YES	9%		P	CANLEER, MUSHROOMS 20' ABOVE BASE	1385	118
71051	BAS	18		541	YES	13%		P	HOLLOW AND DECAY HALFWAY UP TRUNK	2290	288
71052	ELM	12		542	YES	0%				1018	0
71053	ASH	12		543	YES	0%		D	DEAD	1018	0
71054	BAS	10		544	YES	0%		P	CANKER	707	0
71055	MAP	26		545	YES	26%				4778	1265
71057	MAP	12		546	YES	19%				1018	191
71056	MAP	8		547		16%		P	LEANING	452	74
71080	COT	22		548	YES	66%	YES			3421	2248
71070	OAK	18		549	YES	96%	YES			2290	2189
71082	COT	18		550	YES	86%	YES			2290	1974
71083	MAP	10		551	YES	100%	YES		SILVER MAPLE	707	707
71093	COT	24		552	YES	27%				4072	1116
71059	MAP	12		553	YES	15%		P	HALF DEAD	1018	150
71060	MAP	12		554	YES	4%				1018	44
71061	COT	24		555	YES	8%				4072	327
74176	BAS	8		556		0%				452	0
71062	BAS	8		557		0%				452	0
72247	ELM	10		558	YES	0%				707	0
72248	BAS	8		559		0%		P	CANLEERS	452	0
72249	BAS	14		560	YES	0%		P	CANLEERS	1385	0
72250	BAS	18		561	YES	14%				2290	312
72243	BAS	8		562		0%				452	0
72246	BAS	14		563	YES	0%				1385	0
72203	OAK	20		564	YES	0%				2827	0
72205	OAK	16		565	YES	0%				1810	0
72206	OAK	26		566	YES	0%				4778	0
72208	OAK	14		567	YES	0%				1385	0
72210	OAK	22		568	YES	0%				3421	0
72198	OAK	18		569	YES	0%				2290	0
72227	OAK	16		570	YES	0%				1810	0
72200	OAK	20		571	YES	0%				2827	0
72218	BAS	14		572	YES	0%				1385	0
72216	OAK	12		573	YES	0%				1018	0
72162	OAK	18		574	YES	0%				2290	0
72161	OAK	12		575	YES	0%				1018	0
72159	OAK	10		576	YES	0%				707	0
72166	OAK	12		577	YES	0%				1018	0
72165	OAK	12		578	YES	0%				1018	0
72167	OAK	12		579	YES	0%				1018	0
72180	OAK	12		580	YES	0%				1018	0
72181	OAK	14		581	YES	0%				1385	0
72182	OAK	8		582		0%				452	0
72183	OAK	10		583	YES	0%		P	LEANING	707	0
72172	OAK	16		584	YES	61%	YES			1810	1111
72173	OAK	16		585	YES	63%	YES			1810	1134
72174	OAK	18		586	YES	80%	YES			2290	1830
72186	OAK	14		587	YES	27%				1385	374
72209	OAK	24		588	YES	1%				4072	36
72234	OAK	14		589	YES	0%				1385	0
72239	OAK	16		590	YES	17%				1810	302
72187	OAK	20		591	YES	53%	YES			2827	1504
72237	OAK	16		592	YES	74%	YES			1810	1337
72235	OAK	14		593	YES	24%				1385	338
72236	OAK	16		594	YES	66%	YES			1810	1198
71038	OAK	18		595	YES	100%	YES			2290	2290
71039	BAS	10		596	YES	100%	YES			707	707
71041	OAK	18		597	YES	71%	YES	P	BAD LEAN	2290	1617
71042	OAK	18		598	YES	59%	YES			2290	1361
71043	BAS	12		599	YES	100%	YES			1018	1018
91207	APP	10		600	YES	100%	YES	P	FIVE BLIGHT, HALF DEAD	707	707
91160	OAK	16		601	YES	100%	YES			1810	1810
91159	OAK	24		602	YES	100%	YES			4072	4072
91161	OAK	24		603	YES	100%	YES			4072	4052
91149	SPR		10	604		75%	YES			707	532
91150	SPR		12	605		32%	YES		BUFFER	1018	329
91151	SPR		12	606		12%				1018	127
91152	SPR		10	607		23%		P	HALF DEAD	707	163
91153	SPR		15	608	YES	5%				1590	86
91154	SPR		12	609		9%				1018	93
91155	APP	12		610	YES	63%	YES	P	ROTTEN BASE & BLIGHT	1018	643
91181	OAK	24		611	YES	5%				4072	202
91183	ASH	14		612	YES	21%				1385	286

Pin No.	Species	Age	h	Trk. T.	High Priority	% In Grading Limits	Y. n.	Condition	Arborist Notes	Critical Root Zone (SF)	Critical Root Zone In Limits (SF)
91185	ASH	10		613	YES	16%		D	DEAD	707	116
91162	OAK	24		614	YES	100%	YES			4072	4072
91164	OAK	16		615	YES	100%	YES			1810	1810
91163	OAK	16		616	YES	100%	YES			1810	1810
91191	MAP	24		617	YES	100%	YES			4072	4072
91192	MAP	24		618	YES	100%	YES			4072	4053
91193	OAK	24		619	YES	96%	YES			4072	3909
91194	OAK	24		620	YES	95%	YES			4072	3877
91199	OAK	24		621	YES	74%	YES			4072	3010
91200	OAK	22		622	YES	54%	YES			3421	1836
91201	OAK	14		623	YES	35%	YES			1385	485
91202	OAK	14		624	YES	29%				1385	400
91203	OAK	16		625	YES	37%	YES			1810	661
91197	MAP	12		626	YES	78%	YES			1018	789
91196	OAK	20		630	YES	88%	YES			2827	2477
91206	MAP	12		631	YES	100%	YES			1018	1018
91195	MAP	30		632	YES	100%	YES	P	LARGE CRACK	6362	6362
91165	MAP	20		633	YES	100%	YES			2827	2827
91166	MAP	40		634	YES	100%	YES	P	LARGE CRACK IN BASE	11310	11310
71185	MAP	16		635	YES	100%	YES			1810	1810
91168	OAK	20		636	YES	100%	YES			2827	2827
91222	OAK	20		637	YES	100%	YES			2827	2827
91221	OAK	22		638	YES	100%	YES			3421	3421
91171	OAK	20		639	YES	100%	YES			2827	2827
91172	OAK	18		640	YES	100%	YES			2290	2290
91173	OAK	16		641	YES	100%	YES	P	DAMAGE TO BASE (FRESH)	1810	1810
91223	MAP	10		642	YES	100%	YES			707	707
71194	MAP	8		643	YES	100%	YES			452	452
91224	OAK	18		644	YES	100%	YES			2290	2290
91225	OAK	12		645	YES	100%	YES			1018	1018
91226	OAK	28		646	YES	100%	YES			5542	5542
91231	OAK	22		647	YES	100%	YES			3421	3421
71125	SPR		32	648	YES	100%	YES	P	HALF DEAD	7238	7238
71124	SPR		15	649	YES	100%	YES			1590	1590
71074	OAK	24		650	YES	100%	YES	P		4072	4072
71073	OAK	18		651	YES	100%	YES	P	ROTTEN BASE	2290	2290
71072	OAK	18		652	YES	100%	YES	P	LEANING & ROTTEN BASE	2290	2290
71071	OAK	20		653	YES	100%	YES	P	ROTTEN BASE	2827	2827
71077	OAK	26		654	YES	100%	YES	P	LEANING	4778	4778
71075	OAK	24		655	YES	100%	YES	P		4072	4072
71076	OAK	18		656	YES	100%	YES	P		2290	2290
73099	SPR		5	657	YES	100%	YES	P		177	177
73097	SPR		12	658	YES	100%	YES			1018	1018
73102	SPR		12	659	YES	100%	YES			1018	1018
73101	COT	30		660	YES	100%	YES			6362	6362
73103	CED	6		661	YES	100%	YES			254	254
74012	OAK	9		663	YES	100%	YES		FIR TREE	573	573
74019	OAK	14		664	YES	100%	YES			1385	1385
74020	OAK	12		665	YES	100%	YES			1018	1018
74021	BAS	12		666	YES	100%	YES			1018	1018
74022	ASH	16		667	YES	100%	YES			1810	1807
74023	OAK	12		668	YES	100%	YES		CLOSE TO PLYMOUTH RD	1018	1018
74018	OAK	14		669	YES	100%	YES			1385	1385
74017	OAK	14		670	YES	100%	YES			1385	1385
74015	OAK	12		671	YES	100%	YES			1018	1018
74016	OAK	14		672	YES	100%	YES			1385	1385
74014	OAK	14		673	YES	100%	YES			1385	1385
74013	OAK	14		674	YES	100%	YES			1385	1385
73109	MAP	14		675	YES	100%	YES			1385	1385
73105	ASH	8		676	YES	100%	YES		EUROPEAN MTN ASH (FRUIT TREE)	452	452
74183	ASH	16		677	YES	100%	YES			1810	1810
74220	OAK	14		678	YES	100%	YES			1385	1385
71084	MAP	18		679	YES	100%	YES		SILVER MAPLE	2290	2290
71085	ASH	12		680	YES	92%	YES	P		1018	934
71086	BAS	12		681	YES	68%	YES			1018	693
71087	COT	22		682	YES	55%	YES			3421	1882
71088	BOX	10		683	YES	39%	YES			707	279
74222	CED	10		684	YES	54%	YES			707	382
74169	BOX	10		685	YES	11%				707	75
74165	COT	28		686	YES	28%		P	LEANING	5542	1574
74155	MAP	20		687	YES	41%	YES	P	LEANING	2827	1159
74154	MAP	8		688	YES	19%		P	LEANING	452	86
74146	OAK	14		689	YES	10%				1385	137
74129	BAS	12		690	YES	70%	YES	P	LEANING	1018	713
74128	BAS	12		691	YES	78%	YES	P	LEANING	1018	789
74101	ELM	10		692	YES	32%	YES			707	223
74025	OAK	14		693	YES	100%	YES			1385	1385
74026	OAK	14		694	YES	100%	YES			1385	1385
74032	BAS	14		695	YES	100%	YES			1385	1385
74028	BAS	12		696	YES	100%	YES			1018	1018
74031	BAS	16		697	YES	97%	YES			1810	1748
74029	BAS	10		698	YES	100%	YES			707	707
71078	OAK	20		699	YES	100%	YES			2827	2827
92057	BAS	20		700	YES	100%	YES			2827	2817
700012	ASH	18		701	YES	31%	YES			2290	717
92052	OAK	16		702	YES	59%	YES	P	BAD LEAN	1810	1064
92054	BAS	12		703	YES	98%	YES			1018	998
92053	BAS	12		704	YES	100%	YES			1018	1018
92056	ASH	20		705	YES	82%	YES		NOT OAK - ASH	2827	2307
92058	ASH	14		706	YES	98%	YES			1385	1353
92059	ASH	12		707	YES	100%	YES			1018	1018
92077	ASH	12		708	YES	100%	YES			1018	1018
92061	ASH	10		709	YES	100%	YES	P	BAD LEAN	707	707
92063	ASH	14		710	YES	100%	YES			1385	1385
92062	ASH	12		711	YES	100%	YES	P	BAD LEAN	1018	1018
700004	CED	4		712	YES	100%	YES			113	113
92000	ASH	18		713	YES	96%	YES	P	BAD LEAN	2290	2201
92064	BOX	12		714	YES	100%	YES			1018	1018
72090	BOX	20		715	YES	100%	YES	P	ROTTEN BASE	2827	2827
92065	BAS	24		716	YES	100%	YES	P	BROKEN LIMB & ROTTEN **VERY DANGEROUS	4072	4072
72093	OAK	18		717	YES	100%	YES			2290	2290
92066	BAS	16		718	YES	100%	YES			1810	1810
92076	ASH	15		719	YES	100%	YES		MARKED AS 12" - IT IS 15"	1590	1590
92067	BLA	10		720	YES	100%	YES	P	BAD LEAN	707	707
92068	BAS	18		722	YES	100%	YES			2290	2290
92069	BAS	12		723	YES	100%	YES			1018	1018
92070	BAS	14		724	YES	100%	YES			1385	1385
700023	BAS	14		725	YES	100%	YES	D	DEAD	1385	1385
72100	BAS	12		726	YES	100%	YES			1018	1018
72072	BAS	18		727	YES	54%	YES			2290	1236

Plant Code	Species	DBH	Height	Tree Type	High Priority	% In Grading Limits	Health	Condition	Arborist Notes	Critical Root Zone (SF)	Critical Root Zone In Limits (SF)
72071	BAS	18		728	YES	45%	YES			2290	1040
72041	OAK	20		729	YES	15%				2827	421
72044	ASH	12		730	YES	92%	YES	P		1018	934
72046	ASH	16		731	YES	89%	YES	P	BAD LEAN	1810	1603
72047	ASH	16		732	YES	98%	YES	P	LOTS OF DEAD BRANCHES	1810	1769
72048	ASH	16		733	YES	99%	YES	P		1810	1795
72055	ELM	10		734	YES	100%	YES		NOT ASH - IRONWOOD	707	707
72054	ASH	14		735	YES	100%	YES			1385	1385
72053	ASH	12		736	YES	100%	YES			1018	1018
72051	ASH	10		737	YES	100%	YES			707	707
72078	OAK	12		739	YES	100%	YES		DAMAGE TO TRUNK	1018	1018
72087	SPR		15	740	YES	100%	YES	D	DEAD	1590	1590
72085	SPR		15	742	YES	100%	YES	D	DEAD	1590	1590
72086	SPR		45	743	YES	100%	YES	P	ALMOST DEAD	14314	14314
72080	ASH	22		744	YES	100%	YES			3421	3421
72067	ELM	8		745	YES	100%	YES			452	452
72065	OAK	26		746	YES	100%	YES		POSSIBLE OAK WILT, CROWN IS SHOWING SIGNS	4778	4778
72066	OAK	20		747	YES	100%	YES		POSSIBLE OAK WILT, CROWN IS SHOWING SIGNS	2827	2827
72056	ASH	12		748	YES	100%	YES			1018	1018
72033	ASH	12		749	YES	83%	YES	P	HALF DEAD	1018	841
72031	BAS	10		750	YES	14%				707	99
72030	BAS	10		751	YES	8%				707	57
72029	BAS	8		752		2%				452	11
72028	BAS	8		753		4%				452	19
72025	BAS	10		754	YES	8%				707	56
72026	BAS	10		755	YES	42%	YES			707	297
72027	BAS	10		756	YES	46%	YES			707	326
72023	BAS	16		757	YES	1%				1810	24
72131	BAS	10		758	YES	0%				707	0
72134	OAK	16		759	YES	0%				1810	0
72129	OAK	14		760	YES	49%	YES			1385	677
72021	BAS	14		761	YES	71%	YES			1385	978
72022	BAS	12		762	YES	74%	YES	D	DEAD	1018	757
72020	OAK	18		764	YES	100%	YES			2290	2290
72126	OAK	18		765	YES	98%	YES			2290	2254
72128	OAK	22		766	YES	63%	YES			3421	2163
72018	OAK	18		767	YES	100%	YES			2290	2290
72057	OAK	24		768	YES	100%	YES			4072	4072
72062	BAS	26		769	YES	100%	YES	P	LEANING & DECAY	4778	4778
71016	ASH	18		770	YES	100%	YES			2290	2290
71013	ASH	18		771	YES	100%	YES			2290	2290
71012	OAK	28		772	YES	100%	YES			5542	5542
71010	OAK	28		773	YES	100%	YES			5542	5542
71011	OAK	16		774	YES	100%	YES			1810	1810
71002	OAK	26		775	YES	100%	YES			4778	4778
71193	OAK	20		776	YES	100%	YES			2827	2827
71186	SPR		17	777	YES	100%	YES			2043	2043
71189	OAK	14		778	YES	100%	YES			1385	1385
71190	OAK	14		779	YES	100%	YES			1385	1385
71191	OAK	12		780	YES	100%	YES			1018	1018
71192	OAK	16		781	YES	100%	YES			1810	1810
71202	OAK	18		782	YES	100%	YES			2290	2290
71201	OAK	16		783	YES	100%	YES			1810	1810
71200	OAK	12		784	YES	100%	YES			1018	1018
71199	OAK	16		785	YES	100%	YES			1810	1810
71198	OAK	16		786	YES	100%	YES			1810	1810
71197	OAK	10		787	YES	100%	YES			707	707
71128	OAK	22		788	YES	100%	YES			3421	3421
71127	OAK	18		789	YES	100%	YES			2290	2290
71129	OAK	14		790	YES	100%	YES			1385	1385
71130	OAK	14		791	YES	100%	YES			1385	1385
71227	OAK	14		792	YES	100%	YES			1385	1385
71225	OAK	16		793	YES	100%	YES			1810	1810
71224	OAK	16		794	YES	100%	YES			1810	1810
71131	OAK	12		795	YES	100%	YES			1018	1018
71132	OAK	22		796	YES	100%	YES			3421	3421
71134	OAK	16		797	YES	100%	YES			1810	1810
72005	OAK	8		798	YES	100%	YES			452	452
72004	BAS	12		799	YES	100%	YES			1018	1018
72003	BAS	14		800	YES	100%	YES			1385	1385
93003	PIN		15	NA	YES	10%				1590	157
93004	PIN		15	NA	YES	11%				1590	181
93006	ASH	10		NA	YES	0%				707	0
93014	MAP	36		NA	YES	19%				9161	1780
93015	ASH	10		NA	YES	7%				707	48
93021	MAP	26		NA	YES	4%				4778	204
94001	COT	26		NA	YES	45%	YES			4778	2133
94003	COT	10		NA	YES	17%				707	123
94004	COT	10		NA	YES	37%	YES			707	265
94005	COT	16		NA	YES	39%	YES			1810	712
94006	COT	12		NA	YES	38%	YES			1018	390
94015	COT	12		NA	YES	32%	YES			1018	325
94016	COT	24		NA	YES	45%	YES			4072	1823
94022	ELM	26		NA	YES	38%	YES			4778	1808
94031	ASH	14		NA	YES	9%				1385	122
94042	BAS	10		NA	YES	21%				707	147
94043	OAK	14		NA	YES	12%				1385	169
700085	BOX	10		NA	YES	7%				707	48

Feb. 25, 2022 - 9:49am - jDobias - ARBORNE - PLYMOUTH RD PROPERTY - MINNETONKA, MN - 07 Civil - 01 CAD files - 03 Earthwork - 16523_Slope Analysis - TOE.dwg
 Xref Filename: \\16523_base\16523 Title Block



LEGEND

	PROPERTY LIMITS
	TOE OF SLOPE
	LIMITS OF 50' MEASURED LENGTH
	SLOPE @ 50' SEGMENT

"TOE OF" SLOPE DEFINITION:

1. THE LOWEST TOPOGRAPHIC CONTOUR OF A 50 FOOT SEGMENT WITH AN AVERAGE SLOPE OF AT LEAST 20 PERCENT.



ANDERSON

13605 1st Avenue N. #100
 Plymouth, MN 55441 | ae-mn.com
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 Anderson Engineering of Minnesota, LLC

WOODHAVEN AT MINNETONKA

2424-2440 PLYMOUTH RD
 MINNETONKA, MN 55305

AIRBORNE WOODHAVEN, LLC
 13605 1ST AVE N #100
 PLYMOUTH, MN 55441

REVISION LOG

NO.	DATE	DESCRIPTION OF REVISIONS

CITY SUBMITTAL
 02/18/2022

DESIGNED:	DRAWN:	CHECKED BY:
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DRAWING TITLE

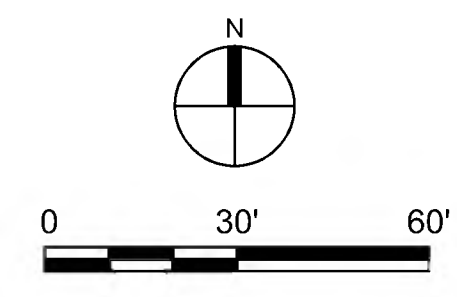
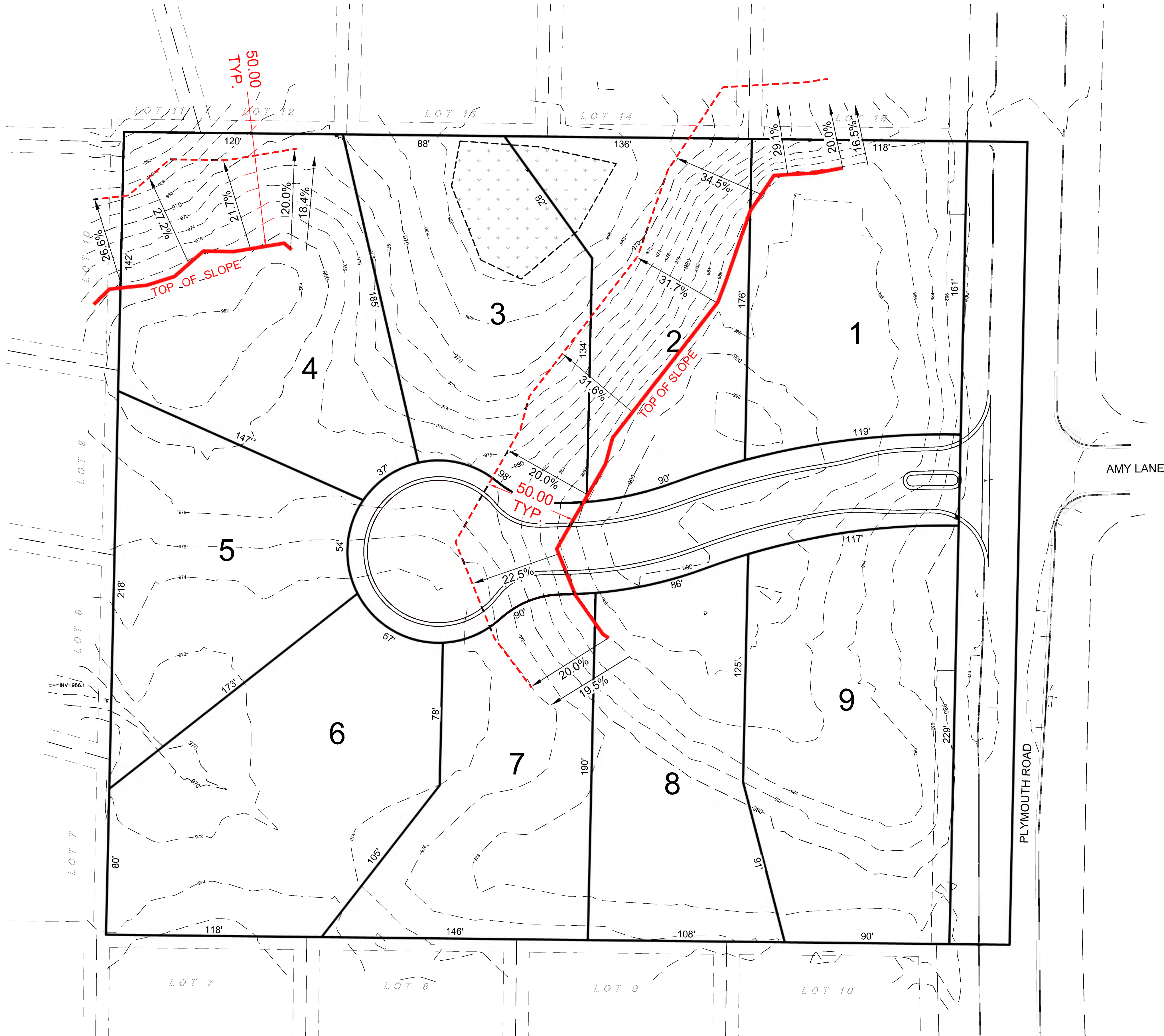
TOE OF SLOPE DETERMINATION

DRAWING NO.

A

PLOTTED:	COMM. NO.
---	16523

Feb. 25, 2022 - 9:47am - jDobias - ARBORNE - PLYMOUTH RD PROPERTY - MINNETONKA, MN - 07 Civil - 03 Earthwork - 16523_Slope Analysis - TOP.dwg
 Xref Filename: \\16523_base\16523 Title Block



LEGEND

	PROPERTY LIMITS
	TOP OF SLOPE
	LIMITS OF 50' MEASURED LENGTH
	SLOPE @ 50' SEGMENT

"TOP OF" SLOPE DEFINITION:

- THE HIGHEST TOPOGRAPHIC CONTOUR OF A 50 FOOT SEGMENT WITH AN AVERAGE SLOPE OF AT LEAST 20 PERCENT.



ANDERSON

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 Anderson Engineering of Minnesota, LLC

WOODHAVEN AT MINNETONKA

2424-2440 PLYMOUTH RD
 MINNETONKA, MN 55305

AIRBORNE WOODHAVEN, LLC
 13605 1ST AVE N #100
 PLYMOUTH, MN 55441

REVISION LOG

NO.	DATE	DESCRIPTION OF REVISIONS

CITY SUBMITTAL
 02/18/2022

DESIGNED:	DRAWN:	CHECKED BY:
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DRAWING TITLE

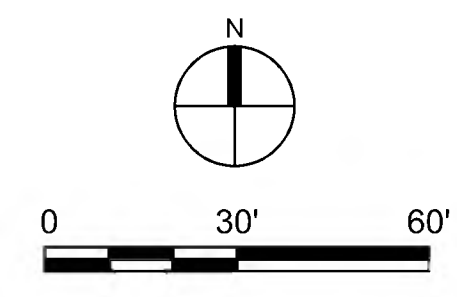
TOP OF SLOPE DETERMINATION

DRAWING NO.

B

PLOTTED:	COMM. NO.
---	16523

Feb. 25, 2022 - 9:44am - jDobias - ARBORNE - PLYMOUTH RD PROPERTY - MINNETONKA, MN - 07 Civil - 01 CAD files - 03 Earthwork - 16523_Slope Analysis.dwg
 Xref Filename: \\16523_base\16523 Title Block



LEGEND

- PROPERTY LIMITS
- TOE / TOP OF SLOPE
- AREA OF 20% SLOPE OR GREATER
- STEEP SLOPE AREA (DEFINED)

STEEP SLOPE DEFINITION:

1. AVERAGE SLOPE OF 20% OR GREATER.
&
2. RISES AT LEAST 20 FT BETWEEN TOE & TOP OF THE SLOPE.



ANDERSON

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 Anderson Engineering of Minnesota, LLC

**WOODHAVEN AT
 MINNETONKA**

2424-2440 PLYMOUTH RD
 MINNETONKA, MN 55305

AIRBORNE WOODHAVEN, LLC
 13605 1ST AVE N #100
 PLYMOUTH, MN 55441

REVISION LOG

NO.	DATE	DESCRIPTION OF REVISIONS

CITY SUBMITTAL
 02/18/2022

DESIGNED:	DRAWN:	CHECKED BY:
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DRAWING TITLE

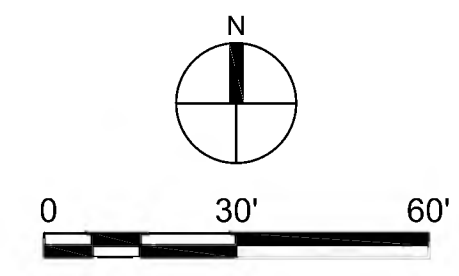
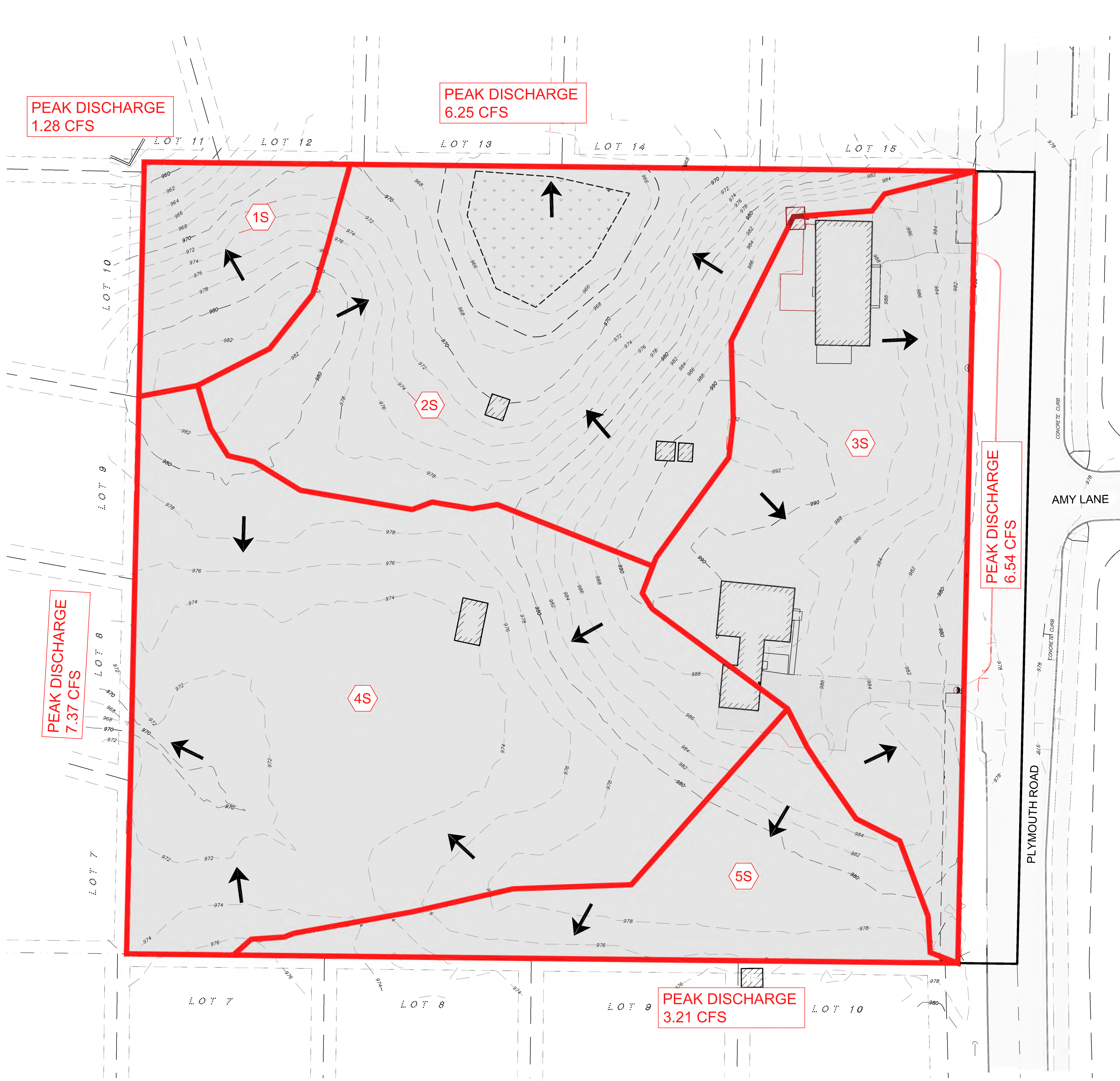
**STEEP SLOPE
 ANALYSIS**

DRAWING NO.

C

PLOTTED: ---	COMM. NO. 16523
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Y:\16500\16523 - AIRBORNE - PLYMOUTH RD PROPERTY - MINNETONKA MN\13 SWMP\01 CAD\16523_Ex Drainage Map.dwg
 Feb 17, 2022 - 4:11pm bfield
 Xref Filename: \16523 Title Block\



LEGEND

- DRAINAGE ARROW DIRECTION
- DRAINAGE AREA BOUNDARY
- SUB-DRAINAGE AREA

EXISTING CONDITIONS							
DRAINAGE AREA	SQUARE FEET			ACRES			DRAINAGE AREA
	IMPERVIOUS	PERVIOUS	TOTAL	IMPERVIOUS	PERVIOUS	TOTAL	
1S	0	11,360	11,360	0.000	0.261	0.261	Northwest
2S	392	51,646	52,038	0.009	1.186	1.195	North
3S	9,077	36,619	45,696	0.208	0.841	1.049	East
4S	1,251	72,438	73,689	0.029	1.663	1.692	Southwest
5S	217	20,295	20,512	0.005	0.466	0.471	South
TOTAL	10,937	192,358	203,295	0.251	4.416	4.667	TOTAL



ANDERSON
 13605 1st Avenue N. #100
 Plymouth, MN 55441 | ae-mn.com
 P 763.412.4000 | F 763.412.4090
 Anderson Engineering of Minnesota, LLC

WOODHAVEN AT MINNETONKA

2424-2440 PLYMOUTH RD
 MINNETONKA, MN 55305

AIRBORNE WOODHAVEN, LLC
 13605 1ST AVE N #100
 PLYMOUTH, MN 55441

REVISION LOG

NO.	DATE	DESCRIPTION OF REVISIONS

CITY SUBMITTAL
 02/18/2022

DESIGNED:	DRAWN:	CHECKED BY:
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DRAWING TITLE

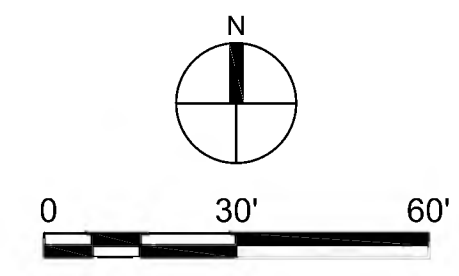
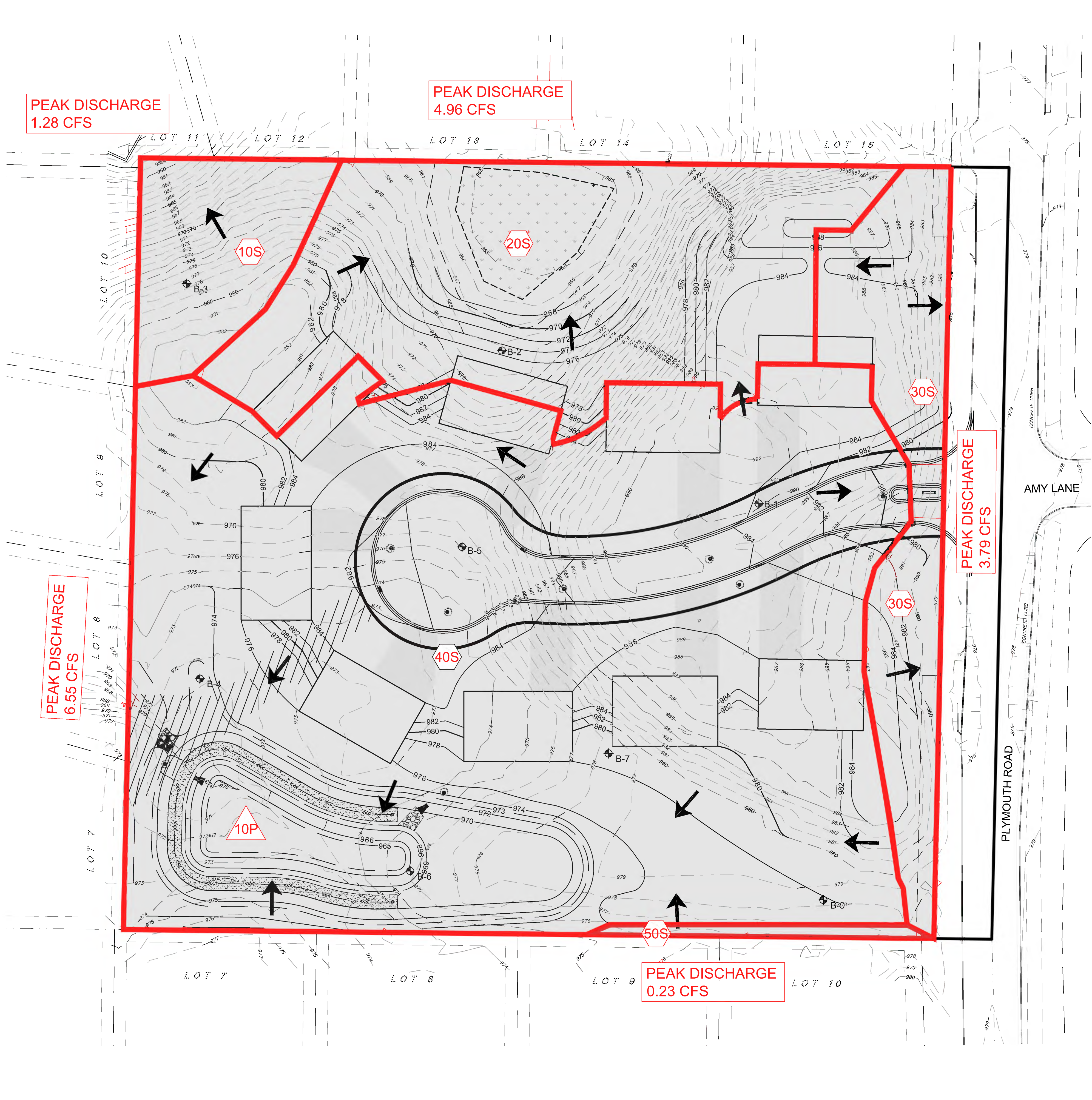
EXISTING DRAINAGE AREA MAP

DRAWING NO.

A

PLOTTED:	COMM. NO.
---	16523

Feb 17, 2022 4:13pm bfield
 Xref Filename: \\16523 Title Block\ 16523_c_base\ Y:\16500\16523 - AIRBORNE - PLYMOUTH RD PROPERTY - MINNETONKA MN\13 SWMP\01 CAD\16523_Pro Drainage Map.dwg



LEGEND

- DRAINAGE ARROW DIRECTION
- DRAINAGE AREA BOUNDARY
- SUB-DRAINAGE AREA

PROPOSED CONDITIONS							
DRAINAGE AREA	SQUARE FEET			ACRES			DRAINAGE AREA
	IMPERVIOUS	PERVIOUS	TOTAL	IMPERVIOUS	PERVIOUS	TOTAL	
10S	0	11,360	11,360	0.000	0.261	0.261	Northwest
20S	4,300	37,035	41,335	0.099	0.850	0.949	North
30S	1,100	16,200	17,300	0.025	0.372	0.397	East
40S	37,600	94,600	132,200	0.863	2.172	3.035	POND
50S	0	1,100	1,100	0.000	0.025	0.025	South
TOTAL	43,000	160,295	203,295	0.987	3.680	4.667	TOTAL



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PROPOSED DRAINAGE MAP

DRAWING NO.

B

PLOTTED:	COMM. NO.
---	16523

PLANNING COMMISSION JULY 1, 2021 MEETING MINUTES

A. Concept plan for Woodhaven of Minnetonka at 2424 and 2440 Plymouth Road.

Acting Chair Hanson introduced the proposal and called for the staff report.

Cauley reported. Staff recommends that commissioners provide comments and feedback to assist the applicant with future direction that may lead to the preparation of more detailed development plans.

Roger Anderson, representing the applicant, stated that:

- He hosted a neighborhood meeting on Tuesday.
- The five-acre site would be a good opportunity to utilize R-1A zoning to add diversity to the housing types in Minnetonka.
- The lots would be 15,000 square feet in size.
- There would be a separate street.
- The developer has looked at utilities and stormwater management for the site. The neighbors have concerns because they have had issues with water drainage causing problems in the past. He offered to visit their properties to identify issues.
- The goal is to construct small villa houses with all living amenities on one level. There would be a homeowners' association to manage snow, grass, and stormwater maintenance facilities.
- He was available for questions.

Powers asked why the applicant would utilize a homeowners' association (HOA). Mr. Anderson stated that he expects many of the residents to spend the winters in a warmer climate and would like an HOA to manage the property in their absence. There are also residents who may not be physically capable of managing the lawn and shoveling the snow. The HOA would also manage the stormwater maintenance facilities. There would be substantial stormwater management features including infiltration ponds, stormwater systems, and rain gardens within an easement.

Maxwell asked what made the site a good one for smaller, all-living-on-one-floor-type houses. Mr. Anderson answered that the R-1A zoning district is more conducive to the empty-nester market. He has been doing this for quite a while. He developed the houses across the street on Amy Lane a long time ago. Those houses are large. There is currently a big need for this type of housing for older residents who want less to take care of, but still want to stay in Minnetonka and for single professionals. The proposal would provide a type of housing that is in great demand and has very little supply in Minnetonka.

In response to Waterman's question, Mr. Anderson said that the site could also be developed utilizing R-1 zoning requirements. Mr. Anderson anticipated that houses built with R-1 zoning requirements would sell for over \$1 million. There is no other development that looks like this in Minnetonka. There is one being constructed on Shady

Oak Road, but those houses would be connected. The market has shown that homeowners like a separate piece of property.

Acting Chair Hanson asked if Mr. Anderson saw an issue with Lot 5. Mr. Anderson explained that all of the lots would meet the minimum size requirements. The lot-behind-lot concept raises questions, but he has found that residents love living there for the privacy and create few problems.

Those present were invited to comment.

Stephanie Carlson, 2401 Forest Meadow Circle, read a letter she submitted that was included in the agenda packet. She stated that:

- Maintaining the natural vegetative buffer around the perimeter is essential and should be a top priority.
- The developer could save the natural vegetative buffer perimeter with a subdivision using R-1 zoning requirements.
- The concept plan would push the limits of the land use guidance with the number of lots and adequate buffer to existing houses. If more of the proposed lots would meet R-1 standards, then the houses could be built to minimally disrupt the natural environment and existing character.
- The house on Lot 5 would be located off of her rear property line. It would be unreasonably too close to her property without enough space to preserve bordering trees. Her house is situated relatively close to the rear property line. It has many windows on the east side and an expansive deck in the rear yard. The proposed house on Lot 5 would dramatically change the sightlines and jeopardize her home's privacy. Her house is located lower than where the proposed house would be located and the proposed house would tower over the view from her house's windows.
- She was concerned with car headlights shining into her windows from the easement access.
- The impact of Lot 5 could be detrimental to her property's value.
- The removal of trees and construction being done so close to her house could exacerbate the bowing and cracking in her house's foundation.
- She requested that Lot 5 be removed or combined with Lot 4. This would be more in line with R-1 standards and the house could be integrated better to fit with the existing houses. Squeezing in Lot 5 seems unnecessary. There is a reasonable, more compliant alternative that would provide an adequate buffer for a neighboring property in an already vulnerable position.
- She appreciated the commissioners' time.

Don Cook, 12829 Forest Meadow Drive, stated that:

- The wetland floods into his property when it rains hard. He was concerned with stormwater management. He does not need more water traveling down the hill.
- He completed remediation this spring to counteract the pressure from the ground pushing the walls in.
- Almost every neighbor has had water problems.

- He questioned how leveling Lot 1 would not create more water drainage.

No additional comments were provided.

Waterman stated that:

- He understood that the city is looking to provide a variety of housing stock by incorporating R-1A lot requirements for new development. It seems like the lots would fit on the site.
- He wants to see what would be done with trees and stormwater management.
- Traffic would not be as much of an issue.
- He appreciated Mr. Anderson working with the neighbors. He encouraged Mr. Anderson to continue working with Ms. Carlson to address her concerns.
- The area feels wooded now and provides a certain amount of privacy. He would encourage the proposal to mitigate the loss of privacy as much as possible.
- He wants to see what could be done about Lots 4 and 5 to mitigate the neighbors' concerns and how the amount of impervious surface compares between a subdivision with ten houses and one with eight houses.

Maxwell stated that:

- She initially thought she would prefer an R-1 subdivision with larger lots, but, after listening to the concept of small, single-story houses, she likes that it would provide housing diversity and have better sightlines and a more open feel with smaller houses on smaller lots rather than very large houses on large lots. She noted that a three-story house on Lot 5 would have a greater impact on sightlines from the neighboring properties than a single-story house. She would support the R-1A zoning requirements with a single-story, smaller house.
- She has houses located on lots behind lots near her home and the residents who live there seem to value privacy.
- The HOA would take care of plowing the driveway.
- The new street would be directly across from Amy Lane instead of staggered. She felt that would be the best way to design it.
- The villa concept for empty nesters would create less of an impact on traffic and noise than large, single-family residences.

Powers stated that:

- He felt that water drainage problems could be improved by implementing stormwater management features.
- Sightlines are not owned by property owners.
- He likes the idea of a homeowner's association being in place to handle the stormwater management features.
- He was not sure this would be the best site for an R-1A subdivision.

- He likes the developer and what was done on Amy Lane. He was confident the developer would do a fine job with this proposal.
- The house on Lot 5 would be located too close to the house on 2401 Forest Meadow Circle. Eliminating Lot 5 and incorporating that land into the other lots would increase the cost of the other properties. He was not opposed to lots behind lots but opposed this one due to where it would be situated.

Acting Chair Hanson stated that:

- He appreciated the applicant hosting a neighborhood meeting.
- He looks forward to seeing the plan develop.
- He thought Lot Five appeared to be squeezed into the site. He suggested taking Lot Five's 16,000 square feet and distributing it between Lots One, Two, Three, and Four.
- He likes the R-1A zoning requirements and villa-style, single-story-living houses. This would be a good compromise instead of a much larger two-story house.
- The proposal would be a good chance to provide water remediation with advanced technology.

Waterman asked if the lots shown on the concept plan would meet all R-1A requirements. Cauley explained that Lot Five would require a variance because it would not have frontage on a public street. The rest of the lots appear to meet the minimum lot standards for R-1A zoning. The concept plan does not show whether the maximum impervious surface coverage and floor-area-ratio requirements would be met. A formal application would provide that information.

Mr. Anderson clarified that the houses would have every necessity for single-level living on one floor, but some houses could have walk-out basements and some could have two stories instead of one story.

**A. Concept plan for Woodhaven of Minnetonka at 2424 and 2440
Plymouth Road**

City Planner Loren Gordon gave the staff report.

Calvert recalled the city has been trying to move away from lot behind lot. She asked why the city has been moving away from this. Gordon stated there are provisions within the subdivision ordinance that addresses this, and the instances when a lot behind lot was allowed through a variance. He commented in some cases this occurs due to the layout of a project.

Schaeppi commented on Lot 5 and questioned if this lot would be more restrictive when it came to setbacks. Gordon indicated the lot behind lot does have different setbacks than a typical R-1 lot.

Kirk inquired if the wetland areas were potential locations and not delineated wetlands. Gordon reported this was the case.

Wiersum discussed Lot 5 further and questioned if this should be a flag lot versus a residential lot. He recalled that the city has not looked favorably upon lots behind lots. He stated he did not recall the city approving this type of scenario in the past 10 years. He requested staff investigate the last time a lot behind a lot was approved by the city.

Carter questioned why historical context matters now.

Wiersum stated this was a matter of perspective and understanding what has been done when approving developments. Years ago, lots behind lots was the norm. He noted the trend has been to move away from lots behind lots. He explained if the council were to approve this concept plan as is, this would be an exception to the norm.

Calvert commented she had safety concerns for lots behind lots and how the properties would be accessed by emergency vehicles.

Gordon stated city ordinance allows for flag lots noting certain standards have to be met. He reported he would do some follow up work to see how many flag lots were in place in the city. He explained the city has not been approving lots behind lots as developers have been finding other ways to develop their property.

Roger Anderson, civil engineer for Anderson Engineering, commented further on the Woodhaven concept plan with the city council. He discussed how he enjoys developing interesting properties in the community. He noted this property was zoned R-1A. He commented on how the smaller lot size would lead to smaller villa style homes, noting these homes would have an HOA in place. He indicated the property was being surveyed to better understand the significant trees on site. He discussed the drainage and stormwater plans for the development. He explained he has never received a complaint from a lot behind a lot, especially once the road and driveways were installed.


Kirk discussed Lot 5 and understood this lot would have a longer driveway than the other homes within the development. He commented he had a problem with the setbacks for Lot 5 and recommended the side lot setback be the same as a rear yard setback. He indicated if Lot 5 were to move forward, he wanted to ensure there was a proper buffer in place from the new home and the existing neighborhood. He asked why the applicant was requesting an R-1A zoning designation and not a PUD. Mr. Anderson stated R-1A was a straight zoning matter where a PUD would open the development to a lot more issues. He indicated he had not closely looked into a PUD for this development.


Kirk questioned what the price point would be for these lots. He explained he would like to see smaller homes on these small lots. Mr. Anderson reported the homes would be close to \$1 million. He stated the lot width on the R-1A lots was 80 feet and the setbacks are a combination of five and ten feet. He indicated people are building big houses. He noted he would market the lots, would work to guide people to build something smaller, but ultimately this was out of his control.

Schaeppi commented he looked forward to seeing if Lot 5 would work. He stated he was open to options and wanted to see how the setbacks could be



CITY OF
MINNETONKA

 Properties within 400 feet

 Additional properties

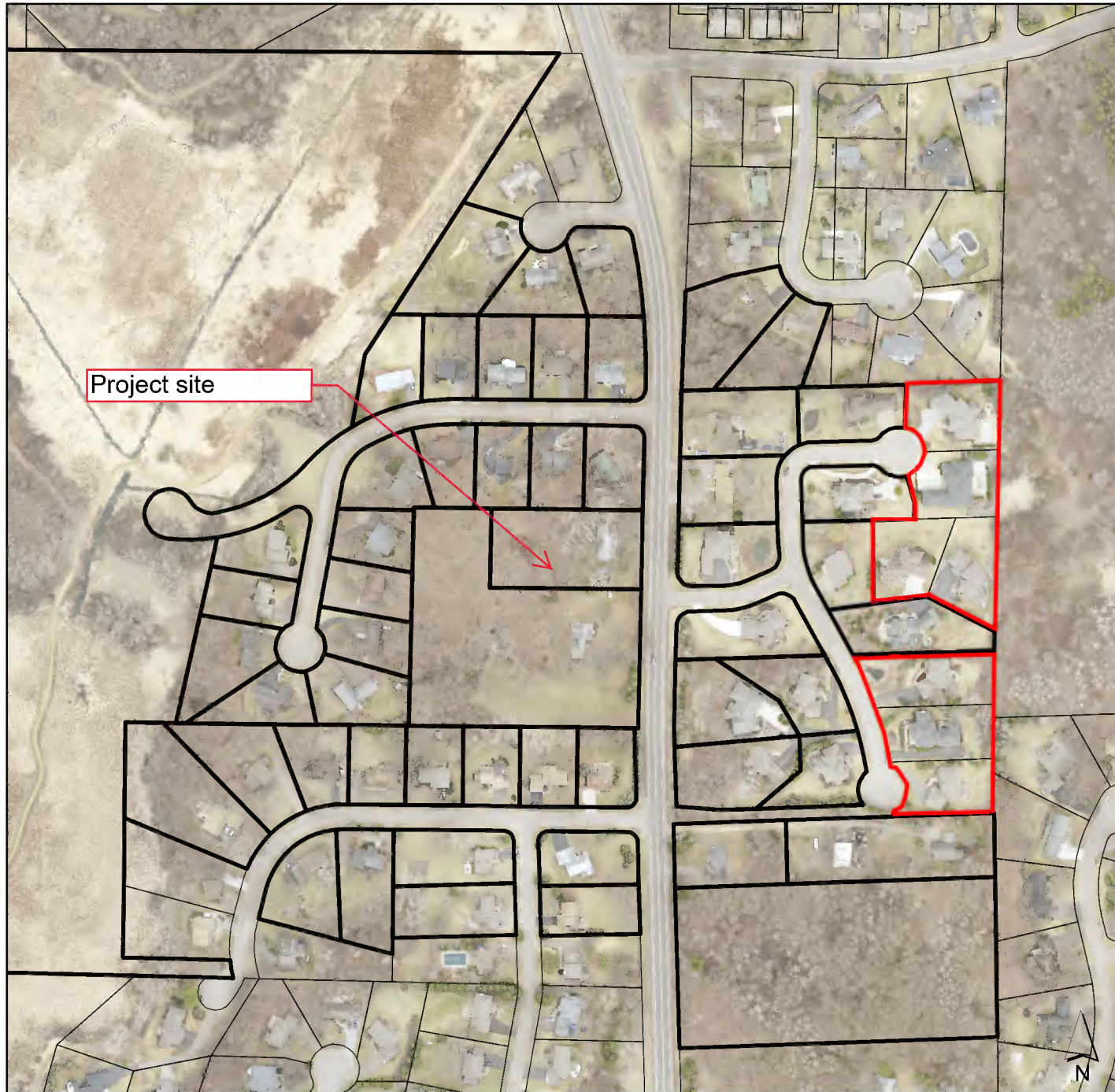
Legend

200 100 0 200 Feet



Mailing Area

Map prepared by: City of Minnetonka



12. Introduction of Ordinances:**A. Items concerning Woodhaven at Minnetonka 2424 & 2440 Plymouth Road**

City Planner Loren Gordon gave the staff report.

Roger Anderson, civil engineer and developer for the project, introduced himself to the council. He noted his original plans called for ten lots and this has now been reduced to nine lots. He discussed what a great job the city had done to protect trees while the city has developed and commented on how the newly revised tree ordinance would impact his project. He indicated he was proposing to remove 68% of the significant trees and 72% of the high priority. He stated he would be responsible for planting 1,300 new trees if his development were approved. He understood that nobody likes to take trees down, but also believed there had to be balance. He stated the tree ordinance as revised was made his lot not developable. He discussed how the new homes he would build would be more energy efficient than the surrounding homes. He commented on the slopes that were on his property. He asked that the city council work with him and reconsider the tree ordinance in order to offer some leeway.

Wiersum thanked Mr. Anderson for his detailed report. He stated this was a challenging property and noted the updated tree ordinance has made the development of this property even more challenging.

Schack indicated this property could not conform to the existing or the previous tree ordinance. She stated she wanted to hear from the planning commission on how to reach a balance. She indicated she had more room to support balance if this was within the R1-A zoning district, but feared the project would still be requiring other compromises.

Kirk stated he looked at this project as a three dimensional challenge. He challenged the planning commission to look at this from a civil engineering perspective. He stated it is helpful to see what this would look like with the ordinances taken into account and maybe there is some room for leeway.

Calvert thanked Mr. Anderson for his presentation. She explained she watched the planning commission meeting from last July and she walked the property. She indicated this property was a three dimensional challenge and she appreciated the fact the developer was proposing single-level living housing the city needed. She understood the property owner had the right to develop the property. However, as the city has developed over time, ordinances have been developed to maintain the character of the community in order to protect the natural beauty. She explained she was uncomfortable moving this ordinance forward. She commented on how uncomfortable she was with adjusting the steep slopes on this property. She reported the city had a steep slope ordinance in place for a reason and she wanted to try and honor this ordinance. She hoped the developer could work with staff on both of these ordinances to come up with a better plan for this property. She stated she was intrigued to have this type of housing built on this property, but noted she was concerned about the proposed price point.

Schaepfi thanked Mr. Anderson for his presentation. He discussed how the city was working to find a balance between trees, development and property rights. He indicated this property was a challenge due to the conflict with the tree ordinance and the need for more housing. He encouraged the planning commission to discuss both of these issues. He explained he was supportive of moving this item forward and suggested the planning commission consider if there was a scenario that had fewer homes and offered more protection of the trees.

Coakley commented she looked forward to hearing from the planning commission. She stated personally, she would like to see more homes, even if this meant trees would be lost. She understood these were not affordable homes, but she knew people needed places to live, and the city needed more single-level homes. She supported this ordinance being forwarded to the planning commission.

Wiersum reported he would support moving this ordinance to the planning commission as well. He explained Mr. Anderson reached out to him to share his thoughts prior to this meeting and noted he declined a meeting. He stated he did this in order to let the city process work. He commented on how the tree ordinance and stormwater management requirements had gotten more stringent and how this had impacted Mr. Anderson's project. He understood that something would develop on this property and if it was not single-family homes, then what. He believed this was one of the more challenging properties to develop in the city and anticipated that it could only be developed with variances. He looked forward to the planning commission, Mr. Anderson and staff working through the process in hopes of finding a development project that works.

Kirk moved, Coakley seconded a motion to introduce the ordinance. All voted "yes." Motion carried.

Wiersum recessed the city council meeting.

Wiersum reconvened the city council meeting.

Resolution No. 2022-

Resolution denying a rezoning from R-1, low-density residential, to R-1A, residential alternative, preliminary plat, with variances to lot width at the right of way, the city's steep slope, and tree protection ordinances for WOODHAVEN AT MINNETONKA at 2424 and 2440 Plymouth Road

Be it resolved by the City Council of the City of Minnetonka, Minnesota, as follows:

Section 1. Background.

1.01 Airborne Woodhaven, LLC is proposing to remove the existing homes for WOODHAVEN AT MINNETONKA, a nine-lot subdivision. (Project 21014.21b)

1.02 The properties are located at 2424 and 2440 Plymouth Road. The site is legally described as:

2424 Plymouth Road, Commitment No. 58624

The North 160 feet of the East 305 feet of the South 440 feet of the East 495 feet of the Southeast Quarter of the Northeast Quarter of Section 10, Township 117 Range 22, Hennepin County, Minnesota.

2440 Plymouth Road, Commitment No. 58625

The South 440 feet of the East 495 feet of the Southeast Quarter of the Northeast Quarter of Section 10, Township 117, Range 22, except the North 160 feet of the East 305 feet thereof. Hennepin County, Minnesota.

1.03 The proposed subdivision requires multiple items:

1. Rezoning from R-1, low-density residential, to R-1A, residential alternative.
2. Preliminary plat, with variances to the city's lot width requirements, tree protection, and steep slope ordinances.

1.04 On May 12, 2022, the Planning Commission held a public hearing on this request. The applicant was provided the opportunity to present information. The commission considered all of the hearing testimony and the staff report, which are incorporated by reference into this resolution. The commission recommends denial of the variance.

Section 2. Standards and Findings

2.01 Rezoning of these properties is appropriate. This action is based on the following findings:

1. The R-1A area will be appropriately integrated into the existing development.
2. The R-1A area will not detract from the existing surrounding development.
3. The rezoning is consistent with the comprehensive plan.

Findings: Without consideration to the site's natural features, the development would likely integrate into the neighborhood context and be consistent with the site's low-density designation by the comprehensive plan. However, the development impact on the site is too significant for staff to support the rezoning request, which would include an approved conceptual plan (the preliminary plat) that could be interrupted to insinuate support of the plan.

2.02 City Code §400.030 outlines general design requirements for residential subdivisions. City Code §300.37 Subd. 6 outlines standards for R-1A lots. These standards are incorporated by reference into this resolution.

Finding:

	Lot Area	Lot Width at Right-of-Way	Lot Width at Setback	Lot Depth *	Buildable Area *	Max FAR
Required	15,000 sf	55 ft; but 45 at cul-de-sac	75 ft	125 ft	2,400 sf	Lots less than 17,500 sf. = 0.24 Lots 17,500 sf or greater = 0.22
Lot 1	20,146 sf	112 ft	119 ft	165 ft	9,760 sf	0.22
Lot 2	17,715 sf	89 ft	88 ft	210 ft	8,990 sf	0.22
Lot 3	22,074 sf	103 ft	105 ft	180 ft	5,160 sf	0.22
Lot 4	24,712 sf	40 ft **	65 ft **	160 ft	13,510 sf	0.22
Lot 5	17,841 sf	55 ft	92 ft	127 ft	8,035 sf	0.22
Lot 6	21,972 sf	57 ft	84 ft	200 ft	12,000 sf	0.22
Lot 7	18,343 sf	85 ft	84 ft	173 ft	8,650 sf	0.22

Lot 8	17,565 sf	85 ft	86 ft	180 ft	9,035 sf	0.22
Lot 9	22,653 sf	120 ft	119 ft	215 ft	9,650 sf	0.22
* rounded to the nearest 5 ft ** requires a variance						

2.03 City Code §300.01, Subd. 7(b) establishes maximum protected tree removal for redevelopment on single-family properties.

	Removal allowed under current ordinance	Proposal
High priority	91 trees (35 percent)	Approx. 175 trees Approx. 68-75 percent *
Significant trees	80 trees (50 percent)	Approx. 97 trees 60-63 percent *
* requires a variance		

2.04 By City Code §400.28, Subd. 20(b), staff will evaluate the extent to which the development meets the guidelines under each finding. While it is the intent of the ordinance to require compliance with as many of the guidelines as possible, the ordinance grants the city discretion to not require *total* compliance with *every* guideline if the overall finding is still achieved:

Ordinance Finding 1: The property is physically suitable for the design and siting of the proposed development and will preserve significant natural features by minimizing disturbance to existing topographical forms.

a. Design developments into steep slopes, rather than making significant alterations to the slope to fit the development:

1. Avoid building pads that result in extensive grading outside of the building footprint and driveway areas;

Staff Findings: The building pads for Lots 2, 3, 7, and 8, and the new cul-de-sac would result in extensive grading to the existing slopes.

2. Use retaining walls as an alternative to banks of cut-and-fill, and design and site such walls to avoid adverse visual impact;

Staff Findings: The developer does not appear to have explored alternative methods to avoid the cut-and-fill of the site.

3. Allow for clustering with different lot shapes and sizes, with the prime determinant being to maximize the preservation of the natural terrain;

Staff Findings: The plan does not contemplate clustering to reduce impacts to the terrain.

4. Allow flag lots when appropriate to minimize grading;

Staff Findings: No flag lots are proposed. Originally, the concept plan contemplated a lot-behind-lot in the northwest corner of the site. The inclusion of this lot would have resulted in greater impacts to the site's slopes.

5. Avoid cuts and fills greater than 25 feet in depth; and

Staff Findings: The plan would result in a cut-and-fill of roughly 15 feet.

6. Design grading to preserve the crest of prominent ridges. Buildings may be located on the prominent ridges as long as the requirements of this subdivision are met.

Staff Findings: The plans "grade out" the ridge and topography of the site.

- b. Design streets and driveways that generally follow existing contours, except where necessary for public safety or to minimize the adverse impacts from traffic:

1. Use cul-de-sacs and common drives where practical and desirable to preserve slopes; and
2. Avoid individual long driveways unless necessary to locate the principal structures on a less sensitive areas of the site.

Staff Findings: The construction of the cul-de-sac would directly impact the steep slope, and individual driveways are not proposed or justified.

- c. Concentrate development on the least sensitive portion of the site to maximize the preservation of significant trees and natural features:

1. Preserve sensitive areas by clustering buildings or using other innovative approaches; and

Staff Findings: The proposal is a flatland development that does not contemplate clustering or innovative design approaches to maintain natural features.

2. Maintain sufficient vegetation and design the scale of the development so that it does not overwhelm the natural character of the steep slope.

Staff Findings: The proposal would grade out the site and remove twice as many high-priority trees than the ordinance would allow.

- d. Preserve steep slopes that buffer residences from non-residential sources of light and noise.

Staff Findings: The slope – and buffer – would be graded out.

Ordinance Finding 2: The development will not result in soil erosion, flooding, severe scarring, reduced water quality, inadequate drainage control, or other problems.

- a. Wherever practical, minimize the impervious surface area and maximize the use of natural drainage systems:

1. Design any new drainage systems away from neighboring properties, away from cut faces or sloping surfaces of fill, and towards appropriate drainage facilities, whether artificial or natural. Drainage systems must comply with the city's water resources management plan; and

2. Use existing natural drainage system as much as possible in its unimproved state if the natural system adequately controls erosion.

Staff Findings: Runoff would be directed to the basin in the southwest corner and the northern wetland.

- b. Avoid building on or creating steep slopes with an average grade of 30 percent or more. The city may prohibit building on or creating slopes in the following situations:

1. Where the city determines that reasonable development can occur on the site without building on or creating slopes; or

2. Development on such slopes would create real or potentially detrimental drainage or erosion problems.

Staff Findings: The site has areas containing slopes of 30 percent. The eastern area would be impacted by grading.

- c. Design slopes to be in character with the surrounding natural terrain;

Staff Findings: The proposal would significantly change the natural terrain of the site both aesthetically and physically.

- d. Use benching, terracing, or other slope-stabilizing techniques for fill, as determined appropriate by the city engineer;

Staff Findings: The proposal does not contain any innovative approaches to slope stabilization.

- e. Install and maintain erosion control measures during construction in accordance with the current Minnesota pollution control agency best management practices; and

Staff Findings: If the city decided to approve the project, this would be included as a condition of approval.

- f. Revegetate disturbed areas as soon as practical after grading to stabilize steep slopes and prevent erosion, as required by the city.

Staff Findings: If the city decided to approve the project, this would be included as a condition of approval.

Ordinance Finding 3. The proposed development provides adequate measures to protect public safety.

- a. Limit the slopes of private driveways to not more than 10 percent. The driveway should have sufficient flat areas at the top and toe to provide vehicles a landing area to avoid vehicles slipping into the adjacent street during icy conditions. The city may require a driveway turn-around; and
- b. Provide sufficient access for emergency vehicles to reach the proposed buildings.

Staff Findings: The city's engineering and fire departments have reviewed the plans and find this condition suitably met.

2.05

By City Code §300.07 Subd. 1, a variance may be granted from the requirements of the zoning ordinance when: (1) the variance is in harmony with the general purposes and intent of this ordinance; (2) when the variance is consistent with the comprehensive plan; and (3) when the applicant establishes that there are practical difficulties in complying with the ordinance. Practical difficulties mean: (1) The proposed use is reasonable; (2) the need for a variance is caused by circumstances unique to the property, not created by the property owner, and not solely based on economic considerations; and (3) the proposed use would not alter the essential character of the surrounding area.

The proposed variances do not meet the required variance standard for the following reasons:

1. Purpose and Intent of the Ordinance: The intent of the city's lot standards is to ensure adequate separation between lots and houses. The lot width of Lot 4 could be increased to meet the standard. The intent of the city's tree protection and steep slope ordinances are to protect the natural resources that make Minnetonka unique. The requested variances to the steep slope and tree protection ordinances are the direct result of the developer's blatant disregard for these protection standards.
2. Comprehensive Guide Plan: One of the guiding principles of the comprehensive guide plan encourages the continued high regard for natural resources through the protection and incorporation of natural features into residential developments. The requested variances to completely grade out the site to traditional flat land development and remove trees at a rate of almost double what ordinances allow are in direct conflict with the principle.
3. Reasonableness: The requested variances are egregious and not reasonable. They are the direct result of the developer's design and would significantly erode the intent of the city's ordinances.
4. Circumstances unique to the property: While the natural features are unique to this particular site, the variances are not directly related to a circumstance unique to the property. Many properties within the city have steep slopes, and the tree protection ordinance would apply to all properties within the community.
5. Character of the neighborhood: The requested variances would be a significant detriment to the neighborhood and the community as a whole.

Section 3. Council Action.

- 3.01 The city council denies the proposal and associated requests based on the findings outlined in Section 2 of this resolution.

Adopted by the City Council of the City of Minnetonka, Minnesota, on May 23, 2022.

Brad Wiersum, Mayor

Attest:

Becky Koosman, City Clerk

Action on this resolution:

Motion for adoption:

Seconded by:

Voted in favor of

Voted against:

Abstained:

Absent:

Resolution adopted.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the City Council of the City of Minnetonka, Minnesota, at a meeting held on May 23, 2022

Becky Koosman, City Clerk