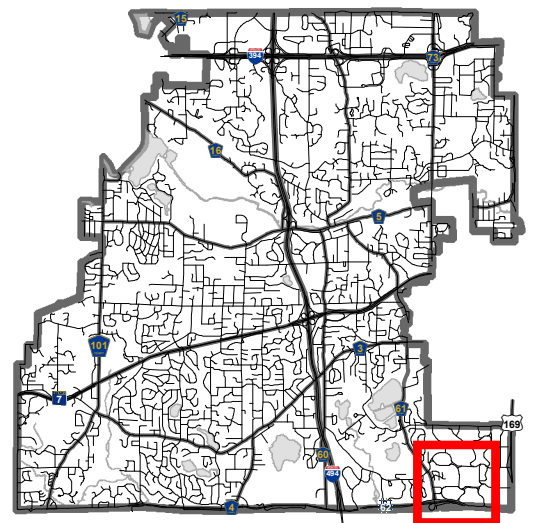




### Location Map

Project: Greystar Development  
Address: 10701 Bren Road





# DEVELOPMENT TEAM EXPERIENCE



## ABOUT GREYSTAR

Greystar is a leading, fully integrated real estate company offering expertise in investment management, development, and management of rental housing properties globally. Headquartered in Charleston, South Carolina, Greystar manages and operates over \$221 billion of real estate in 224 markets globally including offices throughout North America, Europe, South America, and the Asia -Pacific region. Greystar is the largest operator of apartments in the United States, managing over 768,000 units globally, and has a robust institutional investment management platform with more than \$58.2 billion of assets under management, including over \$24 billion of development assets.



## ABOUT ESG

ESG is a national leader in the planning, design and development of award-winning residences and communities throughout the US. Our architects and designers base their work on timeless design principles. These principles include the integration of pedestrian-friendly streetscapes and landscaping, proximity to mass transit, generating density, and the incorporation of sustainable-design strategies and mixed-use commercial enterprises.

# PROJECT NARRATIVE

## VISION STATEMENT

Greystar desires to create a market rate rental community to serve residents in an area that will soon benefit from enhanced transit opportunities and an extensive network of recreational trails. The new residents will enhance the Opus Park community and foster the ongoing development of a new neighborhood centered around the light rail station.

## PROJECT GOALS

- Support a mixed-use community at the Opus campus by growing the resident population.
- Create a Transit-Oriented Development community that will provide ridership on the new light rail line.
- Enhance and support the district's natural features and integrate the site into the existing landscape of trails.
- Provide density to support the area's existing businesses and provide additional residents to serve as a catalyst for more retail/commercial development within the Opus Park.
- Connect the Red Circle Trail from Shady Oak Road to Bren Road as per the Opus Area Placemaking + Urban Design Implementation Guide.
- Develop a concept for connecting the project to the existing trail network with seating areas, landscaping and an updated stormwater management approach.

## PLACEMAKING AND DESIGN CONCEPT

The project's vision and design concept will align with the goals of the Opus Area Placemaking + Urban Design Implementation Guide.

- Located within the "Red Loop", the proposed development is an important part of the broader Opus Area Placemaking and Design trail system. The area is characterized by natural open spaces stitched together with an exceptional network of pedestrian trails and a one-way road system.
- The proposed residential building will integrate into this well-established environment by giving precedence to landscape design and upgraded pedestrian connections.
- New sidewalks will be integrated around the site to the east where it will connect to the proposed LRT station. Along the south side of the building, paths connect to both the Shady Oak Rd. trail system as well as the Orange Loop. New connections within the site, and around the north will further solidify pedestrian connections for residents and visitors of OPUS park.
- With the new Southwest Light Rail station located adjacent to the site, residents will have direct access to a transit option that will reduce dependency on automobile use.
- The grounds immediately adjacent to the buildings will be highly landscaped since there is no structured parking below ground. The landscape program will include full overstory canopy trees.
- The open space around the perimeter of the buildings will incorporate a carefully designed stormwater feature and native landscaping.
- Native vegetation will take precedence based on historic species located in this area.
- Walk-up style residential units with sidewalks, front porches, and entry doors will ground the building and facilitate an active streetscape environment.

# PROJECT NARRATIVE

## PROJECT DESCRIPTION

- An office building and surface parking exist on the site today. The proposed project consists of a five and six-story market rate apartment building with approximately 275 units. The building will also incorporate approximately 28 affordable residential units (10%: 14 units at 40% AMI and 14 units at 80% AMI). The multifamily building wraps a large interior courtyard and a six-story parking structure that will contain about 395 parking spaces.
- The residential building will be fully amenitized and include a lobby and common areas at ground level. A vehicular drop-off court is accessed from Red Circle Drive. This arrival court will include several guest parking stalls for prospective tenants and visitors. The Level one amenity spaces will overlook the amenity courtyard as well as a double-height resident clubroom located at Level P1 below. A level six “sky lounge” will provide indoor and outdoor spaces with views toward the north and east.
- The landscaped courtyard is inspired by the naturally occurring landscapes of Minnesota. Frozen lakes and ice bubbles, dense aspen and birch forests, wetlands, and bogs, as well as the oak savannah ecosystem inspire forms and program throughout the site. Informal seating and grilling areas are scattered throughout the courtyard. A seating berm and tree bosc provide spaces for relaxation as well.
- At the perimeter of the building, the project will use the existing topography of the site to manage stormwater in a series of cascading raingardens that will connect to the larger stormwater management system.
- Service functions like move-ins and trash pickup will be located on the north side of the building, accessed via an existing private drive and existing shared access easement. Architectural screening and landscaping will visually screen this area from the pedestrian sidewalks along Bren Road.
- Ample bike parking will be provided in the building to support and encourage bicycling.

## BUILDING DESIGN AND EXTERIOR MATERIALS

- A key building design element is in response to the street curve at the intersection of Bren Road and Red Circle Drive. The building face along this frontage consists of a series of angled planes that mediate between the rectilinear courtyard and the property line condition. These planes provide opportunity to nestle balconies into the facades and create an interesting fish-scale like expression. While the exterior skin of the building is lighter in color, where this primary massing is carved away, a darker color becomes predominant.
- The exterior materials will include a mix of brick, true three-coat cementitious stucco, painted cementitious panels, metal panel, glass and accent materials to creating an integrated palette that will complement the intensive landscaping of the site.

## DESIGN UPDATES SUBSEQUENT TO CONCEPT PLANNING COMMISSION AND CITY COUNCIL MEETINGS

- The Planning Commission and City Council provided thoughtful feedback at the meetings of August 18, 2022, and September 12, 2022.
- City Staff has also provided meaningful feedback during the past several months.
- Changes that have been made based on this feedback include:
  - o Further developed the stormwater conveyance system in the front yards of Red Circle Drive and Bren Road as a resilient landscape feature of the development.
  - o The Bren Road East Elevation has been updated to show a major massing break. This break is placed at the location of the passageway that provides a direct and secure link to the courtyard from the Bren Road pedestrian sidewalk.
  - o Setback along west property line increased from 10’ to 15’.
  - o Added brick to the base of the building at all public facades.
  - o The sky deck and sky lounge geometry has been simplified.
  - o West garage façade is now fully enclosed and concealed and thoughtfully integrated into the overall building design.
  - o Adjusted the secondary color per feedback to a more ochre hue.
  - o Interior façade design of courtyard enhanced with a two-tone wall panel patterning.
  - o Solar access studies have influenced elements of the courtyard to maximize use by residents all year around.
  - o Greystar has committed to providing twenty EV spaces in the parking garage.



# EXISTING CONDITIONS: AREA



## WALK

- ON SITE TRAIL ACCESS
- 4 MIN. TO LAKE
- 5 MIN. TO OPUS LIGHTRAIL STATION
- 6 MIN. BETWEEN RED CIR DR TO SHADY OAK BUS STOP

## DRIVE

- 10 MIN. TO MEADOWBROOK GOLF COURSE
- 20 MIN. TO DOWNTOWN MINNEAPOLIS
- 22 MIN. TO MSP INTERNATIONAL AIRPORT
- 30 MIN. TO ST. PAUL

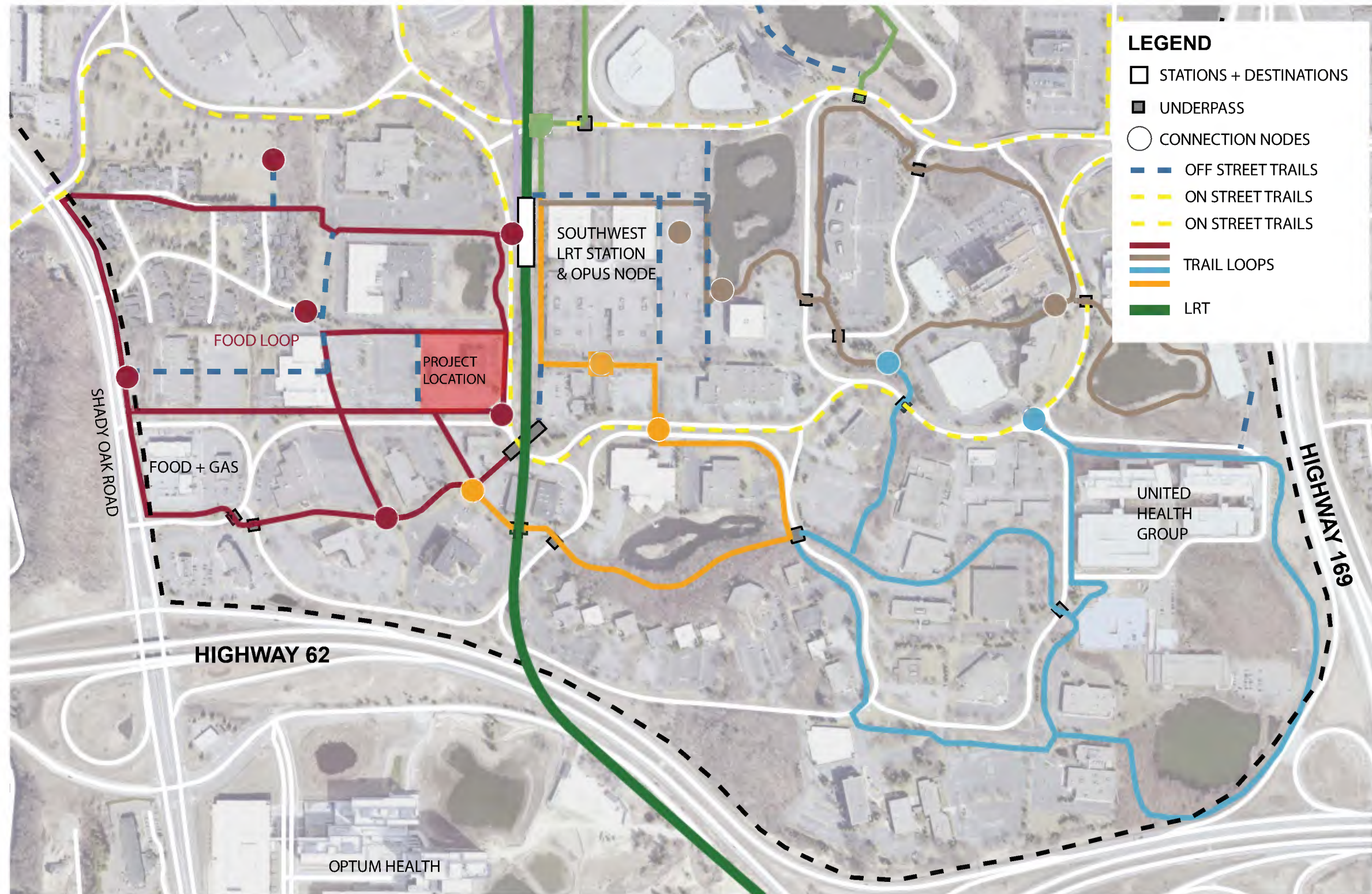
## ENGAGE

- 17 NEARBY RESTAURANTS
- 3 HOTELS NEARBY
- 3 PARKS W/TRAILS THROUGH THE SITE

- MAIN ROADWAYS
- MAIN APPROACH
- SW LIGHTRAIL - GREEN LINE
- TRAIL SYSTEM + PARKS
- RETAIL/COMMERCIAL/HOTEL
- CORPORATE & EDUCATION
- RESIDENTIAL



# EXISTING CONDITIONS: CONNECTIONS





# EXISTING CONDITIONS: SITE





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LAND USE APPLICATION  
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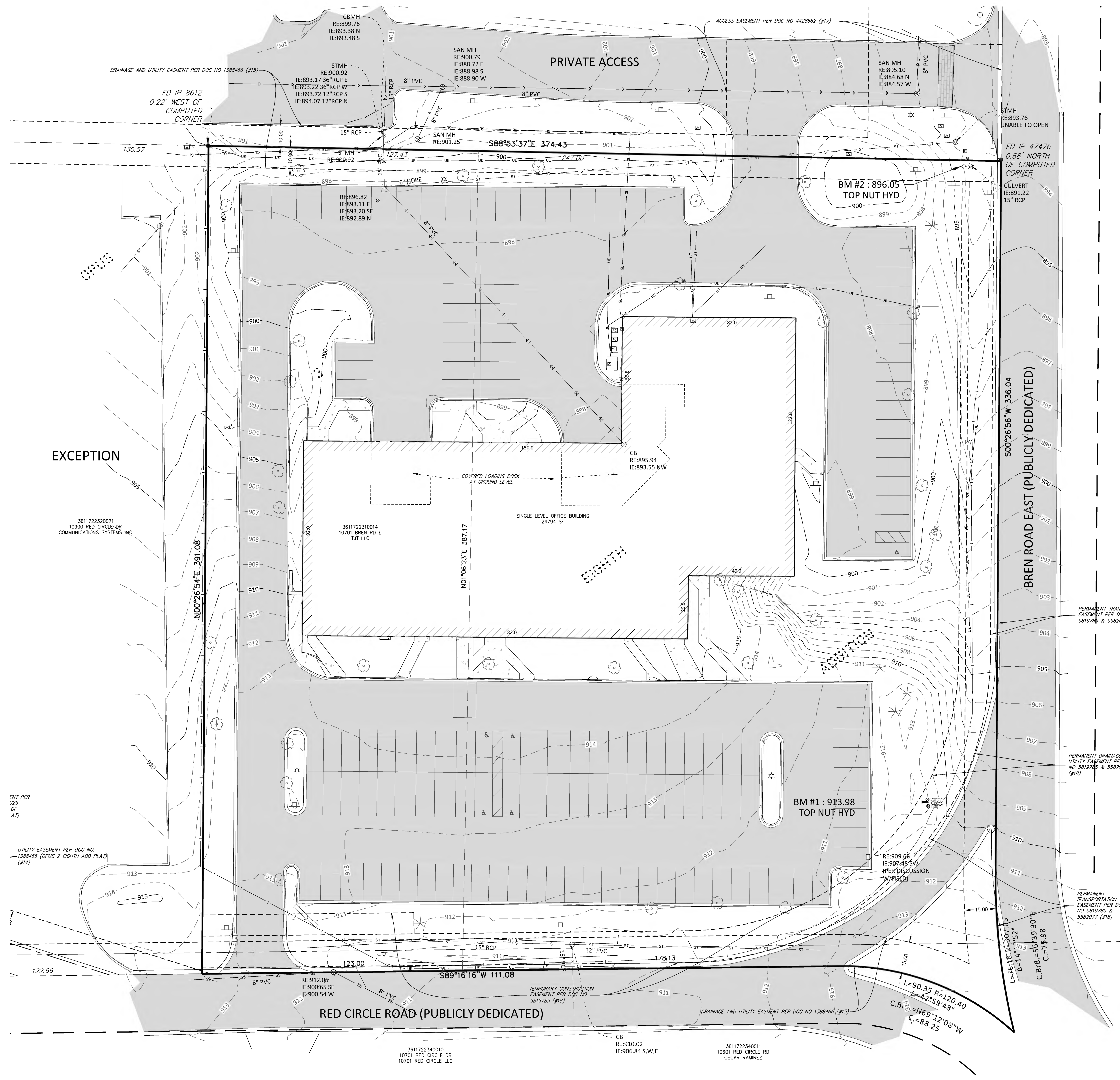
51166  
PROJECT NUMBER

TLL BWF  
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KEY PLAN

BREN ROAD  
MULTIFAMILY

EXISTING CONDITIONS  
**C2.01**



**LEGEND**

● FOUND MONUMENT	—○— WATERMAIN	- - - EASEMENT LINE
○ SET MONUMENT MARKED	—○— SANITARY SEWER	- - - SETBACK LINE
⊠ ELECTRIC METER	—○— FORCEMAIN (SAN.)	- - - RESTRICTED ACCESS
★ LIGHT	—○— STORM SEWER	—○— CONCRETE CURB
⊠ AIR CONDITIONER	—○— FLARED END SECTION	—○— BUILDING LINE
⊠ GUY ANCHOR	—○— TELEPHONE PEDESTAL	- - - BUILDING CANOPY
⊠ HANDICAP STALL	—○— TELEPHONE PEDESTAL	□ STANDARD DUTY ASPHALT PAVING
⊠ UTILITY POLE	—○— ELECTRIC TRANSFORMER	□ BITUMINOUS SURFACE
⊠ POST	—○— GAS METER	□ CONCRETE SURFACE
⊠ SIGN	—○— OVERHEAD WIRE	□ LANDSCAPE SURFACE
	—○— CHAIN LINK FENCE	
	—○— IRON FENCE	
	—○— WIRE FENCE	
	—○— WOOD FENCE	

**DESCRIPTION**

Parcel 1:  
Lot 5 and that part of Lot 6, which lies Easterly of the following described line: Beginning at a point on the South line of said Lot 6 distant 123.00 feet Westerly from the Southeast corner of said Lot 6; thence North 1 degree, 09 minutes, 15 seconds East, a distance of 391.08 feet to a point on the North line of said Lot 6, distant 127.43 feet Westerly from the Northeast corner of said Lot 6 and said line there terminating;  
All in Block 1, Opus 2 Eighth Addition, Hennepin County, Minnesota  
Torrans Property Certificate of Title No. 1211616

Parcel 2:  
Permanent easement for pedestrian and vehicular access and ingress and egress for the benefit of Parcel 1 as set forth in that certain Easement Agreement dated September 21, 2007, recorded September 21, 2007, as Document No. 4428662 (T).

**PROPERTY SUMMARY**

- The subject property address is 10701 Bren Road East, the property identification number is 3611722310014.
- The gross area of the subject property is 3.328 acres or 144,986 square feet.
- The subject property is zoned xxx, per xxx.
- The building(s) and exterior dimensions of the outside wall at ground level are shown on the survey. It may not be the foundation wall.

**BENCHMARKS**

3611722310014 METROPOLITAN COUNTY  
Vertical datum is based on NAVD88.

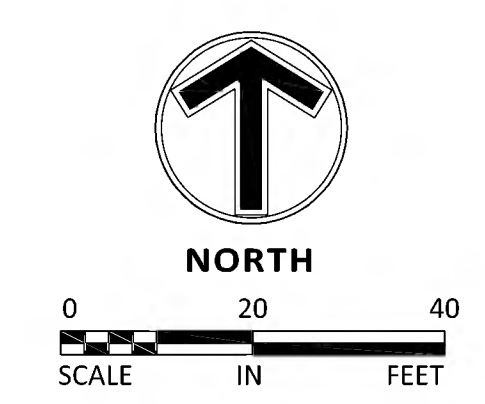
Benchmark #1  
Top Nut Hydrant, Southeast corner of site elev. = 913.98

Benchmark #2  
Top Nut Hydrant, Northeast corner of site elev. = 896.05

**SURVEY NOTES**

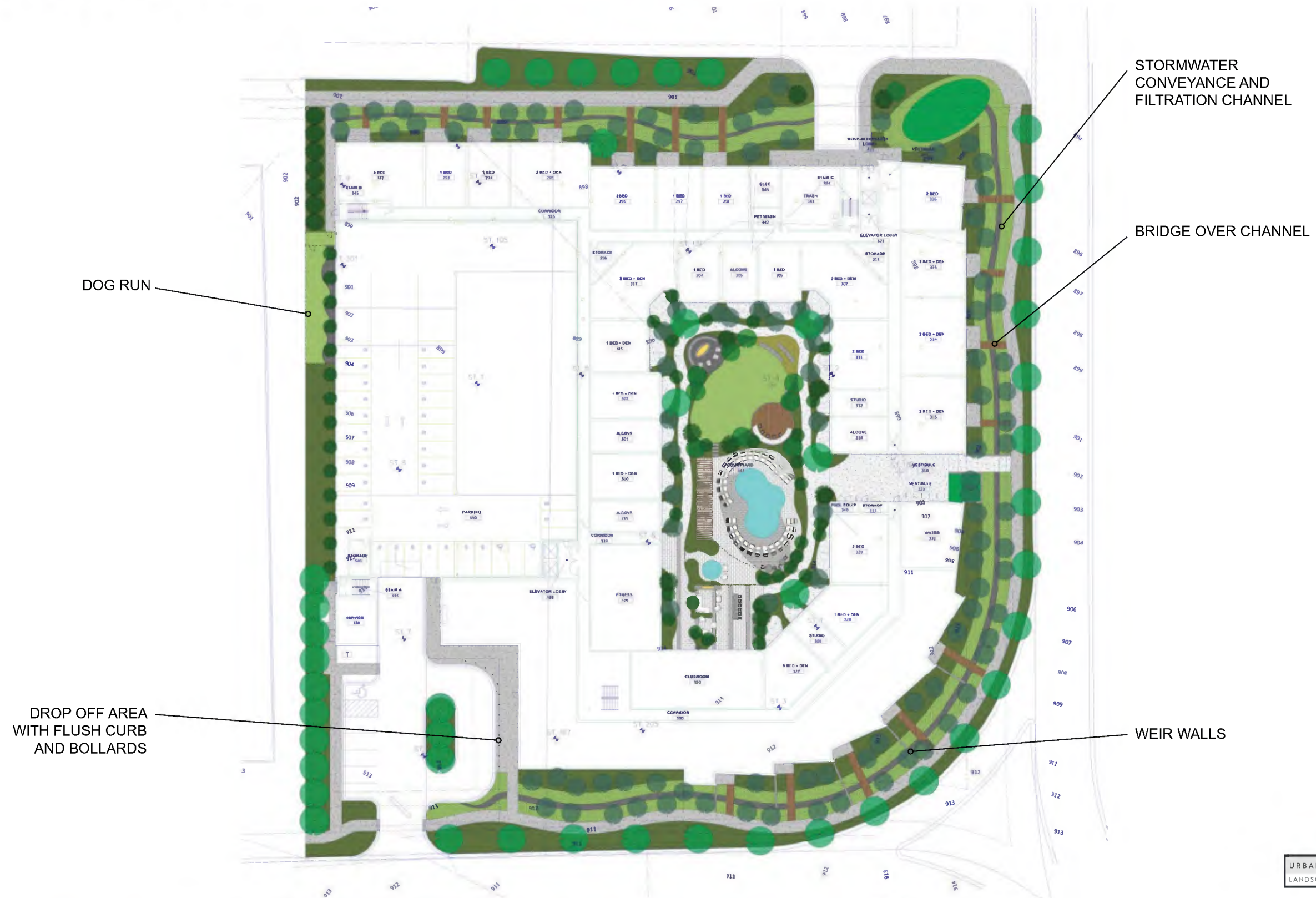
- The bearing system is based on the Hennepin County coordinate system, NAD83 (1985 Adjust), with an assumed bearing of South 00 degrees 26 minutes 56 seconds West for the east line of Lot 5, Block 1, Opus 2 Eighth Addition, Section 36, Township 117, Range 22.
- Field work was completed on 05/24/2022.

OPUS 2 FOURTH ADDITION





# SITE PLAN





# LANDSCAPE SITE PLAN

PROPOSED LANDSCAPING IMPROVEMENTS ON NEIGHBORING PROPERTY TO BE APPROVED BY PROPERTY OWNER

PROPERTY LINE

DOG RUN

DROP OFF AREA WITH FLUSH CURB AND BOLLARDS



SIDEWALK PROPOSED BY CITY OF MINNETONKA TO BE APPROVED AND COORDINATED BY BOTH PROPERTY OWNERS

STORMWATER FILTRATION AREA TO BE APPROVED AND COORDINATED BY BOTH PROPERTY OWNERS

BRIDGE OVER CHANNEL CONNECTING TO RESIDENTIAL UNITS

WALKWAY AND TUNNEL CONNECTING SIDEWALK TO GREEN SPACE

STORMWATER CONVEYANCE AND FILTRATION CHANNEL

WEIR WALLS FOR STORMWATER CONVEYANCE

URBAN ECOSYSTEMS  
LANDSCAPE ARCHITECTS





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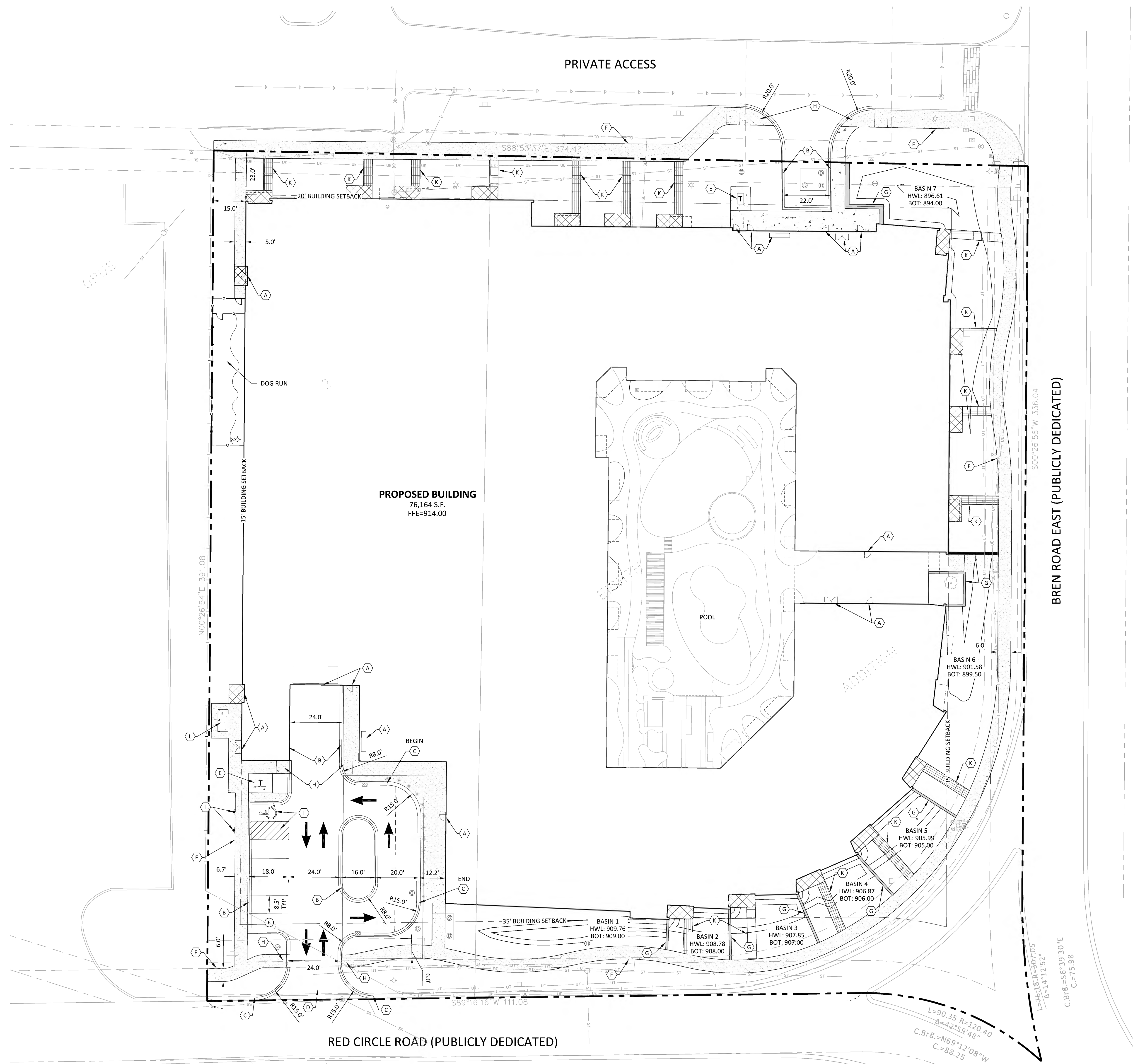
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KEY PLAN

BREN ROAD  
MULTIFAMILY

SITE PLAN

**C3.01**



**LEGEND**

PROPOSED	EXISTING	BOUNDARY LINE	STANDARD DUTY ASPHALT PAVING
(Symbol)	(Symbol)	CONCRETE CURB	HEAVY DUTY ASPHALT PAVING
(Symbol)	(Symbol)	EASEMENT LINE	CONCRETE PAVING
(Symbol)	(Symbol)	BUILDING LINE	CONCRETE SIDEWALK
(Symbol)	(Symbol)	RETAINING WALL	PAVEMENT BY OTHERS (SEE ARCHITECTURAL PLANS)
(Symbol)	(Symbol)	WETLAND	BRIDGE
(Symbol)	(Symbol)	TREE LINE	
(Symbol)	(Symbol)	SAW CUT LINE	
(Symbol)	(Symbol)	CHAIN LINK FENCE	
(Symbol)	(Symbol)	SIGN	
(Symbol)	(Symbol)	BOLLARD	
(Symbol)	(Symbol)	PARKING STALL COUNT	
(Symbol)	(Symbol)	KEY NOTE	
(Symbol)	(Symbol)	LIGHT POLE (BY OTHERS)	

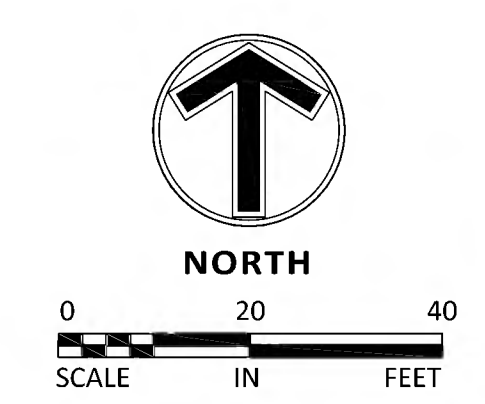
**DEVELOPMENT SUMMARY**

AREA	
SITE AREA	137,635 SF 3.16 AC
BUILDING	
UNITS	275 UNITS
DENSITY	87 UNITS/AC
OPEN SPACE REQUIRED (300 SF / UNIT)	82,500 SF
OPEN SPACE PROVIDED	35,290 SF
ZONING	
EXISTING ZONING	I-1
PROPOSED ZONING	PUD
SETBACKS	
FRONT YARD	35 FT
SIDE/REAR WEST	15 FT
SIDE/REAR NORTH	20 FT
PARKING	
PARKING REQUIRED (2 SPACES/UNIT, 1 TO BE ENCLOSED)	550 TOTAL 275 ENCLOSED
PARKING PROVIDED SURFACE ENCLOSED	401 6 395

**DEVELOPMENT NOTES**

1. NOTES PLACEHOLDER

- KEY NOTES**
- A. BUILDING, STOOPS, STAIRS (SEE ARCHITECTURAL PLANS)
  - B. B-612 CONCRETE CURB AND GUTTER
  - C. FLAT CURB AND GUTTER
  - D. CONCRETE APRON
  - E. TRANSFORMER
  - F. CONCRETE SIDEWALK
  - G. RETAINING WALL
  - H. ADA ACCESS LOCATION
  - I. ACCESSIBLE STALL STRIPING
  - J. ACCESSIBLE PARKING SIGN
  - K. BRIDGE
  - L. GENERATOR



THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA". THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. BY CONTACTING THE NOTIFICATION CENTER (Gopher State One FOR MINNESOTA), THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



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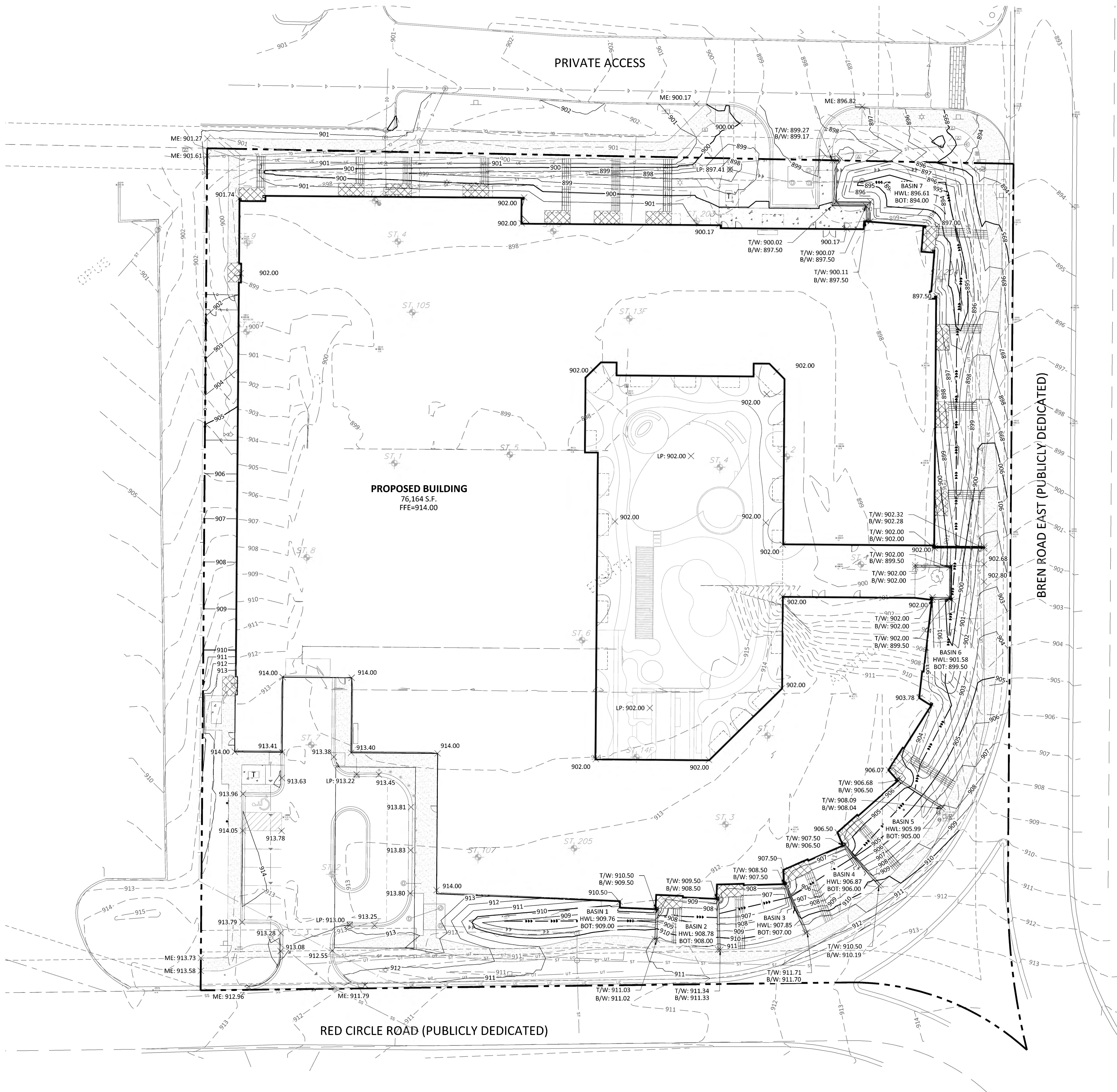
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KEY PLAN

BREN ROAD  
MULTIFAMILY

GRADING PLAN  
**C4.01**



**LEGEND**

	<b>PROPOSED</b>		<b>EXISTING</b>		CONCRETE PAVING
	CONCRETE CURB		CONCRETE CURB		CONCRETE SIDEWALK
	STORM SEWER		STORM SEWER		PAVEMENT BY OTHERS (SEE ARCHITECTURAL PLANS)
	DRAIN TILE		DRAIN TILE		
	BUILDING LINE		BUILDING LINE		
	RETAINING WALL		RETAINING WALL		
	CONTOUR		CONTOUR		
	WETLAND		WETLAND		
	TREE LINE		TREE LINE		
	SPOT ELEVATIONS		SPOT ELEVATIONS		
	RIPRAP		RIPRAP		
	OVERFLOW ELEV.		OVERFLOW ELEV.		
	SOIL BORING		SOIL BORING		

**GRADING NOTES**

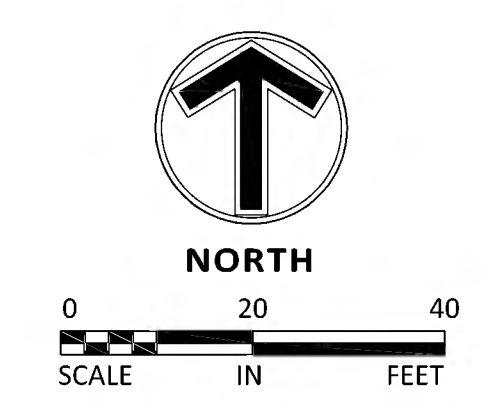
1. GRADING NOTES PLACE HOLDER

**INFILTRATION BASIN CONSTRUCTION NOTES**

1. INFILTRATION BASIN CONSTRUCTION NOTES PLACE HOLDER

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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota

Signature \_\_\_\_\_

Typed or Printed Name \_\_\_\_\_

License # \_\_\_\_\_ Date \_\_\_\_\_

**NOT FOR  
CONSTRUCTION**



**Area Legend**

1 BED
1 BED + DEN
2 BED
2 BED + DEN
3 BED
ALCOVE
AMENITY
COMMON / CIRCULATION
ELEC
PARKING
SERVICE
STUDIO
TRASH

LAND USE  
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ESG CHECKED BY

KEY PLAN

BREN ROAD  
MULTIFAMILY

LEVEL 1 FLOOR PLAN

**A1.0**



**NOT FOR CONSTRUCTION**



**Area Legend**

1 BED
1 BED + DEN
2 BED
2 BED + DEN
3 BED
ALCOVE
AMENITY
COMMON / CIRCULATION
DATA
ELEC
PARKING
SERVICE
STUDIO
TRASH

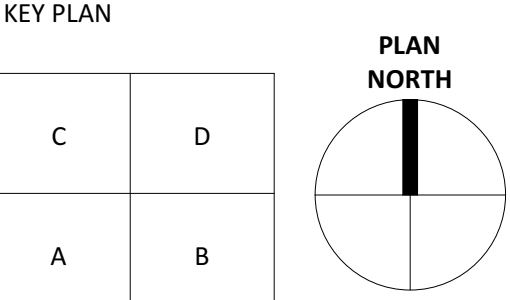
LAND USE APPLICATION  
12/06/2022

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PROJECT NUMBER

ESG  
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ESG  
CHECKED BY \_\_\_\_\_



BREN ROAD  
MULTIFAMILY

LEVEL 2 FLOOR PLAN

**A1.1**

**1 LEVEL 2 FLOOR PLAN**  
A1.1 1/16" = 1'-0"



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Signature \_\_\_\_\_

Typed or Printed Name \_\_\_\_\_

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CONSTRUCTION**



**Area Legend**

<span style="display:inline-block; width:10px; height:10px; background-color:orange; border:1px solid black;"></span>	1 BED
<span style="display:inline-block; width:10px; height:10px; background-color:darkorange; border:1px solid black;"></span>	1 BED + DEN
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<span style="display:inline-block; width:10px; height:10px; background-color:lightblue; border:1px solid black;"></span>	2 BED + DEN
<span style="display:inline-block; width:10px; height:10px; background-color:green; border:1px solid black;"></span>	3 BED
<span style="display:inline-block; width:10px; height:10px; background-color:lightorange; border:1px solid black;"></span>	ALCOVE
<span style="display:inline-block; width:10px; height:10px; background-color:yellow; border:1px solid black;"></span>	COMMON / CIRCULATION
<span style="display:inline-block; width:10px; height:10px; background-color:grey; border:1px solid black;"></span>	ELEC
<span style="display:inline-block; width:10px; height:10px; background-color:lightgrey; border:1px solid black;"></span>	PARKING
<span style="display:inline-block; width:10px; height:10px; background-color:purple; border:1px solid black;"></span>	STUDIO
<span style="display:inline-block; width:10px; height:10px; background-color:pink; border:1px solid black;"></span>	TRASH

LAND USE  
APPLICATION  
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ESG DRAWN BY  
ESG CHECKED BY

KEY PLAN

BREN ROAD  
MULTIFAMILY

LEVEL 3-5 FLOOR PLAN

**A1.2**



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Signature \_\_\_\_\_

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License # \_\_\_\_\_ Date \_\_\_\_\_

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CONSTRUCTION**



**Area Legend**

1 BED
1 BED + DEN
2 BED
2 BED + DEN
3 BED
ALCOVE
AMENITY
COMMON / CIRCULATION
DATA
PARKING
STUDIO
TRASH

LAND USE  
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KEY PLAN

BREN ROAD  
MULTIFAMILY

LEVEL 6 FLOOR PLAN

**A1.5**



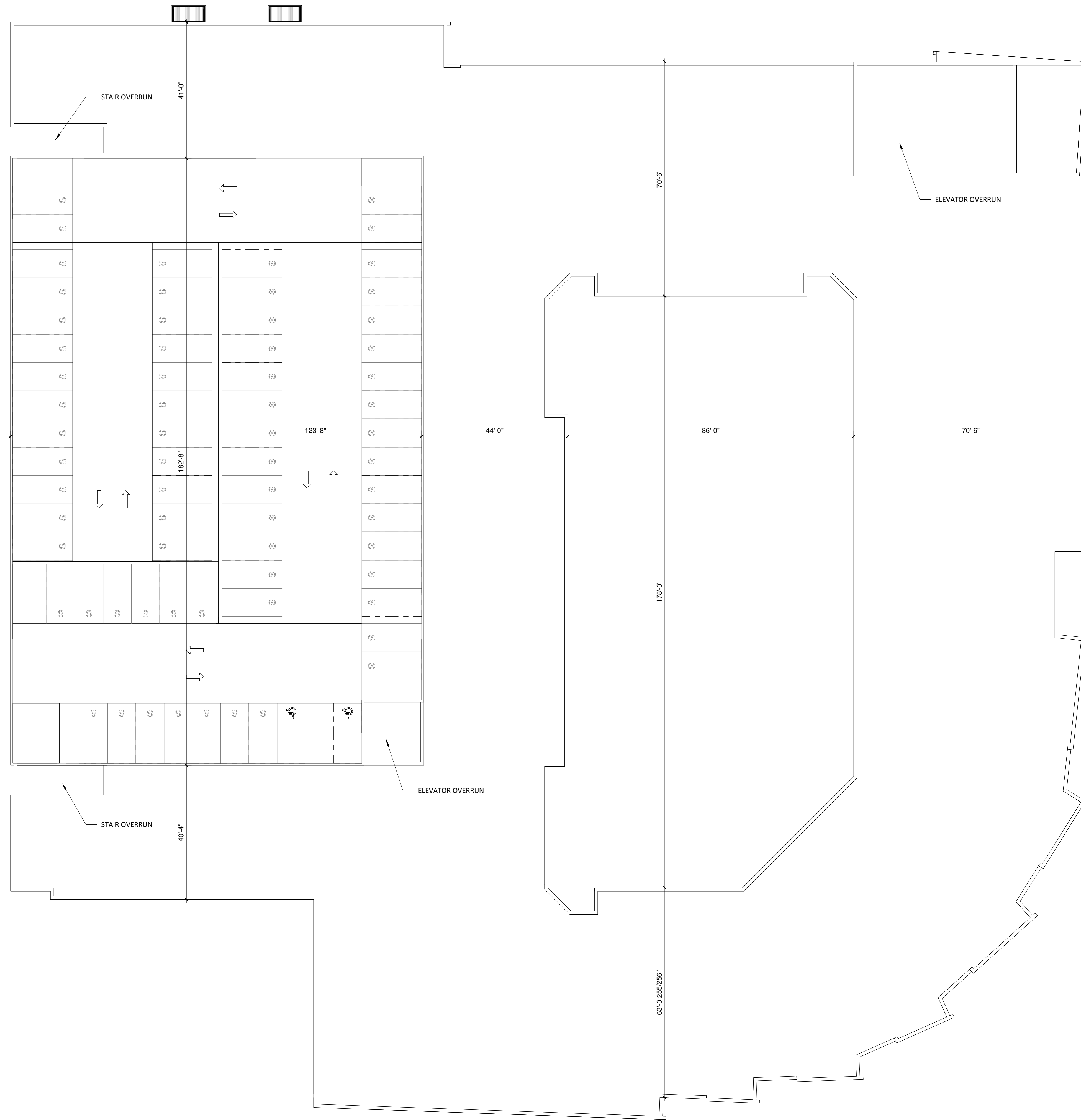
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Signature \_\_\_\_\_

Typed or Printed Name \_\_\_\_\_

License # \_\_\_\_\_ Date \_\_\_\_\_

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KEY PLAN

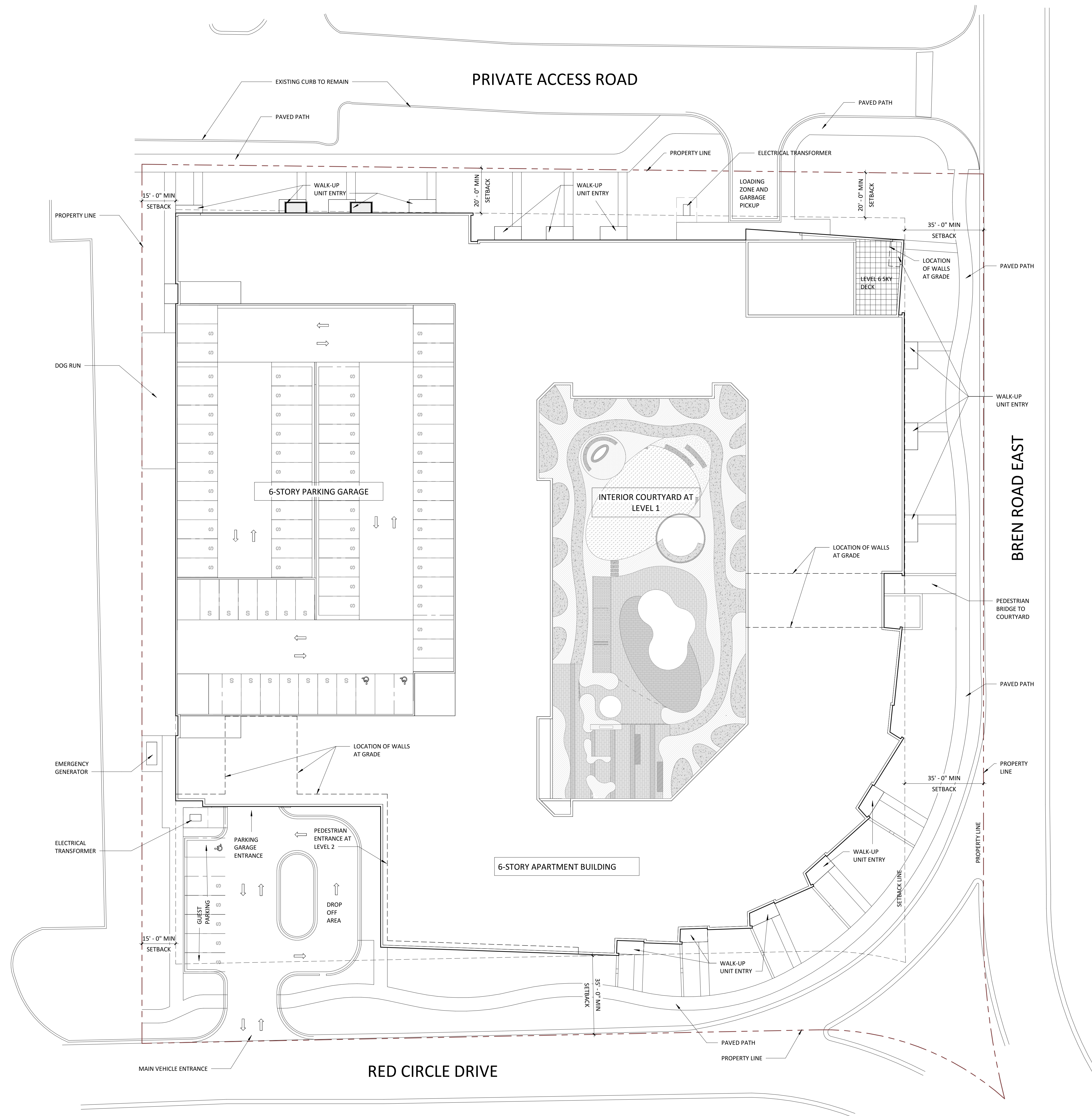
BREN ROAD  
MULTIFAMILY

ROOF PLAN

**A1.6**



**NOT FOR CONSTRUCTION**



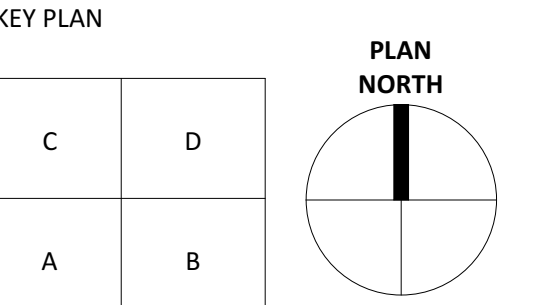
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ESG DRAWN BY ESG CHECKED BY



BREN ROAD  
MULTIFAMILY

ARCHITECTURAL SITE PLAN

**A0.1**



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Signature \_\_\_\_\_

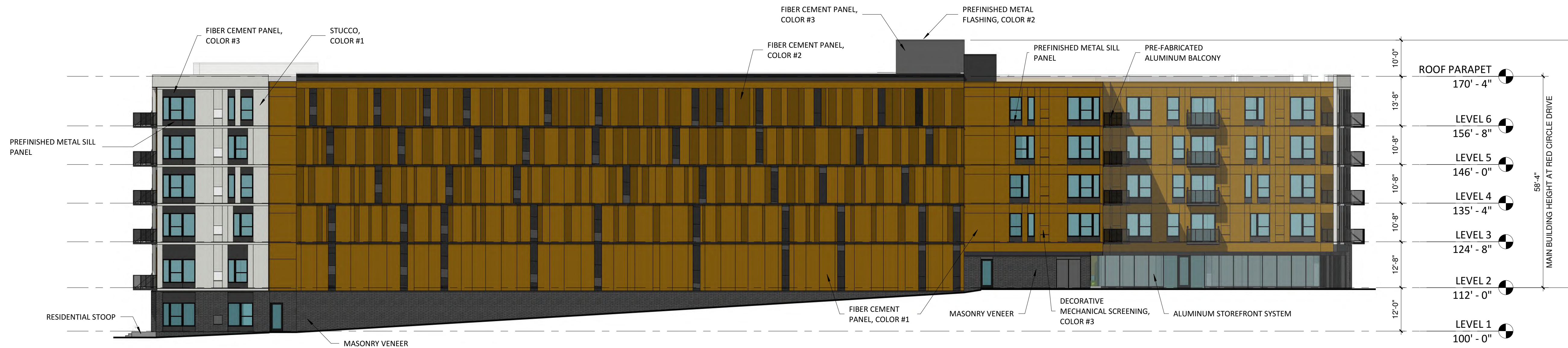
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License # Date \_\_\_\_\_

**NOT FOR  
CONSTRUCTION**



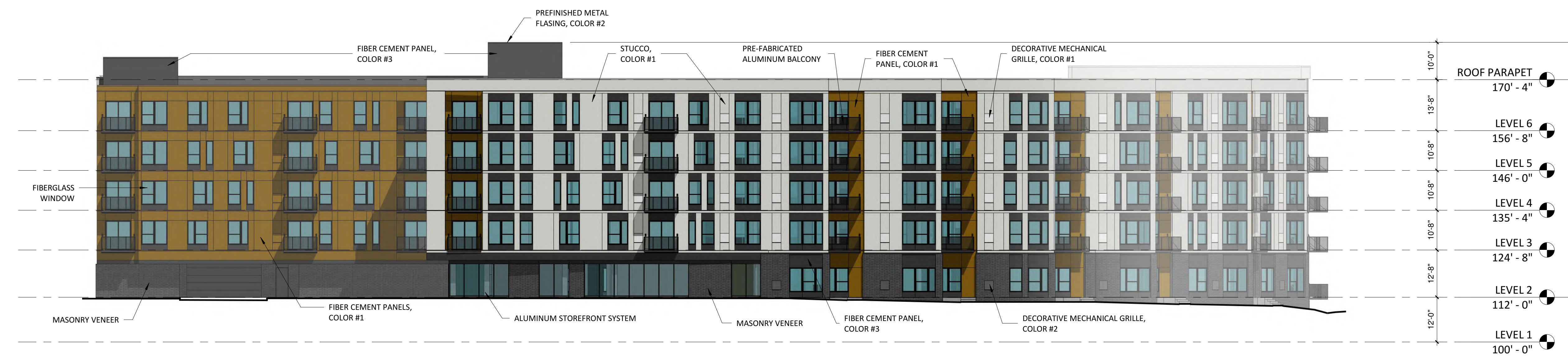
**4 EAST ELEVATION**  
A3.0 1/16" = 1'-0"



**3 WEST ELEVATION**  
A3.0 1/16" = 1'-0"



**2 NORTH ELEVATION**  
A3.0 1/16" = 1'-0"



**1 SOUTH ELEVATION**  
A3.0 1/16" = 1'-0"

**LAND USE APPLICATION**  
12/06/2022

ORIGINAL ISSUE:  
09/14/22

REVISIONS:  
No. Description Date

222521  
PROJECT NUMBER

ESG  
DRAWN BY

ESG  
CHECKED BY

KEY PLAN

BREN ROAD  
MULTIFAMILY

EXTERIOR ELEVATIONS  
**A3.0**



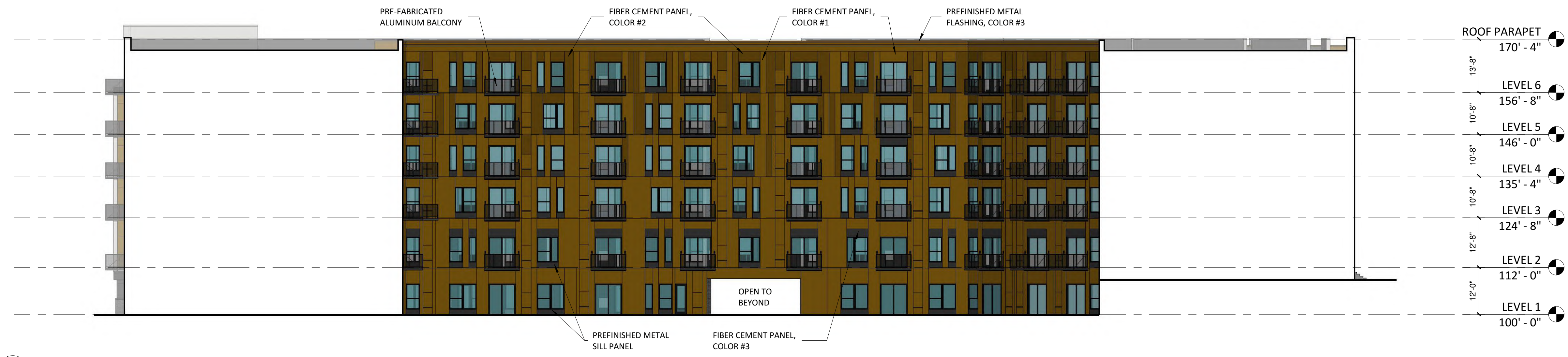
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota

Signature \_\_\_\_\_

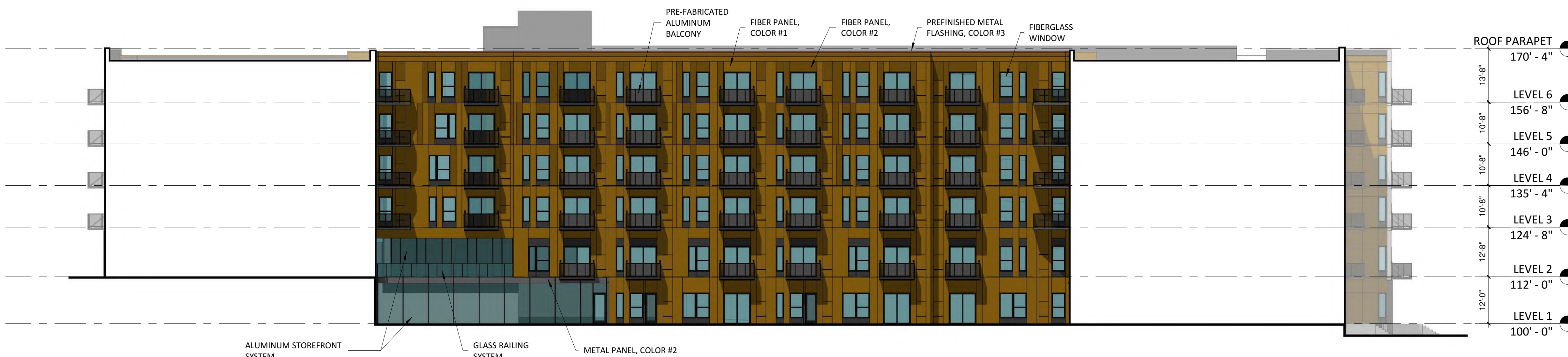
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License # \_\_\_\_\_ Date \_\_\_\_\_

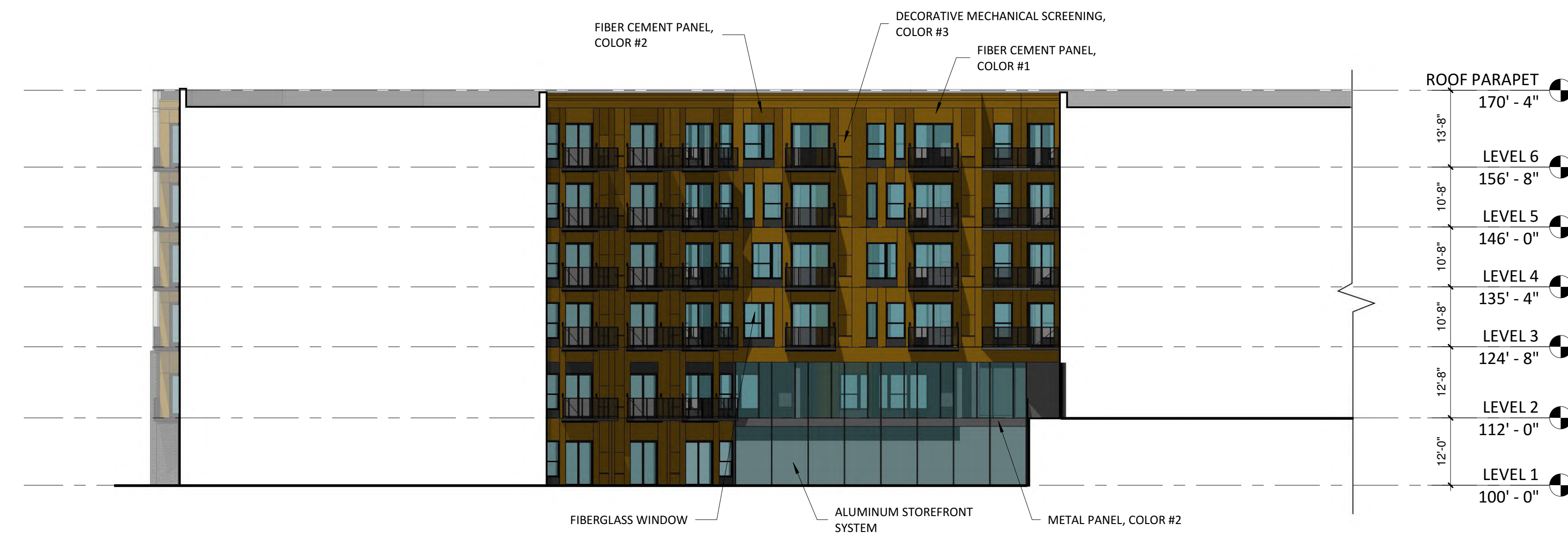
**NOT FOR  
CONSTRUCTION**



**4 EAST COURTYARD ELEVATION**  
A3.1 1/16" = 1'-0"



**1 WEST COURTYARD ELEVATION**  
A3.1 1/16" = 1'-0"



**2 SOUTH COURTYARD ELEVATION**  
A3.1 1/16" = 1'-0"



**3 NORTH COURTYARD ELEVATION**  
A3.1 1/16" = 1'-0"

**LAND USE APPLICATION**  
12/06/2022

ORIGINAL ISSUE:  
09/15/22

REVISIONS:  
No. Description Date

222521  
PROJECT NUMBER

ESG DRAWN BY ESG CHECKED BY

KEY PLAN

BREN ROAD  
MULTIFAMILY

COURTYARD ELEVATIONS  
**A3.1**



**NOT FOR  
CONSTRUCTION**

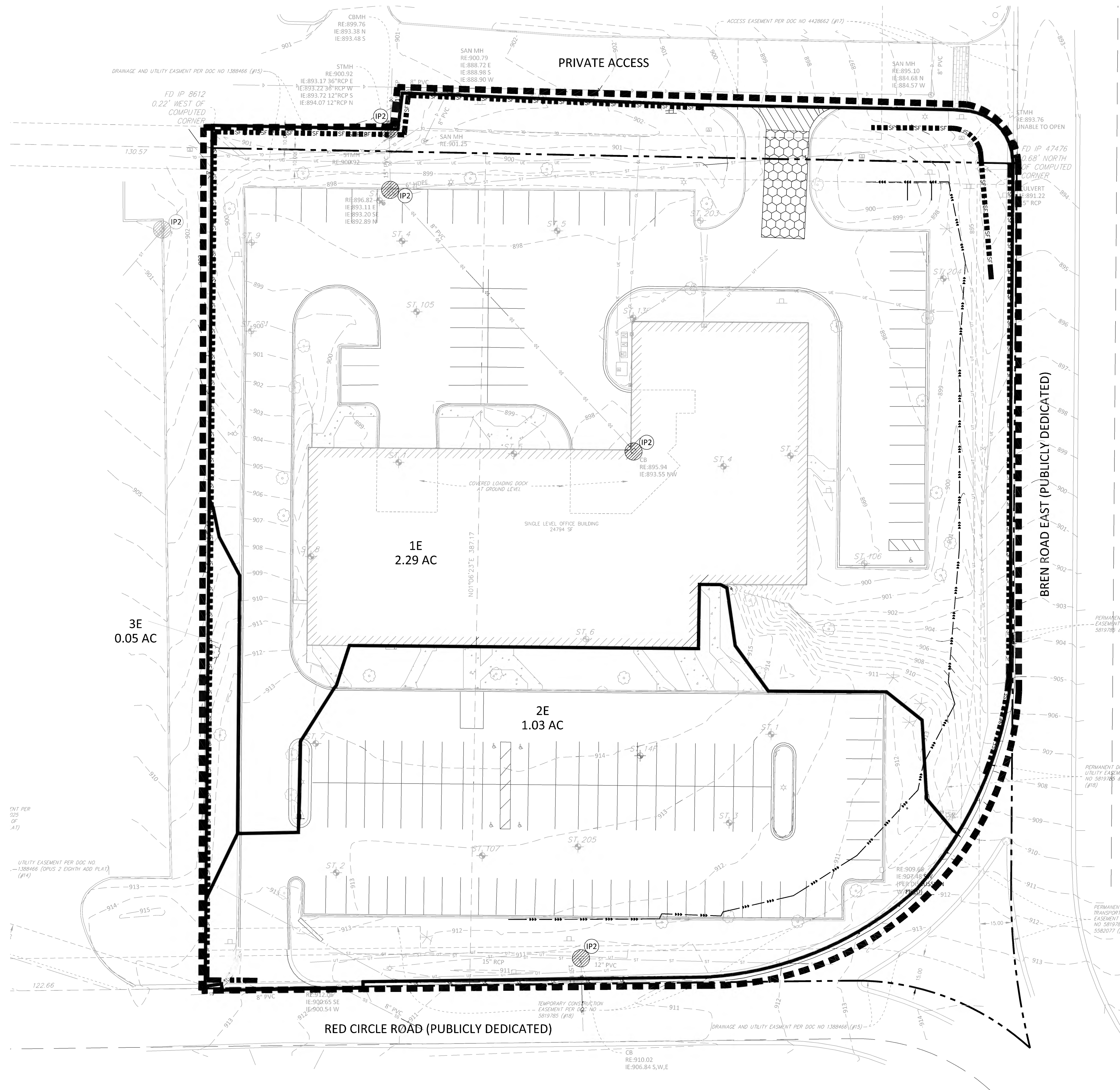
LAND USE  
APPLICATION  
SUBMITTAL  
12/06/2022

ORIGINAL ISSUE:  
09/19/22  
REVISIONS:  
No. Description Date

51166  
PROJECT NUMBER  
TLL BWF  
DRAWN BY CHECKED BY  
KEY PLAN

BREN ROAD  
MULTIFAMILY  
PHASE I EROSION  
CONTROL PLAN

**C5.01**



**LEGEND**

PROPOSED	EXISTING	
		CONCRETE CURB
		STORM SEWER
		DRAINTILE
		CONTOUR
		RIPRAP
		OVERFLOW ELEV.
		BIO-ROLL
		SILT FENCE
		SILT DIKE
		LIMITS OF DISTURBANCE
		SOIL BORING
		DIRECTION OF OVERLAND FLOW
		TEMPORARY DIVERSION DITCH
		CHECK DAM
		LIMITS OF DRAINAGE SUB-BASIN
		INLET PROTECTION DEVICE
		TEMPORARY STONE CONSTRUCTION ENTRANCE
		TEMPORARY SEDIMENT BASIN
		TEMPORARY STABILIZATION MEASURES (SEED, MULCH, MATS OR BLANKETS AS OUTLINED IN THE SWPPP)
		TEMPORARY STORAGE AND PARKING AREA

**EROSION CONTROL MATERIALS QUANTITIES**

ITEM	UNIT	QUANTITY
SILT FENCE	LINEAR FEET	1,065
SILT DIKE	LINEAR FEET	0
BIO-ROLL	LINEAR FEET	0
CONSTRUCTION ENTRANCE	UNIT	1
INLET PROTECTION DEVICE (IP-1)	UNIT	0
INLET PROTECTION DEVICE (IP-2)	UNIT	6

\* REFER TO SHEET C5.03 FOR GENERAL NOTES, MAINTENANCE NOTES, LOCATION MAPS, AND STANDARD DETAILS

**NOTE TO CONTRACTOR**

THE EROSION CONTROL PLAN SHEETS ALONG WITH THE REST OF THE SWPPP MUST BE KEPT ONSITE UNTIL THE NOTICE OF TERMINATION IS FILED WITH THE MPCA. THE CONTRACTOR MUST UPDATE THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS AS NECESSARY TO INCLUDE ADDITIONAL REQUIREMENTS, SUCH AS ADDITIONAL OR MODIFIED BMPs DESIGNED TO CORRECT PROBLEMS IDENTIFIED. AFTER FILING THE NOTICE OF TERMINATION, THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS, AND ALL REVISIONS TO IT MUST BE SUBMITTED TO THE OWNER, TO BE KEPT ON FILE IN ACCORDANCE WITH THE RECORD RETENTION REQUIREMENTS DESCRIBED IN THE SWPPP NARRATIVE.

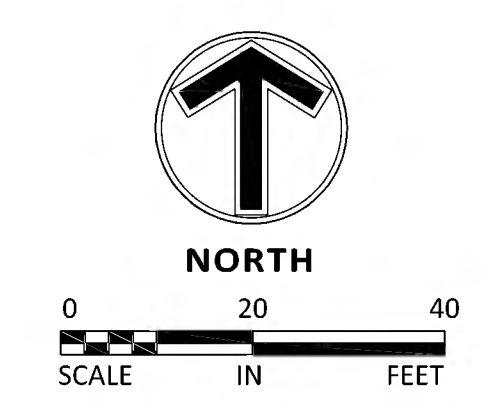
**SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE**

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	
TEMPORARY CONTROL MEASURES																			
STRIP & STOCKPILE TOPSOIL																			
ROUGH GRADE / SEDIMENT CONTROL																			
TEMPORARY CONSTRUCTION ROADS																			
FOUNDATION / BUILDING CONSTRUCTION																			
SITE CONSTRUCTION																			
PERMANENT CONTROL STRUCTURES																			
FINISH GRADING																			
LANDSCAPING / SEED / FINAL STABILIZATION																			
STORM FACILITIES																			

NOTE: CONTRACTOR OR GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.





**NOT FOR  
CONSTRUCTION**

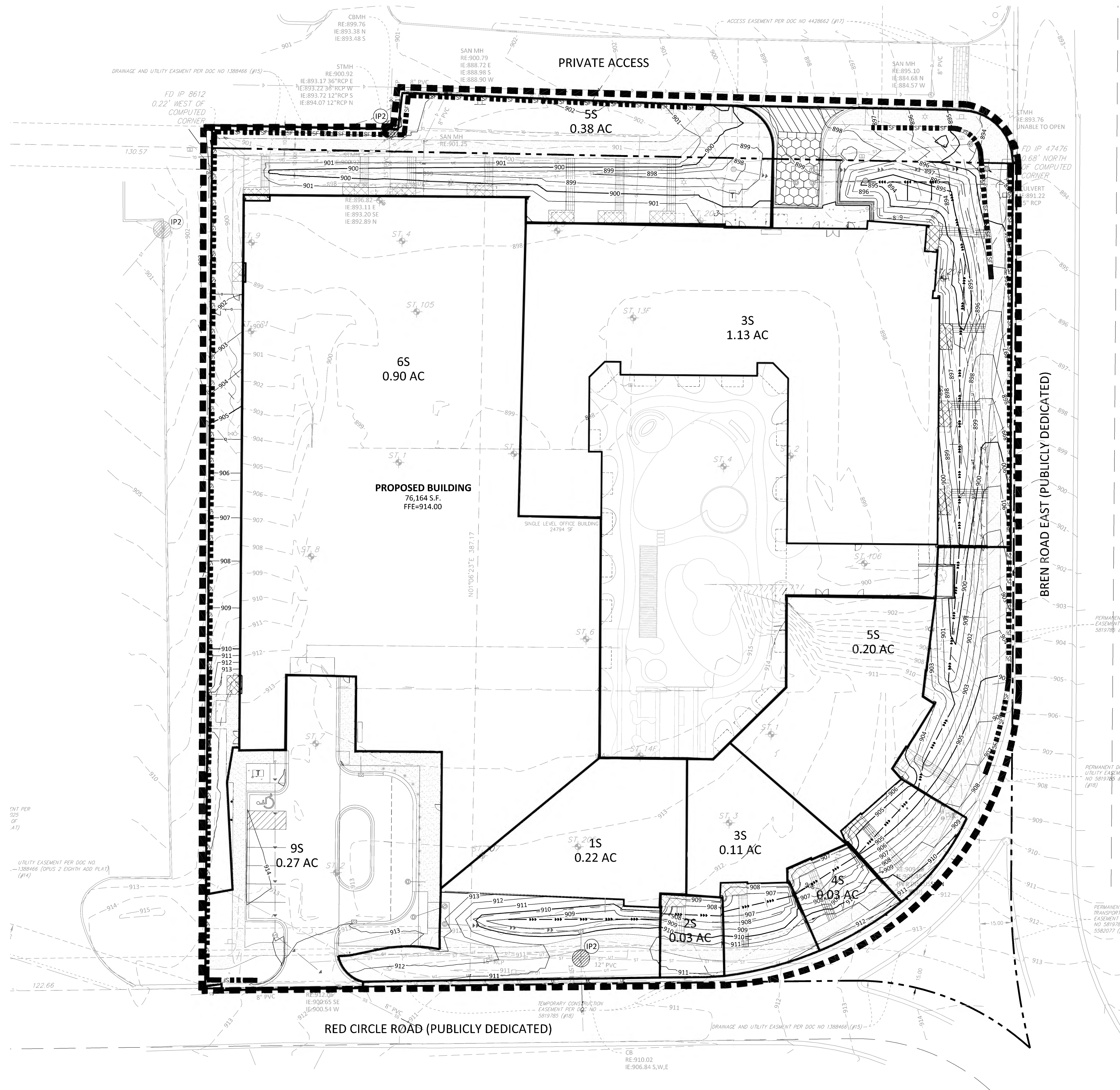
LAND USE  
APPLICATION  
SUBMITTAL  
12/06/2022

ORIGINAL ISSUE:  
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No. Description Date

51166  
PROJECT NUMBER  
TLL BWF  
DRAWN BY CHECKED BY  
KEY PLAN

BREN ROAD  
MULTIFAMILY  
PHASE II EROSION  
CONTROL PLAN

**C5.02**



**LEGEND**

PROPOSED	EXISTING	
		CONCRETE CURB
		STORM SEWER
		DRAINTILE
		CONTOUR
		RIPRAP
		OVERFLOW ELEV.
		BIO-ROLL
		SILT FENCE
		SILT DIKE
		LIMITS OF DISTURBANCE
		SOIL BORING
		DIRECTION OF OVERLAND FLOW
		TEMPORARY DIVERSION DITCH
		CHECK DAM
		LIMITS OF DRAINAGE SUB-BASIN
		INLET PROTECTION DEVICE
		TEMPORARY STONE CONSTRUCTION ENTRANCE
		TEMPORARY SEDIMENT BASIN
		TEMPORARY STABILIZATION MEASURES (SEED, MULCH, MATS OR BLANKETS AS OUTLINED IN THE SWPPP)
		TEMPORARY STORAGE AND PARKING AREA

**EROSION CONTROL MATERIALS QUANTITIES**

ITEM	UNIT	QUANTITY
SILT FENCE	LINEAR FEET	1,064
SILT DIKE	LINEAR FEET	0
BIO-ROLL	LINEAR FEET	0
CONSTRUCTION ENTRANCE	UNIT	1
INLET PROTECTION DEVICE (IP-1)	UNIT	0
INLET PROTECTION DEVICE (IP-2)	UNIT	3

**NOTE TO CONTRACTOR**

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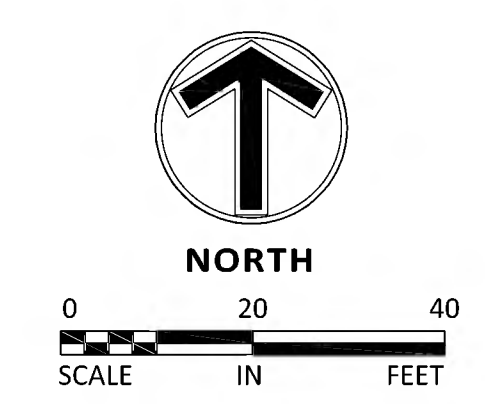
**SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE**

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	
TEMPORARY CONTROL MEASURES																			
STRIP & STOCKPILE TOPSOIL																			
ROUGH GRADE / SEDIMENT CONTROL																			
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SITE CONSTRUCTION																			
PERMANENT CONTROL STRUCTURES																			
FINISH GRADING																			
LANDSCAPING / SEED / FINAL STABILIZATION																			
STORM FACILITIES																			

NOTE: CONTRACTOR OR GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

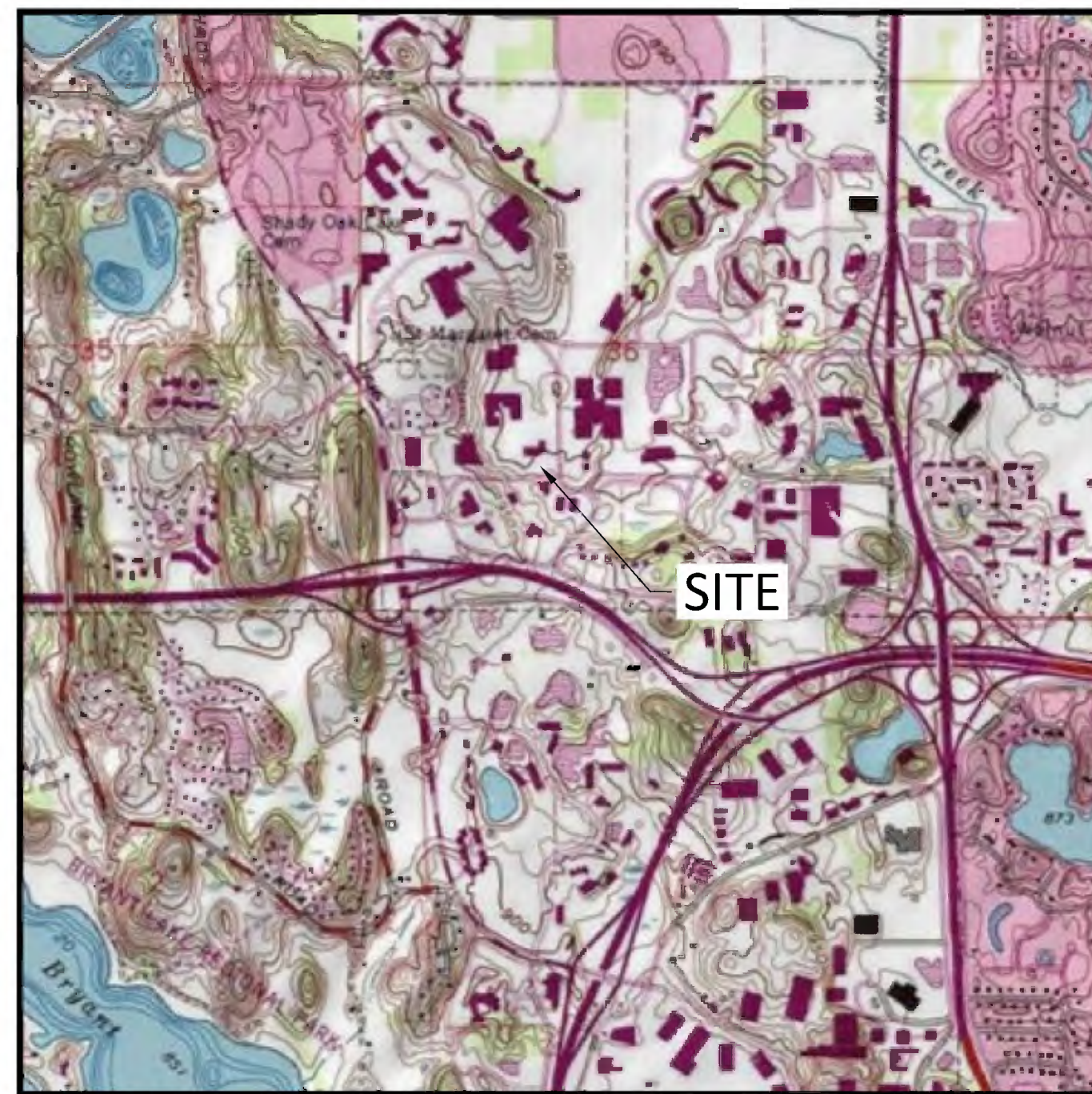




**EROSION & SEDIMENTATION CONTROL NOTES & DETAILS / "SITE MAP"**



**SITE LOCATION MAP**  
NOT TO SCALE



**USGS MAP**  
NOT TO SCALE

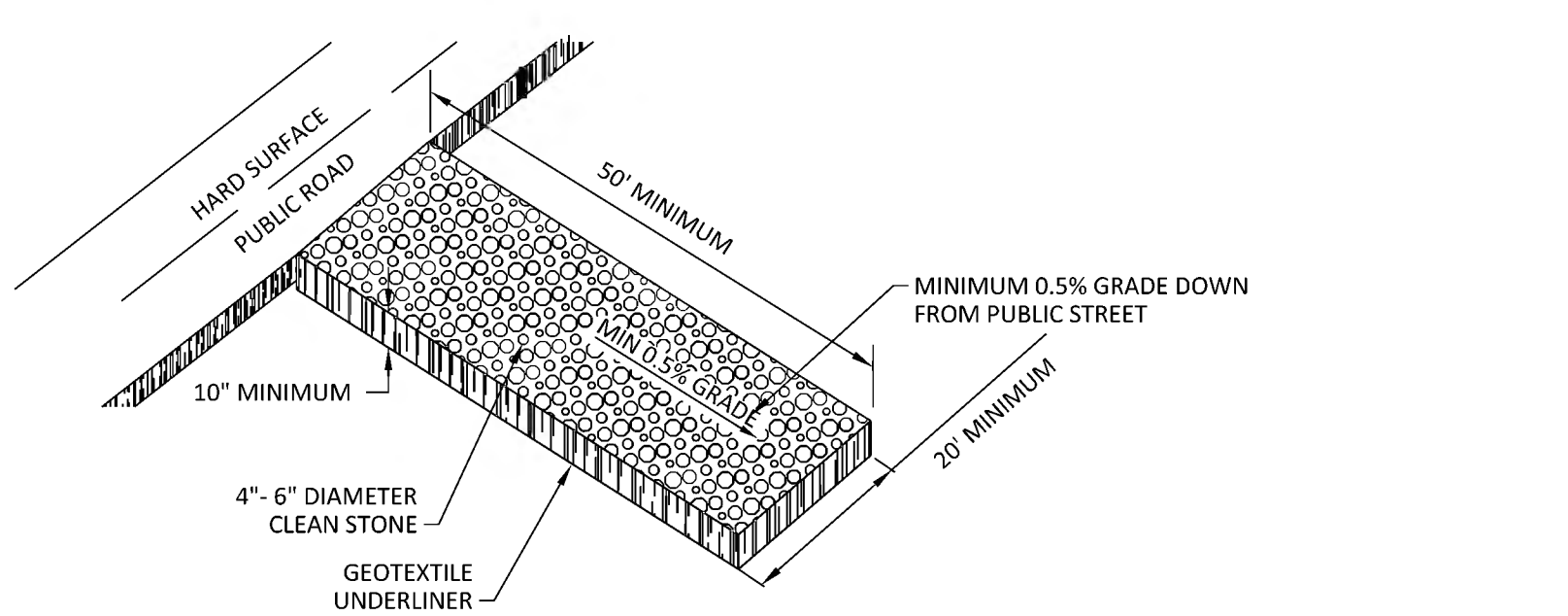
**SEQUENCE OF CONSTRUCTION**

- PHASE I:
1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
  2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
  3. CONSTRUCT THE SILT FENCES ON THE SITE.
  4. INSTALL INLET PROTECTION DEVICES ON EXISTING STORM STRUCTURES, AS SHOWN ON THE PLAN.
  5. CONSTRUCT THE SEDIMENTATION AND SEDIMENT TRAP BASINS, AS REQUIRED.
  6. HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEERING CONSULTANT TO PERFORM INSPECTION OF BMP'S. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
  7. CLEAR AND GRUB THE SITE.
  8. BEGIN GRADING THE SITE.
  9. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.

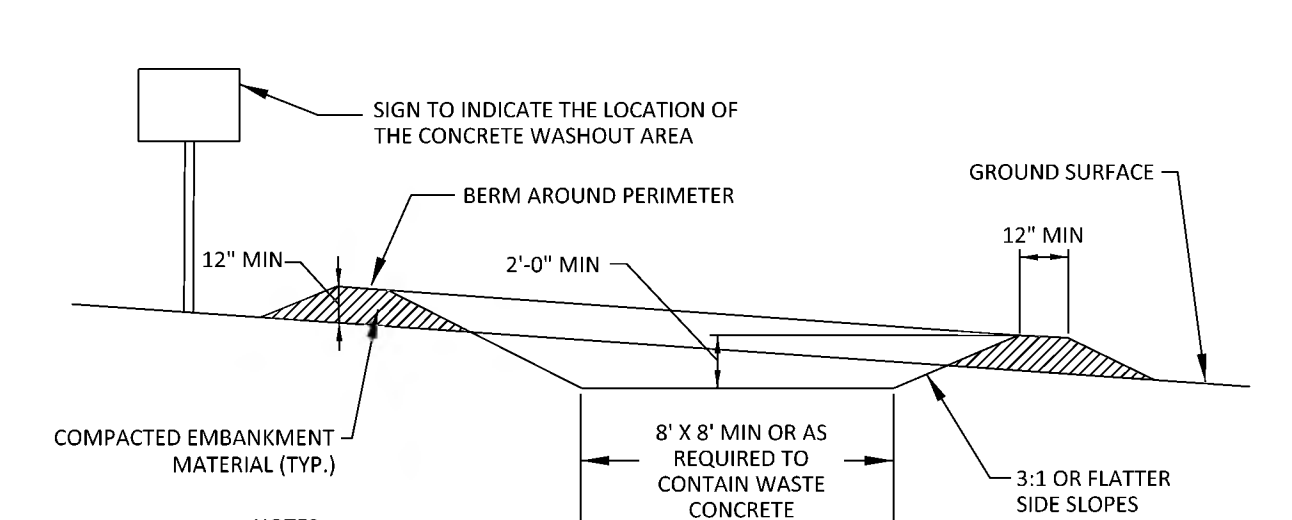
- PHASE II:
1. TEMPORARY SEED DENUDED AREAS.
  2. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
  3. INSTALL RIP RAP AROUND OUTLET STRUCTURES.
  4. INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
  5. PREPARE SITE FOR PAVING.
  6. PAVE SITE.
  7. INSTALL INLET PROTECTION DEVICES.
  8. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
  9. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED), IF REQUIRED BY THE CONTRACT.

**GENERAL EROSION NOTES**

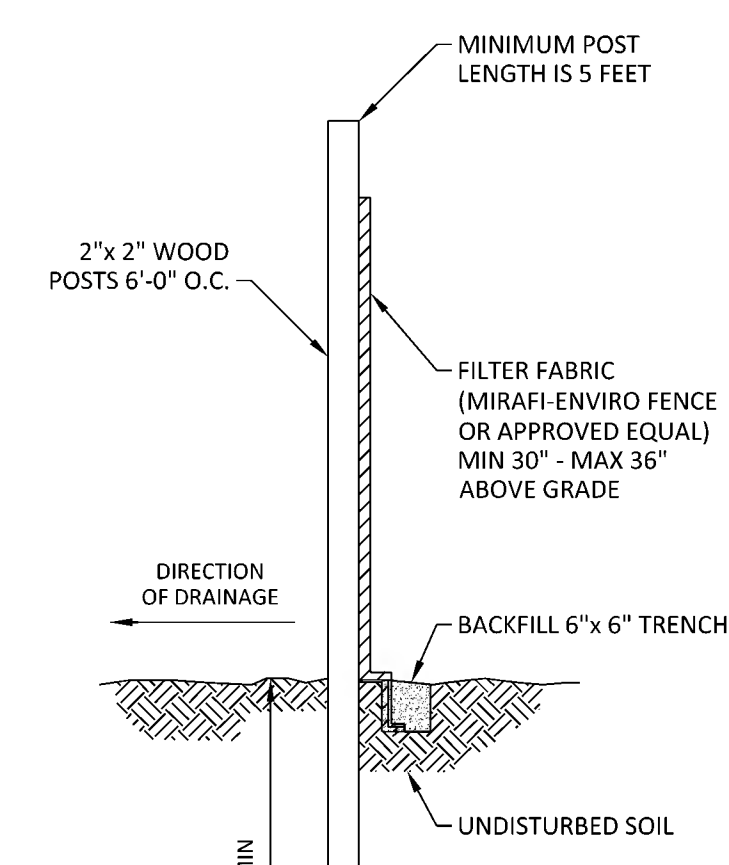
1. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME. WHERE A CONFLICT EXISTS BETWEEN LOCAL JURISDICTIONAL STANDARD SPECIFICATIONS AND SAMBATEK STANDARD SPECIFICATIONS, THE MORE STRINGENT SPECIFICATION SHALL APPLY.
2. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THIS DRAWING (EROSION & SEDIMENTATION CONTROL PLAN-ESC PLAN), THE STANDARD DETAILS, THE PLAN NARRATIVE, AND ITS APPENDICES, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING & SUBMITTING THE APPLICATION FOR THE MPCA GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE SWPPP AND THE STATE OF MINNESOTA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT, ISSUED AUGUST 1, 2018) AND BECOME FAMILIAR WITH THE CONTENTS. THE SWPPP AND ALL OTHER RELATED DOCUMENTS MUST BE KEPT AT THE SITE DURING CONSTRUCTION.
4. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP'S) AS REQUIRED BY THE SWPPP & PERMITS. CONTRACTOR SHALL OVERSEE THE INSPECTION & MAINTENANCE OF THE BMP'S AND EROSION PREVENTION FROM BEGINNING OF CONSTRUCTION AND UNTIL CONSTRUCTION IS COMPLETED, IS APPROVED BY ALL AUTHORITIES, AND THE NOTICE OF TERMINATION (NOT) HAS BEEN FILED WITH THE MPCA BY EITHER THE OWNER OR OPERATOR AS APPROVED ON PERMIT. ADDITIONAL BMP'S SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION. (NOTE TO THE PREPARER: REVISE INSPECTION RESPONSIBILITY PER OPTIONS IN SWPPP NARRATIVE, SECTION 023701)
5. CONTRACTOR SHALL COMPLY WITH TRAINING REQUIREMENTS IN PART 21.1-21.3 OF THE GENERAL PERMIT.
6. BMP'S AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
7. ESC PLAN MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
8. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THE ESC PLANS SHALL BE CLEARLY DELINEATED (E.G. WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC.) ON THE DEVELOPMENT SITE BEFORE WORK BEGINS. GROUND DISTURBING ACTIVITIES MUST NOT OCCUR OUTSIDE THE LIMITS OF DISTURBANCE.
9. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
10. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) MUST BE LIMITED TO A DEFINED AREA OF THE SITE AND SHALL BE CONTAINED AND PROPERLY TREATED OR DISPOSED. NO ENGINE DEGREASING IS ALLOWED ON SITE.
11. ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER IS NOT ACCEPTABLE. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. SELF-CONTAINED CONCRETE WASHOUTS ON CONCRETE DELIVERY TRUCKS ARE ALLOWED.
12. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
13. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
14. SOLID WASTE: COLLECTED SEDIMENT, ASPHALT & CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION & DEMOLITION DEBRIS & OTHER WASTES MUST BE DISPOSED OF PROPERLY & MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
15. HAZARDOUS MATERIALS: OIL, GASOLINE, PAINT & ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT, TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. STORAGE & DISPOSAL OF HAZARDOUS WASTE MUST BE IN COMPLIANCE WITH MPCA REGULATIONS.
16. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE SWPPP, SHALL BE INITIATED AS SOON AS PRACTICABLE AND PRIOR TO SOIL DISTURBING ACTIVITIES UPSLOPE.
17. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED SHALL BE TEMPORARILY SEEDING, WITHIN 14 DAYS OF INACTIVITY. SEEDING SHALL BE IN ACCORDANCE WITH MN/DOT SEED MIXTURE NUMBER 21-111 OR 21-112 DEPENDING ON THE SEASON OF PLANTING (SEE MN/DOT SPECIFICATION SECTION 2575.3) SEEDING METHOD AND APPLICATION RATE SHALL CONFORM TO MN/DOT SPECIFICATION SECTION 2575.3. TEMPORARY MULCH SHALL BE APPLIED IN ACCORDANCE WITH MN/DOT SPECIFICATION SECTION 2575.3F1 AND 2575.3G. ALTERNATIVELY, HYDRAULIC SOIL STABILIZER IN ACCORDANCE WITH MN/DOT SPECIFICATION SECTION 2575.3H MAY BE USED IN PLACE OF TEMPORARY MULCH.
18. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED. THESE AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE TIME TABLE DESCRIBED ABOVE. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN FOR VEGETATIVE COVER. (NOTE TO THE PREPARER: WHERE PERMANENT SEEDING IS NOT CALLED OUT IN THE GRADING AND/OR LANDSCAPE PLAN, REPLACE THE LAST SENTENCE IN THIS ITEM WITH THE FOLLOWING: SEED WET PONDS WITH MN/DOT SEED MIXTURE 310 "NATIVE WET TALL" BELOW THE HWL. SEED ALL OTHER AREAS WITH SEED MIXTURE 260 "COMMERCIAL TURF". SEEDING METHOD AND APPLICATION RATE SHALL CONFORM TO MN/DOT SPECIFICATION SECTION 2575.3.)
19. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT FROM CONVEYANCES & FROM TEMPORARY SEDIMENTATION BASINS THAT ARE TO BE USED AS PERMANENT WATER QUALITY MANAGEMENT BASINS. SEDIMENT MUST BE STABILIZED TO PREVENT IT FROM BEING WASHED BACK INTO THE BASIN, CONVEYANCES, OR DRAINAGEWAYS DISCHARGING OFF-SITE OR TO SURFACE WATERS. THE CLEANOUT OF PERMANENT BASINS MUST BE SUFFICIENT TO RETURN THE BASIN TO DESIGN CAPACITY.
20. ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BMP'S. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
21. TEMPORARY SOIL STOCKPILES MUST HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS & CANNOT BE PLACED IN SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB & GUTTER SYSTEMS OR CONDUITS & DITCHES.
22. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
23. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, CHECK DAMS, INLET PROTECTION DEVICES, ETC.) TO PREVENT EROSION.
24. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.



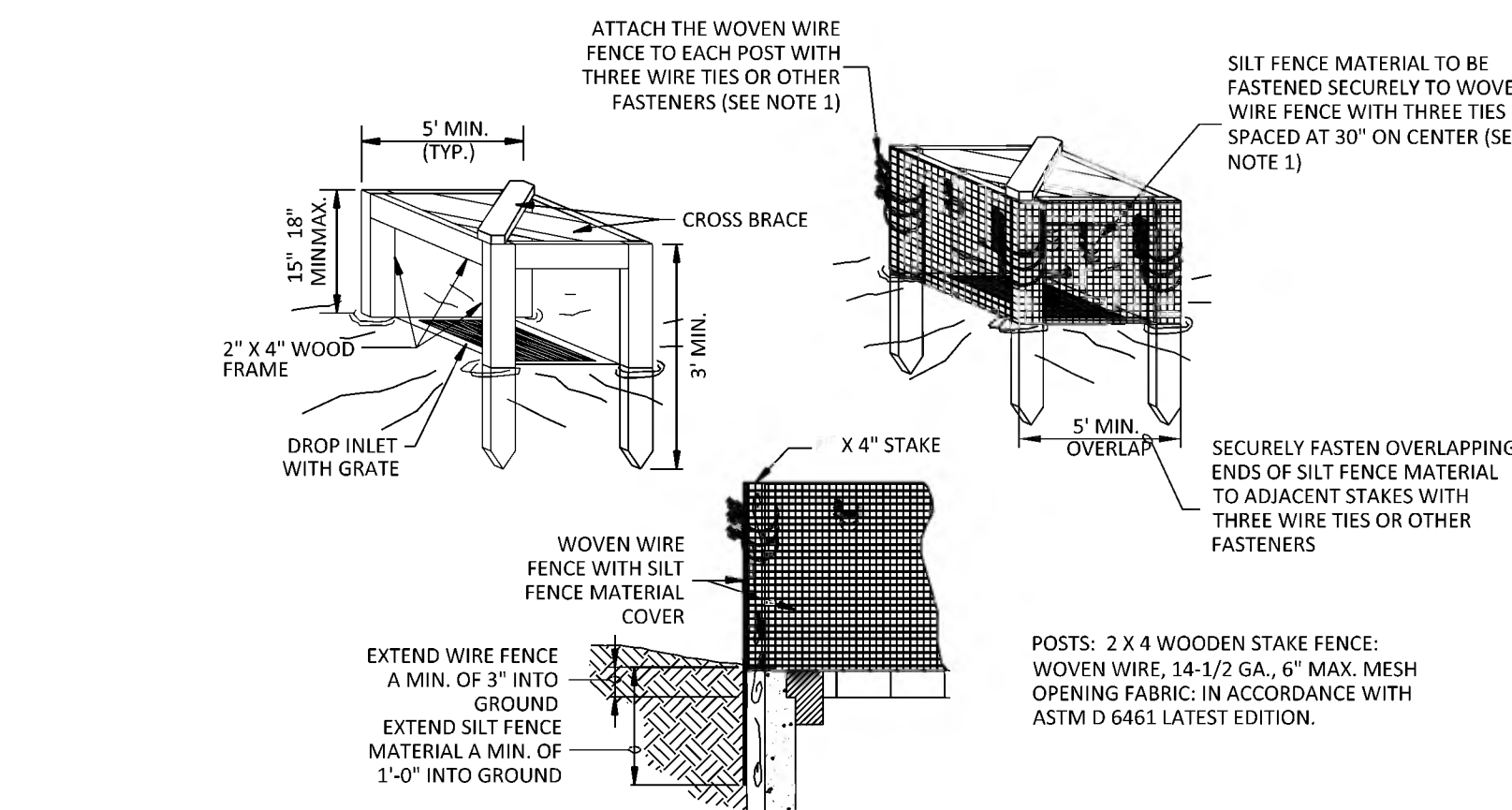
**TEMPORARY STONE CONSTRUCTION EXIT**  
N.T.S.



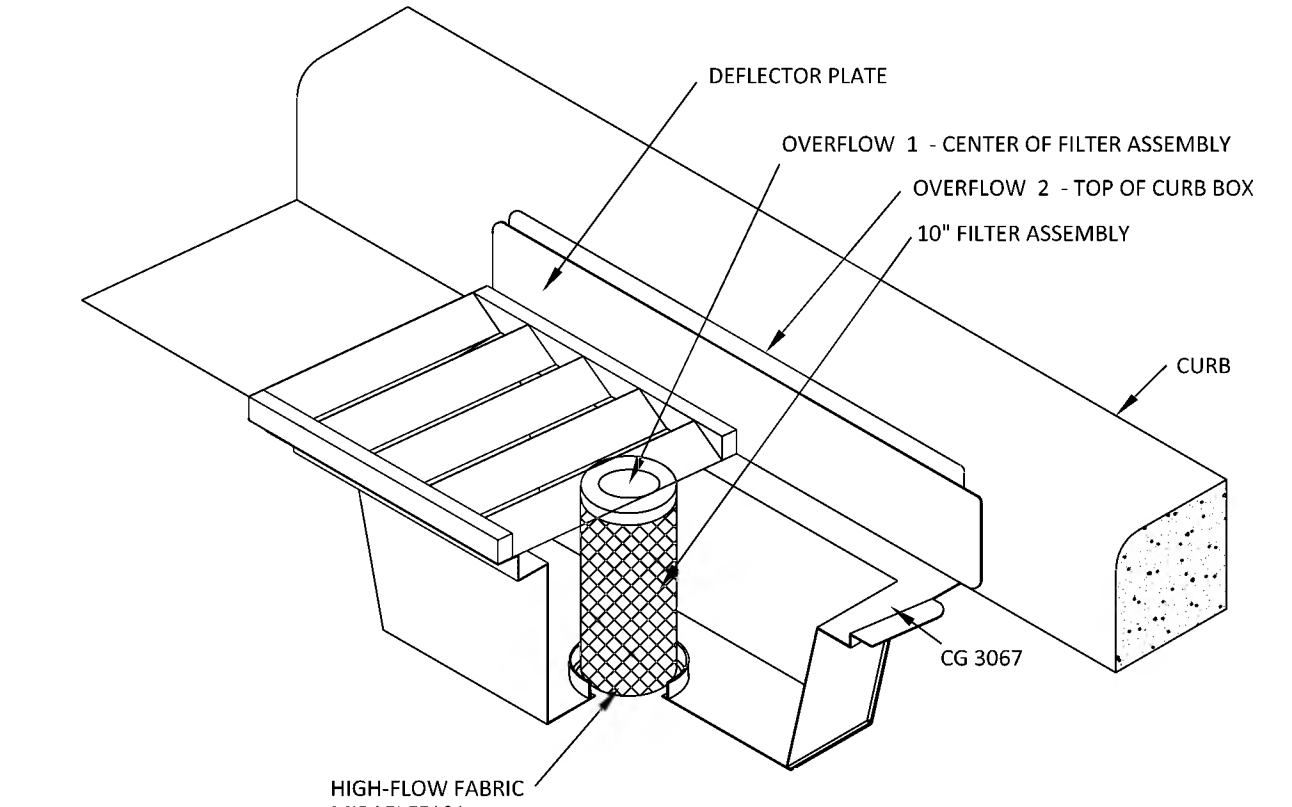
- CONCRETE WASHOUT AREA**  
NOT TO SCALE
- NOTES:
1. CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
  2. CONCRETE WASHOUT AREA SHALL BE LINED WITH MINIMUM 10 MIL THICK PLASTIC LINER.
  3. VEHICLE TRACKING CONTROL IS REQUIRED IF ACCESS TO CONCRETE WASHOUT AREA IS OFF PAVEMENT.
  4. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE WASHOUT AREA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMP TRUCKS.
  5. THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTE CONCRETE.
  6. AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN ACCEPTED WASTE SITE.
  7. WHEN THE CONCRETE WASHOUT AREA IS REMOVED, THE DISTURBED AREA SHALL BE SEEDING AND MULCHED OR OTHERWISE STABILIZED IN A MANNER ACCEPTED BY THE CITY.



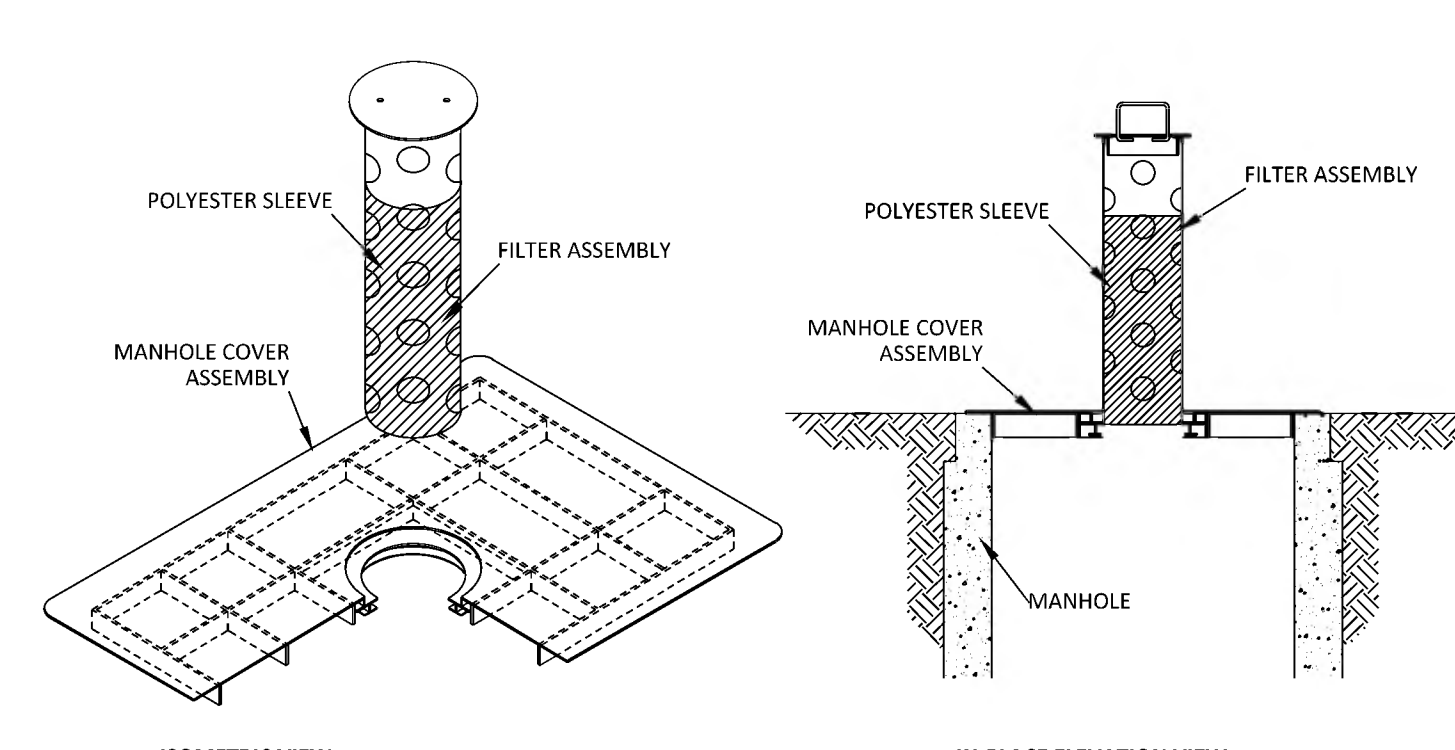
- PREASSEMBLED SILT FENCE- WOOD POSTS (MNDOT 3886)**  
N.T.S.
- NOTES:
1. MAXIMUM SPACING BETWEEN POSTS (CENTER TO CENTER) SHALL NOT EXCEED 6 FEET IN SPACING.
  2. A MINIMUM OF 5 FASTENERS PER POST



- SILT FENCE INLET PROTECTION (IP-1)**  
NOT TO SCALE
1. ATTACH THE WOVEN WIRE FENCE TO EACH POST AND THE GEOTEXTILE TO THE WOVEN WIRE FENCE (SPACED EVERY 30" WITH THREE WIRE TIES OR OTHER FASTENERS). ALL SPACED WITHIN THE TOP 6" OF THE FABRIC. ATTACH EACH TIE DIAGONALLY 45 DEGREES THROUGH THE FABRIC, WITH EACH PUNCTURE AT LEAST 2" VERTICALLY APART.
  2. WHEN TWO SECTIONS OF SILT FENCE MATERIAL ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED ACROSS TWO POSTS.
  3. MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE SWPPP. DEPTH OF ACCUMULATED SEDIMENTS MAY NOT EXCEED ONE-HALF THE HEIGHT OF THE FABRIC. MAINTENANCE CLEANOUT MUST BE CONDUCTED REGULARLY TO PREVENT ACCUMULATED SEDIMENTS FROM REACHING ONE-HALF THE HEIGHT OF THE SILT FENCE MATERIAL ABOVE GRADE.
  4. ALL SILT FENCE INLETS SHALL INCLUDE WIRE SUPPORT.



**ROAD DRAIN INLET PROTECTION (IP-2)**  
NOT TO SCALE



**ROAD DRAIN INLET PROTECTION TOP SLAB MODEL (IP-3)**  
NOT TO SCALE

DESIGN LOADS	ALLOWABLE AXLE WEIGHT LOAD	SAFETY FACTOR	WATER FLOW RATE (THROUGH POLYESTER FILTER)	MAXIMUM OVERFLOW RATE
20000 LBS.	2:1	0.476 CFS @ 3" HEAD	1.074 CFS @ 15" HEAD	1.133 CFS @ 6" HEAD
				1.575 CFS @ 12" HEAD

AVAILABILITY STOCK

**ROAD DRAIN INLET PROTECTION TOP SLAB MODEL (IP-3)**  
NOT TO SCALE

**MAINTENANCE NOTES**

- ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. THE DESIGNATED CONTACT PERSON NOTED ON THIS PLAN MUST ROUTINELY INSPECT THE CONSTRUCTION ON SITE ONCE EVERY SEVEN DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
1. ALL SILT FENCES MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE FENCE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
  2. TEMPORARY AND PERMANENT SEDIMENTATION BASINS MUST BE DRAINED AND THE SEDIMENT REMOVED WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME. DRAINAGE AND REMOVAL MUST BE COMPLETED WITHIN 72 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS (SEE PART 10.1-10.5 OF THE GENERAL PERMIT).
  3. SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS, MUST BE INSPECTED FOR EVIDENCE OF SEDIMENT BEING DEPOSITED BY EROSION. CONTRACTOR MUST REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS, AND RESTABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. THE REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. CONTRACTOR SHALL USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS. IF PRECLUDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) CALENDAR DAYS OF OBTAINING ACCESS. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AGENCIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK.
  4. CONSTRUCTION SITE VEHICLE EXIT LOCATIONS MUST BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING ONTO PAVED SURFACES. TRACKED SEDIMENT MUST BE REMOVED FROM ALL OFF-SITE PAVED SURFACES, WITHIN 24 HOURS OF DISCOVERY, OR IF APPLICABLE, WITHIN A SHORTER TIME TO COMPLY WITH PART 9.11-9.12 OF THE GENERAL PERMIT.
  5. CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF TEMPORARY AND PERMANENT WATER QUALITY MANAGEMENT BMP'S, AS WELL AS ALL EROSION PREVENTION AND SEDIMENT CONTROL BMP'S, FOR THE DURATION OF THE CONSTRUCTION WORK AT THE SITE. THE PERMITTEE(S) ARE RESPONSIBLE UNTIL ANOTHER PERMITTEE HAS ASSUMED CONTROL (ACCORDING TO PART 3.1 TO 3.8 OF THE MPCA GENERAL PERMIT) OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED OR THE SITE HAS UNDERGONE FINAL STABILIZATION, AND A (N.O.T.) HAS BEEN SUBMITTED TO THE MPCA.
  6. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS (E.G., FUGITIVE SEDIMENT IN STREETS COULD BE WASHED INTO STORM SEWERS BY THE NEXT RAIN AND/OR POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS).
  7. ALL INFILTRATION AREAS MUST BE INSPECTED TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION ACTIVITIES IS REACHING THE INFILTRATION AREA AND THESE AREAS ARE PROTECTED FROM COMPACTION DUE TO CONSTRUCTION EQUIPMENT DRIVING ACROSS THE INFILTRATION AREA.

**AREA SUMMARY  
IN ACRES**

PAVEMENT AREA	0.88 AC±
BUILDING AREA	1.75 AC±
SEEDING AREA	0.85 AC±
TOTAL DISTURBED	3.47 AC±
PRE - CONSTRUCTION IMPERVIOUS	2.21 AC±
POST - CONSTRUCTION IMPERVIOUS	2.63 AC±

DEVELOPER/OWNER: GREYSTAR DEVELOPMENT CENTRAL, LLC 750 BERING DRIVE, SUITE 400 HOUSTON, TX 77057 832-269-0535
SITE OPERATOR / GENERAL CONTRACTOR
SUPERINTENDENT:



500 Washington Avenue South, Suite 1080  
Minneapolis, MN 55415  
p 612.339.5508 | f 612.339.5382  
www.esgarch.com



12800 Whitewater Drive, Suite 300  
Minnetonka, MN 55343  
763.476.6010 telephone

Engineering | Surveying | Planning | Environmental

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Brian W. Frank  
Registration No. 52728 Date: MM/DD/YYYY  
If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

**NOT FOR  
CONSTRUCTION**

**LAND USE  
APPLICATION  
SUBMITTAL  
12/06/2022**

ORIGINAL ISSUE:  
09/19/22

REVISIONS:  
No. Description Date

51166  
PROJECT NUMBER

TLL BWF  
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KEY PLAN

**BREN ROAD  
MULTIFAMILY  
EROSION CONTROL  
NOTES & DETAILS**

**C5.03**



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LAND USE  
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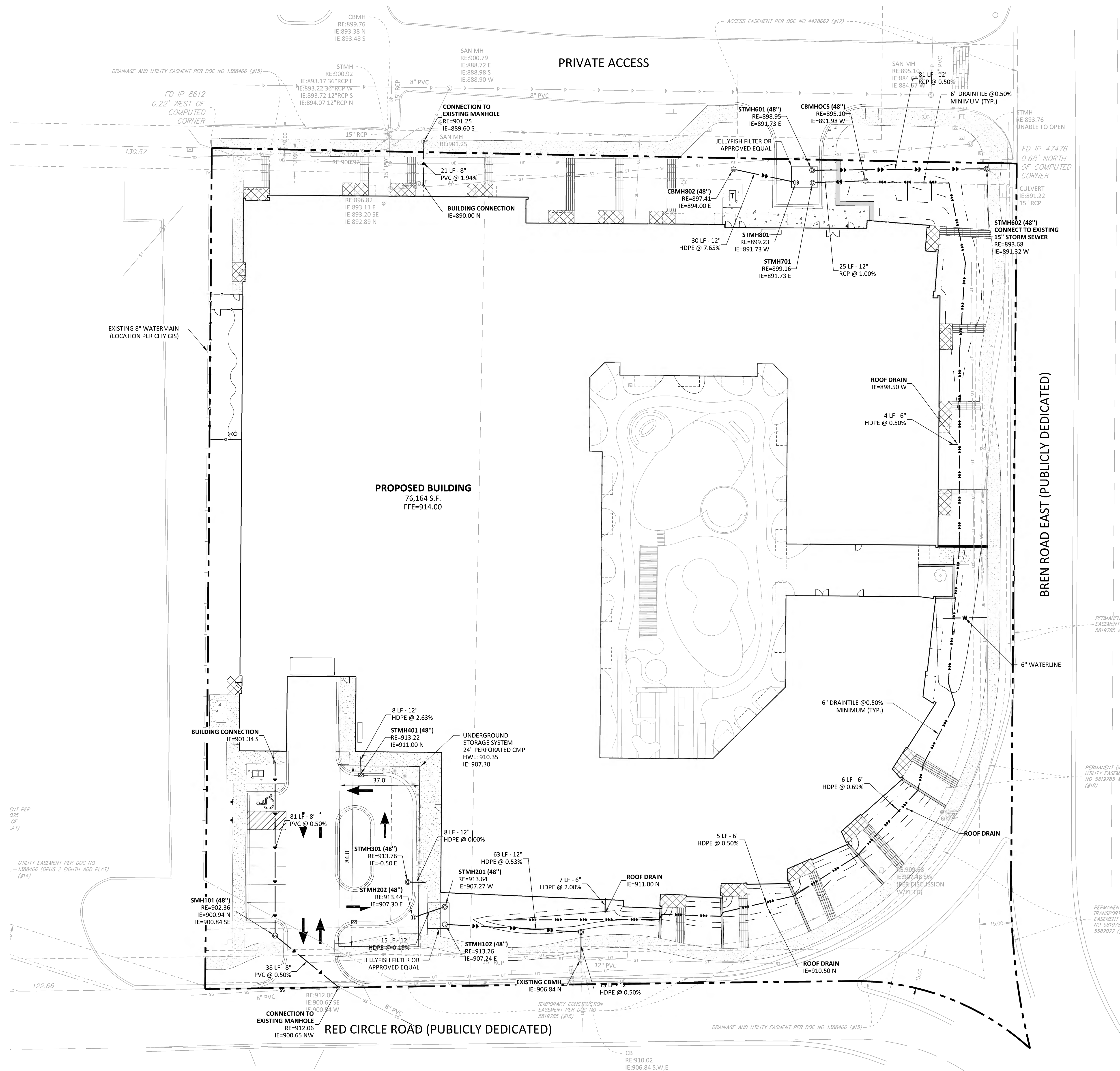
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KEY PLAN

BREN ROAD  
MULTIFAMILY

UTILITY PLAN  
**C6.01**



**LEGEND**

PROPOSED	EXISTING	
(Symbol)	(Symbol)	SANITARY SEWER
(Symbol)	(Symbol)	FORCEMAIN (SAN.)
(Symbol)	(Symbol)	STORM SEWER
(Symbol)	(Symbol)	DRAIN TILE
(Symbol)	(Symbol)	WATERMAIN
(Symbol)	(Symbol)	UNDERGROUND GAS LINE
(Symbol)	(Symbol)	UNDERGROUND TELEPHONE
(Symbol)	(Symbol)	UNDERGROUND ELECTRIC
(Symbol)	(Symbol)	CONCRETE CURB
(Symbol)	(Symbol)	EASEMENT LINE

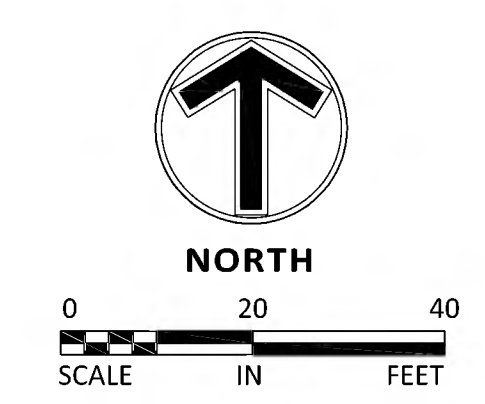
**UTILITY CONSTRUCTION NOTES**

1. UTILITY CONSTRUCTION NOTES HOLDER

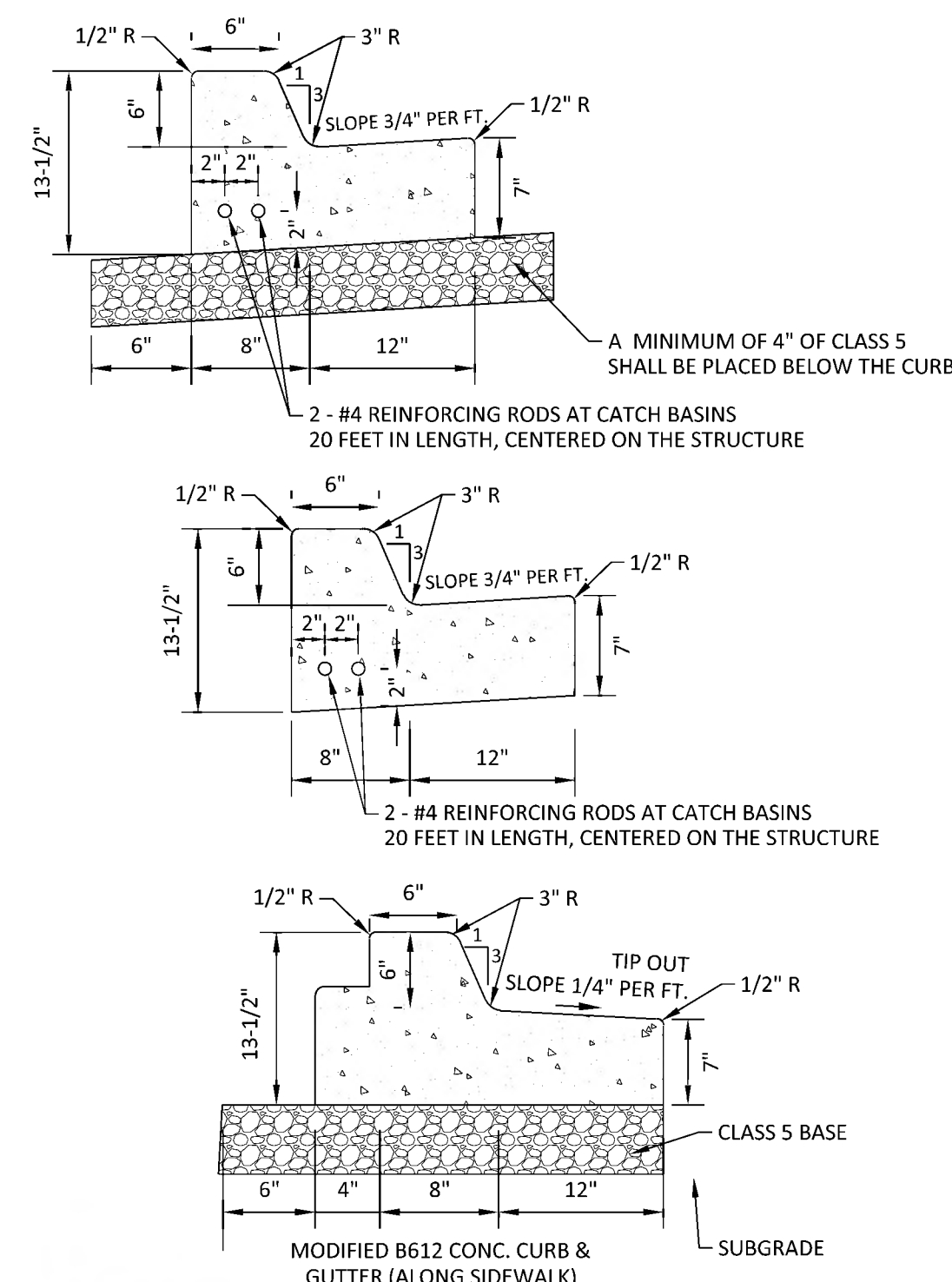
THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA), THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

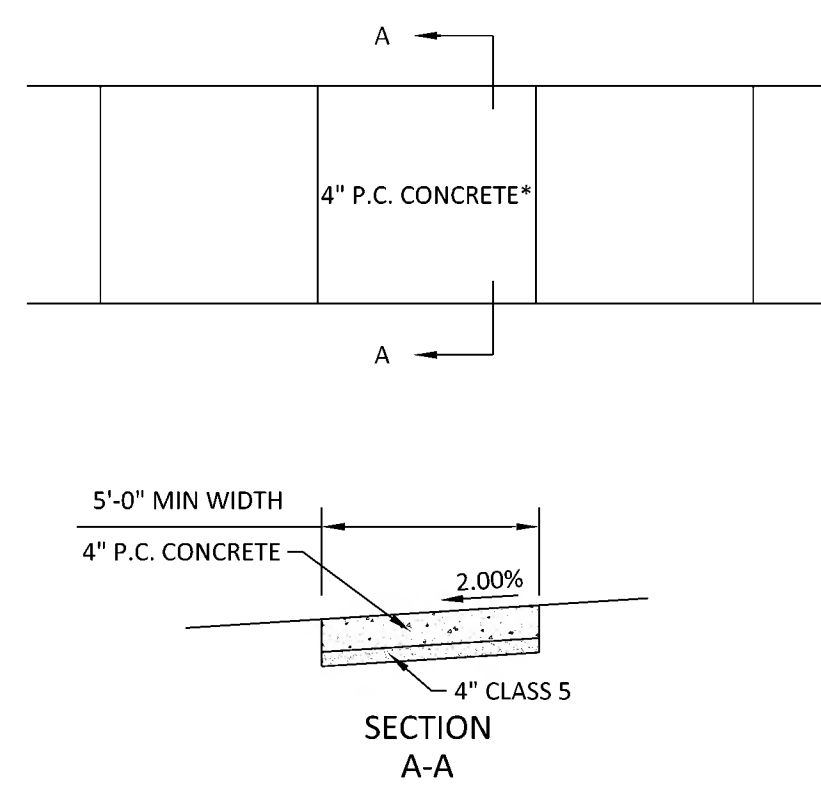
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.







01 B612 CONCRETE CURB & GUTTER N.T.S.

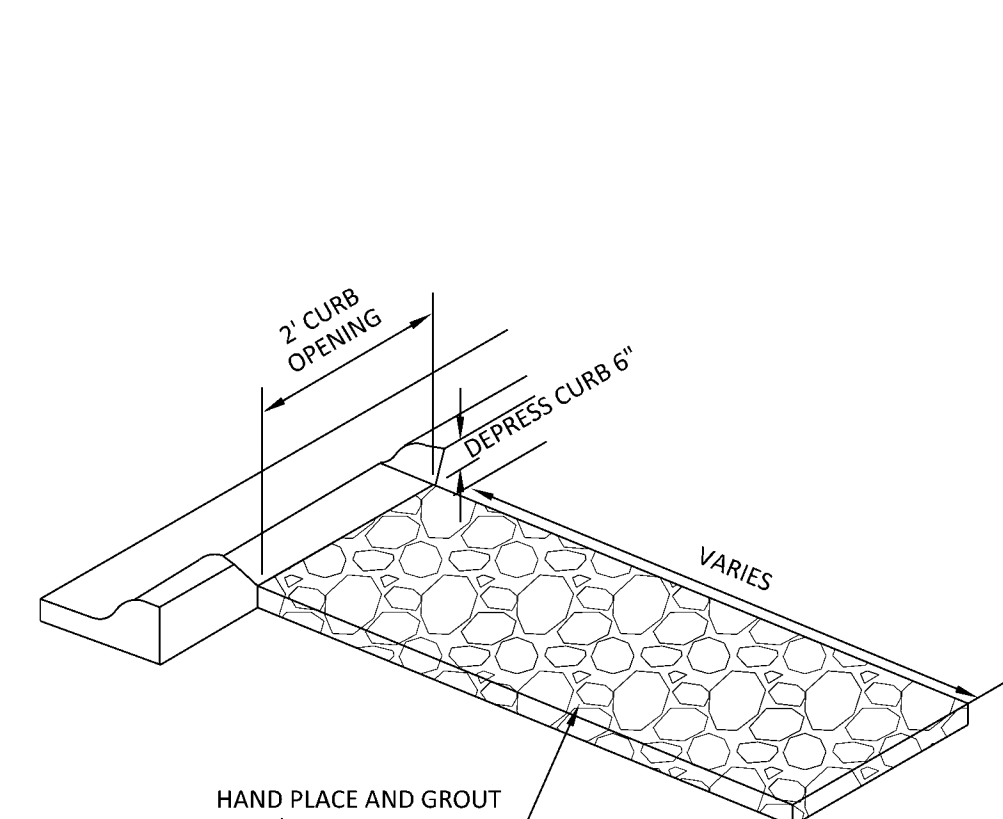


GENERAL NOTES FOR CONCRETE CONSTRUCTION:

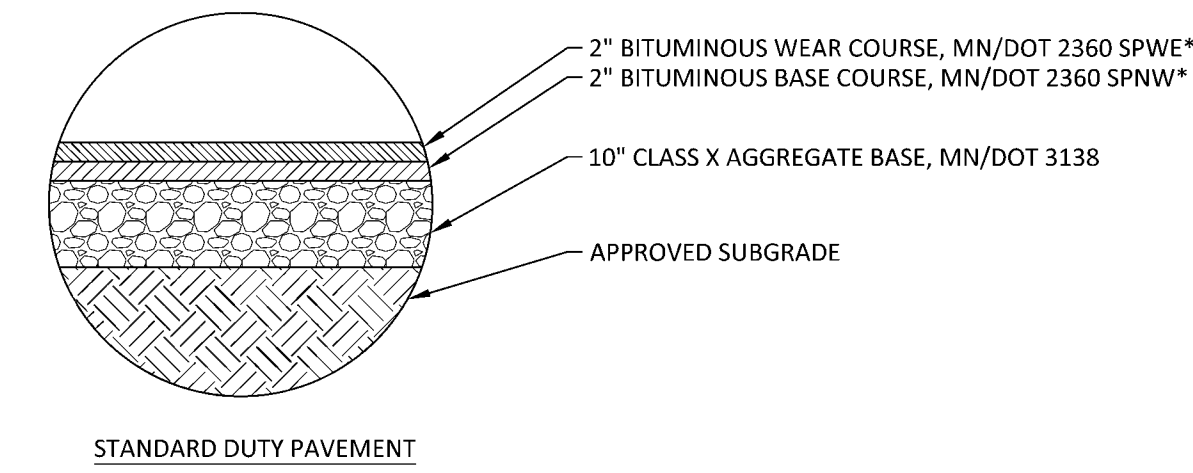
1. THE CONCRETE SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF MN/DOT "STANDARD SPECIFICATIONS FOR CONSTRUCTION".
2. SIDEWALK CONTROL JOINTS SHALL BE LOCATED AT 5 FEET ON CENTER. SIDEWALK EXPANSION JOINTS SHALL BE LOCATED AT A MAXIMUM OF 100 FEET ON CENTER, AND WHERE SIDEWALK ABUTS CURB, STRUCTURES, AND OTHER FIXED OBJECTS. SEAL ALL EXPANSION JOINTS. BROOM FINISH SHALL BE PERPENDICULAR TO THE LINE OF TRAFFIC.

\*THE THICKNESS SHALL BE INCREASED TO A MINIMUM DEPTH OF INCHES AT DRIVEWAY CROSSINGS.

02 CONCRETE SIDEWALK N.T.S.

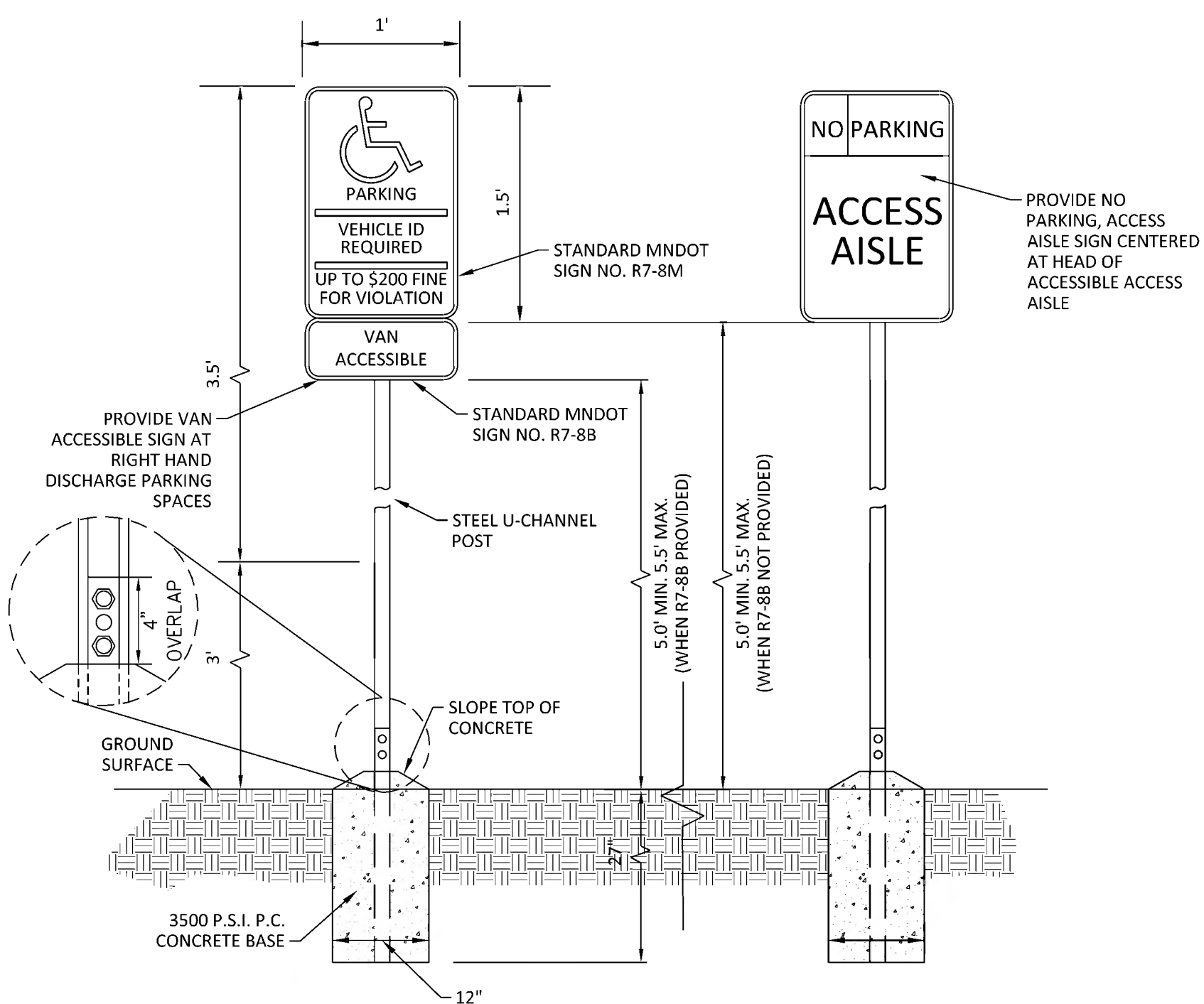


03 CURB CUT WITH RIPRAP N.T.S.

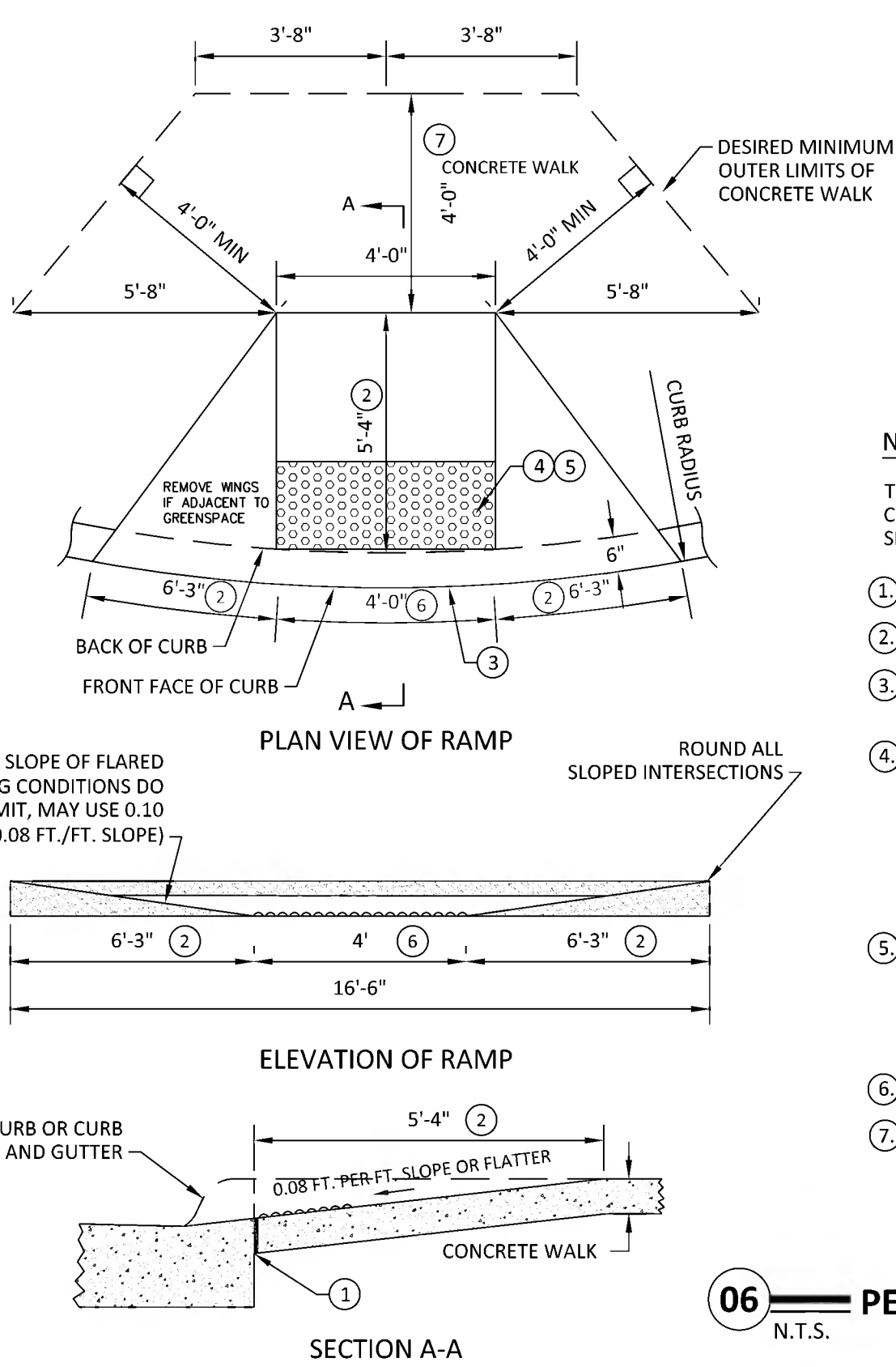


- NOTES:
1. THE PAVEMENT SECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MN/DOT "STANDARD SPECIFICATION FOR CONSTRUCTION", AND ALSO THE REQUIREMENTS OF THE OWNER'S GEOTECHNICAL CONSULTANT.
  2. ALL THICKNESSES, AS SPECIFIED, ARE TO BE CONSIDERED MINIMUM DEPTHS, AFTER COMPACTION.
  3. MN/DOT SPEC. 2357 BITUMINOUS TACK COAT SHALL BE PLACED BETWEEN SUCCESSIVE BITUMINOUS LIFTS AND AGAINST ABUTTING CONCRETE CURB EDGES.
- \* REFER TO BITUMINOUS MIX DESIGN REQUIREMENT PROVIDED BY THE GEOTECHNICAL CONSULTANT

04 PAVEMENT SECTIONS N.T.S.



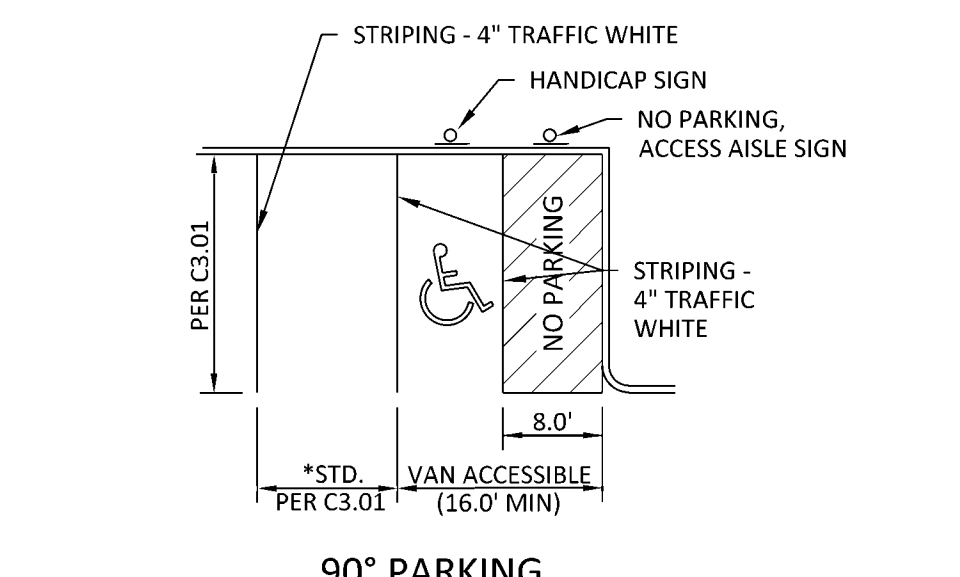
05 BREAKAWAY ACCESSIBLE PARKING SIGN N.T.S.



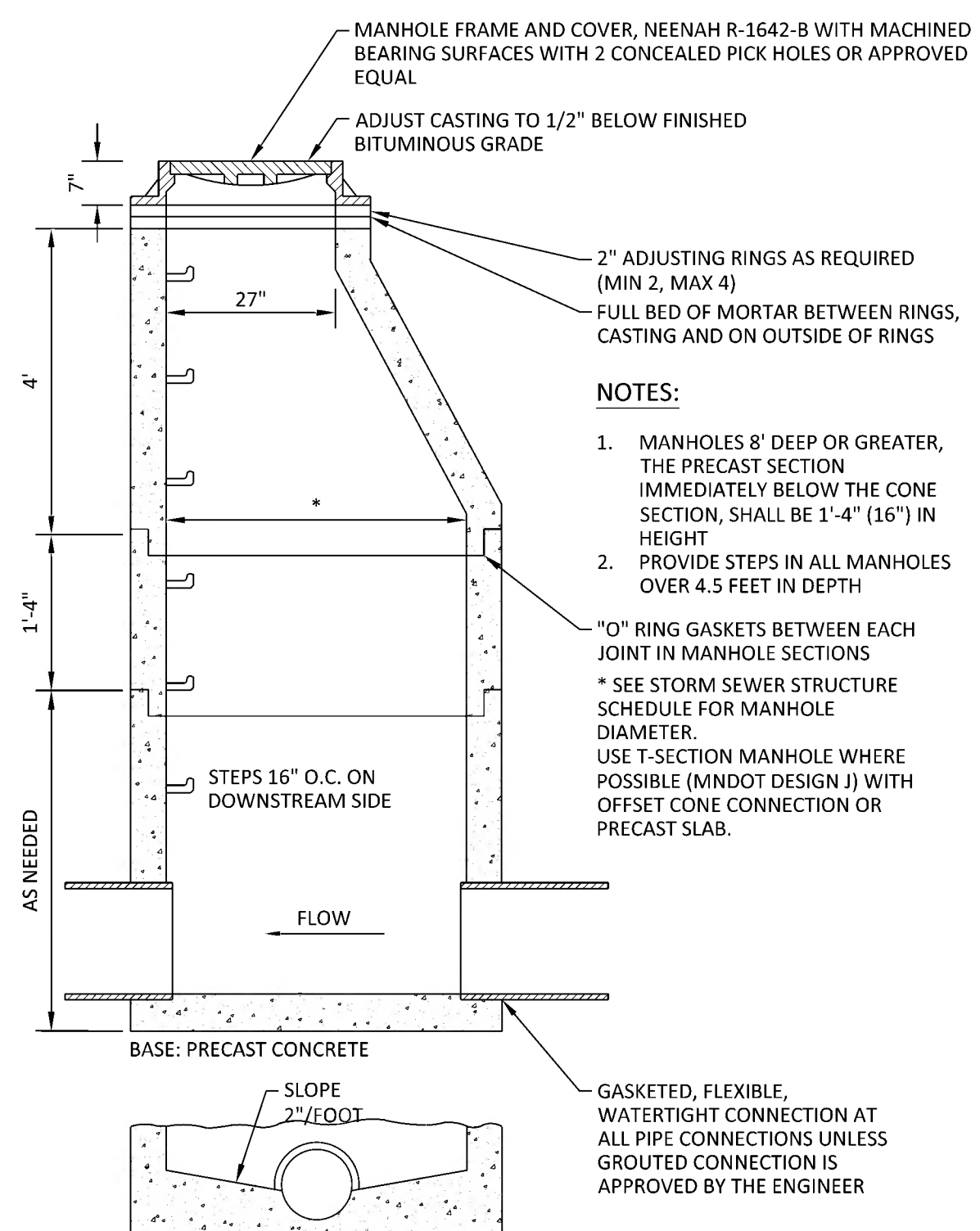
06 PEDESTRIAN CURB RAMP N.T.S.

- NOTE:
- THE CURB AND CURB TRANSITION ON THE RAMP WILL BE PAID FOR AS LINEAR FEET OF CONCRETE CURB OR CONCRETE CURB AND GUTTER. THE RAMP AREA WILL BE PAID AS SQUARE FEET OF CONCRETE WALK, UNLESS SPECIFIED OTHERWISE. THE TRUNCATED DOME AREA WILL BE CONSIDERED INCIDENTAL.
1. 1/2 INCH PREFORMED JOINT FILLER MATERIAL, ASHTO M 213.
  2. VARIES WITH CURB HEIGHT. EXAMPLE SHOWN IS FOR 6" CURB HEIGHT.
  3. 6" TO 8" IS THE REQUIRED OFFSET OF THE DETECTABLE WARNINGS/TRUNCATED DOME AREA FROM THE FRONT FACE OF CURB, OR PLACE THE DETECTABLE WARNINGS AT THE BACK OF CURB.
  4. ADA REQUIRED TRUNCATED DOME AREA SHALL BE 2" MIN. IN DIRECTION OF TRAVEL AND SHALL EXCEED THE FULL WIDTH (3" OR 4" OR 7" P) OF THE CURB RAMP. THIS 2" BY 3" OR 4" OR 7" (TYP.) TRUNCATED DOME AREA SHALL CONTRAST VISUALLY WITH THE ADJACENT WALKING SURFACE. THE ENTIRE TRUNCATED DOME AREA SHALL BE A LIGHT COLOR (LIGHT GRAY, WHITE, OR YELLOW) WHEN THE ADJACENT SIDEWALK IS A DARK COLOR. THE ENTIRE TRUNCATED DOME AREA SHALL BE A DARK COLOR (RED, BLACK, DARK GRAY, OR BRIGHT YELLOW) WHEN THE ADJACENT SIDEWALK IS A "WHITE" OR LIGHT GRAY CEMENT COLOR.
  5. THE TRUNCATED DOME AREA MAY BE EITHER GRANITE PANEL OR STAMPED CONCRETE, INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. GRANITE PANELS SHALL BE 2" NOMINAL THICKNESS WITH SANDED TEXTURED FINISH, FREE OF ANY CRACKS, CHIPS OR COLOR DEFORMATIONS. STAMPED CONCRETE SHALL MEET REQUIREMENTS OF 3436 CONCRETE MIX AND HAVE INTEGRATED HOMOGENEOUS COLORING.
  6. 4" OR FOR NEW CONSTRUCTION. 3" OR ALLOWED FOR RETROFITS OR PRESERVATION PROJECTS.
  7. PROVIDE A 4' X 4' LANDING BEHIND THE PEDESTRIAN RAMP. SLOPE A MAXIMUM OF 2% IN ANY DIRECTION.

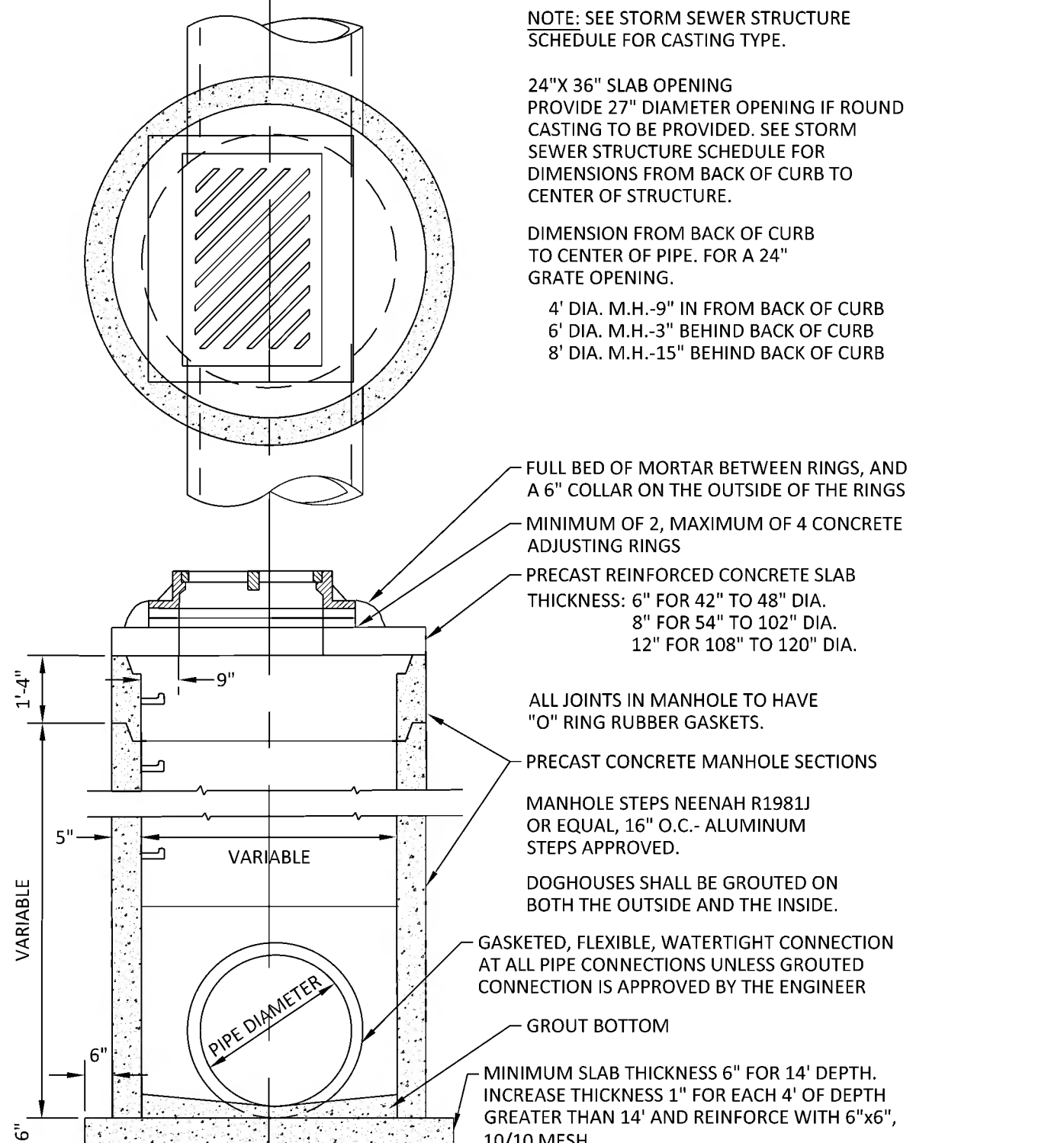
07 ACCESSIBLE PARKING SYMBOL N.T.S.



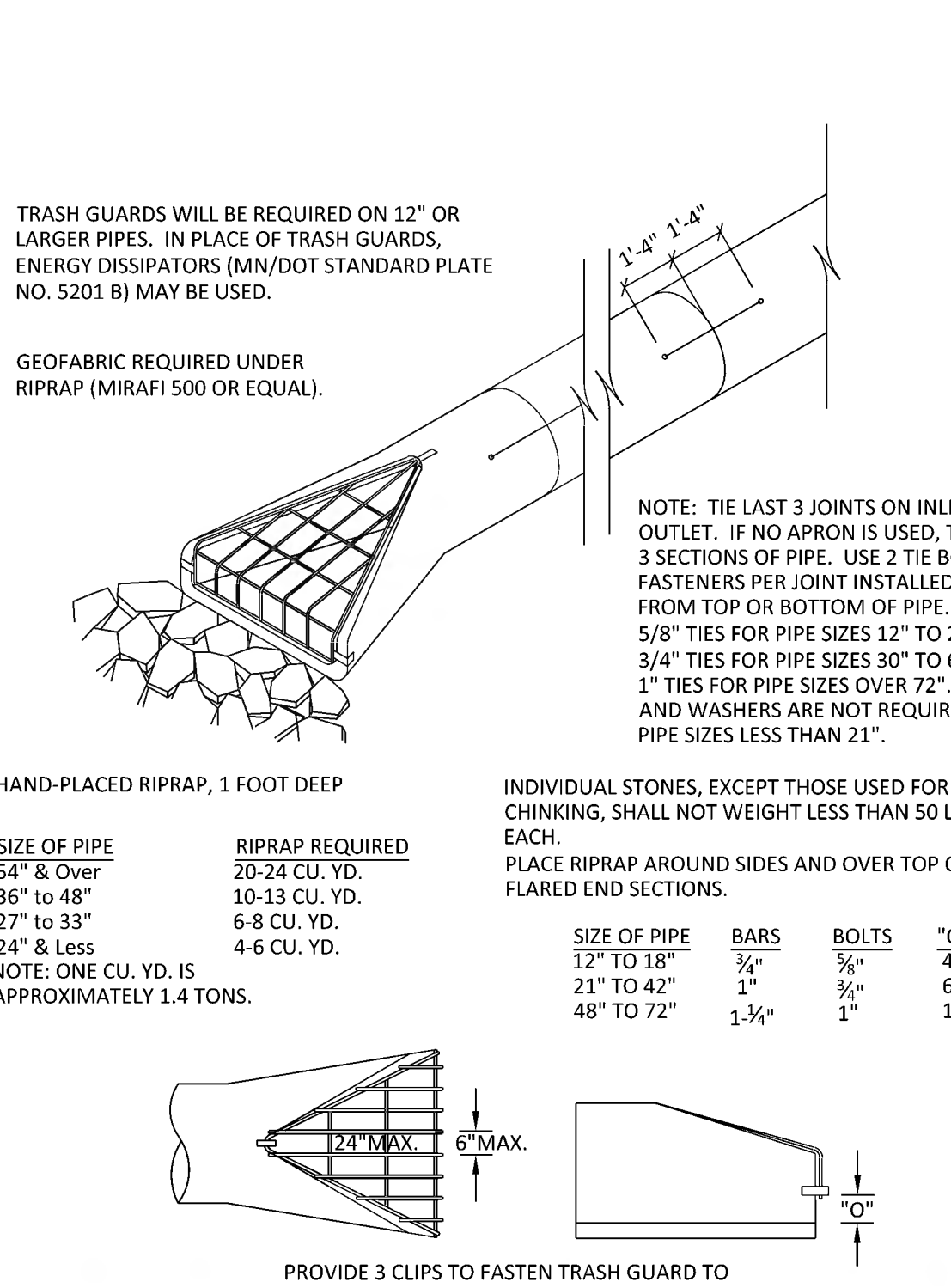
08 ADA/STANDARD STRIPING N.T.S.



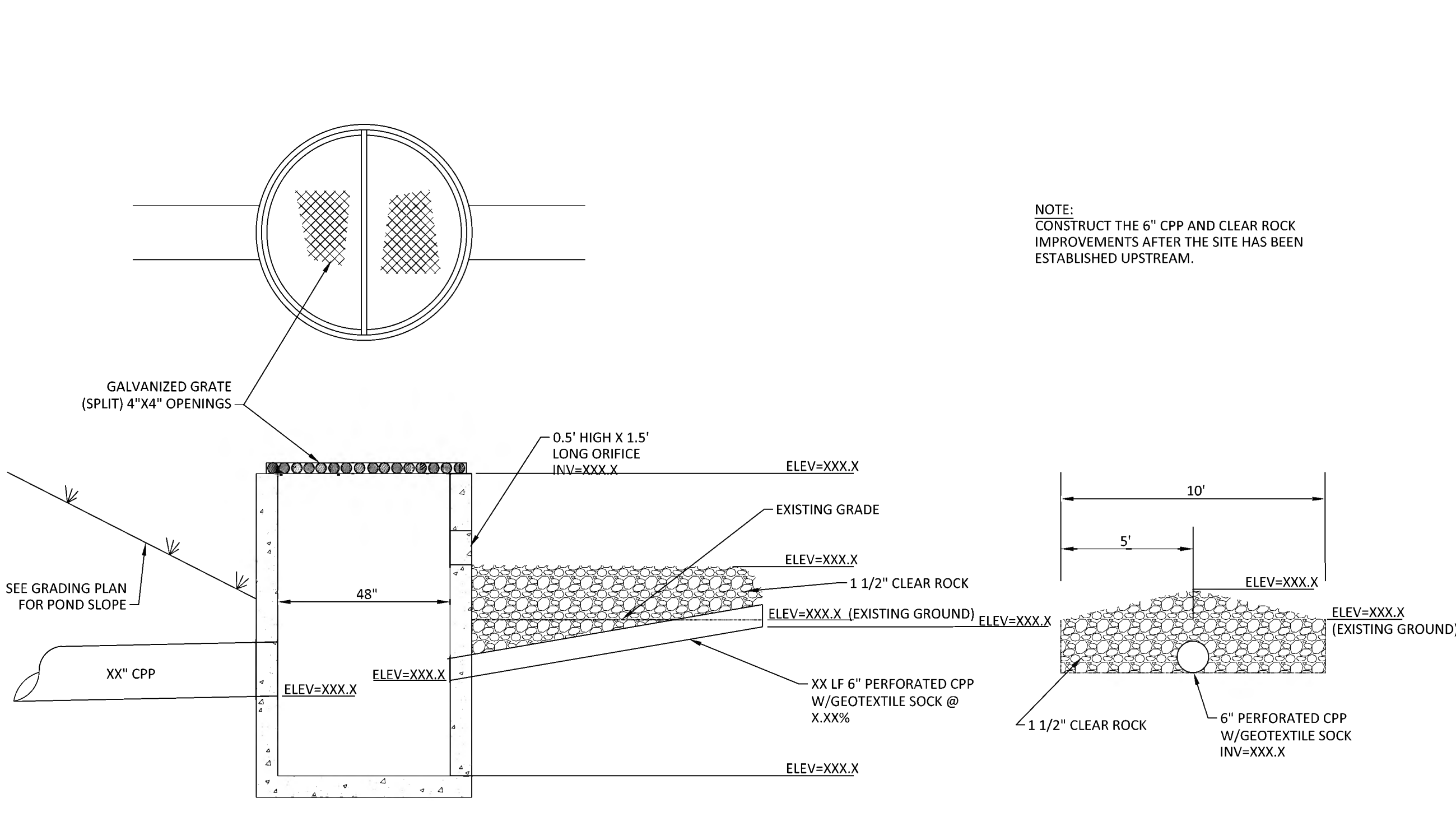
09 STORM SEWER MANHOLE N.T.S.



10 CATCH BASIN MANHOLE N.T.S.



11 FLARED END SECTION N.T.S.



12 OUTLET CONTROL STRUCTURE N.T.S.



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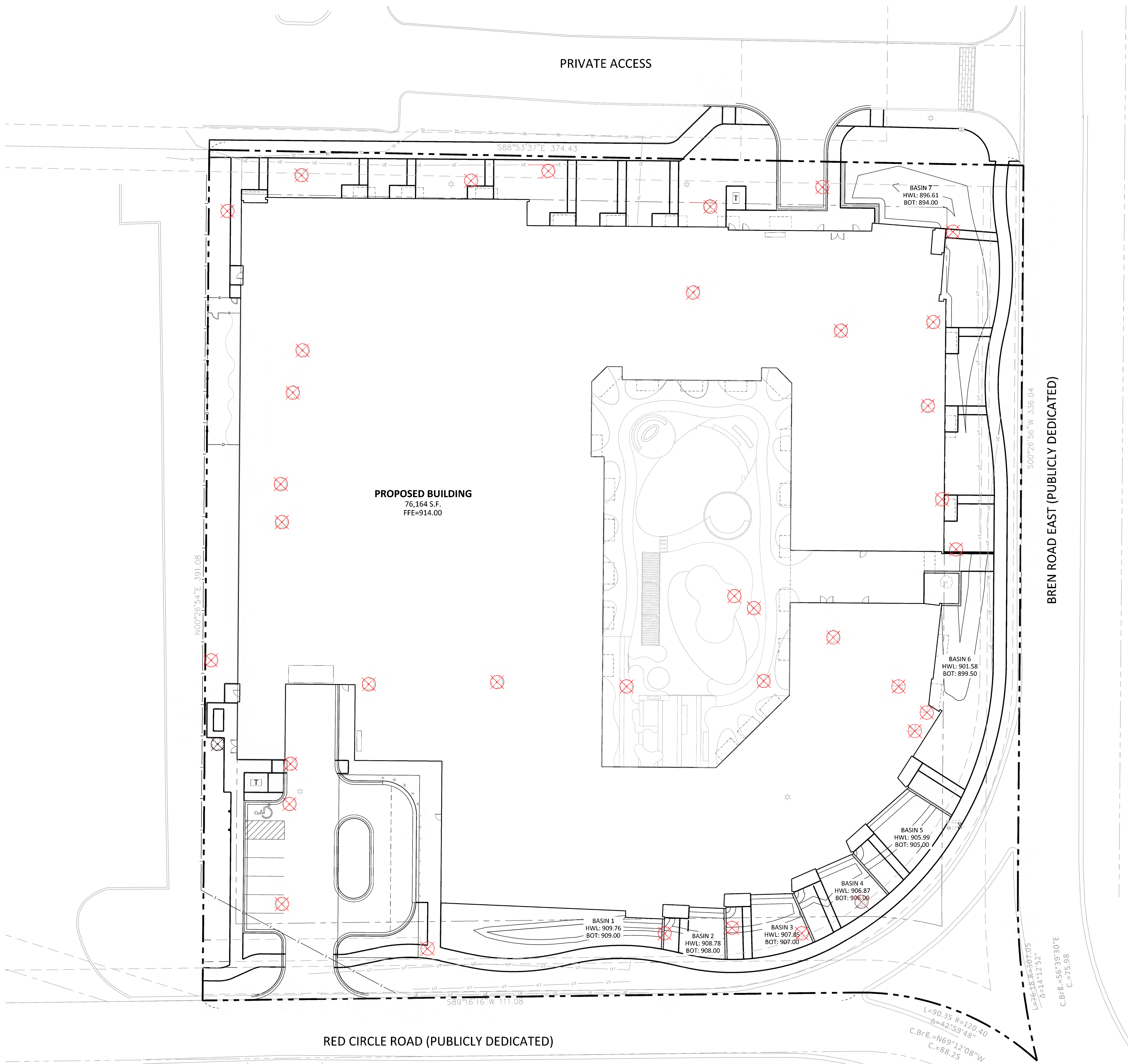
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KEY PLAN

BREN ROAD  
MULTIFAMILY

TREE INVENTORY

**L1.01**



**LEGEND**

PROPOSED	EXISTING	STANDARD DUTY ASPHALT PAVING
PROPERTY LIMIT	PROPERTY LIMIT	CONCRETE PAVING
CURB & GUTTER	CURB & GUTTER	CONCRETE SIDEWALK
EASEMENT	EASEMENT	
BUILDING	BUILDING	
RETAINING WALL	RETAINING WALL	
WETLAND LIMITS	WETLAND LIMITS	
TREELINE	TREELINE	
LANDSCAPE EDGING	LANDSCAPE EDGING	
STORM SEWER	STORM SEWER	
SANITARY SEWER	SANITARY SEWER	
FORCEMAIN (SAN.)	FORCEMAIN (SAN.)	
WATERDRAIN	WATERDRAIN	
YARDRAIN	YARDRAIN	
LIMITS OF DISTURBANCE	LIMITS OF DISTURBANCE	
TREE PROTECTION FENCE	TREE PROTECTION FENCE	
TREE TO BE REMOVED	TREE TO BE REMOVED	
SIGN	SIGN	
PIPE BOLLARD	PIPE BOLLARD	
RIPRAP	RIPRAP	

**MINNETONKA LANDSCAPE CODE**

- Development that is subject to landscape requirements in sections 300.27 and 300.31 must meet the minimum landscape requirements of the applicable section. Trees planted as part of a required landscaping plan may be counted as mitigation trees under this section, at the city's discretion.
- One inch for each inch in diameter of a deciduous tree removed and one foot for each foot in height of a coniferous tree removed.

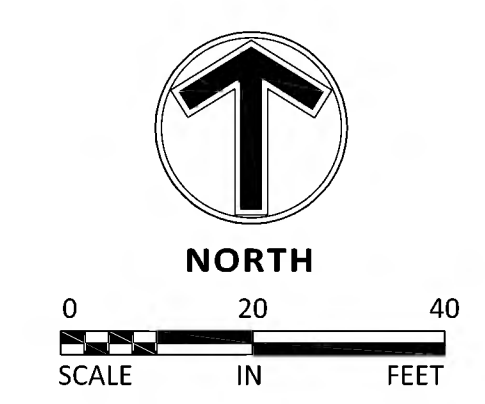
CALCULATIONS	EXISTING	REQUIRED
2 INCHES PER EVERY SIGNIFICANT TREE	6 TREES	12 INCHES
1 INCH PER EACH INCH IN DIAMETER OF HIGH PRIORITY TREES	83 INCHES	154 INCHES
1 FOOT PER EACH FOOT IN HEIGHT OF HIGH PRIORITY TREES	106 FEET	106 FEET

**PLANT SCHEDULE**

Tag	DBH	Height	Species	Notes	Type	Status
4090	21		Green Ash (Fraxinus pennsylvanica)	Shows signs of EAB infestation	Deciduous	Remove
4091	27		Green Ash (Fraxinus pennsylvanica)	Shows signs of EAB infestation	Deciduous	Remove
4092	22		Green Ash (Fraxinus pennsylvanica)	Shows signs of EAB infestation	Deciduous	Remove
4093	11		River Birch (Betula nigra)		Deciduous	Remove
4094	17		Green Ash (Fraxinus pennsylvanica)	Shows signs of EAB infestation	Deciduous	Remove
4095	8	18	Black Hills Spruce (Picea glauca)		Coniferous	Remove
4096	23		Littleleaf Linden (Tilia cordata)		Deciduous	Remove
4097	20		Green Ash (Fraxinus pennsylvanica)	Shows signs of EAB infestation	Deciduous	Remove
4098	23		Green Ash (Fraxinus pennsylvanica)	Shows signs of EAB infestation	Deciduous	Remove
4099	23		Green Ash (Fraxinus pennsylvanica)	Shows signs of EAB infestation	Deciduous	Remove
4100	7		Malus sp.		Deciduous	Remove
5001	15		Sugar Maple (Acer saccharum)		Deciduous	Remove
5002	7		Box Elder (Acer negundo)		Deciduous	Remove
5003	18	36	Black Hills Spruce (Picea glauca)		Coniferous	Remove
5004	18	36	Black Hills Spruce (Picea glauca)		Coniferous	Remove
5005	20	40	Black Hills Spruce (Picea glauca)		Coniferous	Remove
5006	23		Green Ash (Fraxinus pennsylvanica)	Shows signs of EAB infestation	Deciduous	Remove
5007	9		Mulberry (Morus alba)		Deciduous	Remove
5008	14		Malus sp.		Deciduous	Remove
5009	24		Green Ash (Fraxinus pennsylvanica)	Shows signs of EAB infestation	Deciduous	Remove
5010	24		Green Ash (Fraxinus pennsylvanica)	Shows signs of EAB infestation	Deciduous	Remove
5011	21		Green Ash (Fraxinus pennsylvanica)	Shows signs of EAB infestation	Deciduous	Remove
5012	27		Green Ash (Fraxinus pennsylvanica)	Shows signs of EAB infestation	Deciduous	Remove
5013	23		Green Ash (Fraxinus pennsylvanica)	Shows signs of EAB infestation	Deciduous	Remove
5014	17		Green Ash (Fraxinus pennsylvanica)	Shows signs of EAB infestation	Deciduous	Remove
5015	25		Green Ash (Fraxinus pennsylvanica)	Shows signs of EAB infestation	Deciduous	Remove
5017	7		Green Ash (Fraxinus pennsylvanica)	Shows signs of EAB infestation	Deciduous	Remove
5018	11		Green Ash (Fraxinus pennsylvanica)	Shows signs of EAB infestation	Deciduous	Remove
5019	15	30	Black Hills Spruce (Picea glauca)		Coniferous	Remove
5020	19		Green Ash (Fraxinus pennsylvanica)	Shows signs of EAB infestation	Deciduous	Remove
5021	23		Green Ash (Fraxinus pennsylvanica)	Shows signs of EAB infestation	Deciduous	Remove
5022	18		Green Ash (Fraxinus pennsylvanica)	Shows signs of EAB infestation	Deciduous	Remove
5023	6		Malus sp.		Deciduous	Remove
5024	9		Malus sp.		Deciduous	Remove
5025	20		Littleleaf Linden (Tilia cordata)		Deciduous	Remove
5026	18		Green Ash (Fraxinus pennsylvanica)	Shows signs of EAB infestation	Deciduous	Remove
5027	20		Green Ash (Fraxinus pennsylvanica)	Shows signs of EAB infestation	Deciduous	Remove
5028	20		Green Ash (Fraxinus pennsylvanica)	Shows signs of EAB infestation	Deciduous	Remove

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASEE/38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. BY CONTACTING THE NOTIFICATION CENTER (FOR HER STATE ONE FOR MINNESOTA) THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

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# PERSPECTIVE VIEW

BIRDSEYE VIEW OF AUTOCOURT





# PERSPECTIVE VIEW

PEDESTRIAN VIEW OF AUTOCOURT





# PERSPECTIVE VIEW

VIEW OF RED CIRCLE DRIVE FRONTAGE





# PERSPECTIVE VIEW

PEDESTRIAN VIEW AT BREN ROAD NORTHEAST CORNER





# PERSPECTIVE VIEW

PEDESTRIAN VIEW AT BREN ROAD UNDERPASS





# PERSPECTIVE VIEW

PEDESTRIAN VIEW AT CORNER OF BREN ROAD AND RED CIRCLE DRIVE





# PERSPECTIVE VIEW

PEDESTRIAN VIEW AT BREN ROAD LOOKING NORTH





# PERSPECTIVE VIEW

VIEW OF NORTH ELEVATION





# PERSPECTIVE VIEW

VIEW OF WEST ELEVATION





# PERSPECTIVE VIEW

BIRDSEYE VIEW FROM SOUTHEAST





# PERSPECTIVE VIEW

BIRDSEYE VIEW FROM NORTHEAST





# PERSPECTIVE VIEW

BIRDSEYE VIEW FROM NORTHWEST





# PERSPECTIVE VIEW

BIRDSEYE VIEW FROM SOUTHWEST





# LANDSCAPE DESIGN VISIONING





# LANDSCAPE DESIGN VISIONING





# LANDSCAPE DESIGN VISIONING





# LANDSCAPE DESIGN VISIONING







# 10701 BREN ROAD DEVELOPMENT

LAND USE APPLICATION  
SUBMISSION DATE: DECEMBER 6, 2022

**GREYSTAR**

**esg**  
ARCHITECTURE & DESIGN

URBAN ECOSYSTEMS

 **Sambatek**



# LANDSCAPE RENDERINGS

PEDESTRIAN VIEW AT CORNER OF BREN ROAD AND RED CIRCLE DRIVE





# LANDSCAPE RENDERINGS

PEDESTRIAN VIEW AT CORNER OF BREN ROAD AND RED CIRCLE DRIVE





# LANDSCAPE RENDERINGS

PEDESTRIAN VIEW AT RED CIRCLE DRIVE LOOKING EAST





# LANDSCAPE RENDERINGS

PEDESTRIAN VIEW AT BREN ROAD LOOKING NORTH





# LANDSCAPE RENDERINGS

PEDESTRIAN VIEW AT NORTHEAST CORNER





# LANDSCAPE RENDERINGS

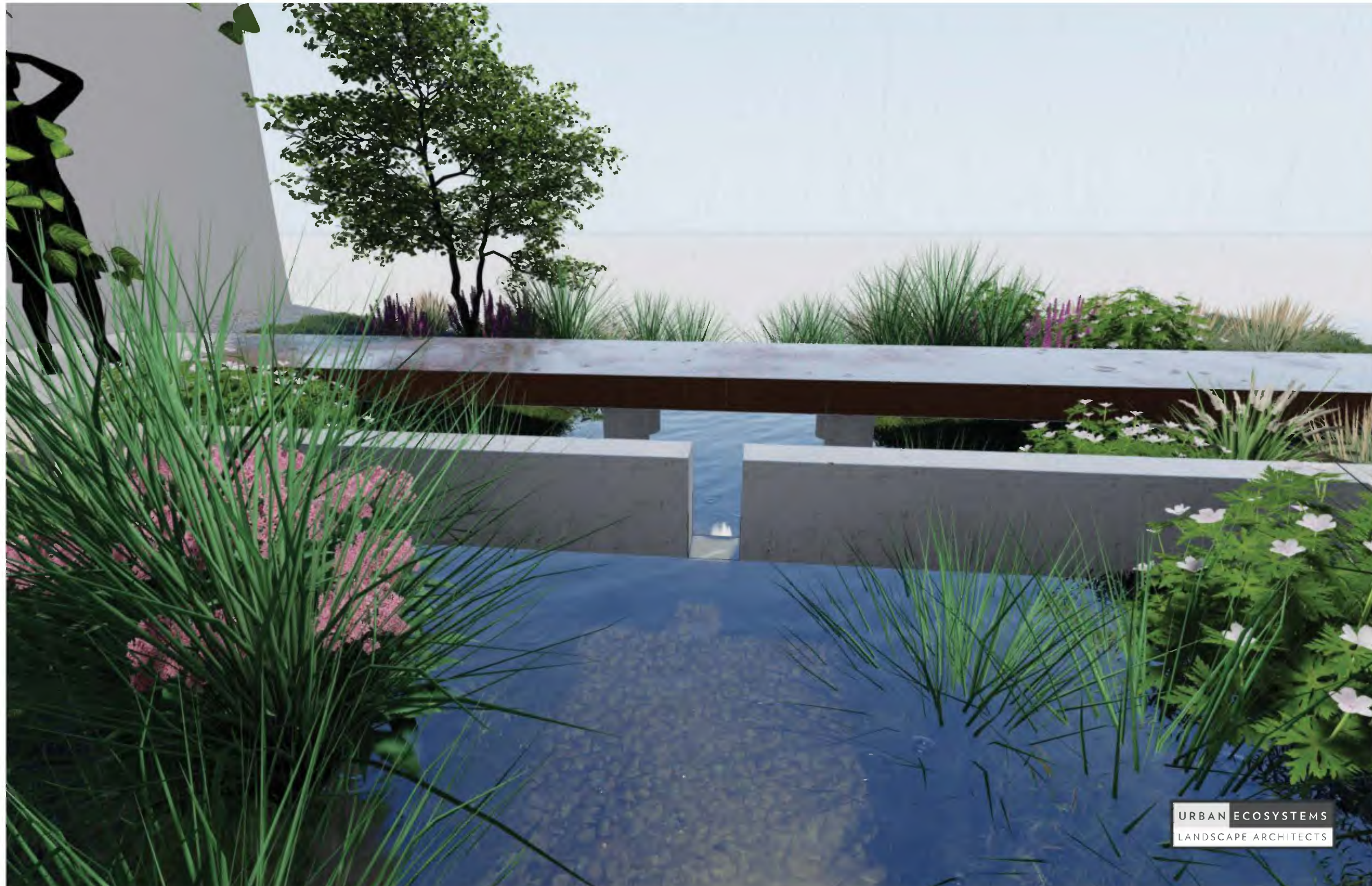
STORM WATER CONVEYANCE WEIR DETAIL - DRY CONDITION





# LANDSCAPE RENDERINGS

STORM WATER CONVEYANCE WEIR DETAIL - WET CONDITION



URBAN ECOSYSTEMS  
LANDSCAPE ARCHITECTS



# LANDSCAPE RENDERINGS

WALK UP UNIT BRIDGE CONNECTION - DRY CONDITION



URBAN ECOSYSTEMS  
LANDSCAPE ARCHITECTS



# LANDSCAPE RENDERINGS

WALK UP UNIT BRIDGE CONNECTION - DRY CONDITION





# LANDSCAPE PLAN



URBAN ECOSYSTEMS  
LANDSCAPE ARCHITECTS





# LANDSCAPE RENDERINGS

BIRDSEYE VIEW OF COURTYARD



URBAN ECOSYSTEMS  
LANDSCAPE ARCHITECTS



# LANDSCAPE RENDERINGS

PEDESTRIAN VIEW NORTH END OF COURTYARD



URBAN ECOSYSTEMS  
LANDSCAPE ARCHITECTS



# LANDSCAPE RENDERINGS

VIEW FROM GRILLING STATION



URBAN ECOSYSTEMS  
LANDSCAPE ARCHITECT



# LANDSCAPE RENDERINGS

BIRDSEYE VIEW OF POOL



URBAN ECOSYSTEMS  
LANDSCAPE ARCHITECT



# LANDSCAPE RENDERINGS

VIEW OF HOT TUB AND FIRE ELEMENT



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# LANDSCAPE RENDERINGS

MAIN OUTDOOR SEATING AREA AND FIRE ELEMENT



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# LANDSCAPE RENDERINGS

EVENING VIEW OF NORTH LAWN



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# LANDSCAPE RENDERINGS

EVENING VIEW OF MAIN SEATING AREA AND FIRE ELEMENT



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# LANDSCAPE RENDERINGS

WINTER VIEW OF NORTH LAWN



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# LANDSCAPE RENDERINGS

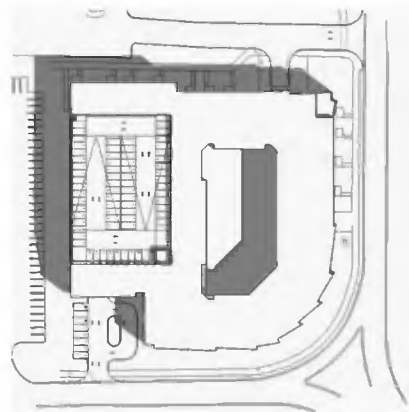
WINTER EVENING VIEW OF NORTH LAWN



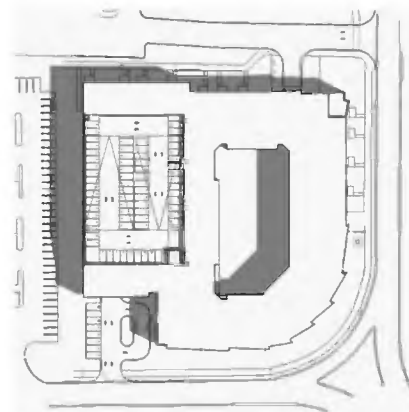
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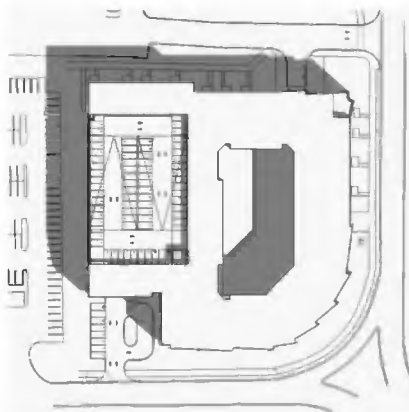
# SOLAR STUDY



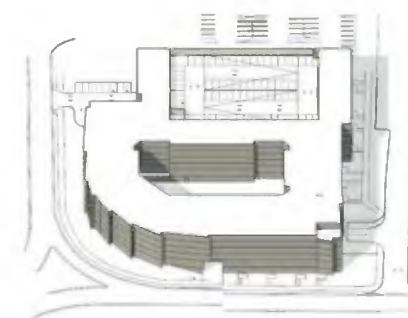
**Courtyard Scheme 5/1, 10am**



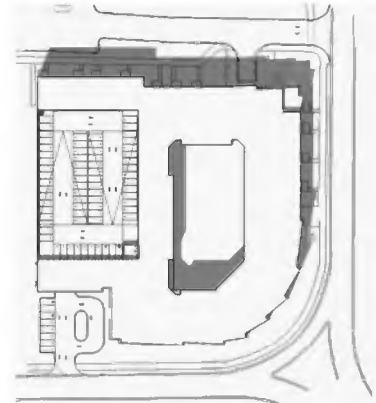
**Courtyard Scheme 7/1, 10am**



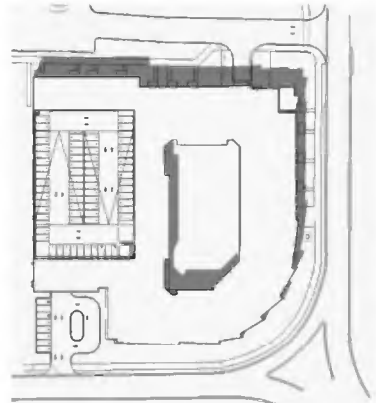
**Courtyard Scheme 9/1, 10am**



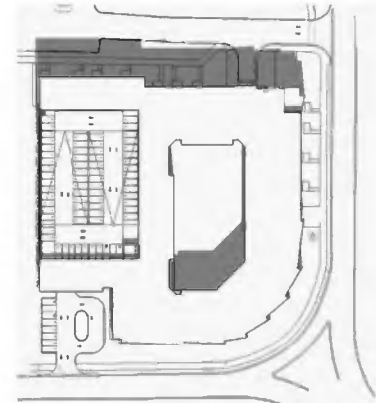
**Courtyard Scheme East - 9/1, 10am**



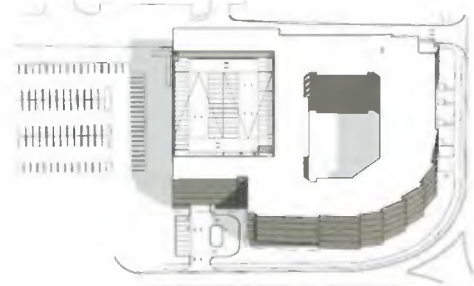
**Courtyard Scheme 5/1, 1pm**



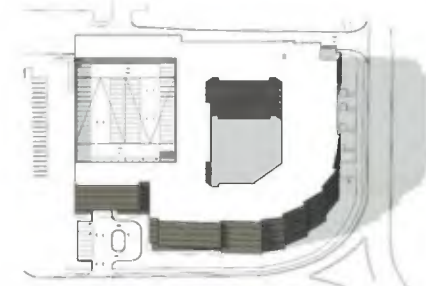
**Courtyard Scheme 7/1, 1pm**



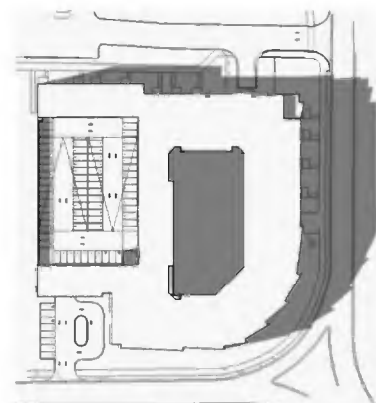
**Courtyard Scheme 9/1, 12pm**



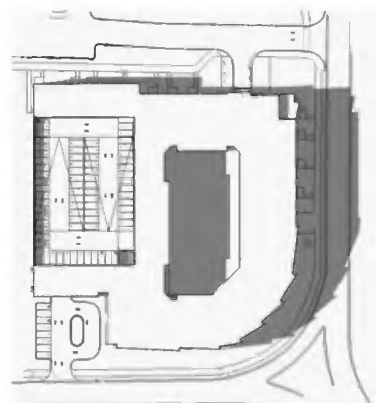
**Courtyard Scheme South - 9/1, 10am**



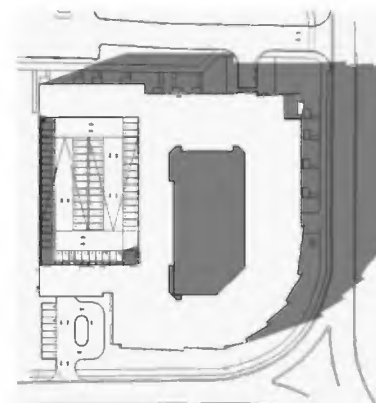
**Courtyard Scheme South - 9/1, 4pm**



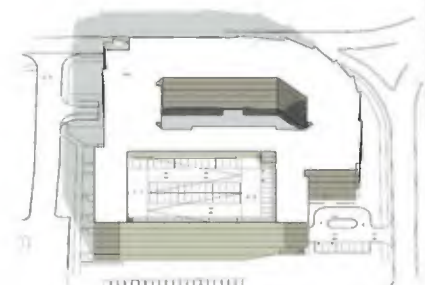
**Courtyard Scheme 5/1, 4pm**



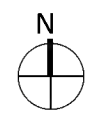
**Courtyard Scheme 7/1, 4pm**



**Courtyard Scheme 9/1, 4pm**



**Courtyard Scheme West - 9/1, 4pm**





# SUSTAINABLE DESIGN: SITE

- **Access to transit** with adjacent light rail station
- Connecting to existing **bike/nature trails** and providing internal bike storage rooms
- **Stormwater management:** using a creative mix of surface and underground solutions integrated with the site's landscaping
- **Light-colored** site pavement and pavers to reduce heat island effect
- **Dark sky-compliant** site lighting
- **Native plant species** — pollinator/prairie/woodland shade/wildflower meadow gardens
- **Removal** of a significant area of high-maintenance **turf lawn** — less gas mowing /fertilizing/
- Less turf = less site irrigation
- **Smart irrigation systems** (rain/soil moistures, drip irrigation, highly efficient controllers/sprayheads)

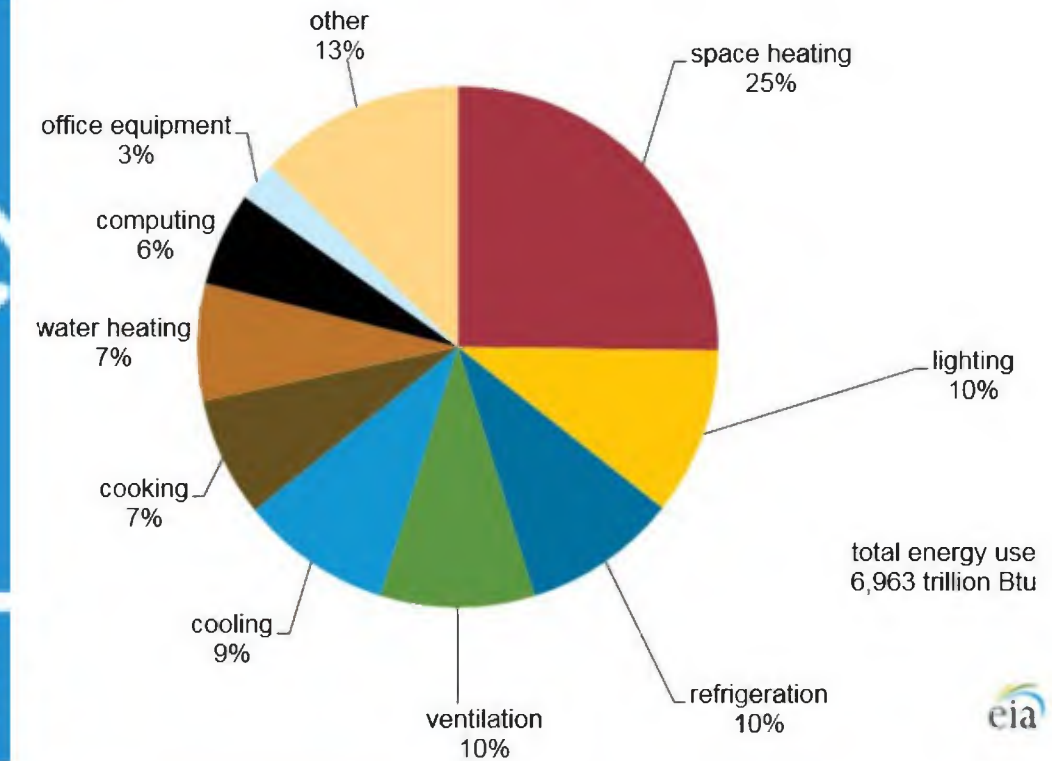




# SUSTAINABLE DESIGN: BUILDINGS

## BUILDING EFFICIENCY & RENEWABLE ENERGY

- High R-Value building envelope — roof & walls
- High solar reflectance index (SRI) roof with SRI of 0.28 minimum
- Low-E insulated glazing
- **Tightly sealed building envelope** to reduce leakage and inefficiencies
- Efficient HVAC systems — explore options through the Xcel Energy EDA program
- Energy Star-rated appliances
- LED fixtures with **occupancy sensors**
- **Electrical vehicle** charging stations
- **WaterSense** plumbing fixtures
- **Low VOC** materials and paints
- **Low construction waste** due to panelized construction
- Solar Panel ready building





# SUSTAINABLE DESIGN: OCCUPANTS

## HEALTH & WELLNESS

- Design to encourage **physical activity** with well designed and convenient stairwells and exterior pathways
- **Visual connection** to the outdoors
- **Noise mitigation** with verified acoustical sound assemblies in walls and floors
- **Clean air** with at least MERV 8 air filters
- Access to **daylight** in rooms and amenity spaces
- **Low VOC** materials and paints
- Convenient common area **hand sanitizers and hand washing** locations
- Cleaning procedures, including **daily cleaning** of entrances, common areas, corridors, restrooms and offices

