

PHILLIPS Architects & Contractors, Ltd.



Narrative for:

Walser KIA

15700 & 15724 Wayzata Blvd.

Minnetonka, MN

March 6, 2023

Contact Information

Architect:

PHILLIPS Architects & Contractors, Ltd.

Attn.: David A. Phillips, President

401 North Third Street, Suite 450

Minneapolis, MN 55401

Cell: 612-868-1261

Email: dphillips@phillipsarchitects.com

Owner:

Walser Real Estate, LLC

Attn.: John Brennan

7700 France Ave S, Suite 410N

Edina, MN 55435

Cell: 952-653-3575

Jbrennan@walser.com

Applicant:

Westwood Professional Services

Attn.: Shari Ahrens

12701 Whitewater Drive, Suite 300

Minnetonka, MN 55343

Ph. 952-937-5150

Shari.ahrens@westwoodps.com



Site Lighting & Freeway Pylon Sign

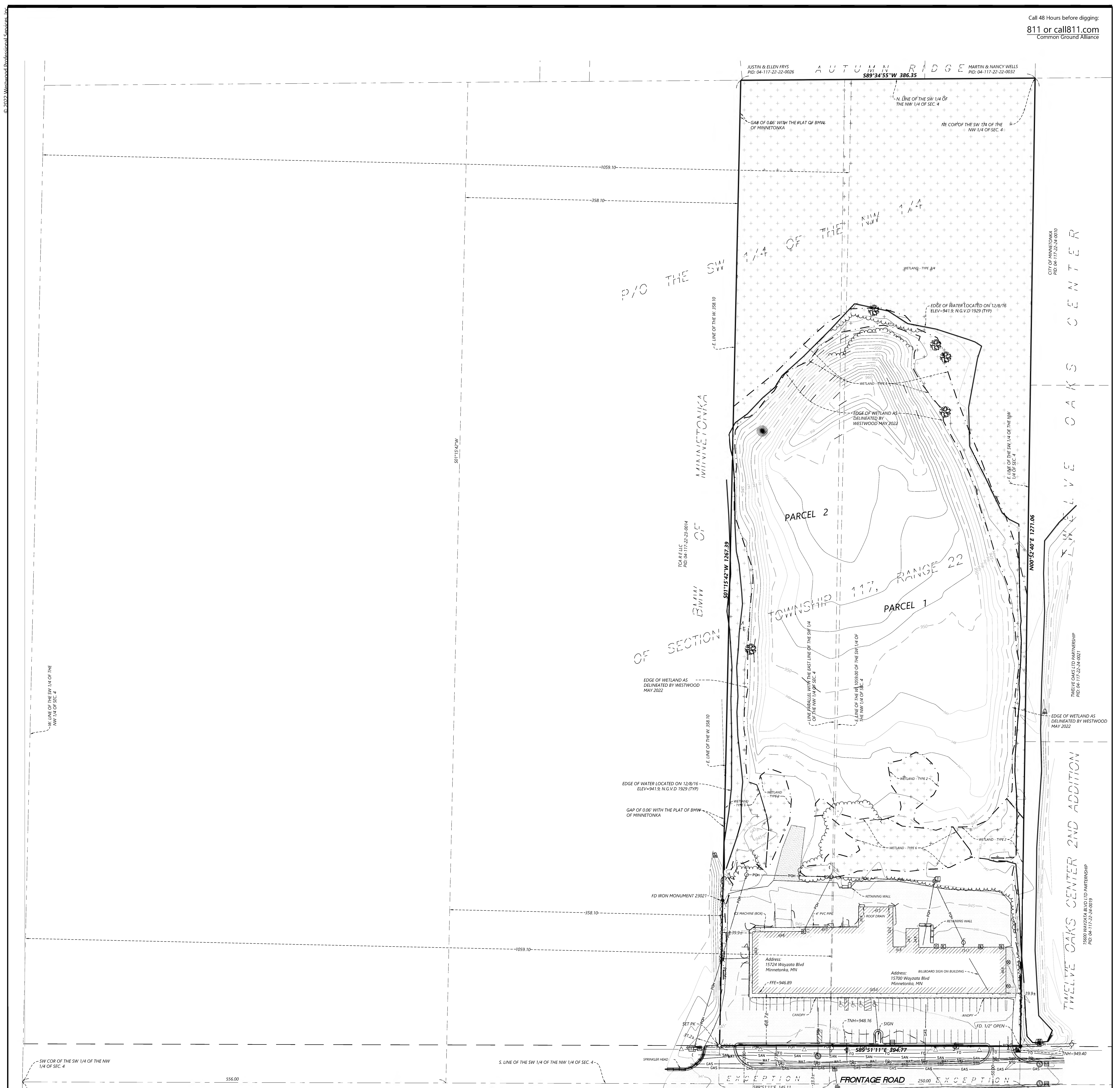
A Lighting plan has been submitted for the lot. The perimeter light fixtures will have skirts shielding the lighting to the north. The project will have all new site lighting using the latest LED technology. The fixtures will be dimmable and have motion sensors for night security. The computer-controlled lighting will be set to meet the city requirements. The site lighting will be dimmed at 10:00 PM to minimum security lighting levels.

KIA is currently updated their exterior pylon designs. A separate application for a pylon sign conforming to the City's sign ordinance will be made when the new design is available.

Building Materials

The dealership building will have scored precast wall panels will integrally cast in color matching Benjamin Moore for the service shop and carwash. The service write-up on the south side will have black and gray ACM and glass exterior with glass overhead doors. The showroom portion of the building will be glass curtain wall and a black ACM fascia. This will wrap partially around the north and south sides.

PHILLIPS Architects on behalf of Walser Automotive Group respectfully requests the City Council approval of these zoning applications.



GENERAL NOTES

- 1) This survey was prepared using Commercial Partners Title, LLC as agent for Stewart Title Guaranty Company, Title Commitment Number 52281 having an effective date of November 28, 2016 at 7:00 am.
- 2) Subject property appears to be classified as Zone X when scaled from Flood Insurance Rate Map Community - Parcel Number 270520300E dated November 4, 2016. (Table A Item 2)
- 3) Subject property contains 495,675 sq. ft. or 11.379 acres. (Table A Item 4)
- 4) Vertical Datum is at 1929NGVD in US Survey Feet, used the City of Minnetonka Benchmarks. (Table A Item 5)
- 5) No zoning information provided by the title company. (Table A Item 6 (a))
- 6) The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities. (State One Call Ticket No. 221360994). (Table A Item 11)
- 7) As of the date the field work was completed for this survey, there was no observable evidence of current earth moving work, exterior building construction or building additions. (Table A Item 16)
- 8) As of the date the field work was completed for this survey, there was no observable evidence of recent street or sidewalk construction or repairs. (Table A Item 16)
- 9) This survey is based on Hennepin County coordinate system in US Survey Feet.
- 10) Settlement Agreement dated July 23, 2007, by and between Clear Channel Outdoor, Inc., a Delaware corporation, and the City of Minnetonka, as evidenced by Memorandum of Settlement Agreement recorded October 25, 2007 on Document No. 9037013.
 (Parcel 1) LIES ON PROPERTY; NOT PLOTTABLE, BRAVO AUTO BRA REQUESTED A PERMIT FOR AN AUTOMOTIVE ACCESSORIES BUSINESS WITH A SERVICE BAY.
 (Parcel 2) LIES ON PROPERTY; NOT PLOTTABLE, AN AGREEMENT WITH THE CITY TO HAVE A BILLBOARD SIGN, APPROXIMATE LOCATION OF BILLBOARD SHOWN ON SURVEY.
- 11) Resolution No. 2009-076 approving Conditional Use Permit adopted September 14, 2009, recorded October 15, 2009, as Document No. A942095. (Parcel 1) LIES ON PROPERTY; NOT PLOTTABLE, BRAVO AUTO BRA REQUESTED A PERMIT FOR AN AUTOMOTIVE ACCESSORIES BUSINESS WITH A SERVICE BAY.
- 12) Resolution No. 2009-109 approving Conditional Use Permit adopted December 7, 2009, recorded January 21, 2010, as Document No. A9469173. (Parcel 1) LIES ON PROPERTY; NOT PLOTTABLE, HEAVY METAL CUSTOM CYCLES REQUESTED A PERMIT FOR A 2400 SQ FT MOTORCYCLE REPAIR BUSINESS.
- 13) Access restrictions set forth in Quietclaim Deed dated October 27, 2016, recorded December 5, 2017, as Document No. A10506721. RESTRICTED ACCESS SHOWN ON SURVEY.
- 14) Unrecorded Master Ground Lease dated December 29, 2017, by and between Lindahl Properties, LP, a Minnesota limited partnership, lessor, and Walser Real Estate, LLC, a Minnesota limited liability company, lessee, as evidenced by Memorandum of Ground Lease dated December 29, 2017, recorded January 3, 2018, as Document No. A10515553. AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE, NOT SHOWN.

LEGAL DESCRIPTION (Commitment No. CP70464)

Parcel 1:
 That part of the Southwest Quarter of the Northwest Quarter of Section 4, Township 117 North, Range 22 West, lying Easterly of the West 1058.10 feet, except the South 50 feet thereof.

Hennepin County, Minnesota
 Abstract Property

Parcel 2:
 That part of the Southwest Quarter of the Northwest Quarter of Section 4, Township 117, Range 22, described as follows:
 Beginning at a point on the South line of said Southwest Quarter of the Northwest Quarter 250 feet West of the Southeast corner thereof; thence North parallel with the East line of said Southwest Quarter of the Northwest Quarter to the North line thereof; thence West along said North line to the East line of the West 536.1 feet of that part of said Southwest Quarter of the Northwest Quarter described as commencing at a point on the South line of said Southwest Quarter of the Northwest Quarter 556 feet East of the Southwest corner thereof; thence North parallel with the West line of said Southwest Quarter of the Northwest Quarter to the North line thereof; thence East to the Northeast corner thereof; thence South to the Southeast corner thereof; thence West to the point of beginning; thence South along the East line of said West 536.1 feet to the South line of said Southwest Quarter of the Northwest Quarter; thence East to the point of beginning, except the South 50 feet thereof.

Hennepin County, Minnesota
 Abstract Property

Parcel 3:
 That part of the Southwest Quarter of the Northwest Quarter of Section 4, Township 117, Range 22, lying West of the Easterly line of the West 1058.10 feet of the said Southwest Quarter of the Northwest Quarter, Section 4, Township 117, Range 22, and lying East of a line described as beginning at a point on the South line of said Southwest Quarter of the Northwest Quarter 250 feet West of the Southeast corner thereof; thence North parallel with the East line of said Southwest Quarter of the Northwest Quarter to the North line thereof, and thence terminating.

Hennepin County, Minnesota
 Abstract Property

SURVEYOR'S CERTIFICATE

To: Lindahl Properties, LP, a Minnesota limited partnership; Walser Real Estate, LLC, a Minnesota limited liability company; Chicago Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 8, 10, 11(a)(b), 13 and 16 of Table A thereof. The fieldwork was completed on May 24, 2022.

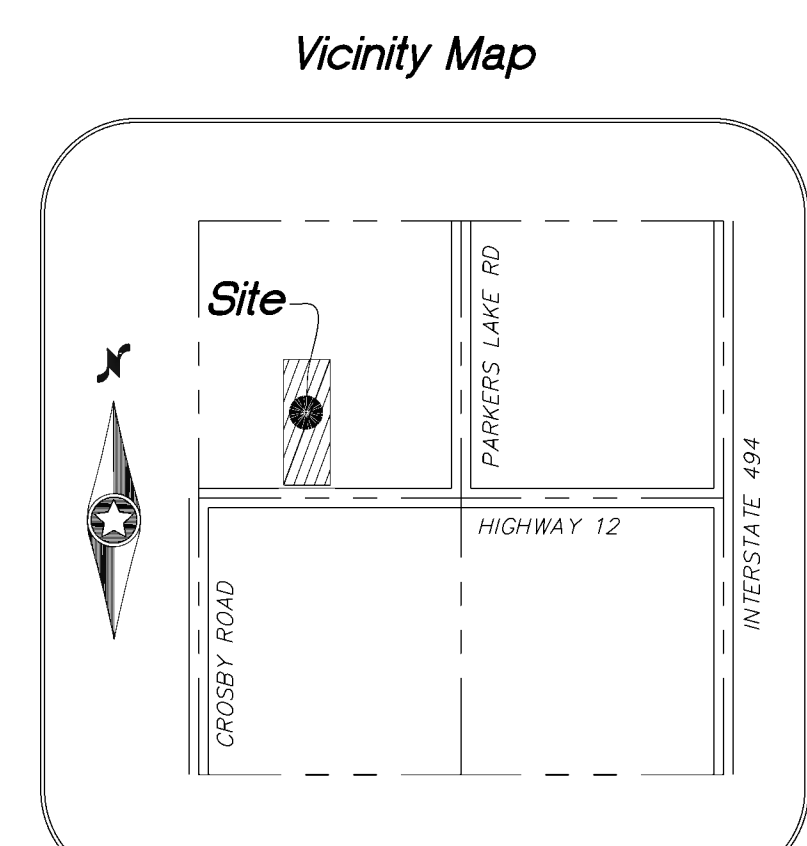
Date of Plat or Map: 06/22/2022

Chris Amboum, LS
 Minnesota License No. 43055
 chris.amboum@westwoodps.com

Revisions:
 06/2022: Added signature
 08/2022: Revised method delineation.

Crew: BDA
 Checked: HAS
 Drawn: JMM
 Record Drawing Number:

Prepared for:
Walser Automotive Group



WAYZATA BLVD (T.H. NO. 12)
 (US HIGHWAY 212) WAYZATA BOULEVARD (INTERSTATE HWY NO. 394)

LEGEND

- | | | | |
|---|--------------------|---|-----------------------|
| ○ | SANITARY MANHOLE | ○ | BUSH/SHRUB |
| ○ | SEWER CLEANOUT | ○ | CONIFEROUS TREE |
| ○ | STORM MANHOLE | ○ | DECIDUOUS TREE |
| ○ | CATCH BASIN | ○ | WETLAND |
| ◄ | FLARED END SECTION | ○ | TREE LINE |
| ○ | POWER POLE | — | CABLE TV |
| ○ | GYM WIRE | — | GAS LINE |
| ○ | ELECTRIC BOX | — | POWER OVERHEAD |
| ○ | ELECTRIC METER | — | POWER UNDERGROUND |
| ○ | GATE VALVE | — | SANITARY SEWER |
| ○ | HYDRANT | — | STORM SEWER |
| ○ | WATER METER | — | TELEPHONE OVERHEAD |
| ○ | CURB STOP BOX | — | TELEPHONE UNDERGROUND |
| ○ | GAS METER | — | WATERMAIN |
| ○ | SIGN-TRAFFIC/OTHER | — | FIBER OPTIC |
| ○ | HANDICAPPED STALL | — | FENCE LINE |
| ○ | CULVERT | — | CURB & GUTTER |
| ○ | TELEPHONE BOX | — | ACCESS CONTROL |
| ○ | CABLE TV BOX | ○ | GAS VALVE |
| ○ | HAND HOLE | ○ | CONCRETE SURFACE |
| ○ | STREET LITE | ○ | BUTYMINOUS SURFACE |
| | | ○ | GRAVEL SURFACE |

WESTDALE CENTER
 Minnetonka, Minnesota

ALTA/NSPS
 Land Title Survey

Date: 06/22/2022 Sheet: 1 of 1
 0036502V-AF01.DWG

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CITY ENTITLEMENT SUBMITTAL



Vicinity Map
(NOT TO SCALE)

FOR

WALSER KIA MINNETONKA

MINNETONKA, MN

PREPARED FOR:

WALSER REAL ESTATE, LLC

7700 FRANCE AVENUE SOUTH SUITE 410 N
EDINA, MN 55435

CONTACT: JOHN BRENNAN

PHONE: 952-653-3575

EMAIL: JBRENNAN@WALSER.COM

PREPARED BY:

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
TollFree (888) 937-5150 westwoodps.com

Westwood Professional Services, Inc.

PROJECT NUMBER: 0036502.00

CONTACT: DAVID T. BADE

SHEET INDEX

Sheet List Table	
SHEET NUMBER	SHEET TITLE
C001	COVER
C002	PRELIMINARY PLAT
C100	EXISTING CONDITIONS WITH PROPOSED SITE OVERLAY
C101	REMOVALS PLAN
C200	OVERALL SITE PLAN
C201	ENLARGED SITE PLAN
C300	GRADING PLAN
C400	EROSION CONTROL PLAN
C500	UTILITIES PLAN
L100	TREE PRESERVATION PLAN
L200	LANDSCAPE PLAN
L201	LANDSCAPE NOTES

NO.	DATE	REVISION	SHEETS

CITY ENTITLEMENT SUBMITTAL

FOR

WALSER KIA
MINNETONKA

MINNETONKA, MN

INITIAL SUBMITTAL DATE: 03/06/2023 SHEET: C001

PROJECT NUMBER: 0036502.00

WALSER KIA MINNETONKA

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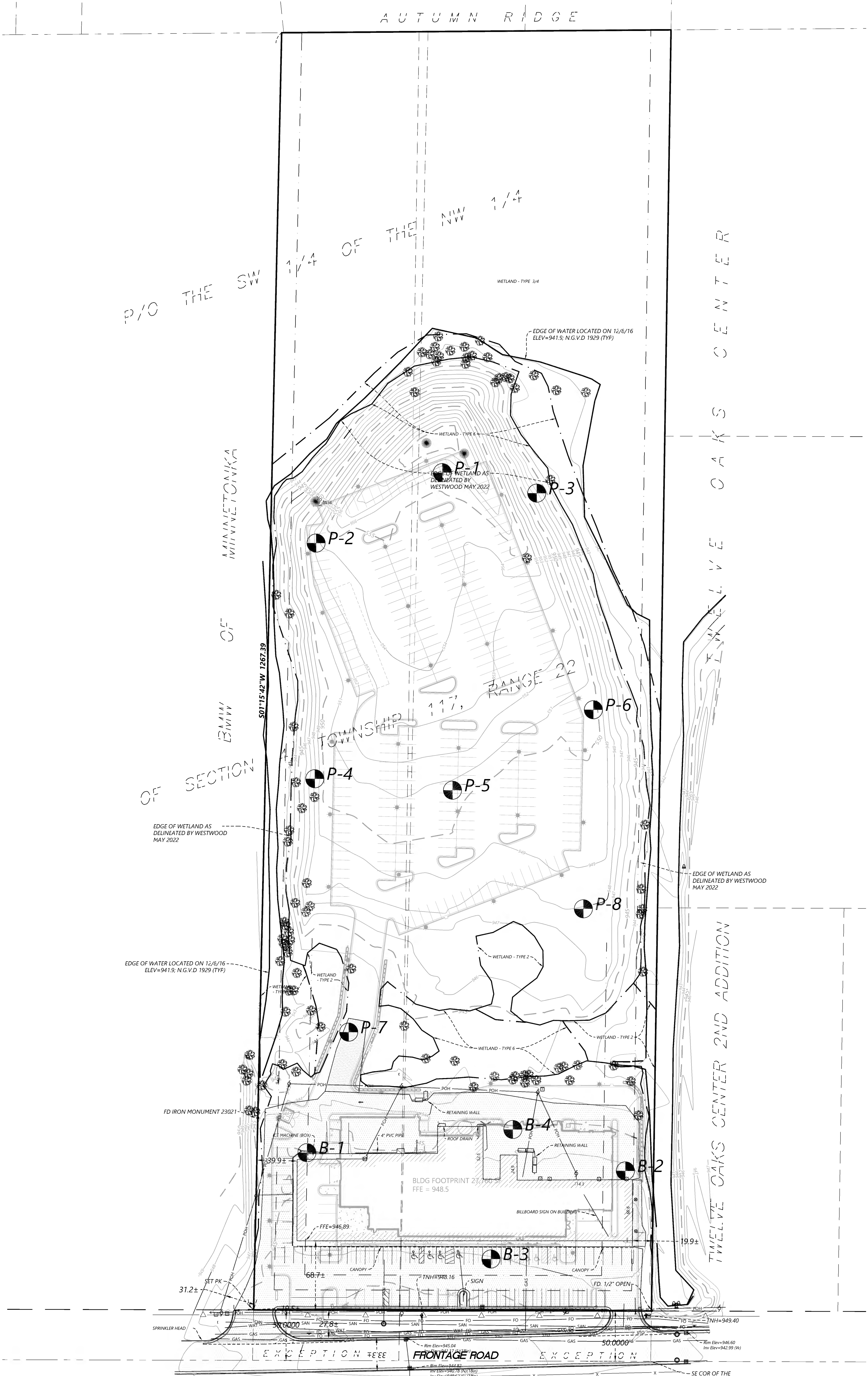
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DESIGNED	03/06/2023
CHECKED	
PREPARED	
HORIZONTAL SCALE	50'
VERTICAL SCALE	

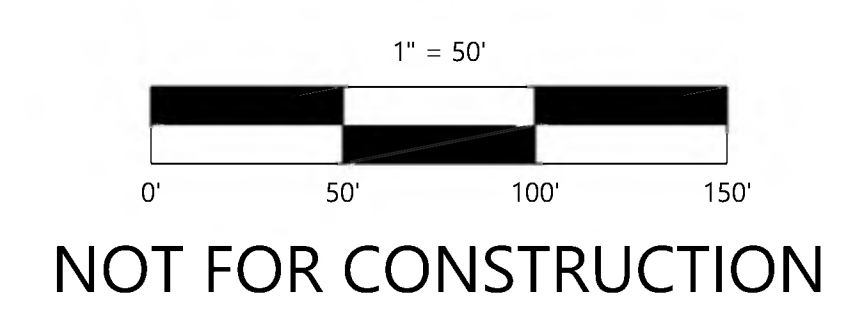
LEGEND

<ul style="list-style-type: none"> ○ SANITARY MANHOLE ○ SEWER CLEANOUT ○ SEPTIC COVER ○ STORM MANHOLE ⊕ BEEHIVE CATCH BASIN ▭ CATCH BASIN ▭ FLARED END SECTION ○ CULVERT ○ CATCH BASIN MANHOLE ▭ DOWNSPOUT ○ DRYWELL ○ STORM INTERCEPTOR ○ HYDRANT ○ GATE VALVE ○ WATER METER ○ FIRE DEPARTMENT CONNECTION ▭ CURB STOP BOX ○ WATER MANHOLE ○ WELL ○ POST INDICATOR VALVE ○ DOUBLE DETECTOR CHECK VALVE ○ FARM HYDRANT ○ REDUCE PRESSURE VALVE ○ STOCK TANK ○ WINDMILL ▭ ELECTRIC BOX ○ ELECTRIC METER ○ ELECTRIC MANHOLE ○ ELECTRIC TOWER ○ STREET LIGHT ○ POWER POLE WITH LIGHT ○ GUY WIRE ○ POWER POLE ○ MAST ARM ○ MAST ARM W/ LIGHT ○ TRAFFIC SIGNAL ▭ TELEPHONE BOX ○ TELEPHONE MANHOLE ▭ HAND HOLE/JUNCTION BOX ○ CABLE TV BOX ○ CABLE TV MANHOLE ○ FIBER OPTIC MANHOLE ○ FIBER OPTIC PEDESTAL ○ NATURAL GAS METER ○ NATURAL GAS VALVE ○ NATURAL GAS MANHOLE ↑ NATURAL GAS RISER/SERVICE ↑ NATURAL GAS VENT PIPE ○ NATURAL GAS WELL ▭ AIR CONDITIONER ○ UNKNOWN MANHOLE ▭ MISCELLANEOUS METER ▭ MISCELLANEOUS PEDESTAL 	<ul style="list-style-type: none"> ○ STEEL/WOOD POST ↑ SIGN ▭ MAIL BOX ○ FLAG POLE ○ HANDICAPPED STALL ▭ BENCH ○ IRRIGATION MANHOLE ○ IRRIGATION SH ○ IRRIGATION SP ○ IRRIGATION VALVE ○ SOIL BORING ○ PERC TEST ○ MONITORING WELL ○ PIEZOMETER ○ BUSH/SHRUB ○ CONIFEROUS TREE ○ DECIDUOUS TREE
---	--

—	BOUNDARY LINE
—	RIGHT-OF-WAY LINE
---	LOT LINE
---	EASEMENT LINE
---	SECTION LINE
---	TREE LINE
---	CABLE TELEVISION LINE
---	GAS LINE
---	POWER OVERHEAD
---	POWER UNDERGROUND
---	SANITARY SEWER
---	STORM SEWER
---	TELEPHONE OVERHEAD
---	TELEPHONE UNDERGROUND
---	WATERMAIN
---	FIBER OPTIC
---	FENCE LINE
---	CONTROLLED ACCESS
---	CURB & GUTTER
---	CONCRETE SURFACE
---	BITUMINOUS SURFACE
---	GRAVEL SURFACE
---	WETLAND
---	WETLAND EDGE
---	EDGE OF WATER (12/08/16)
●	FOUND MONUMENT (SEE LABEL)
○	SET MONUMENT (SEE LABEL)



WAYZATA BLVD (T.H. NO. 12)
 (US HIGHWAY 212) WAYZATA BOULEVARD (INTERSTATE HWY NO. 394)



PREPARED FOR:
WALSER REAL ESTATE, LLC
 7700 FRANCE AVENUE SOUTH SUITE 410 N
 EDINA, MN 55435

DATE: 03/06/2023
 LICENSE NO. _____

WALSER KIA MINNETONKA
 MINNETONKA, MN

Westwood
 12701 Whittaker Drive, Suite #200
 Minneapolis, MN 55428
 Phone: (612) 837-2150
 Fax: (612) 837-2622
 Email: info@westwoodps.com
 Westwood Professional Services, Inc.

**EXISTING CONDITIONS
 WITH PROPOSED SITE
 OVERLAY**

SHEET NUMBER:

C100

DATE: 03/06/2023

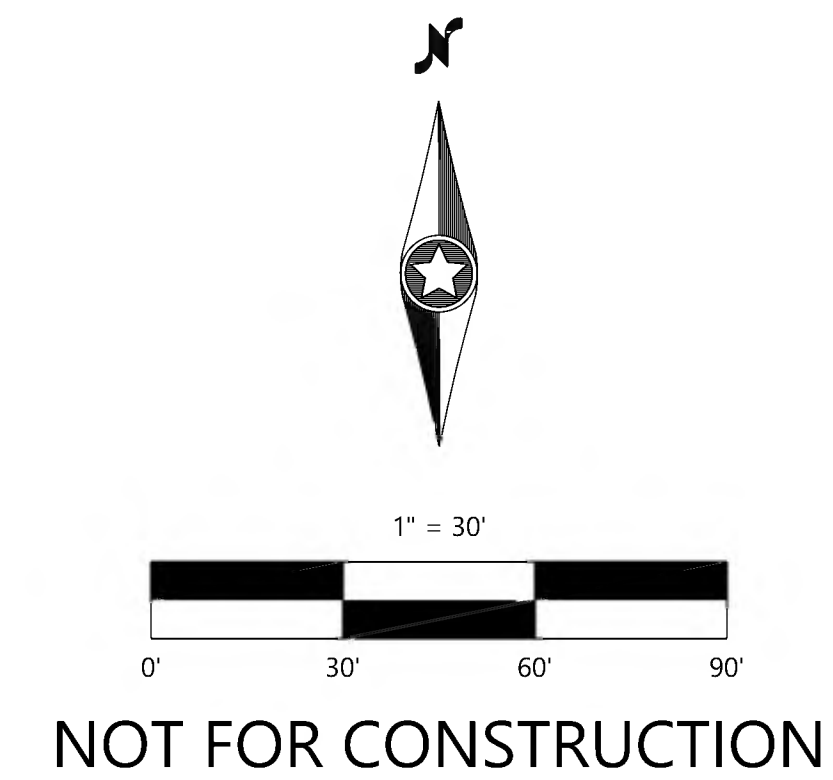
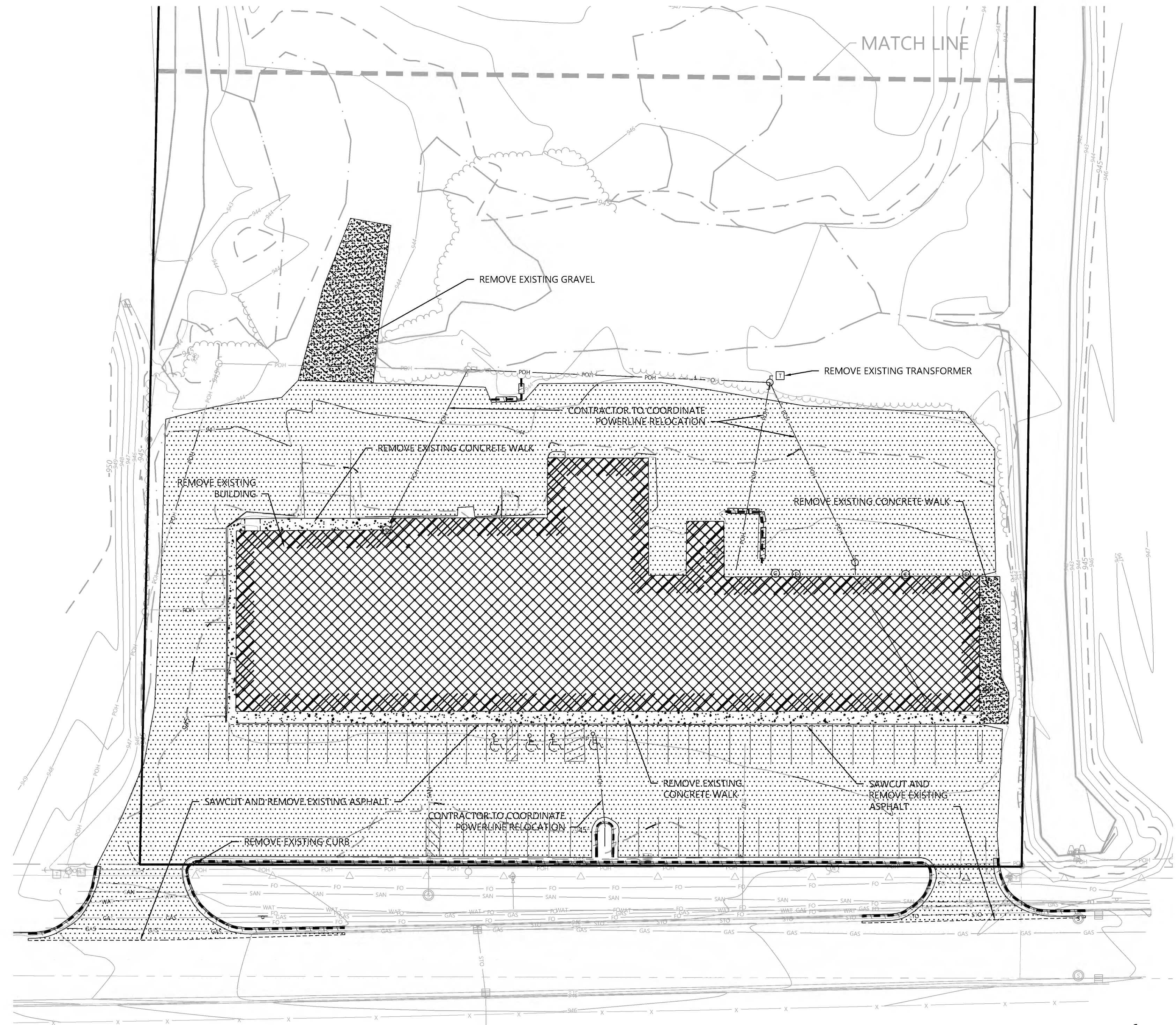
PROJECT NUMBER: 0036502.00

REMOVAL NOTES

1. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
2. CONTRACTOR SHALL COORDINATE LIMITS OF REMOVALS WITH PROPOSED IMPROVEMENTS AND FIELD VERIFY CONDITION OF EXISTING APPURTENANCES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING OR REPLACING MISCELLANEOUS ITEMS (SUCH AS FENCES, SIGNS, IRRIGATION HEADS, ETC.) THAT MAY BE DAMAGED BY CONSTRUCTION.
3. CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY PROVIDERS FOR REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES AFFECTED BY SITE DEVELOPMENT. ALL PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

REMOVAL LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	SAW CUT PAVEMENT
---	---	CURB & GUTTER
---	---	SANITARY SEWER
---	---	WATER MAIN
---	---	HYDRANT
---	---	STORM SEWER
---	---	GAS
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND TELEPHONE
---	---	OVERHEAD TELEPHONE
---	---	TELEPHONE FIBER OPTIC
---	---	CABLE TELEVISION
---	---	RETAINING WALL
---	---	FENCE
---	---	CONCRETE
---	---	BITUMINOUS
---	---	BUILDING
---	---	TREE
---	---	LIGHT POLE
---	---	TRAFFIC SIGN
---	---	CONSTRUCTION BARRICADE
---	---	SOIL BORING LOCATION
---	---	TREE LINE



DESIGNED	03/06/2023
CHECKED	
DRAWN	
INTERPRETER	
HORIZONTAL SCALE	3/4"
VERTICAL SCALE	3/4"

PREPARED FOR:
WALSER REAL ESTATE, LLC
7700 FRANCE AVENUE SOUTH SUITE 410 N
EDINA, MN 55435

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
DAVID T. BADE
DATE: 03/06/2023 LICENSE NO. _____

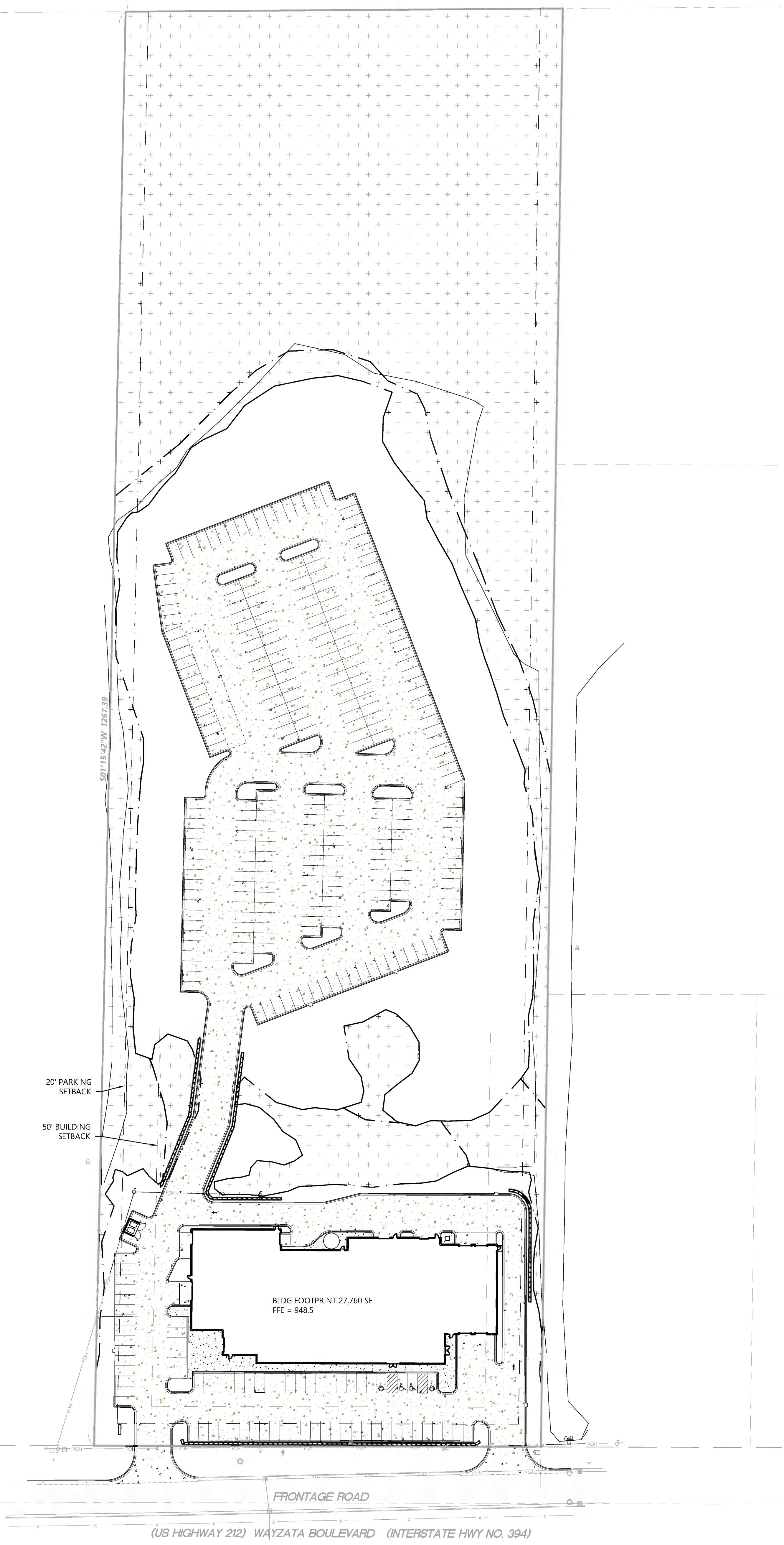
Westwood
12700 Whittaker Drive, Suite #200
Minnetonka, MN 55343
Phone: (952) 837-2500
Fax: (952) 837-2522
www.westwoodps.com
Westwood Professional Services, Inc.

WALSER KIA MINNETONKA
MINNETONKA, MN

REMOVALS PLAN

SHEET NUMBER:
C101

DATE: 03/06/2023
PROJECT NUMBER: 0036502.00



SITE LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		LOT LINE
		SETBACK LINE
		EASEMENT LINE
		CURB AND GUTTER
		TIP-OUT CURB AND GUTTER
		POND NORMAL WATER LEVEL
		RETAINING WALL
		FENCE
		PERVIOUS CONCRETE PAVEMENT
		CONCRETE SIDEWALK
		CONCRETE PAVEMENT
		NORMAL DUTY BITUMINOUS PAVEMENT
		NUMBER OF PARKING STALLS
		TRANSFORMER
		SITE LIGHTING
		TRAFFIC SIGN
		POWER POLE
		BOLLARD / POST

GENERAL SITE NOTES

- BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY WESTWOOD PROFESSIONAL SERVICES, MINNETONKA, MN, MAY 24, 2022.
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- ALL CURB RADII ARE SHALL BE 3.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.

SITE DEVELOPMENT SUMMARY

EXISTING ZONING:	PID, PLANNED I-394 DISTRICT
PROPOSED ZONING:	PID, PLANNED I-394 DISTRICT
PARCEL DESCRIPTION:	KIA OF MINNETONKA, LOT 1, BLOCK 1
PROPERTY AREA:	495,675 SF (11.379 AC)
EXISTING SURFACE:	
TOTAL IMPERVIOUS:	79,992 SF (1.836 AC) (16%)
TOTAL PERVIOUS:	415,683 SF (9.543 AC) (84%)
PROPOSED SURFACE:	
TOTAL IMPERVIOUS:	32,922 SF (0.756 AC) (7%)
TOTAL PERVIOUS:	462,753 SF (10.623 AC) (93%)
PERVIOUS PAVEMENT:	133,149 SF (3.057 AC)
GREENSPACE:	329,599 SF (7.567 AC)
BUILDING GROSS SIZE:	32,900 SF
BUILDING SETBACK PER CODE:	35' = LOCAL COLLECTOR STREET 50' = EXTERIOR LOT LINE *OR HEIGHT OF BUILDING IF GREATER THAN 50'
PARKING SETBACK:	20' = EXTERIOR LOT LINES AND ROW
PARKING SPACE/DRIVE AISLE:	8.5' WIDE X 18' LONG, 24' AISLE

SEE ENLARGED PLANS FOR DETAIL

DESIGNED:	
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	50'
VERTICAL SCALE:	

PREPARED FOR:
WALSER REAL ESTATE, LLC
7700 FRANCE AVENUE SOUTH SUITE 410 N
EDINA, MN 55435

I HEREBY CERTIFY THAT THE PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA
DAVID T. BADE
DATE: 03/06/2023 LICENSE NO. _____

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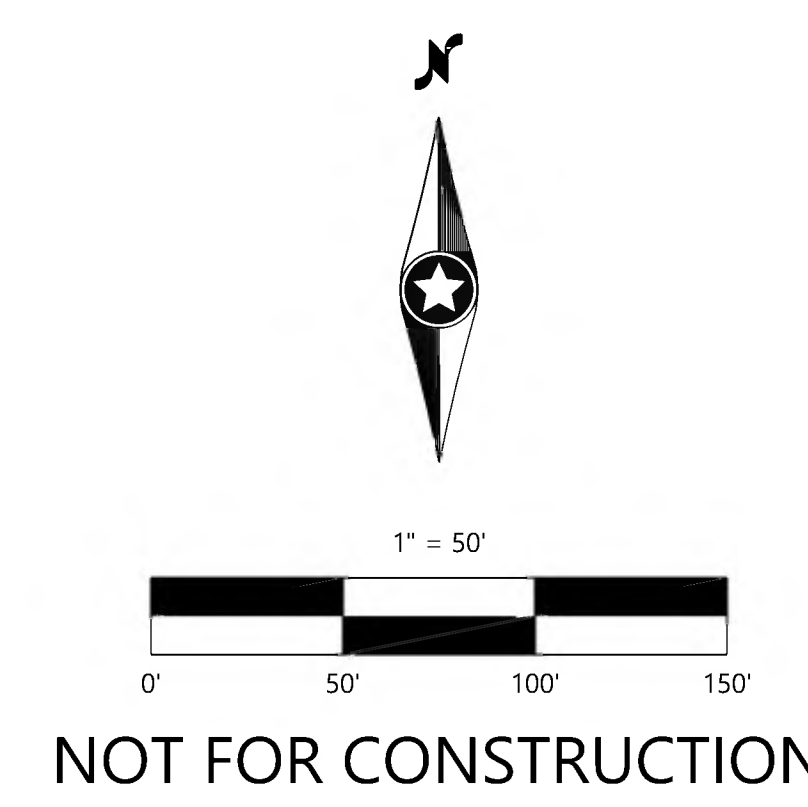
OVERALL SITE PLAN

SHEET NUMBER:

C200

DATE: 03/06/2023

PROJECT NUMBER: 0036502.00



DESIGNED	03/06/2023
CHECKED	
DRAWN	
HORIZONTAL SCALE	3/8"
VERTICAL SCALE	3/8"

PREPARED FOR:
WALSER REAL ESTATE, LLC
7700 FRANCE AVENUE SOUTH SUITE 410 N
EDINA, MN 55435

I HEREBY CERTIFY THAT THE PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
DATE: _____ LICENSE NO. _____

WALSER KIA MINNETONKA
MINNETONKA, MN

Westwood
Professional Services, Inc.
12700 Whittaker Drive, Suite #300
Minnetonka, MN 55343
Phone: (952) 837-2155
Fax: (952) 837-2222
www.westwoodps.com

ENLARGED SITE PLAN

SHEET NUMBER:

C201

DATE: 03/06/2023

PROJECT NUMBER: 0036502.00

1 SITE DETAILS (SI-0XX)

- 1 B612 CURB AND GUTTER
- 2D FLUSH CURB AND GUTTER
- 8 PRIVATE CONCRETE SIDEWALK
- 10 PRIVATE PARALLEL PEDESTRIAN CURB RAMP
- 13 TRAFFIC ARROW
- 15 HANDICAP ACCESSIBLE SIGNAGE AND STRIPING
- 18 BOLLARD
- 19 PAVEMENT SECTIONS
- 22 SAW CUT CONTROL JOINT
- 32 CURB CUT
- 40 MODULAR BLOCK RETAINING WALL

A KEY NOTES

- A PROPOSED PYLON SIGN (SEE ARCH)
- B TRASH ENCLOSURE
- C TRANSITION CURB AND GUTTER - B612 TO FLUSH
- D WATER REUSE CISTERN
- E LIGHT POLE - SEE ARCH

S.10 SIGN LEGEND

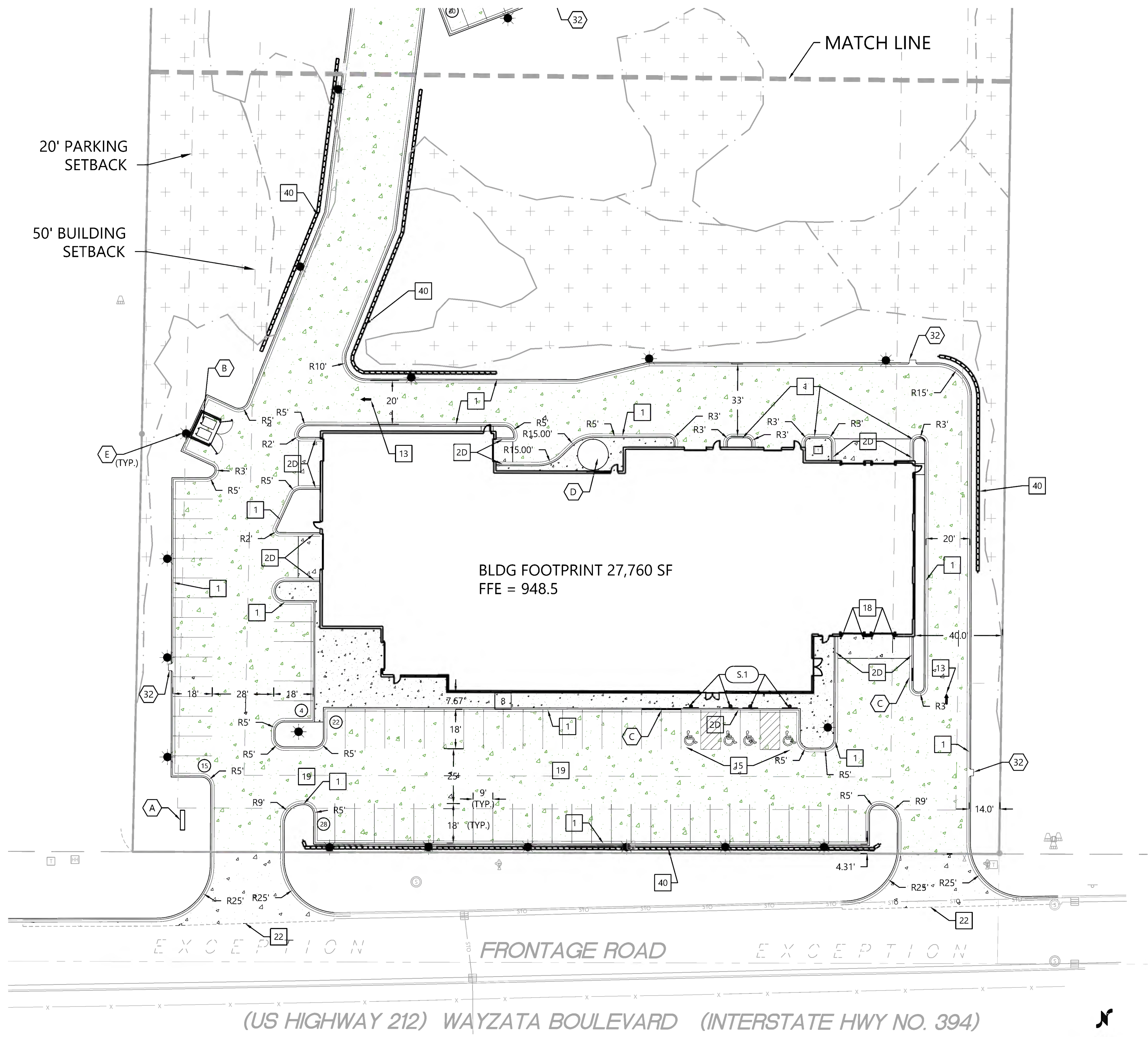
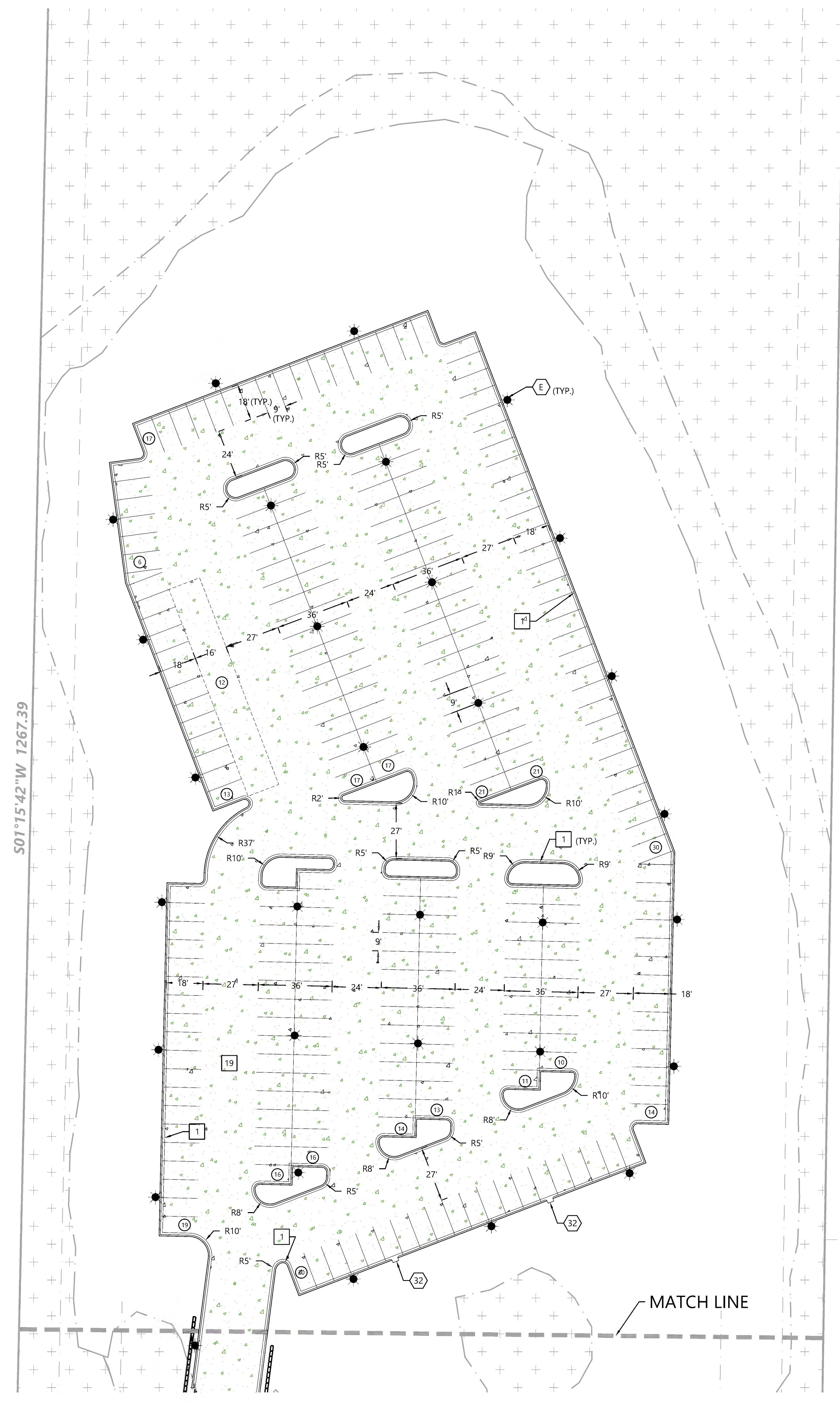
REFERENCE	SIZE	MnDOT DESIGNATION
S.1	HANDICAP ACCESSIBLE	12" X 18" R7-8M

PARKING SUMMARY

PARKING LOT	9'X18' STALLS	9'X16' DOUBLE STALLS	TOTAL STALLS
INVENTORY - NORTH	275	12	287
CUSTOMER/SERVICE - SOUTH	69	--	69
TOTAL	344	--	356

SITE LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		LOT LINE
		SETBACK LINE
		EASEMENT LINE
		CURB AND GUTTER
		TIP-OUT CURB AND GUTTER
		WETLAND EDGE
		RETAINING WALL
		FENCE
		PERVIOUS CONCRETE PAVEMENT
		CONCRETE SIDEWALK
		CONCRETE PAVEMENT
		NORMAL DUTY BITUMINOUS PAVEMENT
		NUMBER OF PARKING STALLS
		TRANSFORMER
		SITE LIGHTING
		TRAFFIC SIGN
		POWER POLE
		BOLLARD / POST



1" = 30'

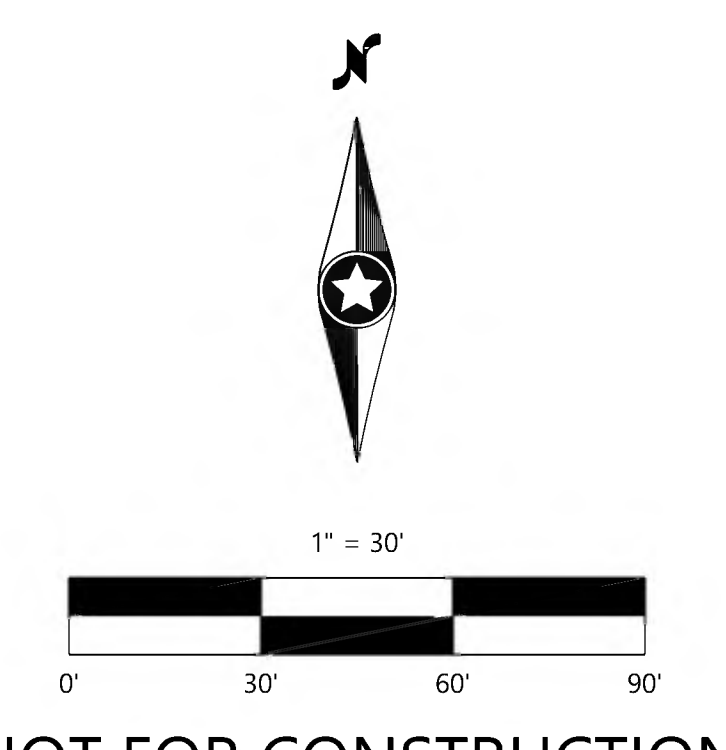
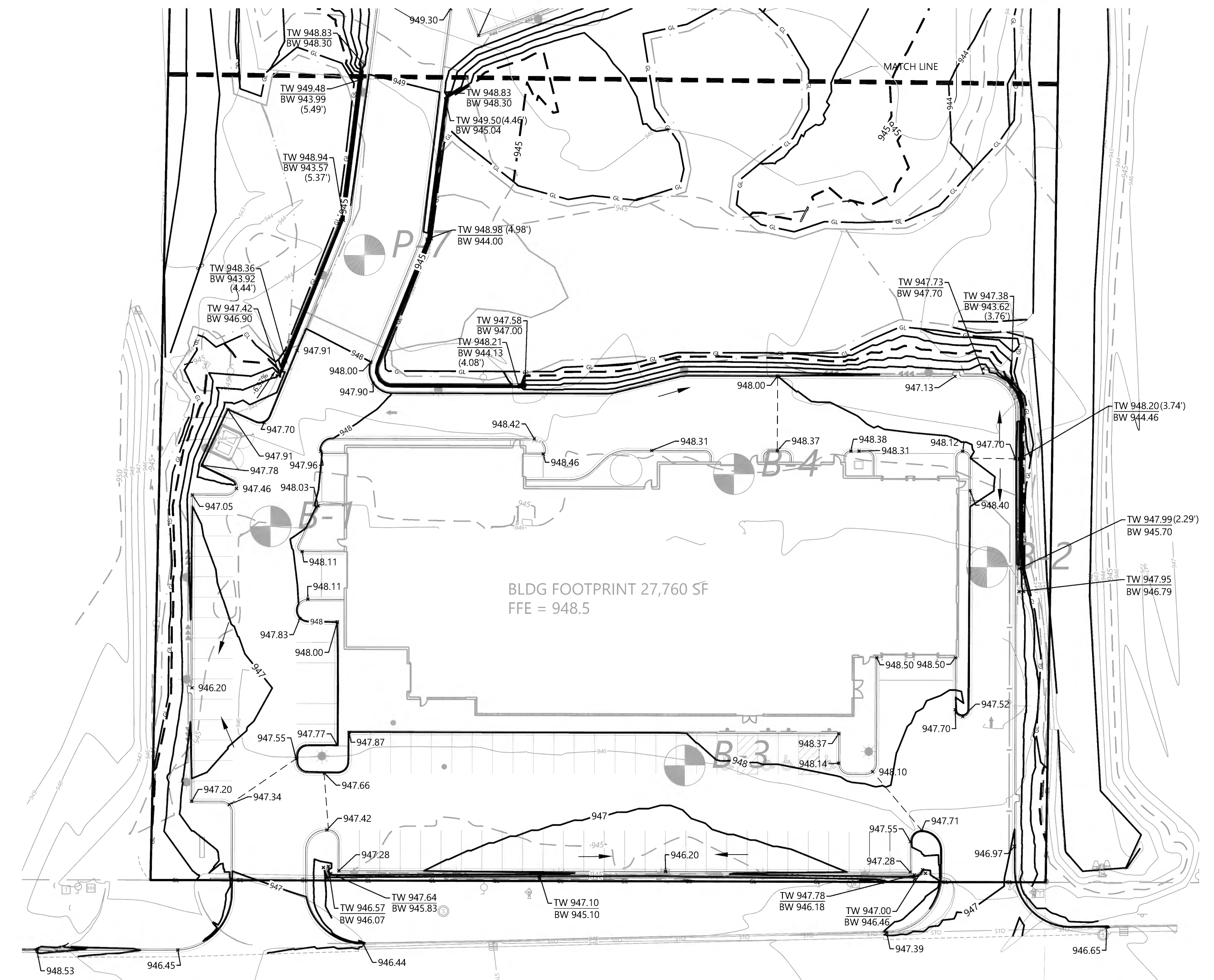
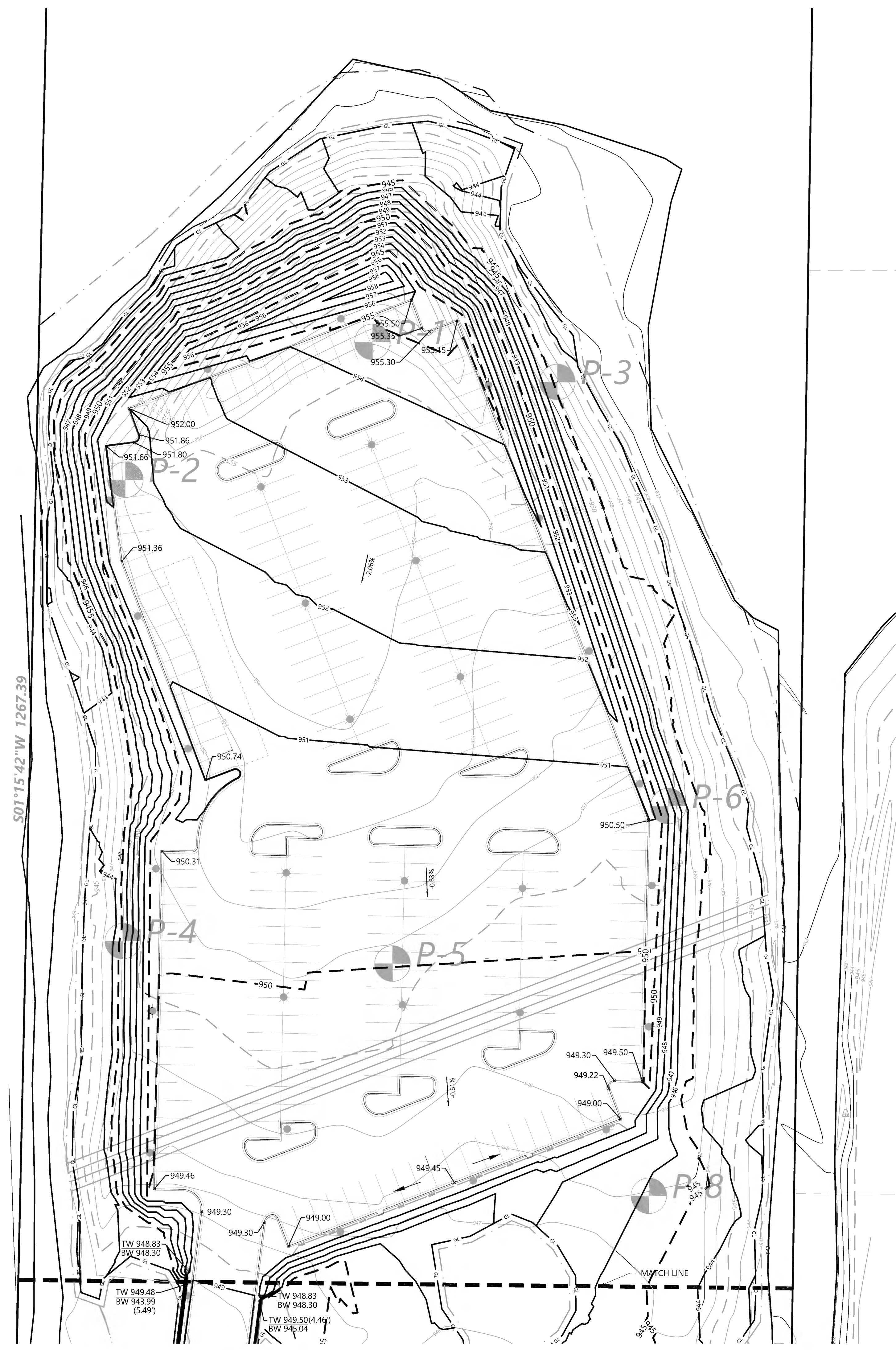
NOT FOR CONSTRUCTION

GRADING NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.

GRADING LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		RIDGE LINE
		GRADING LIMITS
		SPOT ELEVATION
		FLOW DIRECTION
		TOP AND BOTTOM OF RETAINING WALL
		EMERGENCY OVERFLOW
		SOIL BORING LOCATION
		WETLAND EDGE



NOT FOR CONSTRUCTION

DESIGNED	CHECKED	DRAWN	INTERPRETED	SCALE
DATE: 03/06/2023				

PREPARED FOR:
WALSER REAL ESTATE, LLC
7700 FRANCE AVENUE SOUTH SUITE 410 N
EDINA, MN 55435

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
DAVID T. BADE
DATE: 03/06/2023 LICENSE NO. _____

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MINNETONKA, MN

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(952) 837-2222
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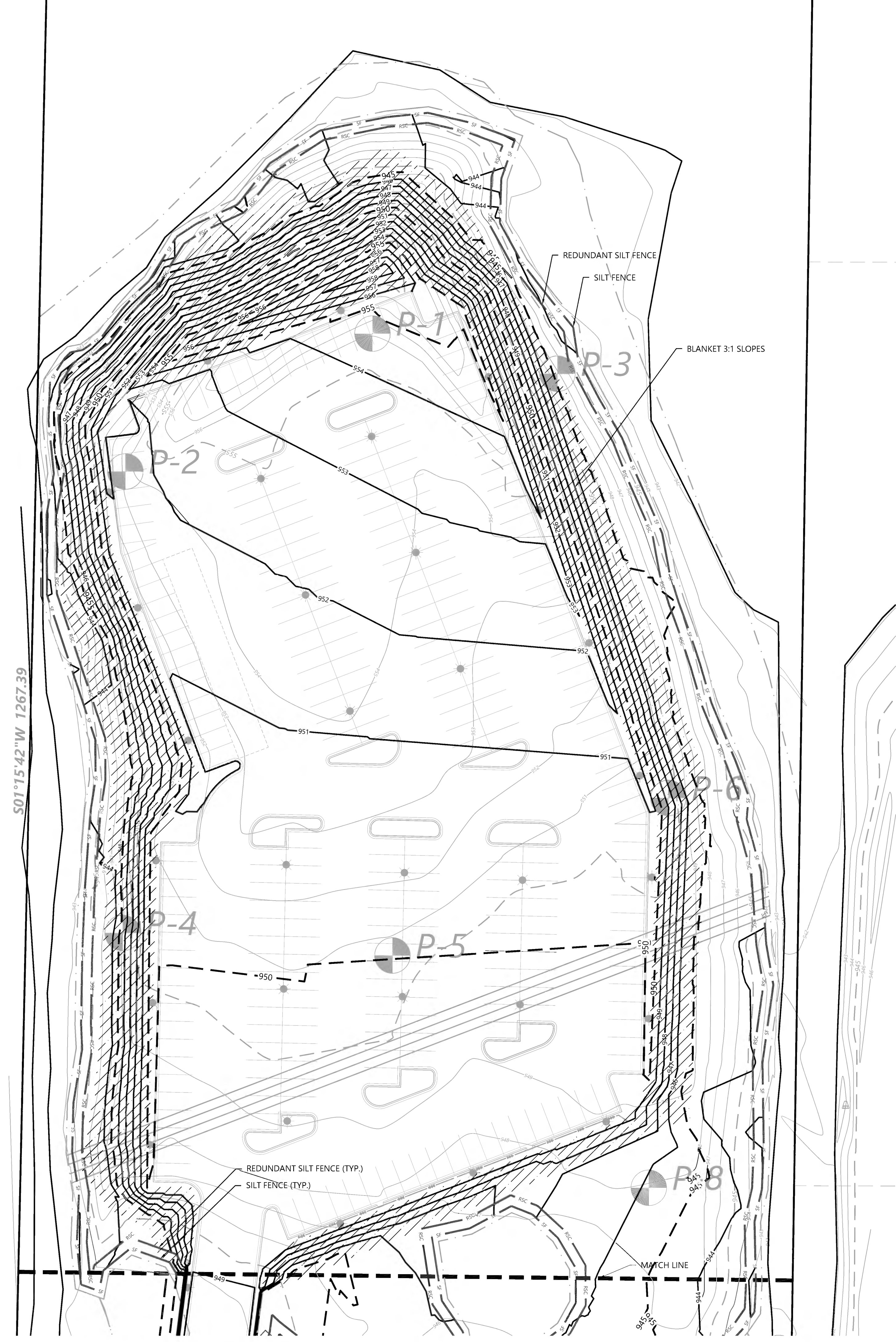
GRADING PLAN

SHEET NUMBER:

C300

DATE: 03/06/2023

PROJECT NUMBER: 0036502.00

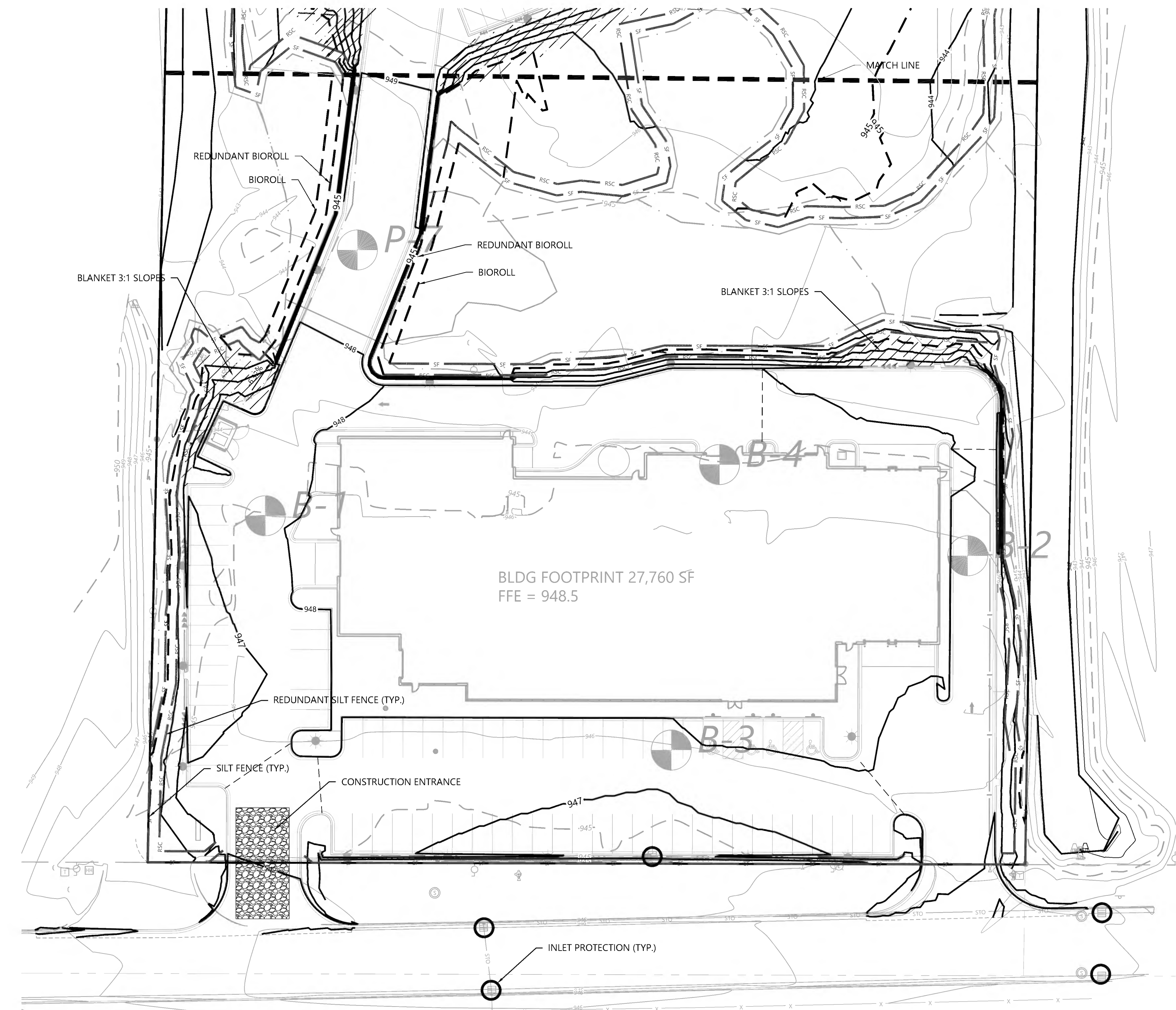


GENERAL EROSION CONTROL NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
2. ALL SILT FENCE AND OTHER EROSION CONTROL FEATURES SHALL BE IN-PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED. EXISTING SILT FENCE ON-SITE SHALL BE MAINTAINED AND OR REMOVED AND SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONTRACT. IT IS OF EXTREME IMPORTANCE TO BE AWARE OF CURRENT FIELD CONDITIONS WITH RESPECT TO EROSION CONTROL. TEMPORARY PONDING, DIKES, HAYBALES, ETC., REQUIRED BY THE CITY SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
3. EROSION AND SILTATION CONTROL (ESC): THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL THE EROSION AND SILTATION INCLUDING BUT NOT LIMITED TO: CATCH BASIN INSERTS, CONSTRUCTION ENTRANCES, EROSION CONTROL BLANKET, AND SILT FENCE. ESC SHALL COMMENCE WITH GRADING AND CONTINUE THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER. THE CONTRACTOR'S RESPONSIBILITY INCLUDES ALL IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER MAY DIRECT THE CONTRACTOR'S METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITION OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR IN EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN EVENT. AFFECTED AREAS SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER, ALL AT THE EXPENSE OF THE CONTRACTOR. ALL TEMPORARY EROSION CONTROL SHALL BE REMOVED BY THE CONTRACTOR AFTER THE TURF IS ESTABLISHED.
4. ALL STREETS DISTURBED DURING WORKING HOURS MUST BE CLEANED AT THE END OF EACH WORKING DAY. A CONSTRUCTION ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO DETAILS TO REDUCE TRACKING OF DIRT ONTO PUBLIC STREETS.
5. ALL UNPAVED AREAS ALTERED DUE TO CONSTRUCTION ACTIVITIES MUST BE RESTORED WITH SEED AND MULCH, SOD, EROSION CONTROL BLANKET OR BE HARD SURFACE WITHIN 2 WEEKS OF COMPLETION OF CONSTRUCTION.
6. THE SITE MUST BE STABILIZED PER THE REQUIREMENTS OF THE MPCA, NPDES, MNDOT, AND CITY.
 - A. TEMPORARY (GREATER THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX
 - B. TEMPORARY (LESS THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX 21-112 (FALL) OR 21-111 (SPRING/SUMMER) AT 100-POUNDS PER ACRE
 - C. GENERAL SEEDING SHALL BE MNDOT SEED MIX 25-151 AT 70-POUNDS PER ACRE.
 - D. MULCH SHALL BE MNDOT TYPE 1 APPLIED AT 2-TONS PER ACRE.
9. FOR AREAS WITH SLOPE OF 3:1 OR GREATER, RESTORATION WITH SOD OR EROSION CONTROL BLANKET IS REQUIRED.
10. ALL TEMPORARY STOCKPILES MUST HAVE SILT FENCE INSTALLED AROUND THEM TO TRAP SEDIMENT.
11. ALL CONSTRUCTION SHALL CONFORM TO LOCAL AND STATE RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
12. THE SITE MUST BE KEPT IN A WELL-DRAINED CONDITION AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DITCHES, PIPING OR OTHER MEANS REQUIRED TO INSURE PROPER DRAINAGE DURING CONSTRUCTION. LOW POINTS IN ROADWAYS OR BUILDING PADS MUST BE PROVIDED WITH A POSITIVE OUTFLOW.
13. PUBLIC STREETS USED FOR HAULING SHALL BE KEPT FREE OF SOIL AND DEBRIS. STREET SWEEPING SHALL BE CONCURRENT WITH SITE WORK.

EROSION CONTROL LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		SILT FENCE
		REDUNDANT SILT CONTROL
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		GRADING LIMITS
		ROCK CONSTRUCTION ENTRANCE
		EROSION CONTROL BLANKET
		TURF REINFORCEMENT MAT
		EMERGENCY OVERFLOW
		SOIL BORING LOCATION
		INLET PROTECTION



1" = 30'

0' 30' 60' 90'

NOT FOR CONSTRUCTION

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

DESIGNED:	03/06/2023
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	3"
VERTICAL SCALE:	3"

PREPARED FOR:
WALSER REAL ESTATE, LLC
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DAVID T. BADE
DATE: 03/06/2023 LICENSE NO. _____

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Westwood Professional Services, Inc.

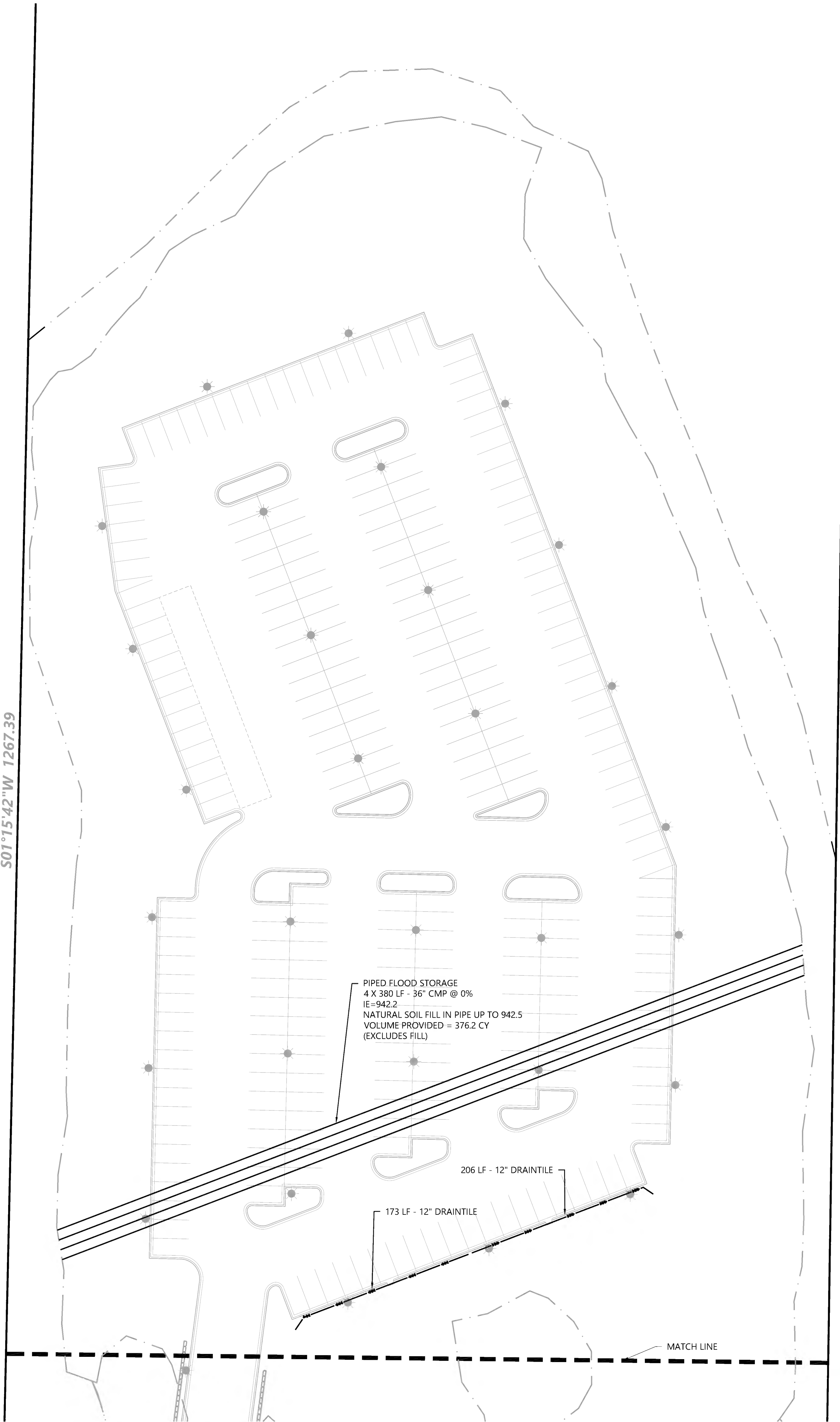
WALSER KIA MINNETONKA
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Westwood Professional Services, Inc.

EROSION CONTROL PLAN

SHEET NUMBER:
C400
DATE: 03/06/2023
PROJECT NUMBER: 0036502.00

S01°15'42"W 1267.39



GENERAL UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SANITARY SEWER, STORM SEWER AND WATER MAIN MATERIAL AND INSTALLATIONS SHALL BE PER CITY REQUIREMENTS, MINNESOTA PLUMBING CODE, AND IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
- ALL PRIVATE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- WATER MAIN LENGTHS AS SHOWN ARE APPROXIMATE HORIZONTAL LENGTHS. ALLOW FOR ADDITIONAL PIPE WHEN INSTALLING ON SLOPES OR WHEN DEFLECTIONS ARE REQUIRED. THE JOINT DEFLECTIONS SHALL NOT EXCEED THE MAXIMUM RECOMMENDED BY THE PIPE MANUFACTURER OR BY LOCAL GOVERNING SPECIFICATIONS. FITTINGS REQUIRED TO CONSTRUCT WATER MAIN SHALL BE INCLUDED IN WATER MAIN CONSTRUCTION.
- PROVIDE WATER MAIN THRUST RESTRAINTS PER CITY STANDARD REQUIREMENTS.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER LINE CROSSINGS WITH SANITARY SEWER OR STORM SEWER. THE WATER LINE SHALL NOT HAVE JOINTS OR CONNECTION WITHIN 10-FEET OF THE CROSSING. INSULATE CROSSINGS WITH STORM SEWER.
- UTILITY SERVICES TYPICALLY TERMINATE 5' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
- DUCTILE IRON WATER LINES SHALL BE CLASS 52, PER AWWA C115 OR C151. COPPER WATER LINES SHALL BE TYPE K PER ASTM B88. PVC WATER LINES SHALL BE PER AWWA C900 AND INSTALLED PER AWWA C605 IF ALLOWED BY CITY.
- ALL WATER LINES SHALL HAVE 7.5' MINIMUM COVER. INSULATE WATER MAIN IF LESS THAN 8' OF COVER. INSULATION SHALL BE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, WITH 4 INCHES OF THICKNESS.
- SANITARY SEWER PIPE OUTSIDE THE BUILDING ENVELOPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 OR 26. SDR 26 IS REQUIRED FOR DEPTHS GREATER THAN 15 FEET. SANITARY SEWER PIPE WITHIN 5 FEET OF THE BUILDING AND UNDER FOOTINGS SHALL BE SCHEDULE 40 PER ASTM D2665. ALL PLASTIC SANITARY SEWER SHALL BE INSTALLED PER D2321. SOLVENT WELD JOINTS MUST INCLUDE USE OF A PRIMER WHICH IS OF A CONTRASTING COLOR TO THE PIPE AND CEMENT. ALL SANITARY SEWER SHALL BE TESTED ACCORDING TO MINNESOTA PLUMBING CODE, PART 712.0.
- STORM SEWER PIPE:
 - RCP AND HDPE PIPE MAY BE INSTALLED WITH APPROVAL OF LOCAL GOVERNING AGENCY.
 - REINFORCED CONCRETE PIPE SHALL BE CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED, PER ASTM C76, WITH GASKETS PER ASTM C443.
 - HDPE STORM PIPE 4" TO 10-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF AASHTO M252. HDPE STORM PIPE 12" TO 60-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF ASTM F2306. FITTINGS SHALL BE PER ASTM D3212 AND INSTALLED PER ASTM D2321.
 - PVC STORM SEWER PIPE AND FITTINGS SHALL BE SCHEDULE 40 PIPE PER ASTM D2665 AND INSTALLED PER ASTM D2321.
 - CORRUGATED METAL PIPE (CMP) FOR SIZES 18" TO 120-INCH AND MUST MEET ASTM A750 OR ASTM A798 AND BE INSTALLED PER ASTM A798. CMP MAY NOT BE INSTALLED WITHIN 10' FEET OF A WATERMAIN, WATER SERVICE, OR A BUILDING.
 - ALL STORM SEWER JOINTS AND STRUCTURE CONNECTIONS SHALL BE GASTIGHT OR WATERTIGHT AS REQUIRED BY MINNESOTA PLUMBING CODE, PART 707.3. STORM SEWER LOCATED WITHIN 10'-FEET OF A BUILDING AND/OR WATER LINE SHALL BE TESTED PER MINNESOTA PLUMBING CODE, PART 712.
- ALL NONCONDUCTIVE PIPE SHALL BE INSTALLED WITH A LOCATE (TRACER) WIRE PER MINNESOTA RULES, PART 7560.0150.
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.
- ALL MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.
- ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.15 FEET AND MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.

UTILITY LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	SANITARY SEWER
---	---	SANITARY SEWER FORCE MAIN
---	---	STORM SEWER
---	---	WATER MAIN
---	---	HYDRANT
---	---	GAS
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND TELEPHONE
---	---	OVERHEAD TELEPHONE
---	---	TELEPHONE FIBER OPTIC
---	---	CABLE TELEVISION
---	---	DRAIN TILE
---	---	GATE VALVE
---	---	FLARED END SECTION (WITH RIPRAP)
---	---	LIGHT POLE

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

DESIGNED	_____
CHECKED	_____
DRAWN	_____
HORIZONTAL SCALE	1" = 30'
VERTICAL SCALE	1" = 30'

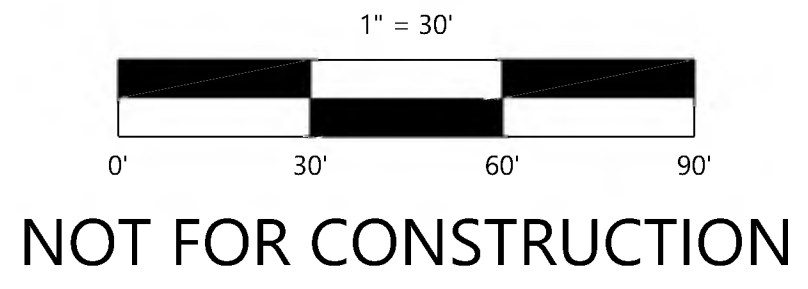
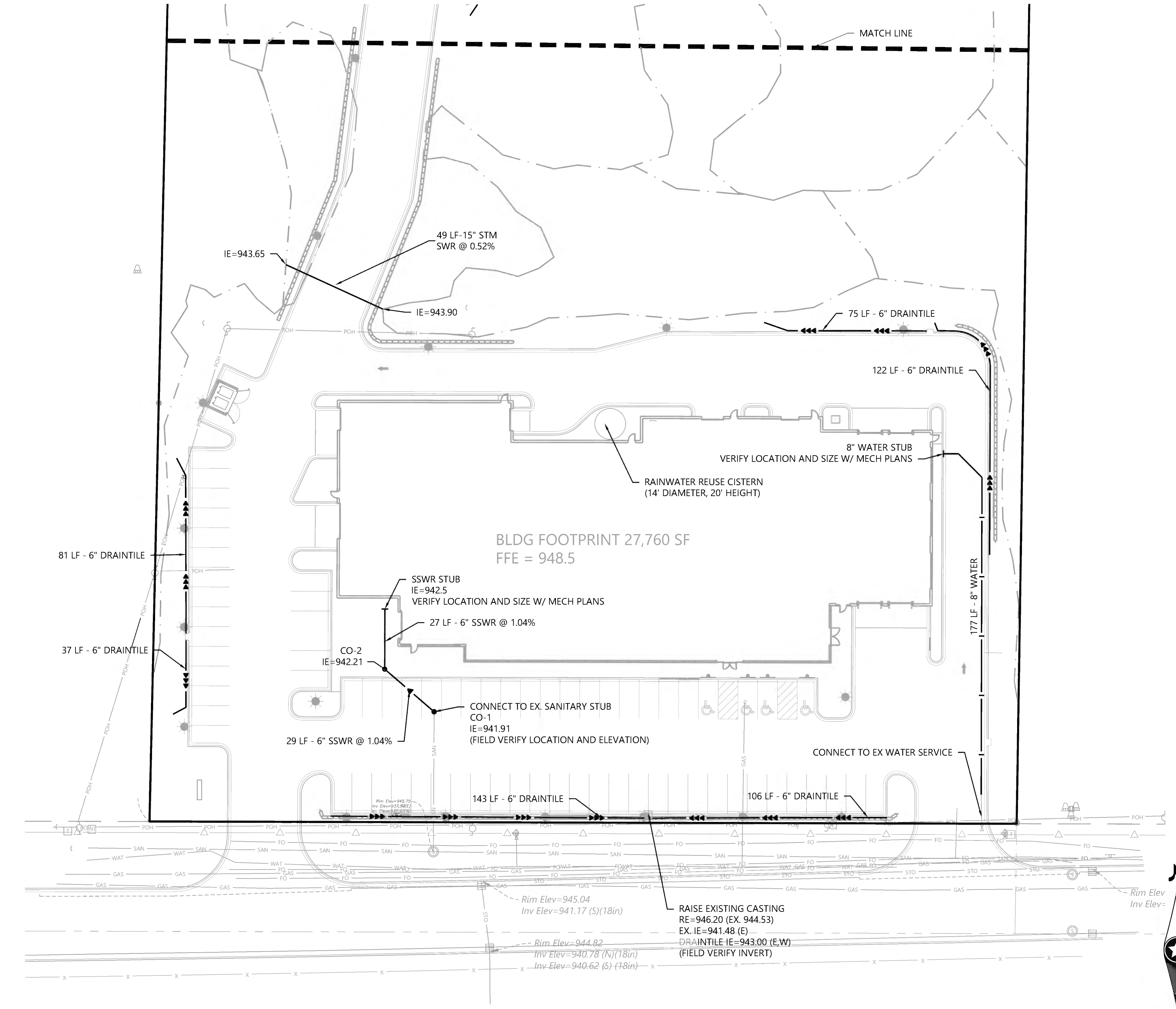
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UTILITY PLAN

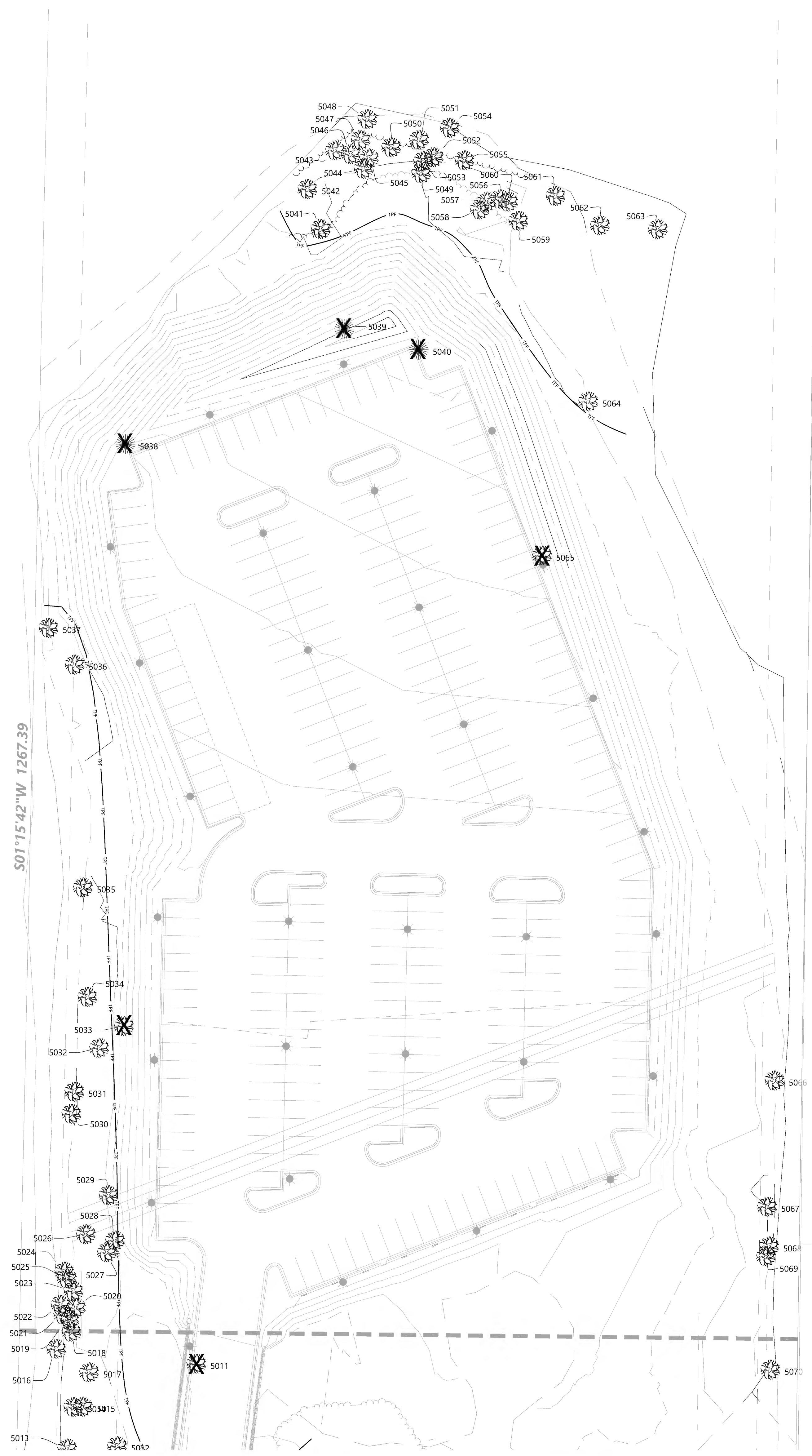


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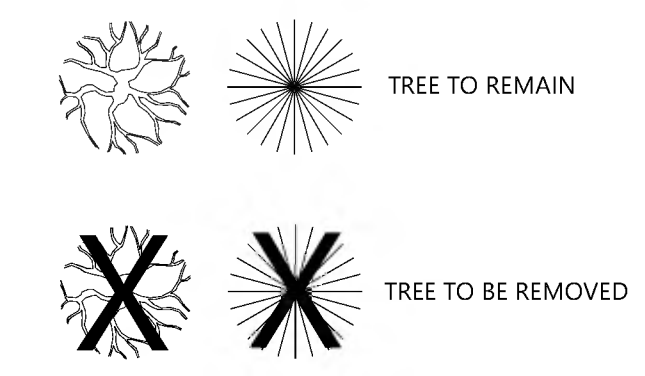
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DATE: 03/06/2023

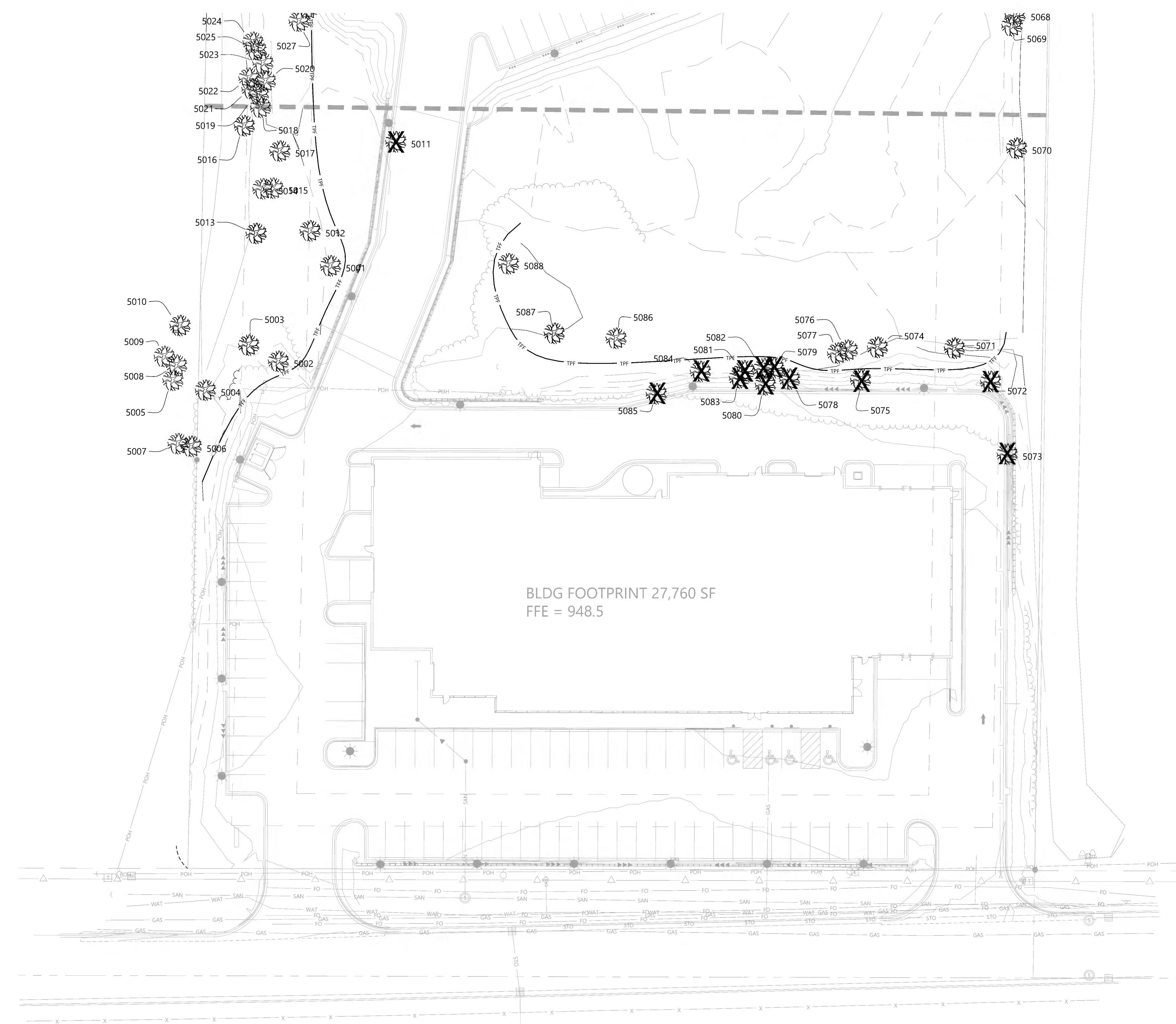
PROJECT NUMBER: 0036502.00



LANDSCAPE LEGEND



TWP TREE PROTECTION FENCING (SEE L201 FOR DETAIL)



TREE INVENTORY

NO.	Species	DBH (in.)	High Priority	Significant	Multistem	Damaged	Removal
5001	Black Willow	10	X		X		
5002	Black Willow	13	X		X	X	
5003	Black Willow	14	X		X	X	
5004	Cottonwood	23	X				
5005	Cottonwood	12	X		X		
5006	Cottonwood	10	X		X		
5007	Green Ash	4		X			
5008	Black Willow	13	X		X		
5009	Cottonwood	7		X			
5010	Cottonwood	10	X		X		
5011	Cottonwood	5		X	X		X
5012	Black Willow	6		X			
5013	Black Willow	6		X	X		
5014	Black Willow	10	X				
5015	Cottonwood	7		X		X	
5016	Black Willow	10	X		X		
5017	Black Willow	7		X			
5018	Cottonwood	8		X			
5019	Cottonwood	8		X			
5020	Cottonwood	12	X				
5021	Black Willow	4		X			
5022	Black Willow	5		X			
5023	Black Willow	7		X			
5024	Black Willow	8		X			
5025	Cottonwood	12	X				
5026	Aspen	5		X			
5027	Aspen	7		X			
5028	Aspen	4		X			
5029	Aspen	4		X		X	
5030	Black Willow	4		X	X		
5031	Black Willow	16	X				
5032	Black Willow	5		X		X	
5033	Green Ash	7		X			X
5034	Cottonwood	17	X				
5035	Black Willow	7		X			
5036	Cottonwood	17	X				
5037	Black Willow	10	X		X		
5038	Red Cedar	4		X			X
5039	White Spruce	14	X				X
5040	White Spruce	6		X			X
5041	Cottonwood	16	X				
5042	Cottonwood	16	X				
5043	Cottonwood	16	X				
5044	Cottonwood	10	X				

TREE MITIGATION SUMMARY

TREE REMOVALS

HIGH PRIORITY TREES	
NUMBER REMOVED=	8
DECIDUOUS REMOVED (DBH in)=	108 in
CONIFEROUS REMOVED (ft)=	14 ft
PERCENT OF TREES ON SITE (35% ALLOWED)=	9% (8/88=09)

SIGNIFICANT TREES

NUMBER REMOVED=	9
DECIDUOUS REMOVED (DBH in)=	39 in
CONIFEROUS REMOVED (ft)=	10 ft
PERCENT OF TREES ON SITE (50% ALLOWED)=	10% (9/88=102)

TOTALS

NUMBER REMOVED=	17
DECIDUOUS REMOVED (DBH in)=	147 in
CONIFEROUS REMOVED (ft)=	24 ft
PERCENT OF TREES ON SITE=	19% (17/88=193)

MITIGATION REQUIRED

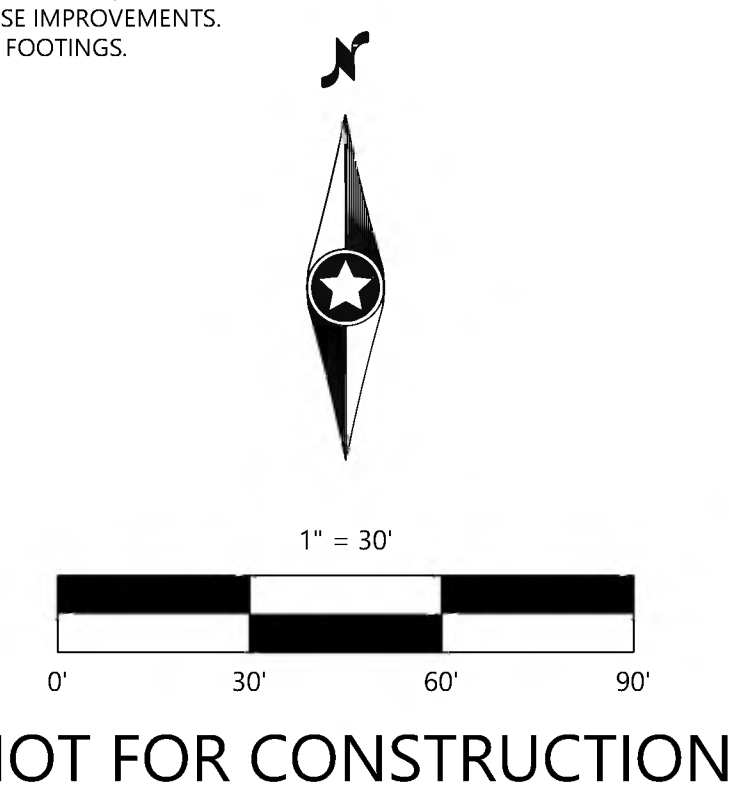
NO MITIGATION REQUIRED- TREE REMOVAL RATES FALL WITHIN ALLOWABLE RATES. ADDITIONALLY, ALL TREES REMOVED FALL WITHIN BASIC TREE REMOVAL AREA

REDEVELOPMENT ON A NON-SINGLE FAMILY PROPERTY REQUIRES MITIGATION FOR:

- HIGH PRIORITY TREES, SIGNIFICANT TREES, AND TREES WITHIN WOODLAND PRESERVATION REMOVED OUTSIDE OF: (1) THE BASIC TREE REMOVAL AREA, AND (2) THE WIDTH OF REQUIRED EASEMENTS FOR PUBLIC AND PRIVATE STREETS AND UTILITIES
- HIGH PRIORITY AND SIGNIFICANT TREES REMOVED FOR SURFACE STORMWATER PRACTICES.

BASIC TREE REMOVAL AREA DEFINED AS:

- WITHIN THE AREAS IMPROVED FOR REASONABLY-SIZED DRIVEWAYS, PARKING AREAS, AND STRUCTURES WITHOUT FROST FOOTINGS AND WITHIN 10 FT AROUND THOSE IMPROVEMENTS.
- WITHIN THE FOOTPRINTS OF, AND 20 FT AROUND, BUILDINGS WITH FROST FOOTINGS.



DESIGNED:	
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	3/8"
VERTICAL SCALE:	3/8"

PREPARED FOR:
WALSER REAL ESTATE, LLC
7700 FRANCE AVENUE SOUTH SUITE 410 N
EDINA, MN 55435

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA.
DATE: 03/06/2023 LICENSE NO. _____

WALSER KIA MINNETONKA
MINNETONKA, MN

Westwood
Professional Services, Inc.
12700 Whittaker Drive, Suite #200
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(952) 937-2155
www.westwoodps.com

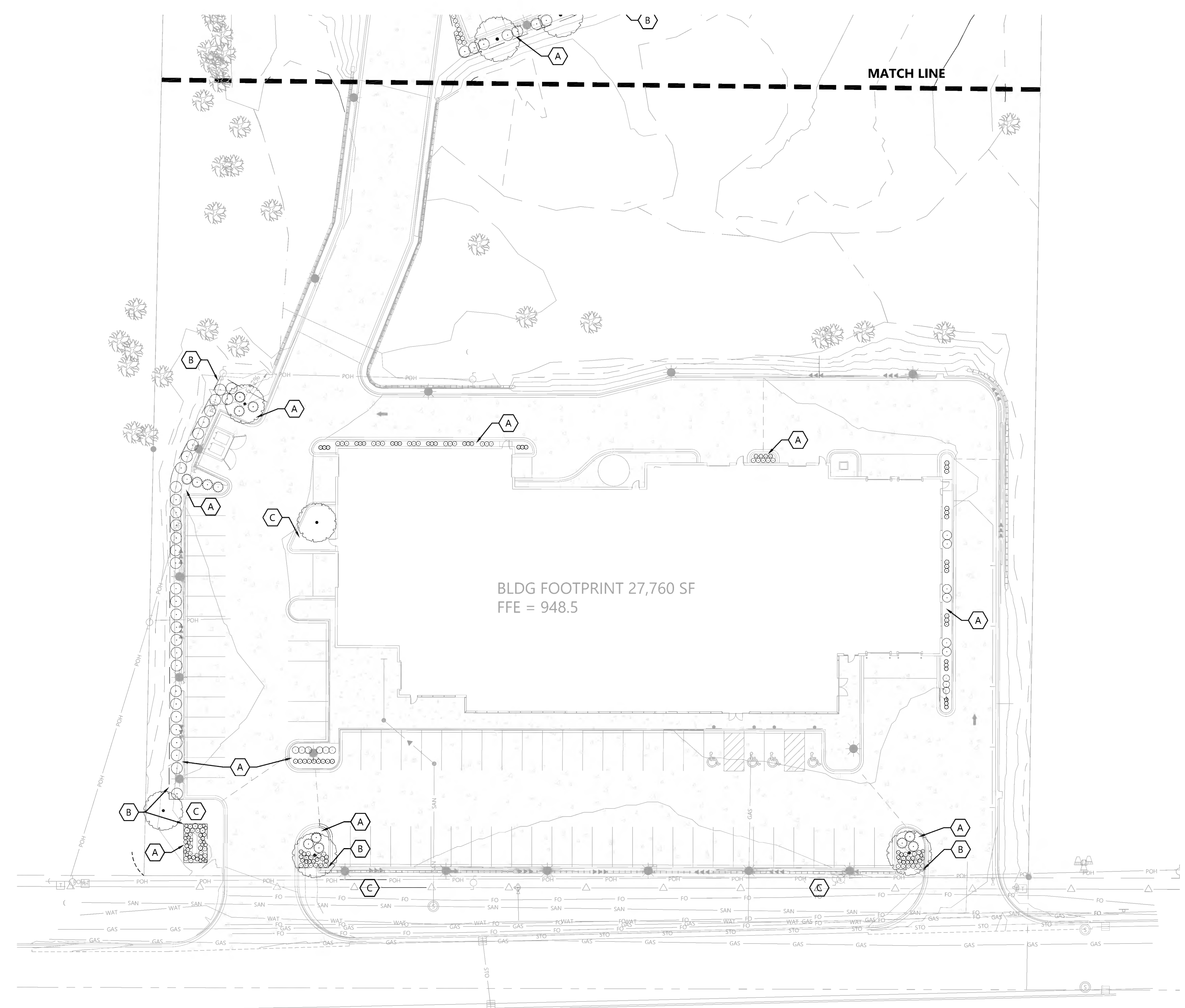
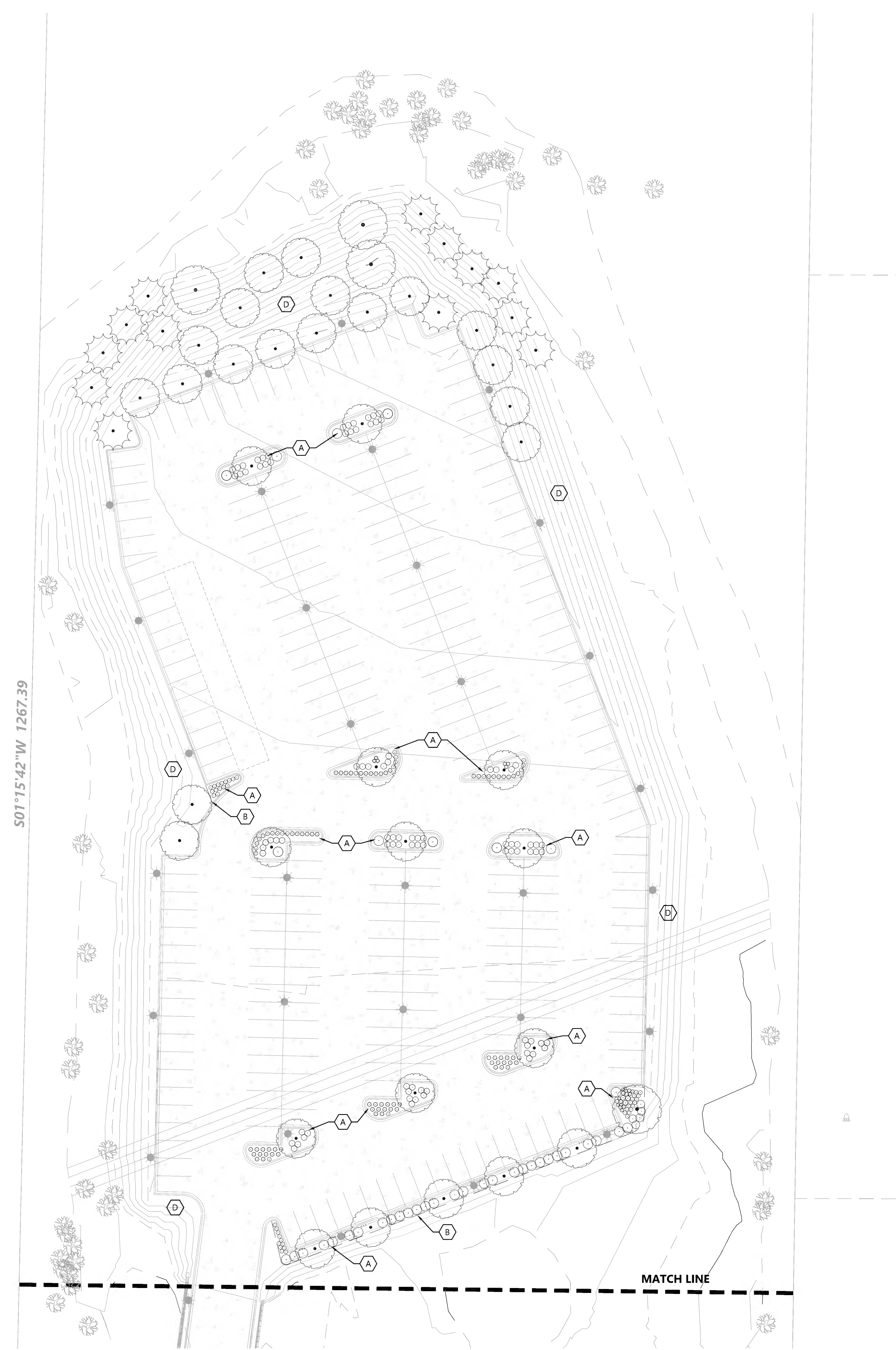
TREE PRESERVATION PLAN

SHEET NUMBER:

L100

DATE: 03/06/2023

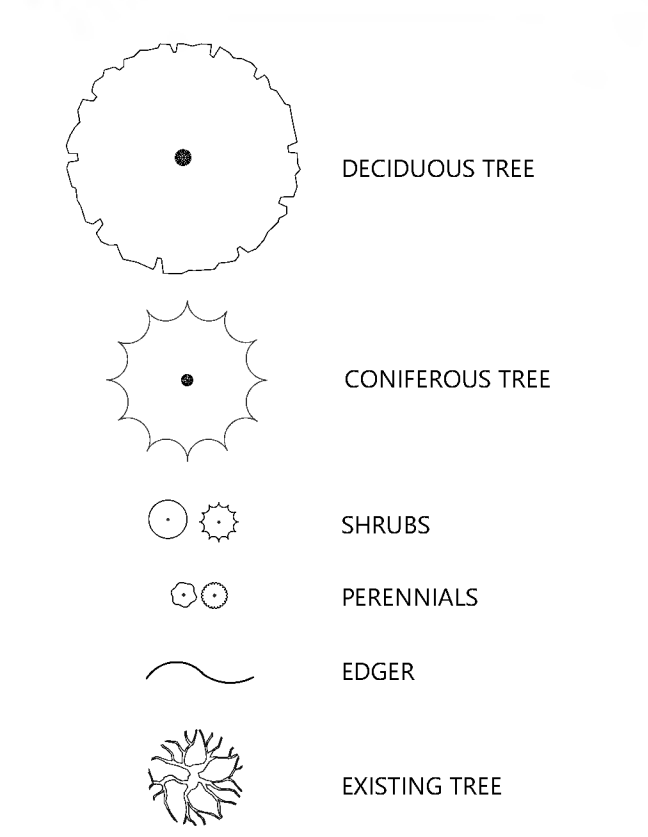
PROJECT NUMBER: 0036502.00



PLANT SCHEDULE

COMMON / BOTANICAL NAME	SIZE	SPACING O.C.
CONIFEROUS TREES 13		
TAM 5 TAMARACK / LARIX LARICINA	6' HT B&B	AS SHOWN
BHS 2 BLACK HILLS WHITE SPRUCE / PICEA GLAUCA 'DENSATA'	6' HT B&B	AS SHOWN
BLS 6 BLACK SPRUCE / PICEA MARIANA	6' HT B&B	AS SHOWN
DECIDUOUS TREES 39		
MAM 13 MATADOR™ FREEMAN MAPLE / ACER X FREEMANII 'BAILSTON'	2.5" CAL	AS SHOWN
RIB 6 RIVER BIRCH / BETULA NIGRA	2.5" CAL	AS SHOWN
SKH 5 SKYLINE® HONEY LOCUST / GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	2.5" CAL	AS SHOWN
SIP 4 SIOUXLAND POPLAR / POPULUS DELTOIDES 'SIOUXLAND'	2.5" CAL	AS SHOWN
SWO 5 SWAMP WHITE OAK / QUERCUS BICOLOR	2.5" CAL	AS SHOWN
PCW 6 PRAIRIE CASCADE WILLOW / SALIX X 'PRAIRIE CASCADE'	2.5" CAL	AS SHOWN
ORNAMENTAL TREES 3		
BBE BLUE BEECH / CARPINUS CAROLINIANA	2.5" CAL	AS SHOWN
CONIFEROUS SHRUBS 13		
BPJ BLUE PRINCE CREEPING JUNIPER / JUNIPERUS HORIZONTALIS 'BLUE PRINCE'	#5 CONT.	5'-0" O.C.
BTS BLUE TEARDROP BLACK SPRUCE / PICEA MARIANA 'BLUE TEARDROP'	#5 CONT.	5'-0" O.C.
DECIDUOUS SHRUB 185		
AFD ARCTIC FIRE® RED TWIG DOGWOOD / CORNUS SERICEA 'FARROW'	#5 CONT.	4'-0" O.C.
IRD ISANTI RED TWIG DOGWOOD / CORNUS SERICEA 'ISANTI'	#5 CONT.	5'-0" O.C.
DBH DWARF BUSH HONEYSUCKLE / DIERVILLA LONICERA	#5 CONT.	3'-0" O.C.
WIN WINTERBERRY / ILEX VERTICILLATA	#5 CONT.	5'-0" O.C.
GLS GRO-LOW FRAGRANT SUMAC / RHUS AROMATICA 'GRO-LOW'	#5 CONT.	5'-0" O.C.
DEC DWARF EUROPEAN CRANBERRYBUSH / VIBURNUM OPULUS 'NANUM'	#5 CONT.	3'-0" O.C.
ANNUALS/PERENNIALS 106		
NEA NEW ENGLAND ASTER / ASTER NOVAE-ANGLIAE	#1 CONT.	18" O.C.
MBC MOONBEAM TICKSEED / COREOPSIS VERTICILLATA 'MOONBEAM'	#1 CONT.	24" O.C.
PUC PURPLE CONEFLOWER / ECHINACEA PURPUREA	#1 CONT.	18" O.C.
BID BAJA DAVILY / HEMEROCALLIS X 'BAJA'	#1 CONT.	18" O.C.
PBS PRAIRIE BLAZINGSTAR / LIATRIS Pycnostachya	#1 CONT.	30" O.C.
BES BLACK EYED SUSAN / RUDBECKIA HIRTA	#1 CONT.	18" O.C.
GRASSES 208		
KFG KARL FOERSTER FEATHER REED GRASS / CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	#1 CONT.	24" O.C.
SSG SHENANDOAH SWITCH GRASS / PANICUM VIRGATUM 'SHENANDOAH'	#1 CONT.	24" O.C.
BLB BLAZE LITTLE BLUESTEM / SCHIZACHYRIUM SCOPARIUM 'BLAZE'	#1 CONT.	18" O.C.
PDS PRAIRIE DROPSSEED / SPOROBOLOUS HETEROLEPIS	#1 CONT.	24" O.C.

LANDSCAPE LEGEND



LANDSCAPE KEYNOTES

- A SHREDDED HARDWOOD MULCH (TYP)
- B EDGER (TYP)
- C SOD (TYP)
- D WETLAND SEED MIX

LANDSCAPE SUMMARY

I-394 DISTRICT LANDSCAPE REQUIREMENTS:
 • ALL EFFORTS SHALL BE TAKEN TO PRESERVE EXISTING NATURAL FEATURES.
 • A MINIMUM LANDSCAPE PLAN INVESTMENT OF 2 PERCENT OF TOTAL PROJECT VALUE IS REQUIRED.
 • DECIDUOUS TREES WILL NOT BE LESS THAN 2 IN BUT NOT MORE THAN 4 IN CALIPER, CONIFEROUS TREES WILL NOT BE LESS THAN 6 FT BUT NOT MORE THAN 8 FT IN HEIGHT.

PARKING LOT LANDSCAPE REQUIREMENTS:
 • ONE TREE FOR EACH 15 SURFACE PARKING SPACES.

TREES REQUIRED= 24 (356/15=23.73)
 TREES PROVIDED= 55
 (13 PROPOSED CONIFEROUS TREES + 39 PROPOSED DECIDUOUS TREES + 3 PROPOSED ORNAMENTAL TREES)

DESIGNED	03/06/2023
CHECKED	
DRAWN	
HORIZONTAL SCALE	3/8"
VERTICAL SCALE	3/8"

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 EDINA, MN 55435

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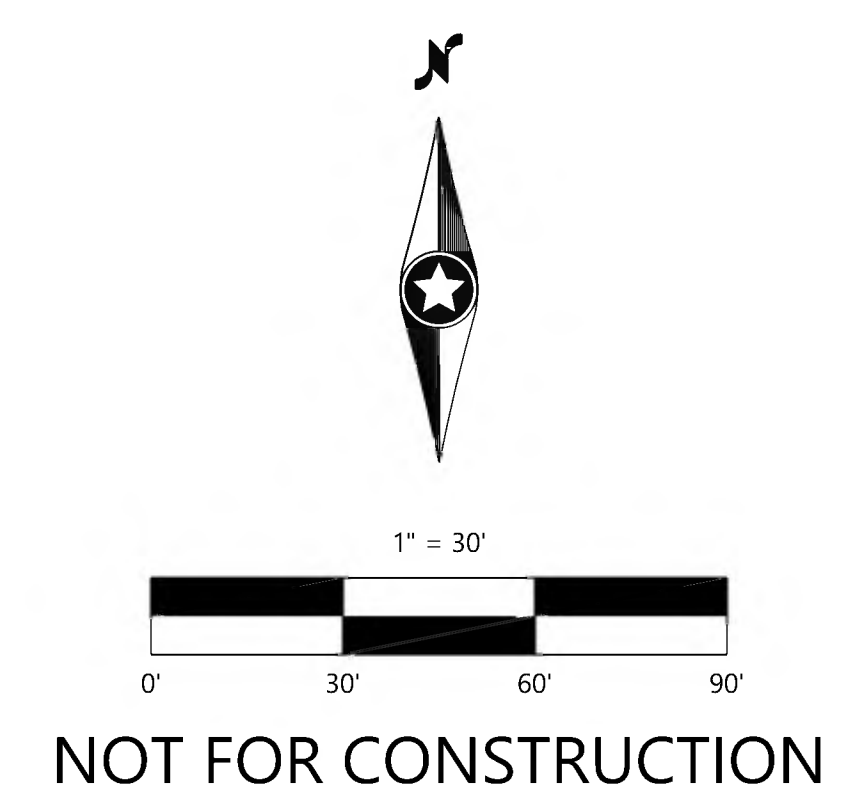
LANDSCAPE PLAN

SHEET NUMBER:

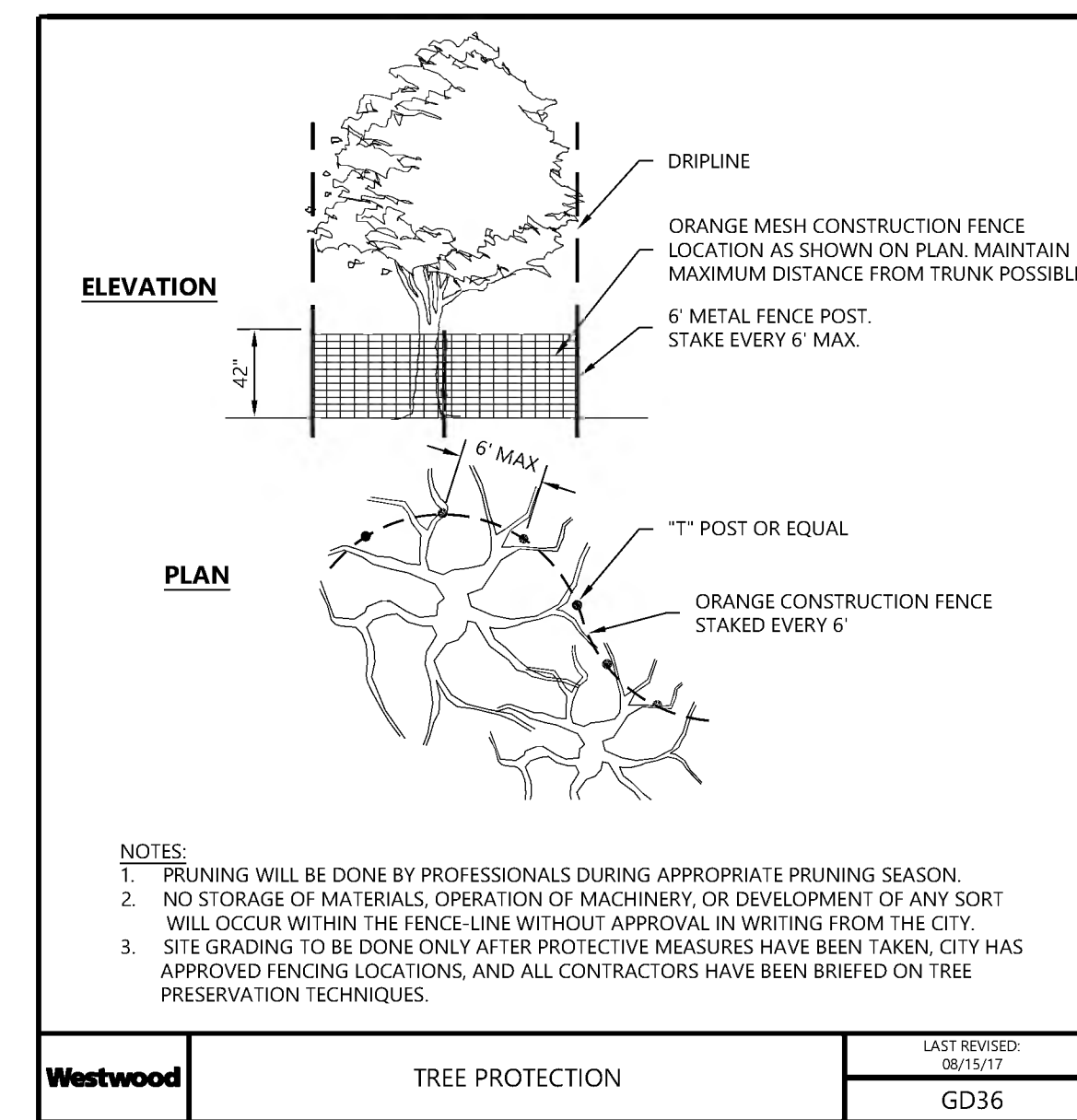
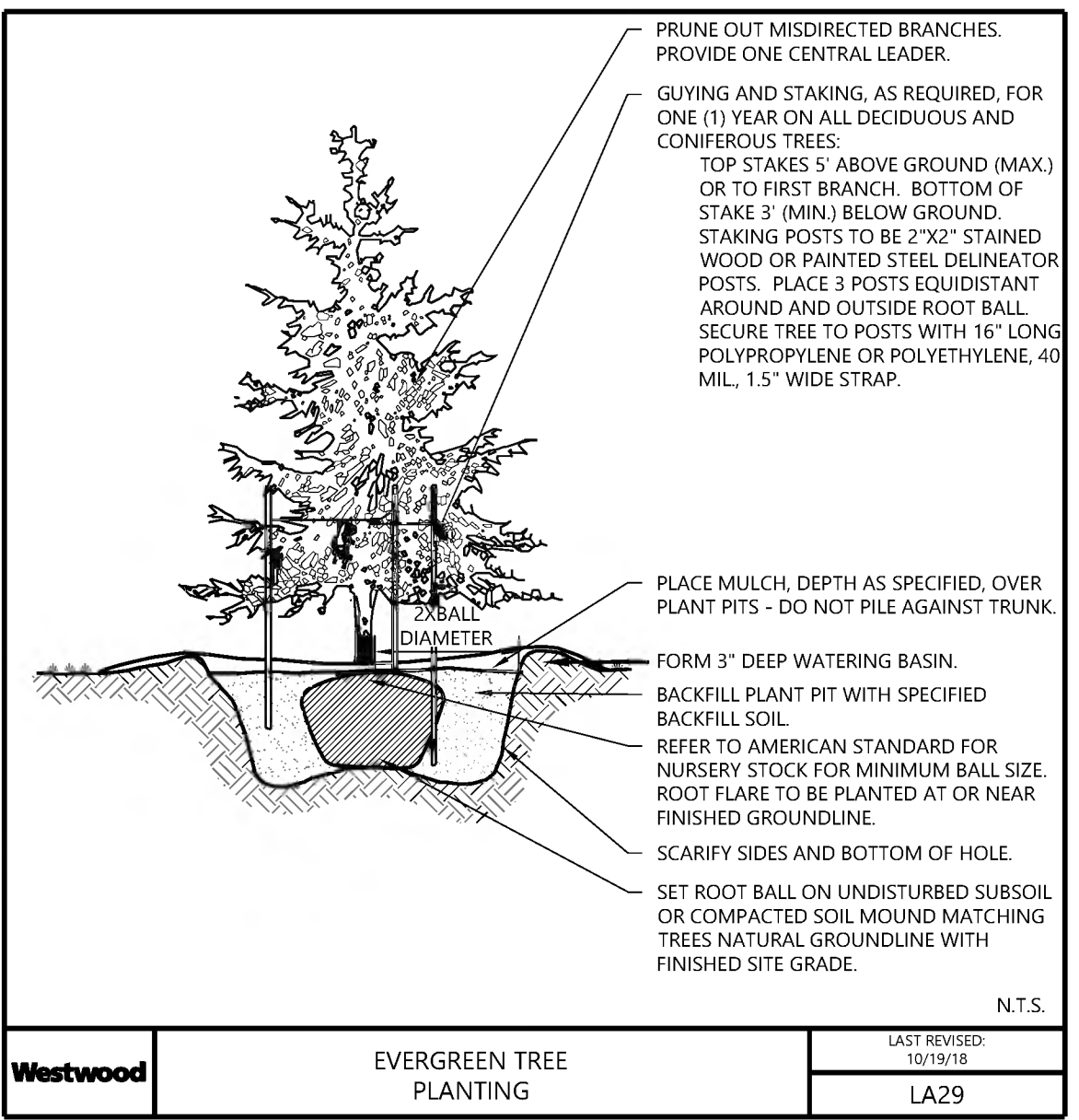
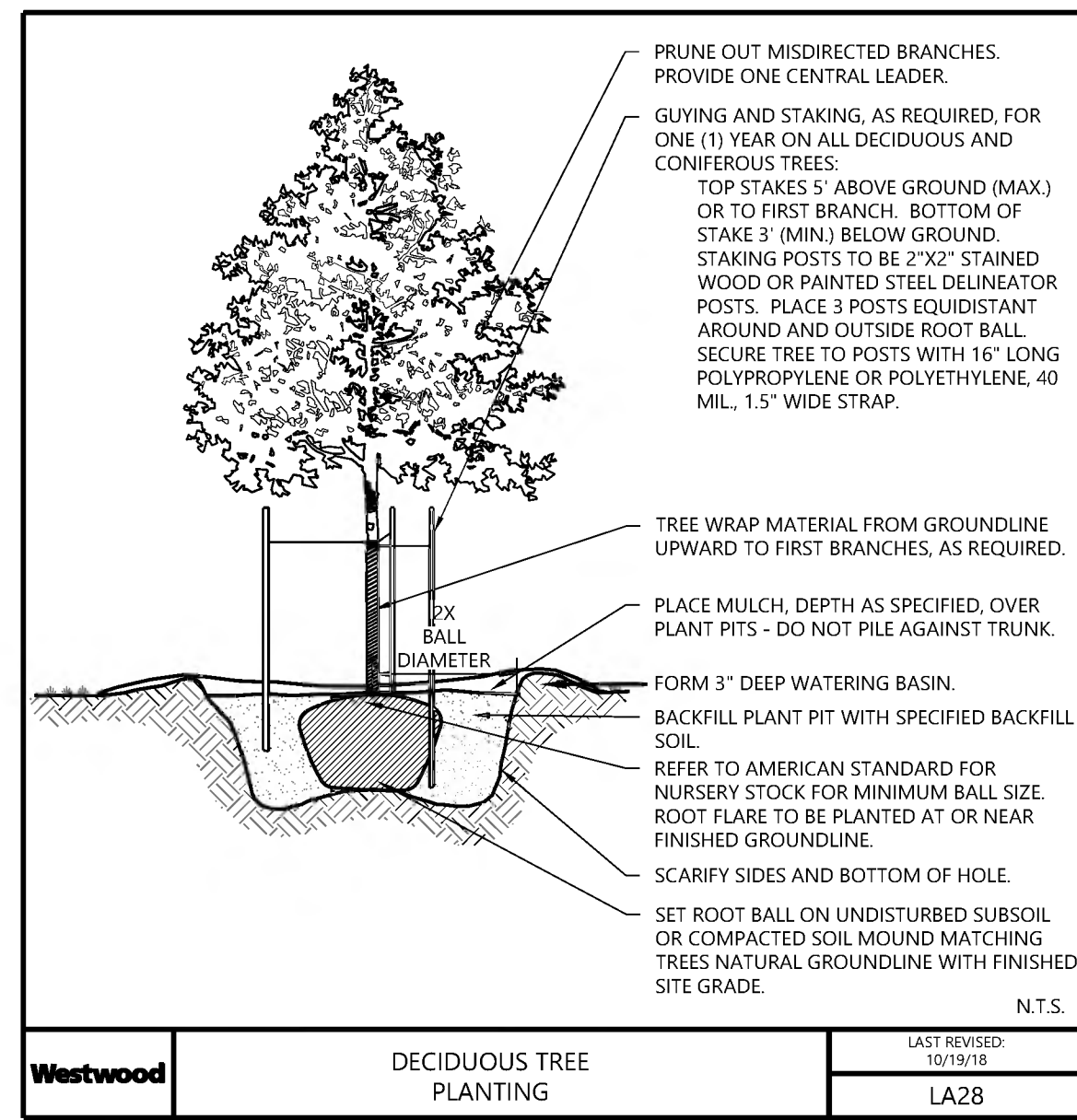
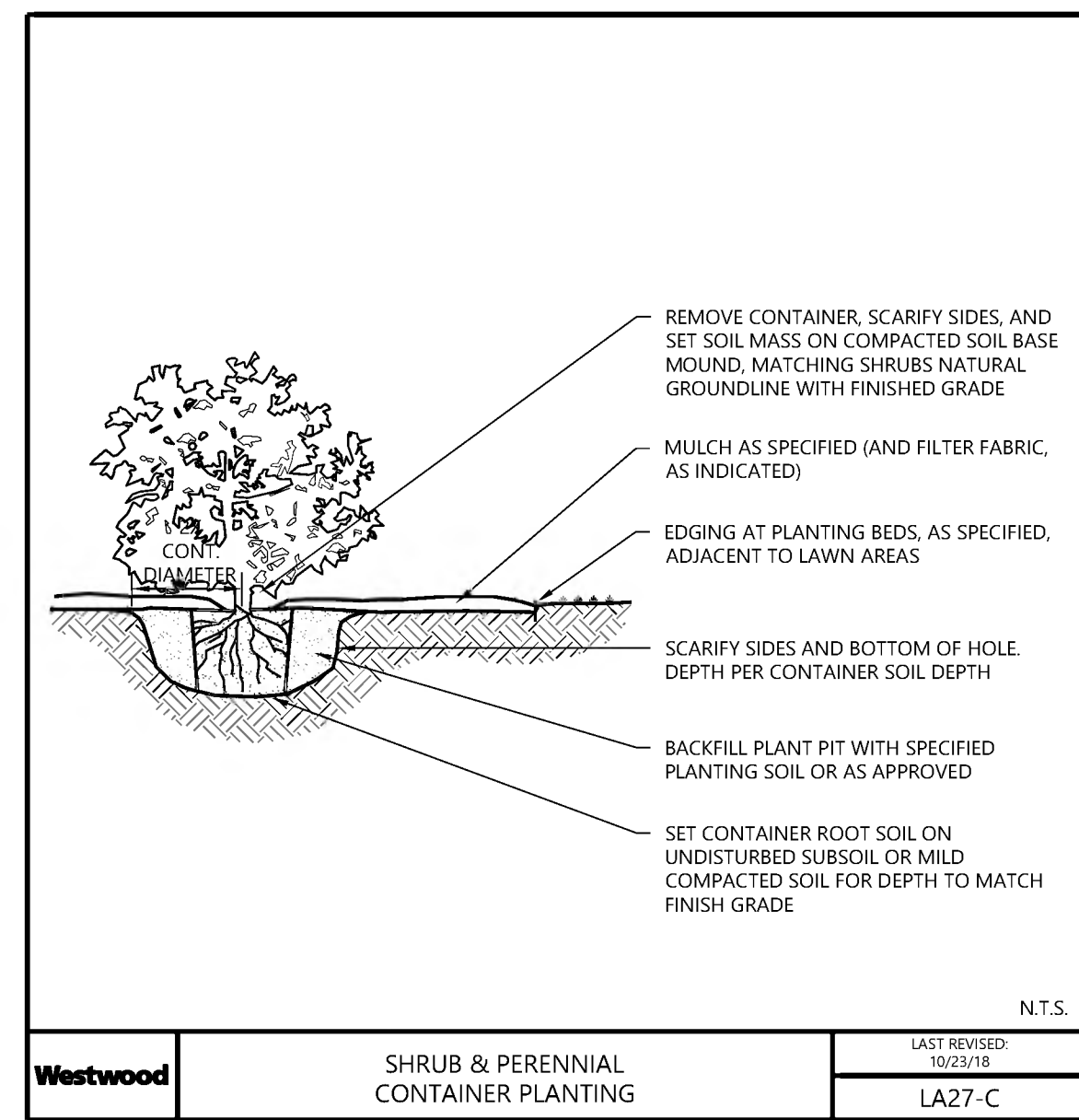
L200

DATE: 03/06/2023

PROJECT NUMBER: 0036502.00



NOT FOR CONSTRUCTION



PLANTING NOTES

1. CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
2. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
5. CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
6. ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.
ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.
CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
7. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
8. PLANTS TO BE INSTALLED AS PER MFLA & ANSI STANDARD PLANTING PRACTICES.
9. PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
10. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
11. OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
12. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
13. WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
14. STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
15. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
16. BACKFILL SOIL AND TOPSOIL TO ADHERE TO MN/DOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
17. MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF SHREDDED HARDWOOD MULCH. SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND NATURAL COLORED, OR APPROVED EQUAL. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
18. EDGING TO BE COMMERCIAL GRADE VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING OR SPADED EDGE. AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE. FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
19. ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. PARKING LOT ISLANDS TO BE SODDED WITH SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MN/DOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
20. PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
21. CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
22. REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
23. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.

DESIGNED:	
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	1" = 10'
VERTICAL SCALE:	1" = 4'

INITIAL ISSUE:	03/06/2023
REVISIONS:	

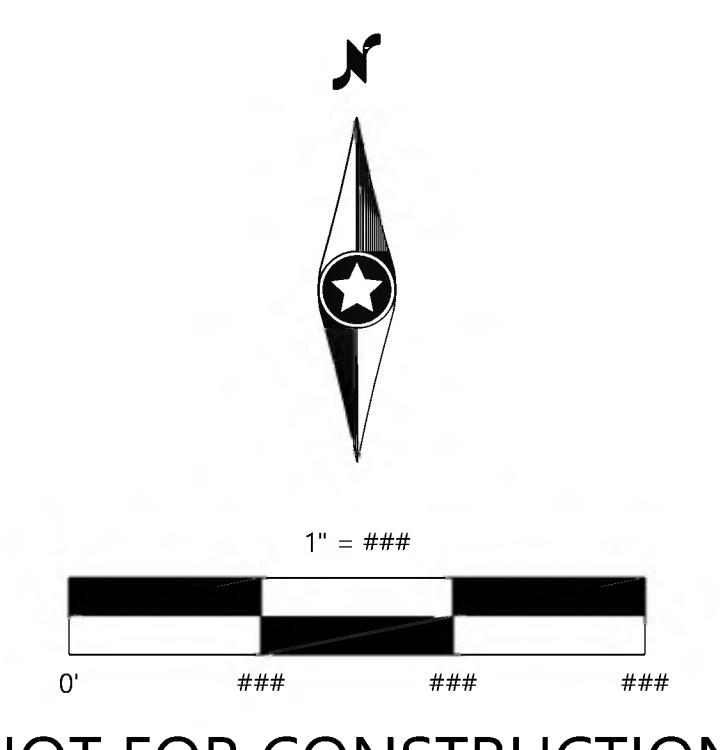
PREPARED FOR:
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LANDSCAPE NOTES

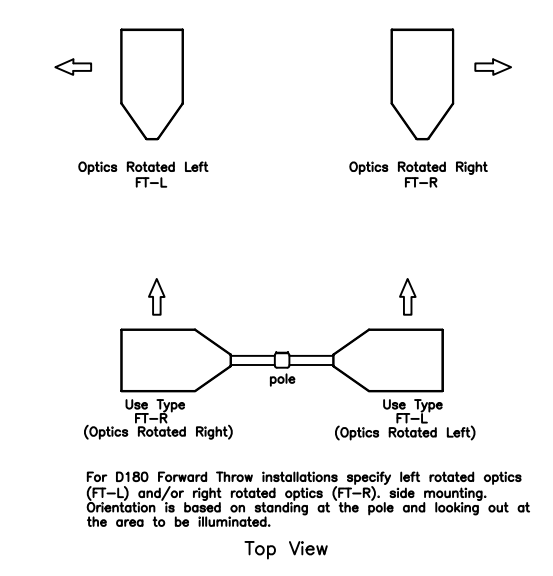
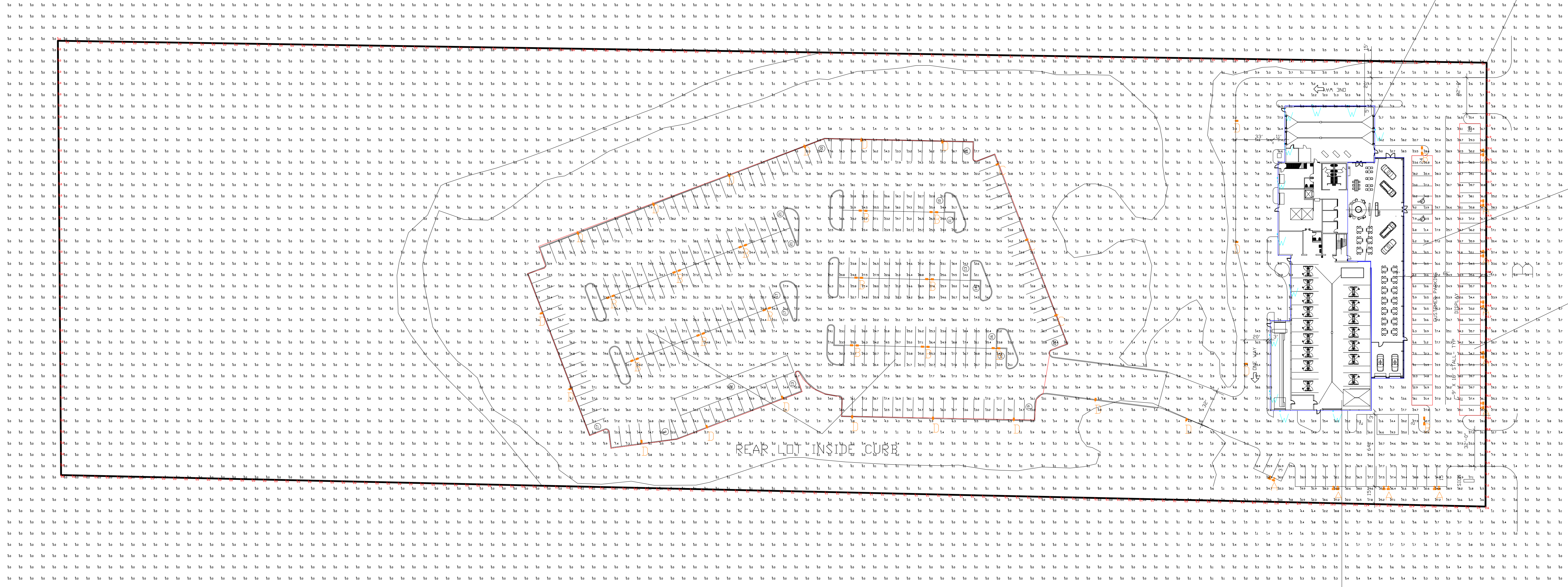


SHEET NUMBER:

L201

DATE: 03/06/2023

PROJECT NUMBER: 0036502.00



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALCS @ 4' ABOVE GRADE	Illuminance	Fc	4.52	40.0	0.0	N.A.	N.A.
EAST PROPERTY LINE	Illuminance	Fc	0.33	2.4	0.0	N.A.	N.A.
NORTH PROPERTY LINE	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
SOUTH PROPERTY LINE	Illuminance	Fc	18.32	26.9	1.2	15.27	22.42
WEST PROPERTY LINE	Illuminance	Fc	2.31	21.6	0.0	N.A.	N.A.
CUSTOMER PARKING	Illuminance	Fc	11.65	26.8	5.8	2.01	4.62
FRONT ROW DISPLAY	Illuminance	Fc	33.54	39.7	16.7	2.01	2.38
REAR LOT INSIDE CURB	Illuminance	Fc	17.77	28.9	4.4	4.04	6.57



Luminaire Schedule										
Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLD	LLF	Arr. Lun. Lumens	Arr. Watts	
	10	A	D180° 2RTD	MRM-LED-48L-SIL-50-70CRI-(1)FT-L(1)FT-R-D180RTD	26'	1.000	1.000	97620	802	
	15	B	D180°	MRM-LED-48L-SIL-5W-50-70CRI-D180	26'	1.000	1.000	94134	802	
	3	C	SINGLE	MRM-LED-48L-SIL-FT-50-70CRI-SINGLE	26'	1.000	1.000	48810	401	
	19	D	SINGLE	MRM-LED-48L-SIL-FT-50-70CRI-IL-SINGLE	26'	1.000	1.000	30899	401	
	12	W	SINGLE	XWM-FT-LED-12L-50	16'	1.000	1.000	11988	82	

Total Project Watts_1
Total Watts = 29856



LIGHTING PROPOSAL LO-157551-1

WALSER KIA
HWY 394
MINNETONKA, MN

BY:AHK DATE:2/24/23 REV:2/28/23 SHEET 1 OF 1

SCALE: 1"=50' 0 50

PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

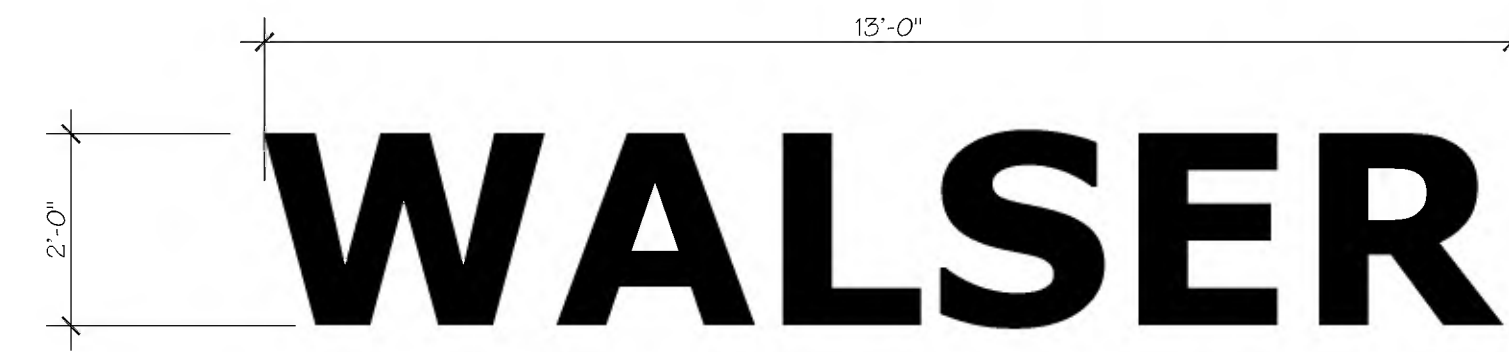
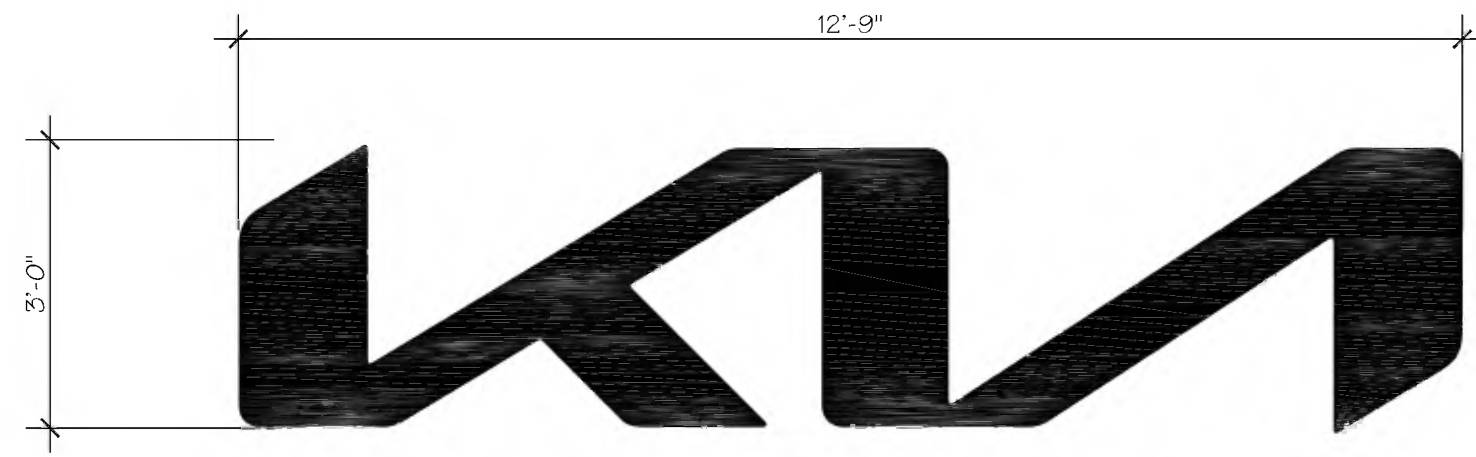
This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

EG-1 FRONT LOGO (38.25 SF)
THE EG-1 FRONT LOGO IS FABRICATED ALUMINUM PAINTED KIA METALLIC SILVER WITH 2" DEEP ALUMINUM RETURNS AND BACKLIT.

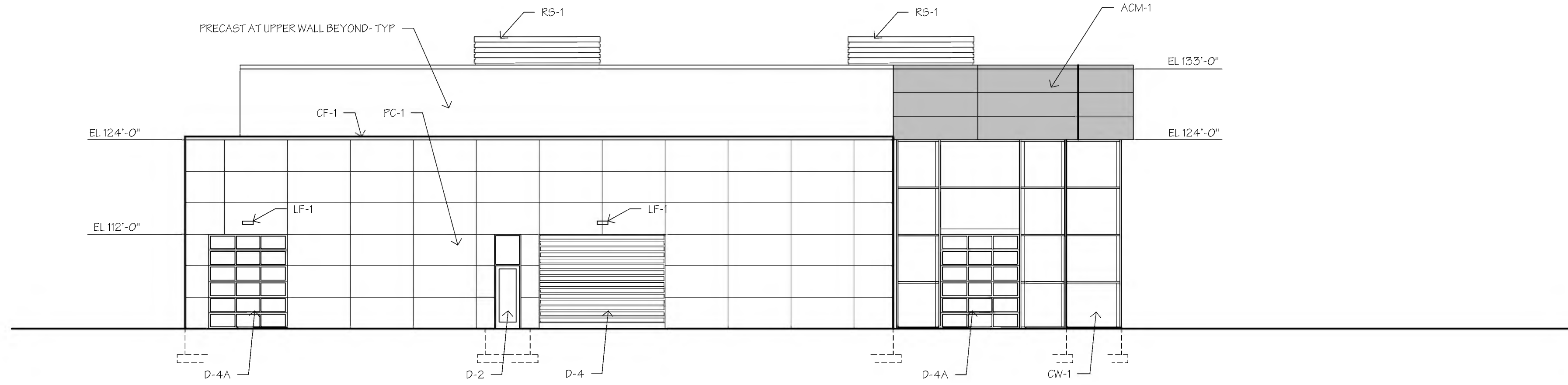
EG-2 SIDE LOGO (38.25 SF)
THE EG-2 SIDE LOGO IS FABRICATED ALUMINUM PAINTED KIA METALLIC SILVER WITH 2" DEEP ALUMINUM RETURNS AND BACKLIT.

EG-3 WALSER SIGN (26 SF)
THE EG-3 WALSER SIGN IS AN INTERNALLY ILLUMINATED CAN SIGN. THE FACE IS KIA METALLIC SILVER PERFORATED VENT. THAT WILL ILLUMINATE WHITE AT NIGHT. IT HAS 3" DEEP ALUMINUM RETURNS THAT ARE FLUSH MOUNTED TO THE FACADE.

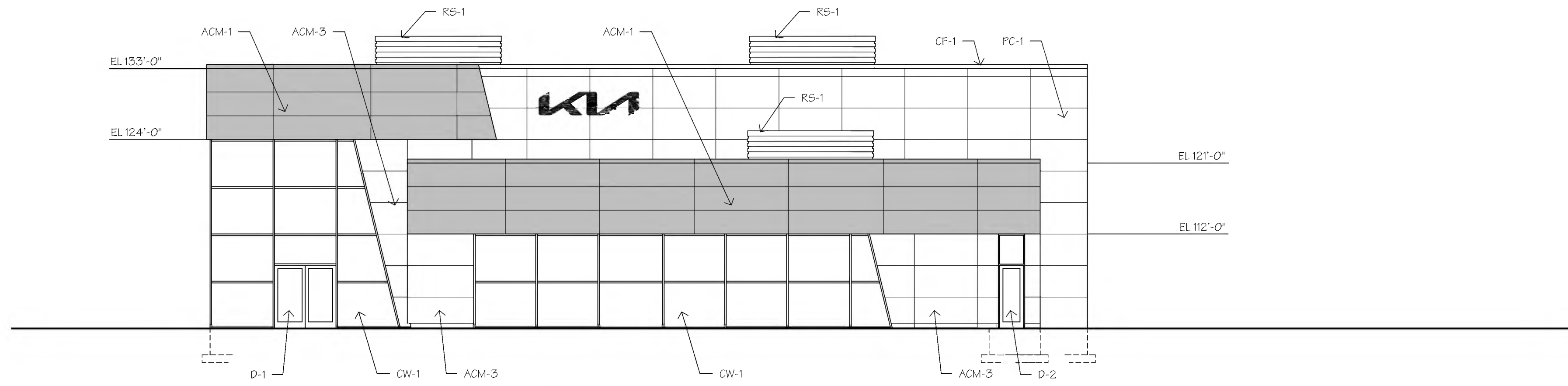
EG-4 SERVICE SIGN (26.5 SF)
THE EG-4 SERVICE SIGN IS AN INTERNALLY ILLUMINATED CAN SIGN. THE FACE IS KIA METALLIC SILVER PERFORATED VENT. THAT WILL ILLUMINATE WHITE AT NIGHT AND HAS 3" DEEP ALUMINUM RETURNS THAT ARE FLUSH MOUNTED TO THE FACADE.



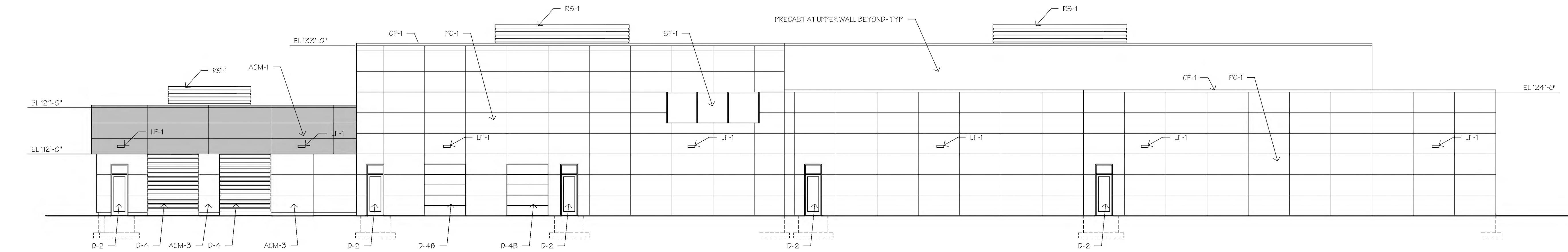
5 BUILDING SIGNS
A3.0 1/2"=1'-0"



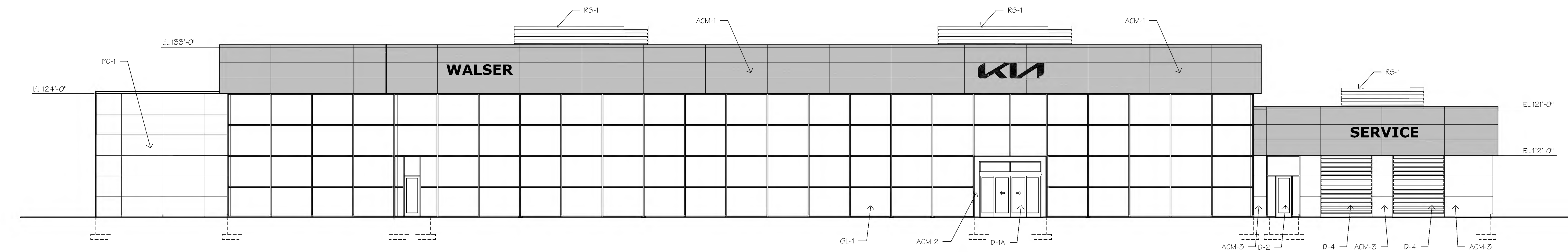
4 WEST ELEVATION
A3.0 3/32"=1'-0"



3 EAST ELEVATION
A3.0 3/32"=1'-0"



2 NORTH ELEVATION
A3.0 3/32"=1'-0"



1 SOUTH ELEVATION
A3.0 3/32"=1'-0"

KEY

- ACM-1 ACM WALL PANEL - PREFINISHED MANUFACTURED BY - ALPOLIC / FR DRY JOINT SYSTEM COLOR: "TOB BLACK"
- ACM-2 ENTRY PORTAL - ACM WALL PANEL MANUFACTURED BY - ALPOLIC / FR DRY JOINT SYSTEM COLOR: "BOX SILVER METALLIC"
- ACM-3 ACM WALL PANEL MANUFACTURED BY - ALPOLIC / FR DRY JOINT SYSTEM COLOR: SIMILAR TO BENJAMIN MOORE - COVENTRY GRAY
- CF-1 PREFINISHED METAL CAP FLASHING COLOR: TO MATCH WALL BELOW
- CW-1 ALUM FRAME CURTAIN WALL SYSTEM - CLEAR INSULATED GLASS - "CAPPED" WITH ALUM COVER COLOR: CLEAR ANODIZED
- SF-1 STOREFRONT ALUMINUM WINDOW SYSTEM WITH CLEAR INSULATED GLASS COLOR: CLEAR ANODIZED
- PC-1 DECORATIVE PRECAST CONCRETE WALL PANEL COLOR: INTEGRAL COLORED CONC - TO MATCH BENJAMIN MOORE - COVENTRY GRAY SMALL AGGREGATE FINISH TEXTURE
- D-1 "EXTERIOR CAR DOOR" - ENTRY DOOR SYSTEM WITH ALUMINUM FRAME AND CLEAR INSULATED GLASS COLOR: CLEAR ANODIZED
- D-1A "AUTOMATIC" ENTRY DOOR SYSTEM WITH ALUMINUM FRAME AND CLEAR INSULATED GLASS COLOR: CLEAR ANODIZED
- D-2 "EXTERIOR MAN DOOR" - ENTRY DOOR SYSTEM WITH ALUMINUM FRAME AND CLEAR INSULATED GLASS COLOR: CLEAR ANODIZED
- D-3 NOT USED
- D-4 HIGH-SPEED COILING OH DOOR, ALUMINUM FRAMING WITH CLEAR POLY CARBONATE WINDOWS - FULL VIEW COLOR: CLEAR ANODIZED
- D-4A OH DOOR - ALUMINUM FRAMING WITH CLEAR INSULATED GLASS COLOR: CLEAR ANODIZED
- D-4B OH DOOR - PREFINISHED METAL WITH SOLID INSULATED PANELS COLOR: CLEAR ANODIZED
- LF-1 EXTERIOR LIGHT FIXTURE - WALL MOUNTED "DOWN LIGHT" DESIGN
- RS-1 PREFINISHED METAL ROOF SCREEN WITH HORIZONTAL "RIBBED" PROFILE COLOR: DARK GREY

2023 NEW BUILDING FOR:
WALSER KIA
 WAYZATA BLVD
 MINNETONKA, MINNESOTA

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 Ph: (612) 868-1261
 E-mail: dphillips@phillipsarchitects.com

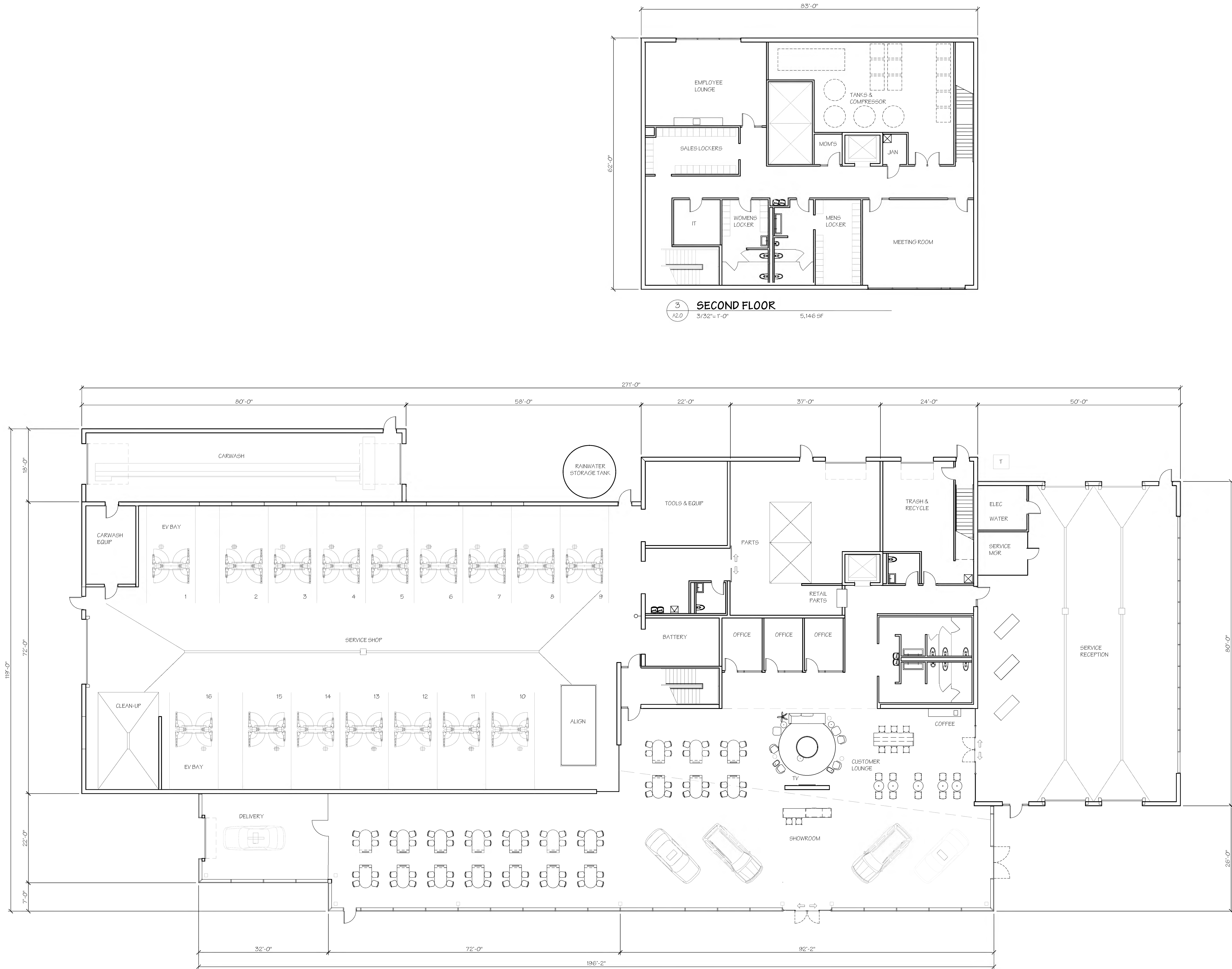
HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
 David A. Phillips

DATE: REG. NO. 17387
 ISSUE/REVISION:
 3/6/2023 ZONING

DRAWN BY:
 CHECKED BY: DAP
 PROJECT NO.:

EXTERIOR ELEVATIONS

A3.0



2 SECOND FLOOR
 3/32" = 1'-0" 5,146 SF

1 FLOOR PLAN
 3/32" = 1'-0" 27,760 SF

2023 NEW BUILDING FOR:
WALSER KIA
 WAYZATA BLVD
 MINNETONKA, MINNESOTA

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PHILLIPS ARCHITECTS & CONTRACTORS, LTD.

401 North Third Street
 Suite 450
 Minneapolis, MN 55401
 Ph: (612) 868-1261
 E-mail: dphillips@phillipsarchitects.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
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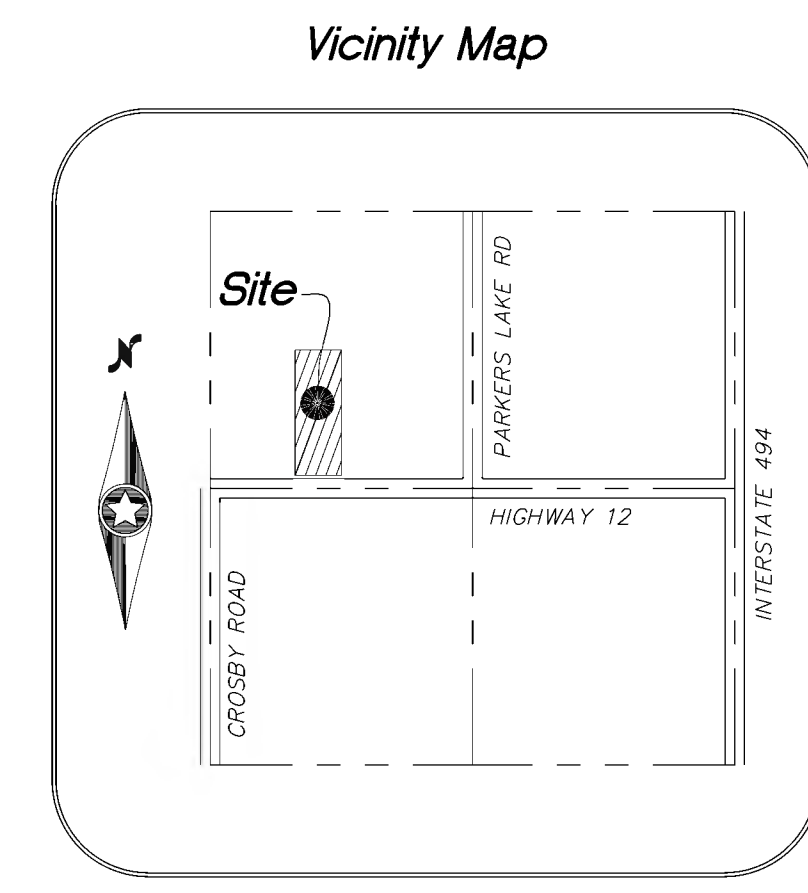
DATE: REG. NO. 17387
 ISSUE/REVISION: 3/6/2023 ZONING

DRAWN BY: DAF
 CHECKED BY: DAF
 PROJECT NO.:

FLOOR PLAN

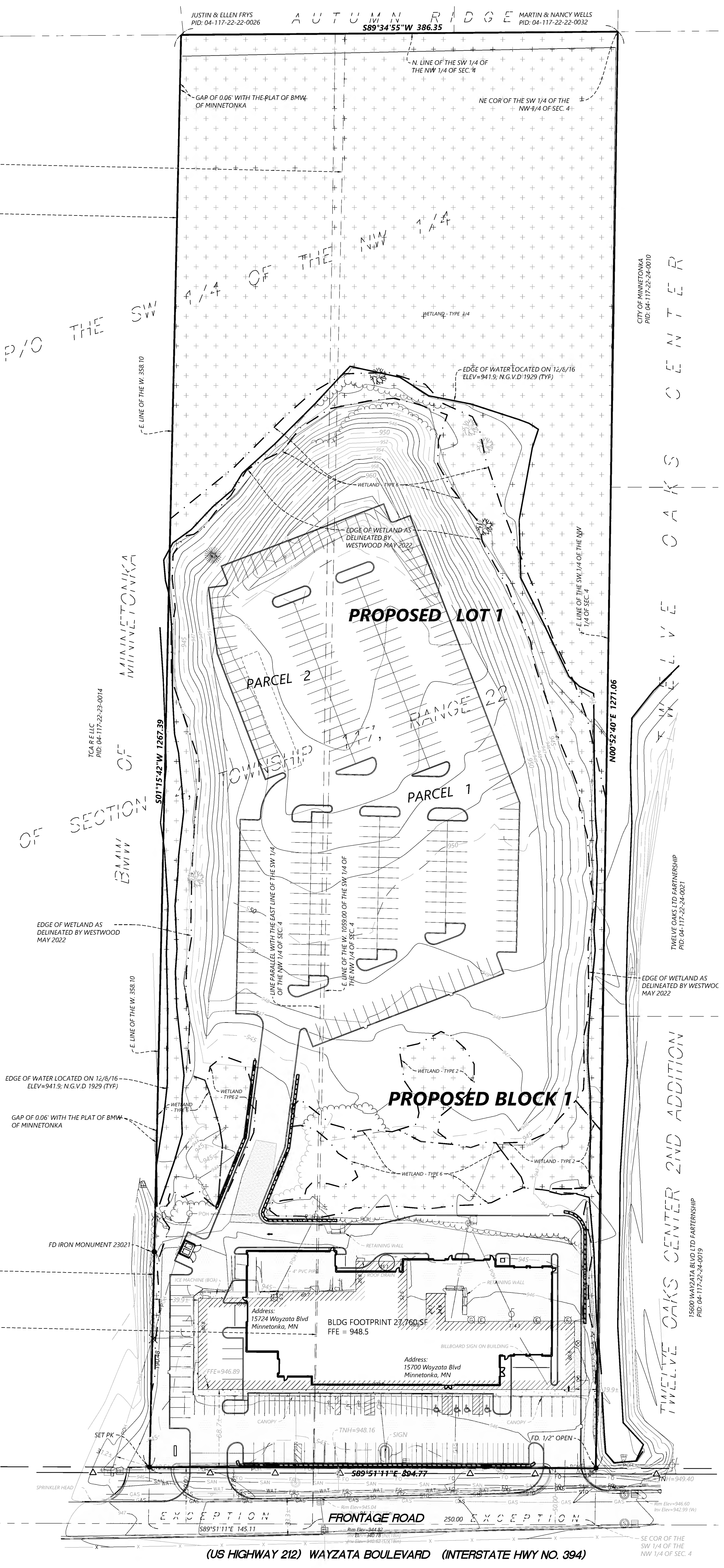
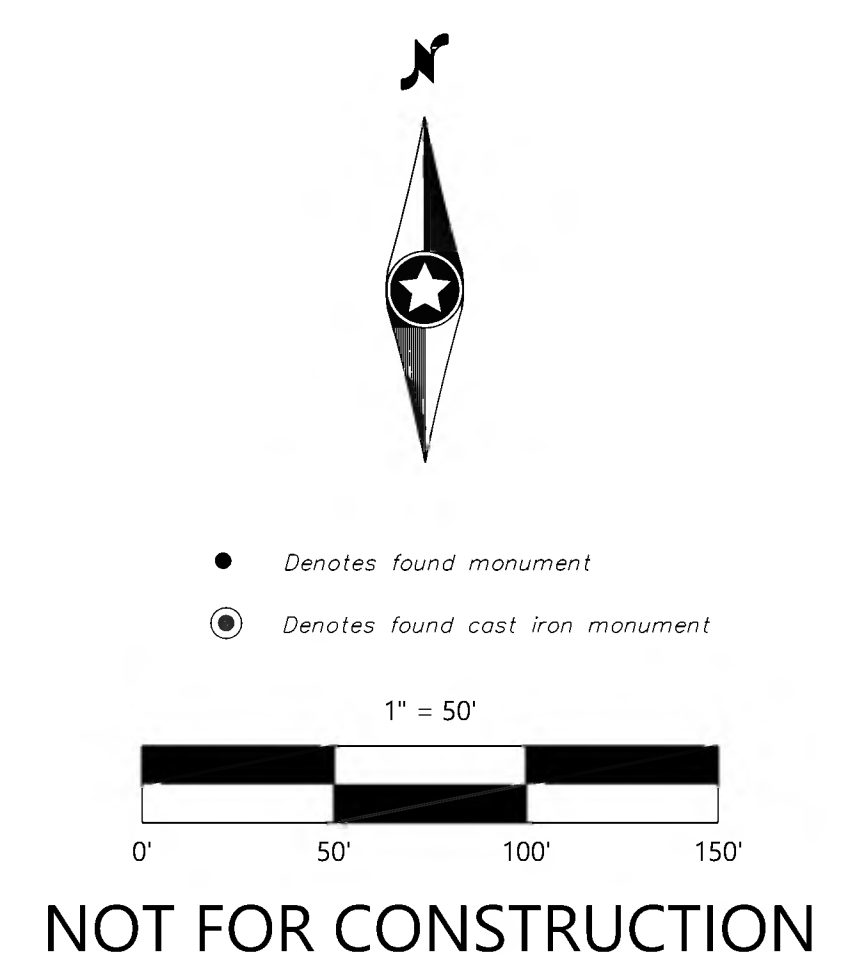
A2.0





LEGEND - EXISTING CONDITIONS

● SANITARY MANHOLE	○ BUSH/SHRUB
⊙ SEWER CLEANOUT	⊙ CONIFEROUS TREE
⊙ STORM MANHOLE	⊙ DECIDUOUS TREE
⊙ CATCH BASIN	⊙ WETLAND
⊙ FLARED END SECTION	⊙ TREE LINE
⊙ POWER POLE	⊙ CABLE TV
⊙ GUY WIRE	⊙ GAS LINE
⊙ ELECTRIC BOX	⊙ POWER OVERHEAD
⊙ ELECTRIC METER	⊙ POWER UNDERGROUND
⊙ GATE VALVE	⊙ SANITARY SEWER
⊙ HYDRANT	⊙ STORM SEWER
⊙ WATER METER	⊙ TELEPHONE OVERHEAD
⊙ CURB STOP BOX	⊙ TELEPHONE UNDERGROUND
⊙ GAS METER	⊙ WATERMAIN
⊙ STEELWOOD POST	⊙ FIBER OPTIC
⊙ SIGN-TRAFFIC/OTHER	⊙ FENCE LINE
⊙ HANDICAPPED STALL	⊙ CURB & GUTTER
⊙ CULVERT	⊙ ACCESS CONTROL
⊙ TELEPHONE BOX	⊙ GAS VALVE
⊙ CABLE TV BOX	⊙ CONCRETE SURFACE
⊙ HAND HOLE	⊙ BITUMINOUS SURFACE
⊙ STREET LITE	⊙ GRAVEL SURFACE



LEGAL DESCRIPTION (Commitment No. CP70464)

Parcel 1:
That part of the Southwest Quarter of the Northwest Quarter of Section 4, Township 117 North, Range 22 West, lying Easterly of the West 1059.1 feet, except the South 50 feet thereof.

Parcel 2:
That part of the Southwest Quarter of the Northwest Quarter of Section 4, Township 117 North, Range 22, described as follows:
Beginning at a point on the South line of said Southwest Quarter of the Northwest Quarter 250 feet West of the Southeast corner thereof; thence North parallel with the East line of said Southwest Quarter of the Northwest Quarter to the North line thereof; thence West along said North line to the East line of the West 358.1 feet of that part of said Southwest Quarter of the Northwest Quarter described as commencing at a point on the South line of said Southwest Quarter of the Northwest Quarter 556 feet East of the Southwest corner thereof; thence North parallel with the West line of said Southwest Quarter of the Northwest Quarter to the North line thereof; thence East to the Northeast corner thereof; thence South to the Southeast corner thereof; thence West to the point of beginning; thence South along the East line of said West 358.1 feet to the South line of said Southwest Quarter of the Northwest Quarter; thence East to the point of beginning, except the South 50 feet thereof.

Parcel 3:
That part of the Southwest Quarter of the Northwest Quarter of Section 4, Township 117 North, Range 22, lying West of the Easterly line of the West 1059.10 feet of the said Southwest Quarter of the Northwest Quarter, Section 4, Township 117 North, Range 22, and lying East of a line described as beginning at a point on the South line of said Southwest Quarter of the Northwest Quarter 250 feet West of the Southeast corner thereof; thence North parallel with the East line of said Southwest Quarter of the Northwest Quarter to the North line thereof; and thence terminating.

GENERAL NOTES

- This survey was prepared using Commercial Partners Title, LLC as agent for Stewart Title Guaranty Company, Title Commitment Number 52281 having an effective date of November 28, 2016 at 7:00 am.
- Subject property appears to be classified as Zone X when scaled from Flood Insurance Rate Map Community - Parcel Number 27053C0326P dated November 4, 2016.
- Subject property contains 495,675 Sq. Ft. or 11,379 acres.
- Vertical Datum is at 1928NGVD in US Survey Feet, used the City of Minnetonka Benchmarks.
- No Zoning information provided by the title company.
- The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities. (State One Call Ticket No. 221360992).
- This survey is based on Hennepin County coordinate system in US Survey Feet.

AREA TABULATION

PROPOSED LOT 1, BLOCK 1 = 495,675 Square Feet /11.379 Acres

OWNER Lindahl Properties LP P.O. Box 32 Wayzata, MN 55391	SUBDIVIDER Walser Real Estate, LLC 7700 France Avenue South Suite 410 Edina, MN 55435	ENGINEER/SURVEYOR Westwood Professional Services 12701 Whitewater Drive, Suite 300, Minnetonka, Minnesota 55343 Phone: 952-937-5150
---	---	--

DESIGNED: 03/06/2023
CHECKED: [Signature]
DRAWN: [Signature]
HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 50'

INITIAL ISSUE: 03/06/2023
REVISIONS: [Table with 3 columns: No., Description, Date]

PREPARED FOR:
WALSER REAL ESTATE, LLC
7700 FRANCE AVENUE SOUTH SUITE 410 N
EDINA, MN 55435

DATE: 03/06/2023 LICENSE NO. [Number]

Westwood
12701 Whitewater Drive, Suite #300
Minnetonka, MN 55343
Phone: 952-937-5150
Fax: 952-937-5150
www.westwoodps.com
Westwood Professional Services, Inc.

WALSER KIA MINNETONKA
MINNETONKA, MN

PRELIMINARY PLAT

SHEET NUMBER:
C002

DATE: 03/06/2023
PROJECT NUMBER: 0036502.00

WALSER KIA ADDITION

KNOW ALL PERSONS BY THESE PRESENTS: That Walsler Real Estate, LLC, a Minnesota limited liability company, fee owner of the following described property:

That part of the Southwest Quarter of the Northwest Quarter of Section 4, Township 117 North, Range 22 West, lying Easterly of the West 1059.1 feet, except the South 50 feet thereof.

together with;

That part of the Southwest Quarter of the Northwest Quarter of Section 4, Township 117, Range 22, described as follows:

Beginning at a point on the South line of said Southwest Quarter of the Northwest Quarter 250 feet West of the Southeast corner thereof; thence North parallel with the East line of said Southwest Quarter of the Northwest Quarter to the North line thereof; thence West along said North line to the East line of the West 358.1 feet of that part of said Southwest Quarter of the Northwest Quarter described as commencing at a point on the South line of said Southwest Quarter of the Northwest Quarter 556 feet East of the Southwest corner thereof; thence North parallel with the West line of said Southwest Quarter of the Northwest Quarter to the North line thereof; thence East to the Northeast corner thereof; thence South to the Southeast corner thereof; thence West to the point of beginning; thence South along the East line of said West 358.1 feet to the South line of said Southwest Quarter of the Northwest Quarter; thence East to the point of beginning, except the South 50 feet thereof.

together with;

That part of the Southwest Quarter of the Northwest Quarter of Section 4, Township 117, Range 22, lying West of the Easterly line of the Westerly 1059.10 feet of the said Southwest Quarter of the Northwest Quarter, Section 4, Township 117, Range 22, and lying East of a line described as beginning at a point on the South line of said Southwest Quarter of the Northwest Quarter 250 feet West of the Southeast corner thereof; thence North parallel with the East line of said Southwest Quarter of the Northwest Quarter to the North line thereof, and there terminating.

Has caused the same to be surveyed and platted as WALSER KIA ADDITION and does hereby dedicate to the public for public use the drainage and utility easements as created by the plat.

In witness whereof said Lindahl Properties, LP, a Minnesota limited partnership, has caused these presents to be signed by its proper officer this _____ day of _____, 20_____.

Signed: Walsler Real Estate, LLC, a Minnesota limited liability company

By: _____, its _____

STATE OF MINNESOTA

COUNTY OF _____

This instrument was acknowledged before me this _____ day of _____, 2023, by _____ for Walsler Real Estate, LLC, a Minnesota limited liability company, the _____ of Walsler Real Estate, LLC, a Minnesota limited liability company

(Signature) (Name Printed)

Notary Public, _____ County, _____

My Commission Expires _____

I, Chris Ambourn do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20_____.

Chris Ambourn, Licensed Land Surveyor
Minnesota License No. 43055

STATE OF MINNESOTA

COUNTY OF _____

This instrument was acknowledged before me on this _____ day of _____, 20_____, by Chris Ambourn.

(Signature) (Name Printed)

Notary Public, _____ County, Minnesota

My Commission Expires _____

CITY COUNCIL OF WAYZATA, MINNESOTA

This plat of WALSER KIA ADDITION was approved and accepted by the City Council of Wayzata, Minnesota, at a regular meeting thereof held this _____ day of _____, 20_____, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subdivision 2.

CITY COUNCIL OF WAYZATA, MINNESOTA

By _____ Mayor By _____ City Manager

RESIDENT AND REAL ESTATE SERVICES, Hennepin County, Minnesota

I hereby certify that taxes payable in 20____ and prior years have been paid for land described on this plat, dated this _____ day of _____, 20_____.

_____, County Auditor By _____ Deputy

SURVEY DIVISION, Hennepin County, Minnesota

Pursuant to MN. STAT. Sec. 383B.565 (1969) this plat has been approved this _____ day of _____, 20_____.

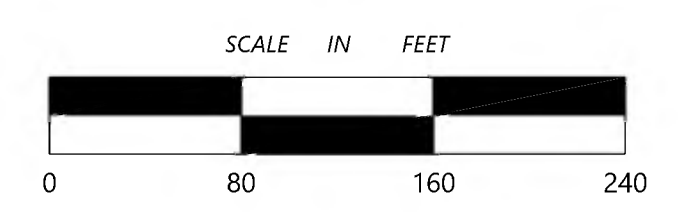
Chris F. Mavis, County Surveyor By _____

COUNTY RECORDER, Hennepin County, Minnesota

I hereby certify that the within plat of WALSER KIA ADDITION was recorded in this office this _____ day of _____, 20_____, at _____ o'clock _____ M.

Amber Bougie, County Recorder By _____ Deputy

WALSER KIA ADDITION



Bearings are based on the west line of the Southwest Quarter, Section 4, TWP. 117, RGE. 22 is assumed to bear $N 00^{\circ}19'07'' E$.

- FOUND MONUMENT AS NOTED
- ▨ DELINEATED WETLAND