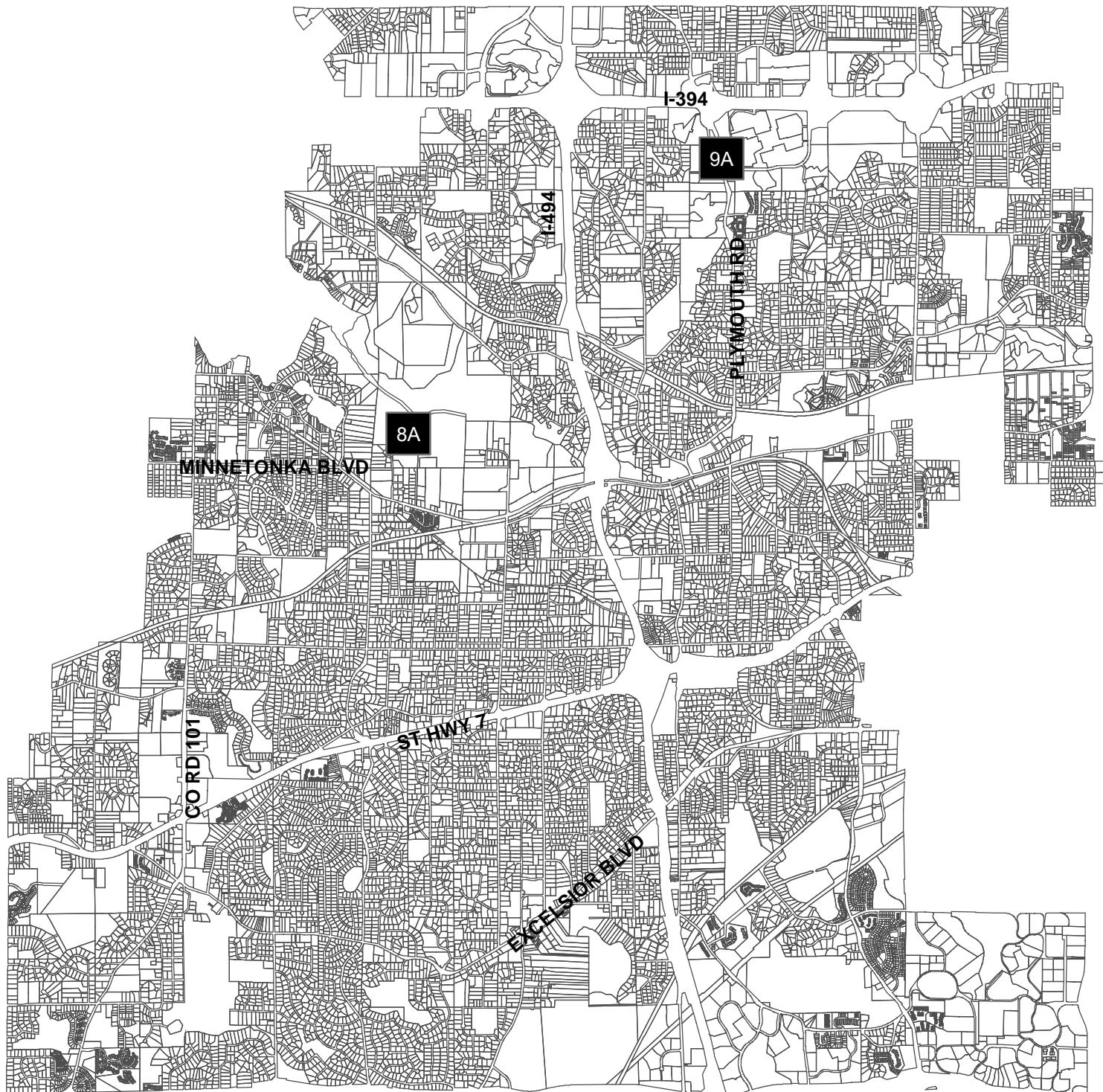




CITY OF
MINNETONKA

**CITY OF MINNETONKA
PLANNING COMMISSION
July 20, 2023**

14600 Minnetonka Blvd. • Minnetonka, MN 55345
(952) 939-8200 • Fax (952) 939-8244
minnetonkamn.gov





CITY OF
MINNETONKA

Planning Commission Agenda
July 20, 2023
6:30 p.m.

City Council Chambers – Minnetonka Community Center

- 1. Call to Order**
- 2. Roll Call**
- 3. Approval of Agenda**
- 4. Approval of Minutes:** July 6, 2023
- 5. Report from Staff**
- 6. Report from Planning Commission Members**
- 7. Public Hearings: Consent Agenda Items – None**
- 8. Public Hearings: Non-Consent Agenda Items**
 - A. Site plan review for a parking lot on the Cargill Campus at 15407 McGinty Road West.

Recommendation: Adopt the resolution approving the request (4 votes).
 - Final decision subject to appeal
 - Project Planner: Ashley Cauley
- 9. Other Business**
 - A. Concept plan review for the Wells Fargo site at 1809 Plymouth Road.

Recommendation: Provide feedback; no formal action.
 - To City Council (May 22, 2023)
 - Project Planner: Susan Thomas
- 10. Adjournment**

Planning Commission Agenda

July 20, 2023

Page 2

Notices

1. Please call the planning division at (952) 939-8290 to confirm meeting dates as they are tentative and subject to change.
2. There following applications are tentatively scheduled for the Aug. 3, 2023 agenda.

Project Description	Siebert & Weisman Residence, EXP
Project Location	15101 Linner Road
Assigned Staff	Bria Raines
Ward Councilmember	Bradley Schaeppi, Ward 3

Project Description	Johnson Residence, EXP
Project Location	4130 St Marks Dr
Assigned Staff	Bria Raines
Ward Councilmember	Brian Kirk, Ward 1

Project Description	Roers Company, Concept Plan
Project Location	1000 Parks Lake Road
Assigned Staff	Loren Gordon
Ward Councilmember	Bradley Schaeppi, Ward 3

**Unapproved
Minnetonka Planning Commission
Minutes**

July 6, 2023

1. Call to Order

Chair Sewall called the meeting to order at 6:30 p.m.

2. Roll Call

Commissioners Banks, Hanson, Henry, Maxwell, Powers, Waterman and Sewall were present.

Staff members present: Community Development Director Julie Wischnack, City Planner Loren Gordon and Senior Planner Ashley Cauley.

3. Approval of Agenda

Maxwell moved, second by Henry, to approve the agenda as submitted with modifications and an additional comment provided in the change memo dated July 6, 2023.

Banks, Hanson, Henry, Maxwell, Powers, Waterman and Sewall voted yes. Motion carried.

4. Approval of Minutes: June 15, 2023

Waterman moved, second by Hanson, to approve the June 15, 2023 meeting minutes as submitted.

Banks, Hanson, Henry, Maxwell, Powers, Waterman and Sewall voted yes. Motion carried.

5. Report from Staff

Gordon briefed the commission on land use applications considered by the city council at its meeting on June 26, 2023:

- Adopted a resolution approving an interim use permit for the temporary sale of fireworks at Westwind Plaza at 4795 Co Rd 101.
- Adopted a resolution approving a conditional use permit for an accessory structure in excess of 1,000 square feet and 12 feet in height at 4600 Shady Oak Road.
- Adopted a resolution approving a conditional use permit for a detached accessory dwelling unit at 1505 Traymore Road.

- Adopted a resolution approving a conditional use permit for an accessory structure in excess of 1,000 square feet and 12 feet in height at 2507 Sherwood Hills Road.
- Adopted a resolution and an ordinance regarding items for Marsh Run II, a multi-family redevelopment by Doran at 11816 Wayzata Blvd.
- Reviewed and tabled taking action on items concerning Walser Kia at 15700 and 15724 Wayzata Blvd.

The annual boards and commissions dinner is scheduled to be held on July 19, 2023. The social hour starts at 5:30 p.m., and the dinner and meeting at 6:30 p.m.

The annual city tour for councilmembers, planning commissioners and economic development authority commissioners is scheduled to be held on Aug. 31, 2023.

The next regular planning commission meeting is scheduled to be held on July 20, 2023.

6. Report from Planning Commission Members: None

7. Public Hearings: Consent Agenda

No items were removed from the consent agenda for discussion or separate action.

Powers moved, second by Banks, to approve the items listed on the consent agenda as recommended in the respective staff reports as follows:

A. Lot-behind-lot setback variance for a garage addition at 4813 Williston Road.

Adopt the resolution approving a lot-behind-lot setback variance for an attached garage at 4813 Williston Road.

B. Conditional use permit and variance for medical clinics at 12501 Whitewater Drive.

Recommend that the city council adopt the resolution approving a conditional use permit for medical clinics at 12501 Whitewater Drive.

C. Conditional use permit for telecommunication antennas and accessory equipment at 501 Carlson Parkway.

Recommend that the city council adopt the resolution approving a conditional use permit for telecommunication antennas and accessory equipment at 501 Carlson Pkwy.

D. Conditional use permit for a telecommunications tower at 6120 Blue Circle Drive.

Recommend that the city council adopt the resolution approving a conditional use permit for a telecommunications tower at 6120 Blue Circle Drive.

Banks, Hanson, Henry, Maxwell, Powers, Waterman and Sewall voted yes. Motion carried, and the items on the consent agenda were approved as submitted.

8. Public Hearings

A. Front and side yard setback variances for a detached garage at 3169 Lake Shore Blvd.

Chair Sewall introduced the proposal and called for the staff report.

Cauley reported. Staff recommended approval of the application based on the findings and subject to the conditions listed in the staff report.

The public hearing was opened. No testimony was submitted, and the hearing was closed.

Hanson suspects that the neighbors of the site are empathetic to the applicant's proposal. He supports the proposal, which would improve the current situation.

Henry noted that the property is narrow, and the proposal would be an improvement to the existing nonconformity. The proposal is reasonable. He supports the staff's recommendation.

Hanson appreciated the well-done visuals provided in the staff report.

Chair Sewall appreciates the opportunity to make a non-conforming situation less non-conforming. He supports the staff's recommendation.

Henry moved, second by Banks, to adopt the resolution approving front and side yard setback variances for a detached garage at 3169 Lake Shore Blvd.

Banks, Hanson, Henry, Maxwell, Powers, Waterman and Sewall voted yes. Motion carried.

Chair Sewall stated that an appeal of the planning commission's decision must be made in writing to the planning division within ten days.

B. Items concerning Ridgewood Ponds, a 13-lot subdivision at 18116 Ridgewood Road.

Chair Sewall introduced the proposal and called for the staff report.

Cauley reported. She recommended approval of the application based on the findings and subject to the conditions listed in the staff report.

Mike Waldo, Ron Clark Construction, applicant, stated that:

- He appreciated commissioners taking the time to discuss the project.
- There are three possible designs prepared for the site.

Tim Whitten, Whitten and Associates, the architect representing the applicant, stated that:

- The number of units on the proposed site plan are the same as what was proposed in the concept plan. The current site plan has more separation between the homes. Many corrections were made since the review of the concept plan to improve the proposal.
- The proposal has 13 villa-style houses at 3.14 units per acre.
- He provided examples of the site following R1 zoning regulations with seven single-family houses; R1-A zoning with ten single-family residences; and the proposed planned unit development (PUD) with 13 villa-style houses.
- There is a benefit to having 13 smaller residences rather than seven larger residences. The villa-style housing type is in demand in Minnetonka, and it would, overall, have less impact. The single-family houses would have two to three stories, three-vehicle or four-vehicle garages and possibly sport courts.
- Villa-style houses are smaller and have a lower profile. PUD zoning with 13 villa-style houses “does not mean that it would be more dense as it affects building coverage, mass and scale.”
- This proposal would have a homeowners association.
- The major benefit would be that Ron Clark would be the developer and the builder. The work would be of high quality and the applicant would control the timeline.
- The proposal would have a wildlife overlook with a bench and woodchip trail connection.

In response to Henry’s question, Mr. Waldo explained that the applicant did look into accessing the street across from the Kylie Court intersection. The current location would allow for better visibility for drivers to see in both directions and see the trail access, slope headlights down into the ground, and locate street lights in between the existing houses. One neighbor opposes the current road access location, but the rest support it. More trees would need to be removed if the road access intersected with Kylie Court. The applicant has met with the neighbors three times. The proposed location is better from a safety, engineering and alignment standpoint. The proposed access location fits better with the neighborhood and topography.

Mr. Waldo stated that:

- Most of the marsh areas would be placed in a conservation easement.

- He pointed out the buffer areas where vegetation and trees would be planted and a four-foot fence installed at the intersection with Lindsey Lane if the improvements would meet right-of-way requirements.

Hanson asked why the applicant felt the 13 villa-style houses would be better than seven single-family residences. Mr. Waldo stated that it is debatable. The applicant feels strongly that the villa-style product would be valuable to the community. It would free up other single-family residences in the city and allow empty nesters to stay in the community. The single-family houses with R-1 zoning would be 6,000 square feet to 7,000 square feet in size with three to four-vehicle garages and sport courts. The neighbors want to move through construction quickly. The existing neighborhood's last house was constructed last year, which is 20 years after the development started. A single-family neighborhood has no control or incentive to get through that process. The villa-style homes would be done faster because the developer specs the homes. The PUD would provide buffers, wetland restoration work and an overlook. There would be a minimum of 15 feet between the villa homes. The Marshes of Meadowwoods density is at 2.8. The proposal's density would be 3.1. There would be more traffic from 13 villa homes, but Lindsey Lane is a public street designed to accommodate the proposed amount of traffic.

In response to Hanson's question, Mr. Waldo stated that the bulk of Legacy Oaks' buyers vacated single-family residential houses located within 10 to 15 miles of Legacy Oaks. He estimated that at least half of the 13 buyers that would purchase the proposed villa-style houses would vacate single-family residences in the vicinity.

Chair Sewall asked where snow would be stored. Mr. Waldo pointed out areas where snow could be stored, including the west side of the cul-de-sac. Snow would be hauled away if it reached that point.

In response to Chair Sewall's question, Mr. Waldo stated that the road would extend a few feet to create a turn-around area.

Banks asked how long construction would last. Mr. Waldo estimated that grading, seeding and street and utility installation would start this fall and would take 60 days to 75 days. Three or four villas would be completed each year, which would take a total of three years. He has already received calls from interested buyers.

Mr. Waldo stated that:

- The project would meet the requirements to receive a Greenpath certification in energy efficiency.
- The neighbors provided positive feedback regarding the trail and overlook.
- The wetland would not be touched. The Marshes filled 3.3 acres of wetland. There is a lot of garbage currently in the wetland that would be removed.

- Restoration work would be done to a wetland on the west side of the site, and a proposed pond would rehydrate the wetland.
- The proposal would create a very nice neighborhood instead of seven very large houses.
- He was available for questions.

The public hearing was opened.

Jay Jensen, 4209 Lindsey Lane, stated that:

- The proposal does not meet the standards for PUD zoning.
- The proposal would not provide greater preservation of natural resources than a non-PUD development.
- If he was the applicant, then he would have asked for more lots than he actually wanted in order to negotiate the number down to what he wanted. The first development application or concept plan should ask for more lots than the applicant wants so that the number can be reduced after negotiation. The concept plan and current proposal both include 13 villas.
- There would be more hard-surface areas with 13 units than what the site has now.
- He has a rain garden, no grass and geothermal heating and cooling for his house.
- Water running down the proposed street into Lindsey Lane could cause a problem. There are no curbs on Lindsey Lane.
- The proposal would not provide affordable housing.
- The villas would be a rambler. He likes Ron Clark townhouses, but not this design.
- There is no mix of land-use types.
- The proposal would be denser than the surrounding area.
- The site has the longest fire department response time.
- There is no evidence of the proposal having greater energy efficiency than seven single-family houses.
- If he was the developer, he would propose 13 townhouses and negotiate down to 11 townhouses and have two properties on the northeast corner put in a land trust for affordable housing. He would include a provision to allow elevators in the residences. He would require every residence to have fire suppression sprinklers, especially those on the private street.
- Lower density could allow room for rain gardens to reduce water runoff.
- Driveway pavers could help minimize water drainage.
- Something much better could be done.
- He would like a commitment that workers would not park on the street.
- A good berm would be appreciated.
- He suggested postponing approval of the item to give the applicant a chance to make some changes.

Joe Boyer, 4218 Lindsey Lane, stated that:

- The ecosystem ties the area together. Most of the site has marsh, buckthorn and unimportant trees.
- The “high land” part of the site has 20 to 30 percent hardcover now. A lot of water runoff would be created.
- There are six houses on five acres now. The proposal would be extremely dense.
- The proposal should have the same land use and environmental conservation and protection standards as the houses in the Lindsey Lane cul-de-sac.
- The stand of white pine trees is important to the neighborhood and part of the ecosystem. He found that unacceptable when access to Kylie Court would only cause the loss of two or three pine trees.
- The lake is in the flood zone. The properties on the north have had problems with flooding in the past.
- The proposal maximizes the density.
- Energy efficiency is expected in any new development.
- The walking trail is heavily used.
- An intersection at Kylie Court would be safer than the proposed “T” intersection.

John Coleman, 18317 Kylie Court, stated that:

- Construction equipment and vehicles could park on Ridgewood Road and cause a traffic problem. There would be plenty of places to park on the 23-acre site. He was glad the existing driveway would be used for construction-vehicle parking. He would like a parking plan created to dictate parking locations.
- The single road could be easily blocked by construction vehicles.
- There needs to be more funds allocated to cut down on light and noise pollution in the neighborhood.
- The houses would have more interest and variety if they were spaced out more.
- He questioned what would require the association to protect the long-term water quality of the pond and additional 15 acres. He requested a more definitive plan to help drive the health of the entire area.
- Fire safety is a big concern.
- Light and noise pollution are concerns.

Becky Nyberg, 4257 Lindsey Lane, stated that:

- She contacted representatives of the Ridgewood Church, who were agreeable to discussing allowing their parking lot to be used for

construction-vehicle parking. They wanted to know when and how many vehicles would be parked there.

Anjali Dahiya, 18310 Kylie Court, stated that:

- There has been no change in the concept plan.
- There has been no change in the concept plan to prevent vehicle pollution from being emitted near his house.
- There should be more improvements to the plan to address neighbors' concerns.

John Utter, 4233 Lindsey Lane, stated that:

- The developer has "met with" neighbors but has "not worked with" neighbors.

No additional testimony was submitted, and the hearing was closed.

Cauley explained that:

- The conservation easement would have specific language regarding what could and could not be done in the conservation easement. It would help protect the integrity of the wetland.
- The construction management plan would include a parking plan for construction vehicles and contractor parking and is done during the review of the building permit.
- The city's affordable housing policy applies to developments with ten or more attached units. It does not apply to the current proposal.
- The ordinance to rezone a property to a PUD requires that one public benefit be completed.
- Additional site details would be needed to determine if trees and shrubs would be able to be planted in the wetland buffer and street right-of-way easement.
- The applicant has offered to provide screening for headlights, but additional site details would be needed to determine if a fence or vegetation could be located in the street right-of-way.

Waterman stated that:

- He appreciated everyone's comments.
- This is a challenging proposal.
- He knows a lot of Minnetonka residents who now reside in single-family houses and would love this product which would allow them to downsize and stay in the city. He sees the need for villa-style housing. The project would free up 13 single-family residences in the city. The villa-style houses would not be affordable, but the city is developed and does not

have a lot of opportunities for a development like this. He would like to see a lot more of this type of villa-style housing in Minnetonka.

- The proposal is too dense. He would like to see at least one of the lots removed.
- He supports development in general. The developer is making an effort to provide buffering and decrease the proposal's impact on the surrounding area.
- Providing a different type of housing stock, a wildlife overlook, a conservation easement, wetland improvements and debris removal are public benefits that meet the PUD requirement.
- He could support the proposal with a decrease in the density to open up the distance between residences.

Powers stated that:

- The proposal would be too dense.
- He respects that the applicant was consistent with the number of proposed residences.
- He wants the standard to rezone to a PUD to be higher. More needs to be done to rezone to a PUD.
- He trusts that firm plans will be completed during the building permit process.
- New development is needed in the city.
- The applicant's offer to provide buffering to block light pollution is fair. Ron Clark Development knows how to plant trees to create a buffer and construct a berm.
- The proposal could be better.

Hanson stated:

- Ron Clark is the best developer for this site. He knows Mike Waldo had breakfast with an adjacent neighbor of another project at least ten times.
- He heard the neighbors' concerns. Headlights would not cause that much of a disturbance.
- The proposal is too dense to move forward.
- He appreciated that safety was the primary factor considered when determining the street access location.
- He appreciated the applicant providing the visual renderings of residential-housing developments with R-1, R-1A and PUD zoning districts.
- The proposed density would cause the residences to be too compressed together. Twelve or 11 villa-style residences would be better.
- The proposal was close, but he would not support it because the 13 residences would be too compact.
- The proposal would provide downstream affordable housing by making single-family residences available. He would like to learn more about that.

Banks stated that:

- Thirteen residences would be too many. He would prefer 11 or 12 villa-style residences.
- The visual of seeing the R-1, R-1A and PUD zoning was helpful.
- The public benefit requirement has been met to justify PUD zoning by providing a needed housing stock that would also make single-family residential houses available.
- He likes the trail and the overlook, but he thought a small park might be more beneficial. He understood that most of the land would be in a conservation easement but invited the applicant to be creative.
- The applicant has been thoughtful in agreeing to include methods to prevent light pollution, runoff issues and handle construction parking. Having a solid plan sooner rather than later would be beneficial to the neighbors.
- He would not support the proposal at this time. He would like to see a decrease in the density.

Maxwell stated that:

- The single-story units would make the density feel smaller when standing on the ground. The proposal would be less dense than Legacy Oaks and Villas at Groveland. She would like fewer units, but she would be comfortable supporting the proposal because the units would be limited to one story with walk-out residences. Houses with two stories extending above the tree line and 10,000 square feet in size would have an equivalent impact on the environment.
- The proposal's housing type would provide a public benefit that could not be duplicated with R-1 or R1A zoning.
- She supports the staff's recommendation.

Henry stated:

- The proposal is average.
- The proposal is too dense.
- He did not support the proposal.

Chair Sewall stated that:

- Villa-style houses are needed in the city. With the way demand and prices are today, the number of villa-style houses needed to provide affordable-housing units on the site would not be possible.
- Ron Clark is an excellent builder. Every single reasonable concern that has been raised has been addressed.
- The proposal is not quite there yet. The proposal is too dense.

- This type of product is needed in Minnetonka.

Hanson moved, second by Maxwell, to adopt the following for Ridgewood Ponds at 18116 Ridgewood Road and an adjacent, unaddressed parcel:

- ***An ordinance rezoning the property from R-1, low-density residential, to PUD, planned unit development, and adopting a master development plan.***
- ***A resolution approving the preliminary plat.***

Banks, Hanson, Henry, Maxwell, Powers, Waterman and Sewall voted no. Motion failed.

This item is scheduled to be reviewed by the city council at its meeting scheduled for July 17, 2023.

9. Adjournment

Hanson moved, second by Banks, to adjourn the meeting at 9:25 p.m. Motion carried unanimously.

By: _____
Lois T. Mason
Planning Secretary

Minnetonka Planning Commission Meeting

Agenda Item 8

Public Hearing: Non-Consent Agenda

MINNETONKA PLANNING COMMISSION
July 20, 2023

Brief Description	Site plan review for a parking lot expansion on the Cargill Campus at 15407 McGinty Road W and an adjacent, unaddressed parcel
Recommendation	Adopt the resolution approving the final site plan.

Background

The roughly 150-acre Cargill campus is located on McGinty Road, just east of Crosby Road. The site's principal building was constructed in 1975.

In 2016, the city approved a plan for two new parking lots on the Cargill campus. One parking lot would be located north and west of the office building, and the second lot was located south of the existing parking ramp and surface lot. The lots were not constructed.

Proposal

Justin Cox is now proposing to construct the previously approved lot south of the parking ramp.

The proposal would include:

- 227 stalls;
- A retaining wall south of the lot;
- Reconstruction of a sidewalk north of the parking lot;
- Trigger stormwater requirements – water would be collected and directed to new stormwater basins in the northeast corner and south of the lot;
- Landscaping around the new improvements.



Staff Analysis

Staff finds that the proposal reasonable as:

- The parking lot was previously approved in 2016 but not constructed.
- The proposed parking lot would meet all minimum site plan standards. See the "Supporting Information" section of this report.

Staff Recommendation

Adopt the resolution on approving the parking lot expansion at 15407 McGinty Road and an adjacent, unaddressed parcel.

Originator: Ashley Cauley, Senior Planner
Through: Loren Gordon, AICP, City Planner

Supporting Information

Surrounding Land Uses

	North	South	East	West	Subject property
Use	McGinty Road and wetland	Minnehaha Creek	Mooney Park	Wetland and Minnehaha Creek	Office
Zoning	R-1				B-1
Guide Plan Designation	Low density				Office

Stormwater

The proposal triggers the city’s stormwater management rules. To meet these rules – which regulate runoff volume, rate, and quality – stormwater basins are proposed in the northeast corner and south of the lot. The applicant’s stormwater management plan has been reviewed by the city’s engineering staff. The 2016 stormwater plan has not been updated to reflect the city’s new volume requirements. However, minor modifications can bring the proposal into compliance. This has been added as a condition of approval.

Wetland

There are wetlands in proximity to the new parking lot. A small wetland would be filled to accommodate the southerly lot. This small wetland is an “incidental” wetland. In other words, this area was not historically a wetland. The area took on wetland characteristics over time as drainage from the surrounding parking lot was directed into this naturally low area.

Trees

Since 1950, the Cargill campus has been registered with the Tree Farm System. According to the "Minnesota Shade Tree Advocate," over 150,000 trees were planted on the campus between 1947 and 1955. (See attached article).

The inventory does not cover the entire Cargill site. As proposed, the plan would remove 185 trees. The inventory excludes trees that staff believes may be regulated under the ordinance. As a condition of approval, the tree inventory must be updated to include more detail. Staff is comfortable with this as a condition of approval, as given the number of trees on the site, the plan would not exceed the tree protection ordinance removal threshold.

SBP Standards

The proposal would comply with all site and building standards as outlined in City Code 300.27 Subd.5

1. Consistency with the elements and objectives of the city's development guides, including the comprehensive plan and water resources management plan;

Finding: The proposal has been reviewed by city planning, engineering, natural resources, public works, fire and legal staff and found to be generally consistent with the city's development guides.

2. Consistency with this ordinance;

Finding: The proposal would meet the minimum standards of the zoning ordinance.

3. Preservation of the site in its natural state to the extent practicable by minimizing tree and soil removal and designing grade changes to be in keeping with the general appearance of neighboring developed or developing areas;

Finding: The proposal would result in grading and tree removal. However, the proposed parking area is appropriately located in generally developed areas of the campus.

4. Creation of a harmonious relationship of buildings and open spaces with natural site features and with existing and future buildings having a visual relationship to the development;

Finding: The proposed site design is intuitive and would result in an appropriate location of parking areas.

5. Creation of a functional and harmonious design for structures and site features, with special attention to the following:
 - a) an internal sense of order for the buildings and uses on the site and provision of a desirable environment for occupants, visitors and the general community;
 - b) the amount and location of open space and landscaping;
 - c) materials, textures, colors and details of construction as an expression of the design concept and the compatibility of the same with the adjacent and neighboring structures and uses; and
 - d) vehicular and pedestrian circulation, including walkways, interior drives and parking in terms of location and number of access points to the public streets, width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic and arrangement and amount of parking.

Finding: The proposed site design is intuitive and would result in an appropriate location of parking areas.

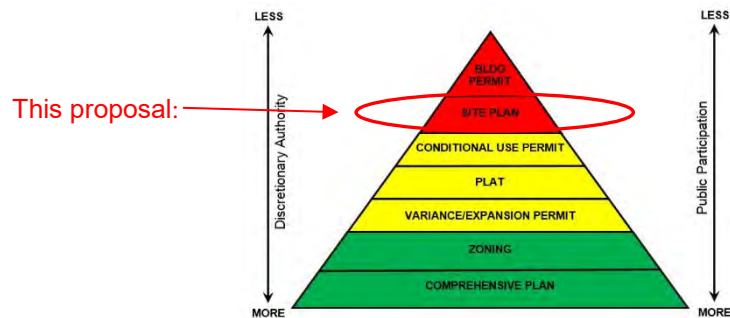
- Promotion of energy conservation through design, location, orientation and elevation of structures, the use and location of glass in structures and the use of landscape materials and site grading; and

Finding: This standard applies primarily to structures which aren't included in the proposal.

- Protection of adjacent and neighboring properties through reasonable provision for surface water drainage, sound and sight buffers, preservation of views, light and air and those aspects of design not adequately covered by other regulations which may have substantial effects on neighboring land uses.

Finding: The proposal would not negatively impact adjacent or neighborhood properties. The lot would be more than 1,500 feet away from the nearest residential structure.

Pyramid of Discretion



Motion Options

The planning commission has three options:

- Concur with the staff recommendation. In this case, a motion should be made to adopt the resolution approving the final site and building plans.
- Disagree with staff's recommendation. In this case, a motion should be made directing staff to prepare a resolution for denying the final site and building plans. This motion should include findings for denial.
- Table the proposal. In this case, a motion should be made to table the item. The motion should include a statement as to why the proposal is being tabled with direction to staff, the applicant, or both.

Appeals

Any person aggrieved by the planning commission's decision regarding the requested variances may appeal such decision to the city council. A written appeal must be submitted to the planning staff within ten days of the date of the decision.

**Neighborhood
Comments**

The city sent notices to seven area property owners and received no comments.

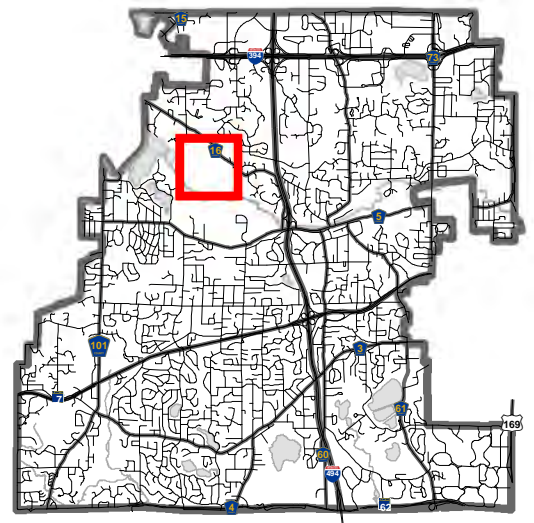
**Deadline for
Decision**

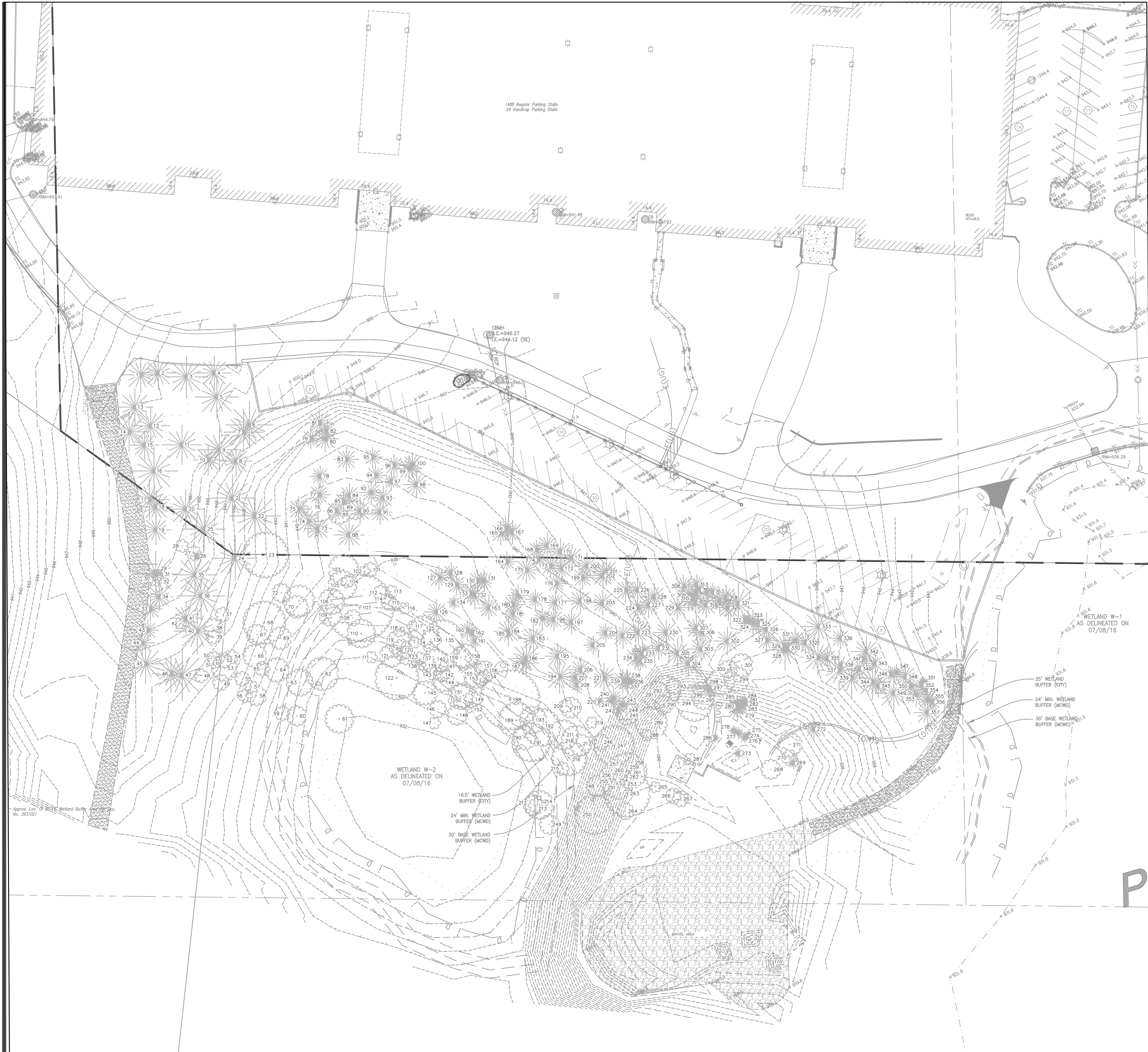
Sept. 20, 2023



Location Map

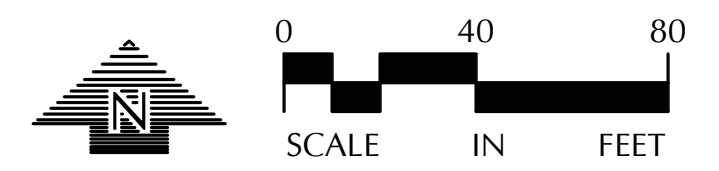
Project: Cargill Parking Lot
Address: 15407 McGinty Road West





SURVEY LEGEND

AS ASH	☉ CATCH BASIN	→ STORM SEWER
BA BASSWOOD	⊙ STORM MANHOLE	→ SANITARY SEWER
BO BOXELDER	○ SANITARY MANHOLE	— WATERMAIN
CE CEDAR	⊕ HYDRANT	— S SANITARY SEWER SERVICE
FR MISC FRUIT	⊗ GATE VALVE	— W WATER SERVICE
LO LOCUST	⊗ POWER POLE	→ CULVERT
MA MAPLE	⊕ LIGHT POLE	— CTV UNDERGROUND CABLE TV
OA OAK	⊕ YARD LIGHT	— ELE UNDERGROUND ELECTRIC
PI PINE	— GUY WIRE	— FO UNDERGROUND FIBER OPTIC
SP SPRUCE	⊕ SIGN	— GAS UNDERGROUND GAS
TR TREE (GEN)	• SPOT ELEVATION	— TEL UNDERGROUND TELEPHONE
TC TOP OF CURB	⊕ ELECTRIC TRANSFORMER	— UTL UNDERGROUND UTILITY
TW TOP OF WALL	⊕ TELEPHONE PEDESTAL	— OH OVERHEAD UTILITY
THSD ELEV ⊕ THRESHOLD	⊕ ELECTRIC MANHOLE	— TRFC UNDERGROUND TRAFFIC
☁ CONIFEROUS TREE	⊕ GAS VALVE	— X—X CHAIN LINK FENCE
☁ DECIDUOUS TREE	⊕ TELEPHONE MANHOLE	— ○—○ POST FENCE
	⊕ UTILITY MANHOLE	⊕ RETAINING WALL
	⊕ ELECTRIC METER	⊕ TRAFFIC SIGNAL
	⊕ GAS METER	⊕ CONCRETE CURB
	⊕ HAND HOLE	⊕ CONCRETE
	⊕ ROOF DRAIN	⊕ BITUMINOUS
	⊕ ELECTRIC OUTLET	⊕ PAVERS
	⊕ FIRE CONNECTION	⊕ CONTOUR
	⊕ MAILBOX	
	⊕ FLAG POLE	
	⊕ GUARDPOST	
	⊕ SOIL BORING	



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 05/10/20 CITY SUBMITTAL

PROFESSIONAL SIGNATURE

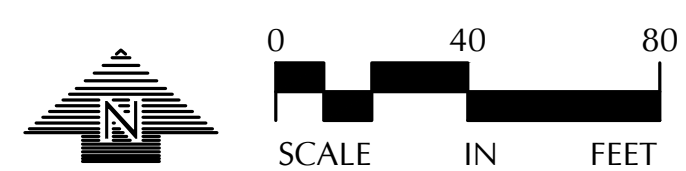
NOT FOR CONSTRUCTION

QUALITY CONTROL

C1-1	EXISTING CONDITIONS
C1-2	DEMOLITION PLAN
C2-1	SITE PLAN
C3-1	GRADING PLAN
C3-2	SWPPP
C3-3 & C3-4	SWPPP NOTES, DETAILS
C4-1	UTILITY PLAN
C8-1	CIVIL DETAILS
C8-2	CIVIL DETAILS
L1-1	TREE PRESERVATION PLAN
L1-2	TREE INVENTORY
L2-1	LANDSCAPE PLAN
L3-1	LANDSCAPE DETAILS

EXISTING CONDITIONS
C1-1

Plotted: 05/19/2023 10:30 AM W:\2009\0901\01\CADD DATA\CIVIL.dwg Sheet Files\C1-1 - Existing Conditions



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SURVEY LEGEND

AS ASH	☉ CATCH BASIN	—>—> STORM SEWER
BA BASSWOOD	⊙ STORM MANHOLE	—>—> SANITARY SEWER
BO BOXELDER	○ SANITARY MANHOLE	— I — WATERMAIN
CE CEDAR	⊙ HYDRANT	— S — SANITARY SEWER SERVICE
FR MISC FRUIT	⊗ GATE VALVE	— W — WATER SERVICE
LO LOCUST	⊙ POWER POLE	—>—> CULVERT
MA MAPLE	⊙ LIGHT POLE	— CTY — UNDERGROUND CABLE TV
OA OAK	⊙ YARD LIGHT	— ELE — UNDERGROUND ELECTRIC
PI PINE	— GUY WIRE	— FO — UNDERGROUND FIBER OPTIC
SP SPRUCE	⊙ SIGN	— GAS — UNDERGROUND GAS
TR TREE (GEN)	972.5 SPOT ELEVATION	— TEL — UNDERGROUND TELEPHONE
TC TOP OF CURB	⊞ ELECTRIC TRANSFORMER	— UTL — UNDERGROUND UTILITY
TW TOP OF WALL	⊞ TELEPHONE PEDESTAL	— OH — OVERHEAD UTILITY
THSD ELEV @ THRESHOLD	⊞ ELECTRIC MANHOLE	— TRFC — UNDERGROUND TRAFFIC
☉ CONFEROUS TREE	⊞ GAS VALVE	— X — X — CHAIN LINK FENCE
☉ DECIDUOUS TREE	⊞ TELEPHONE MANHOLE	— ○ — ○ — POST FENCE
	⊞ UTILITY MANHOLE	— ○ — ○ — RETAINING WALL
	⊞ ELECTRIC METER	— ○ — ○ — TRAFFIC SIGNAL
	⊞ GAS METER	— — — CONCRETE CURB
	⊞ HAND HOLE	— — — CONCRETE
	⊞ ROOF DRAIN	— — — BITUMINOUS
	⊞ ELECTRIC OUTLET	— — — PAVERS
	⊞ FIRE CONNECTION	— 872 — CONTOUR
	⊞ MAILBOX	
	⊞ FLAG POLE	
	⊞ GUARDPOST	
	⊞ SOIL BORING	

DEMOLITION LEGEND:

	REMOVE EXISTING BITUMINOUS PAVING
	REMOVE EXISTING CONCRETE PAVING, SIDEWALKS, ISLANDS, ETC.
	REMOVE EXISTING TREES COORDINATE WITH LANDSCAPE & TREE MITIGATION PLANS
	REMOVE EXISTING CURB & GUTTER, FENCE, RETAINING WALLS, ETC.
	REMOVE EXISTING UTILITIES
	REMOVE EXISTING MANHOLES, POWER POLES, LIGHT POLES, BOLLARDS, SIGNS, ETC.
	REMOVE EXISTING TREES

SITE DEMOLITION NOTES

- CONTRACTOR SHALL REMOVE AND/OR RELOCATE EXISTING PRIVATE UTILITIES AS NECESSARY. CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES.
- CONTRACTOR SHALL PROTECT SURFACE AND SUBSURFACE FEATURES NOT NOTED FOR REMOVAL.
- CONTRACTOR TO CLEAR AND GRUB EXISTING VEGETATION WITHIN CONSTRUCTION LIMITS. STRIP TOP SOIL AND STOCKPILE ON-SITE. REFER TO GRADING PLAN AND SWPPP FOR SEDIMENT AND EROSION CONTROL REQUIREMENTS.
- CLEAR AND GRUB AND REMOVE ALL TREES, VEGETATION AND SITE DEBRIS PRIOR TO GRADING. ALL REMOVED MATERIAL SHALL BE HAULED FROM THE SITE DAILY. ALL CLEARING AND GRUBBING AND REMOVALS SHALL BE PERFORMED PER THE CONTRACT SPECIFICATIONS. EROSION CONTROL MEASURES SHALL BE IMMEDIATELY ESTABLISHED UPON REMOVAL. SEE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
- CONTRACTOR SHALL REMOVE ALL SITE SURFACE FEATURES WITHIN REMOVAL LIMITS UNLESS OTHERWISE NOTED.

SURVEY NOTE:

- REFER TO C1-1 EXISTING CONDITIONS SHEET FOR SITE INFORMATION.

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 03/20/20 CITY SUBMITTAL

PROFESSIONAL SIGNATURE
 I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 License No. 19624
 Date

QUALITY CONTROL

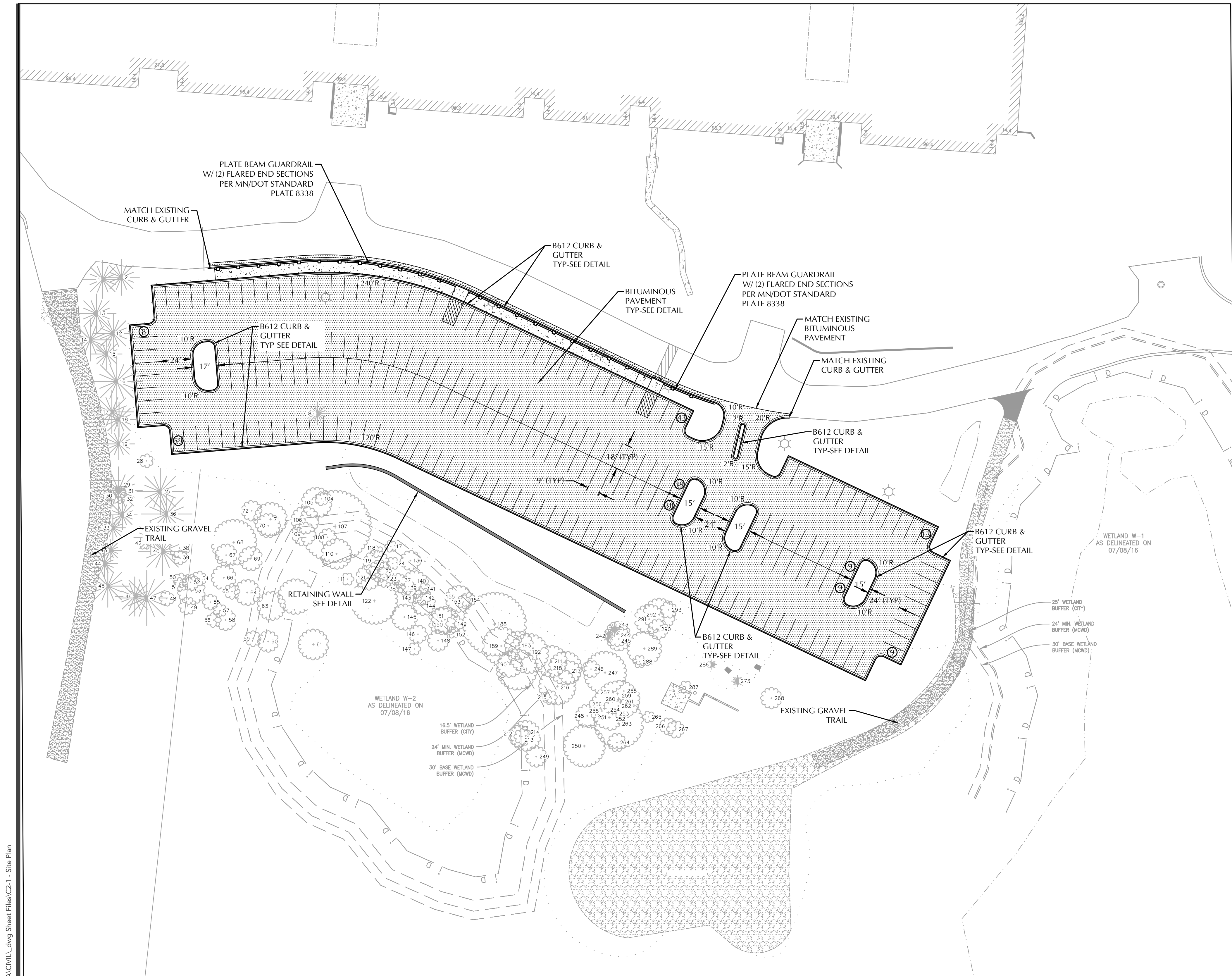
Loucks Project No. 090105
 Project Lead JAS
 Drawn By JDK
 Checked By JAS
 Review Date

SHEET INDEX

C1-1	EXISTING CONDITIONS
C1-2	DEMOLITION PLAN
C2-1	SITE PLAN
C3-1	GRADING PLAN
C3-2	SWPPP
C3-3 & C3-4	SWPPP NOTES, DETAILS
C4-1	UTILITY PLAN
C8-1	CIVIL DETAILS
C8-2	CIVIL DETAILS
L1-1	TREE PRESERVATION PLAN
L1-2	TREE INVENTORY
L2-1	LANDSCAPE PLAN
L3-1	LANDSCAPE DETAILS

DEMO PLAN
C1-2

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LEGEND

EXISTING

- STORM MANHOLE
- SANITARY MANHOLE
- HYDRANT
- GATE VALVE
- POST INDICATOR VALVE
- WATER MANHOLE / WELL
- LIGHT POLE
- POWER POLE
- ELECTRIC METER
- GAS METER
- TELEPHONE PEDESTAL SIGN
- BENCHMARK
- SOIL BORING
- PARKING STALL COUNT
- ACCESSIBLE PARKING STALL
- STORM SEWER
- DRAINTILE
- SANITARY SEWER
- FORCEMAIN
- WATERMAIN
- SANITARY SEWER SERVICE WATER SERVICE
- UNDERGROUND ELECTRIC
- UNDERGROUND FIBER OPTIC
- UNDERGROUND GAS
- UNDERGROUND TELEPHONE
- OVERHEAD UTILITY
- FENCE
- CHAIN LINK FENCE
- CONCRETE CURB
- RETAINING WALL
- CONCRETE NO PARKING
- BUILDING CONTOUR
- SPOT ELEVATION
- DIRECTION OF FLOW
- TREE LINE
- PARKING SETBACK LINE
- BUILDING SETBACK LINE

PROPOSED

- CATCH BASIN
- FLARED END SECTION
- SANITARY MANHOLE
- HYDRANT
- GATE VALVE
- POST INDICATOR VALVE
- WATER MANHOLE / WELL
- LIGHT POLE
- POWER POLE
- ELECTRIC METER
- GAS METER
- TELEPHONE PEDESTAL SIGN
- BENCHMARK
- SOIL BORING
- PARKING STALL COUNT
- ACCESSIBLE PARKING STALL
- STORM SEWER
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- SANITARY SEWER SERVICE WATER SERVICE
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- UNDERGROUND GAS
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- RETAINING WALL
- CONCRETE NO PARKING
- BUILDING CONTOUR
- SPOT ELEVATION
- DIRECTION OF FLOW
- TREE LINE
- PARKING SETBACK LINE
- BUILDING SETBACK LINE

PAVEMENT TYPES

- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- LIGHT DUTY BITUMINOUS PAVEMENT
- HEAVY DUTY BITUMINOUS PAVEMENT

CURB TYPES

- B612 CURB & GUTTER (STANDARD)
- B612 CURB & GUTTER (TIP OUT)
- FLAT CURB & GUTTER (STANDARD)
- FLAT CURB & GUTTER (TIP OUT)
- SURMOUNTABLE CURB & GUTTER (STANDARD)
- SURMOUNTABLE CURB & GUTTER (TIP OUT)

NOTE: SEE PAVEMENT SECTIONS ON SHEET C8.1 FOR TYPE AND DEPTH INFORMATION.

PAVEMENT TYPES

- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- LIGHT DUTY BITUMINOUS PAVEMENT
- HEAVY DUTY BITUMINOUS PAVEMENT

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- SURMOUNTABLE CURB & GUTTER (STANDARD)
- SURMOUNTABLE CURB & GUTTER (TIP OUT)

NOTE: SEE CURB & GUTTER DETAILS ON SHEETS C8

- SITE NOTES**
- ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEET(S) AND STATE/LOCAL JURISDICTION REQUIREMENTS.
 - ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
 - ALL CURB DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL UNLESS OTHERWISE NOTED.
 - TYPICAL FULL SIZED PARKING STALL IS 9' X 18' UNLESS OTHERWISE NOTED.
 - ALL CURB RADII SHALL BE 5.0' UNLESS OTHERWISE NOTED.
 - BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.
 - SEE SITE ELECTRICAL PLAN FOR SITE LIGHTING.

OFF-STREET PARKING CALCULATIONS

PROPOSED STANDARD STALLS (9'X18') = 227 STALLS
 TOTAL PARKING PROVIDED = 227 STALLS

MINIMUM PARKING LAYOUT DIMENSIONS (90 DEGREE PATTERN):

PARKING SPACE WIDTH = 9 FT
 PARKING SPACE LENGTH = 18 FT
 DRIVE AISLE WIDTH = 24 FT

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L1-2	TREE INVENTORY
L2-1	LANDSCAPE PLAN
L3-1	LANDSCAPE DETAILS

SITE PLAN

C2-1

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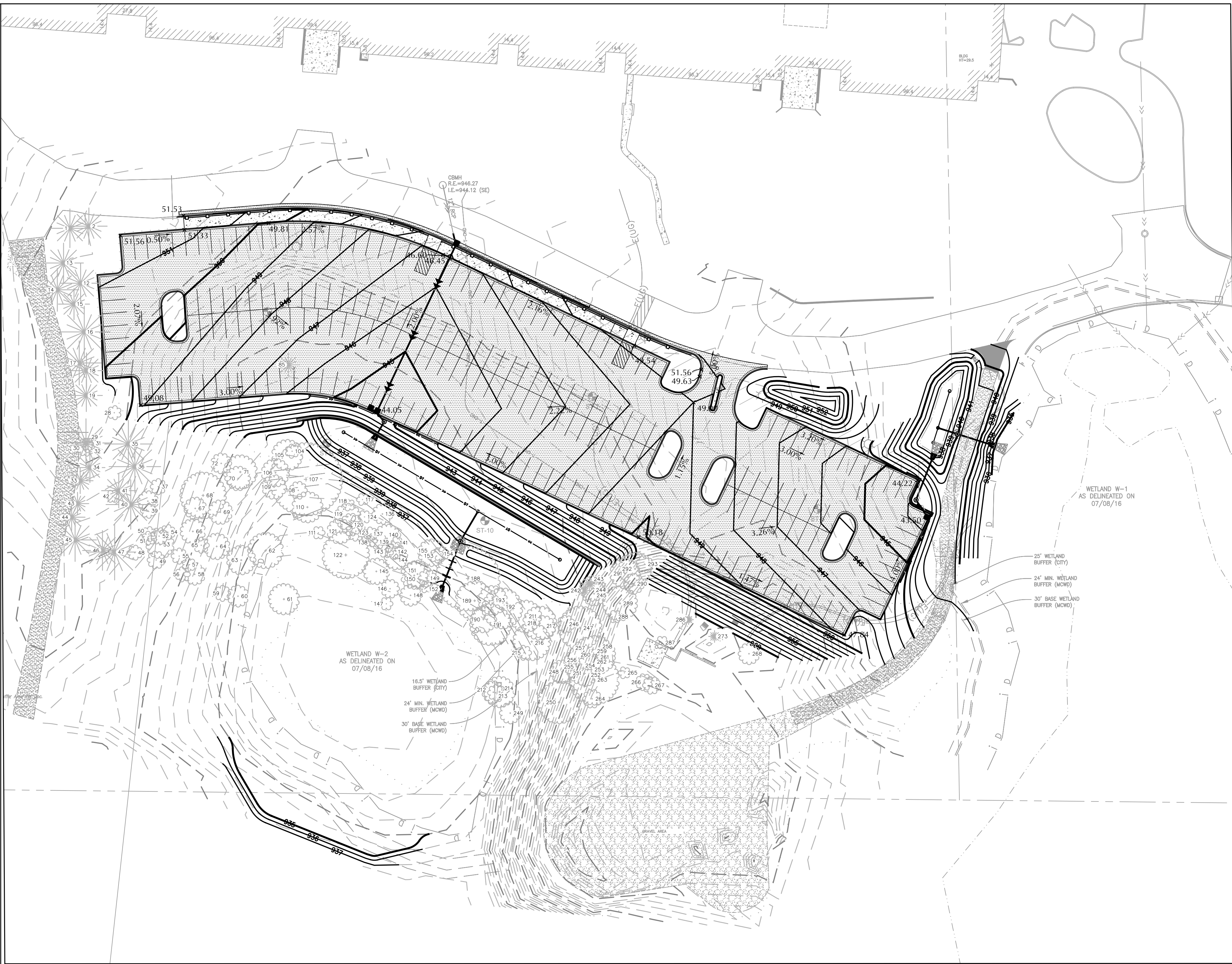
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LEGEND

EXISTING	PROPOSED

SCALE
0 40 80
IN FEET

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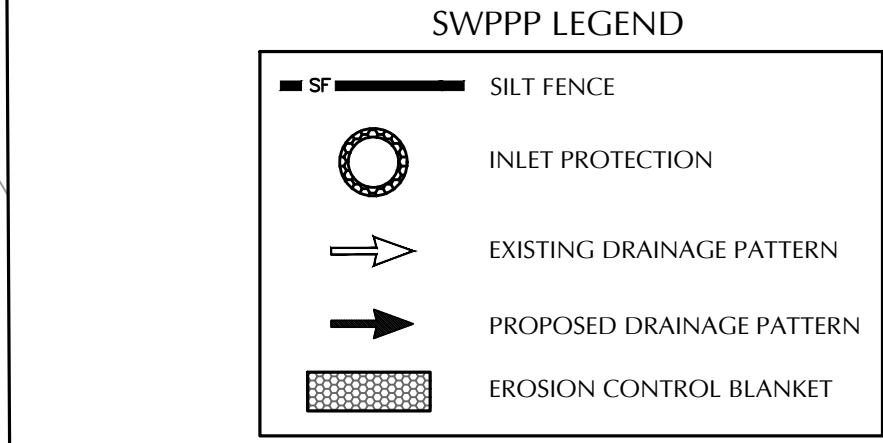
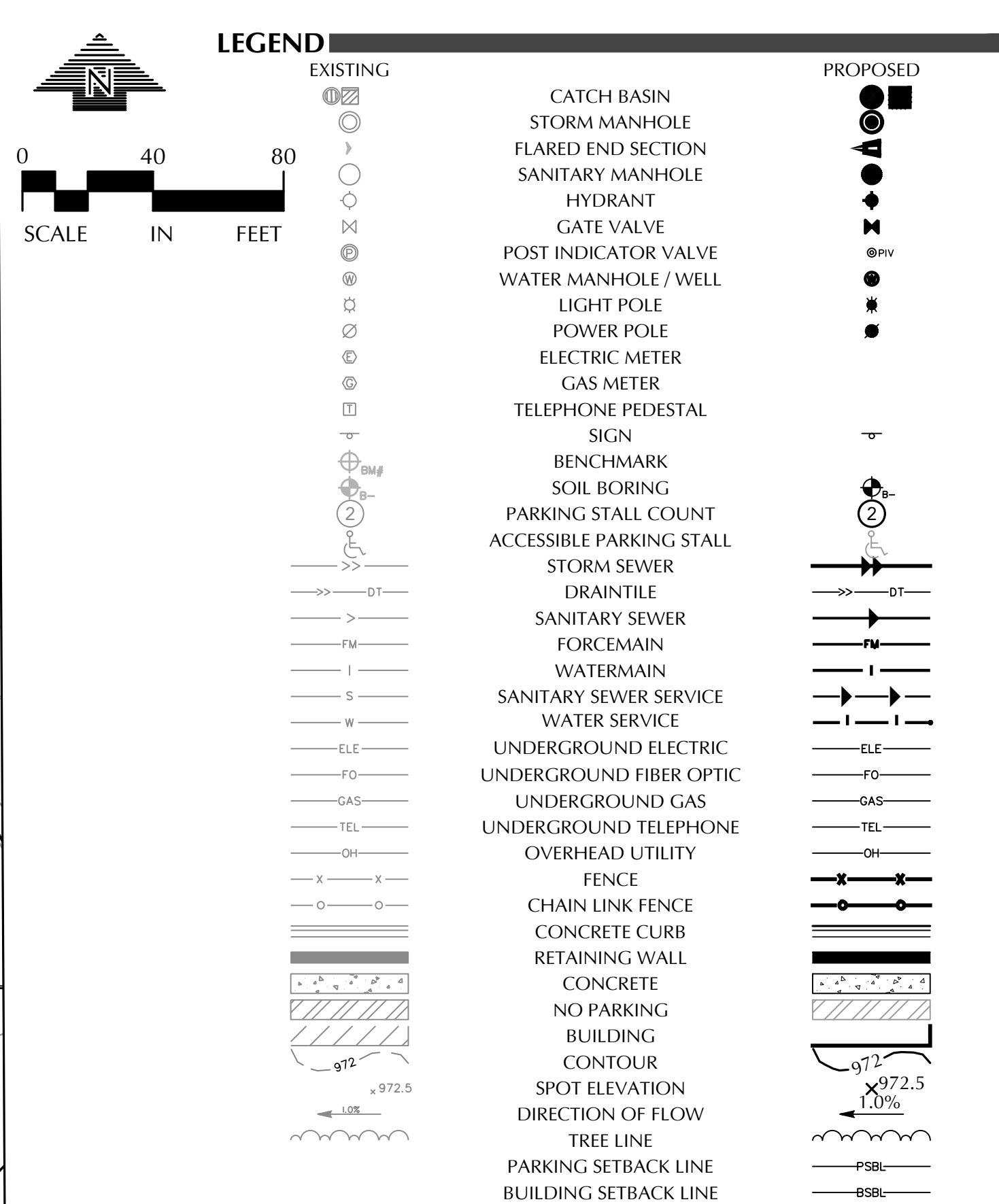
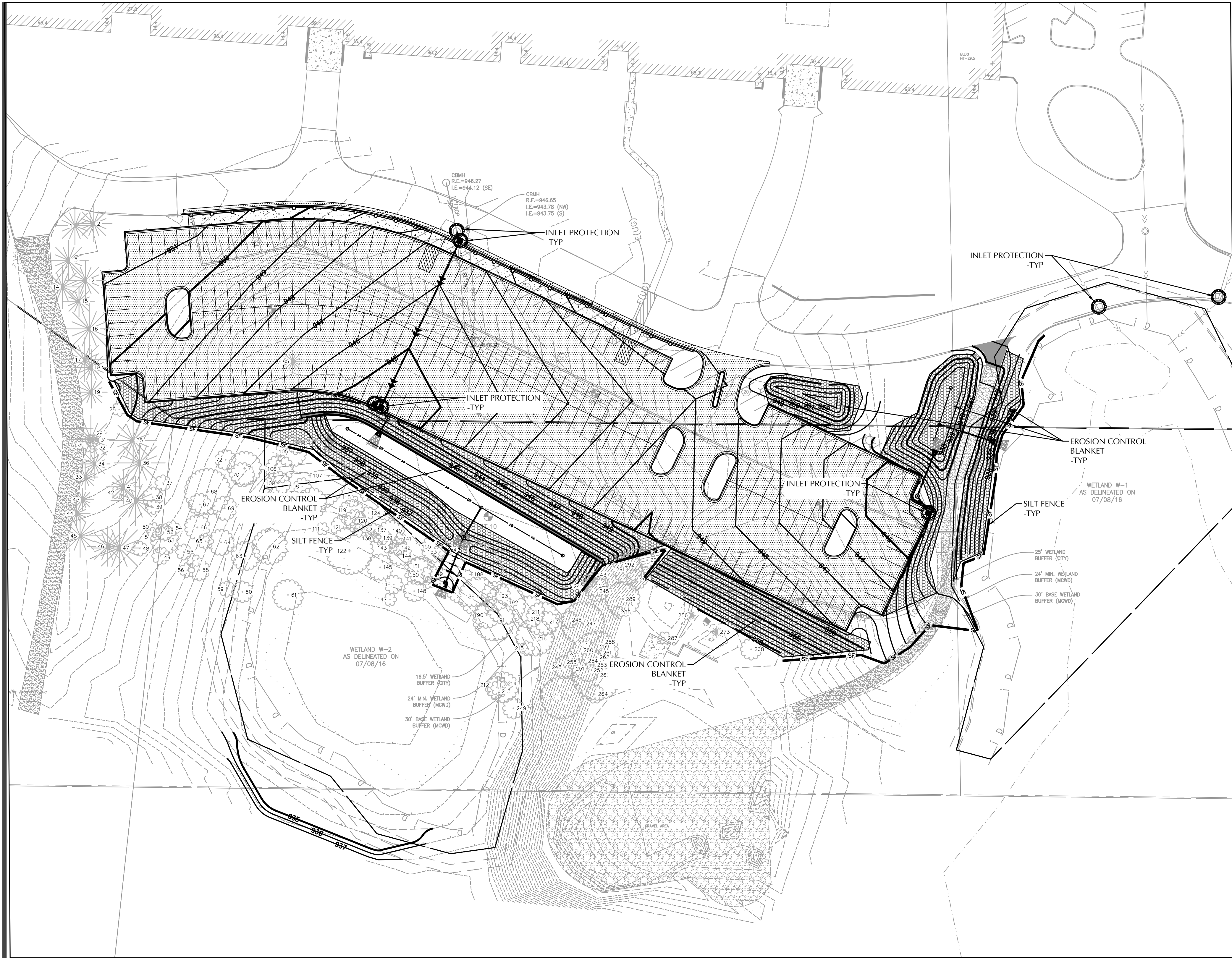
GRADING, DRAINAGE & EROSION CONTROL NOTES

- SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.16 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SUMPED ELEVATIONS.
- GRADING OF THE FILTRATION AREAS SHALL BE ACCOMPLISHED USING LOW-IMPACT EARTH-MOVING EQUIPMENT TO PREVENT COMPACTION OF THE UNDERLYING SOILS. SMALL TRACKED DOZERS AND BOBCATS WITH RUNNER TRACKS ARE RECOMMENDED.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF INCHES OF TOP SOIL AND SEED/MULCH OR SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED.
- FOR SITE RETAINING WALLS "TM" EQUALS SURFACE GRADE AT TOP FACE OF WALL (NOT TOP OF WALL), "GM" EQUALS SURFACE GRADE AT WALL GRADE TRANSITION, AND "BW" EQUALS SURFACE GRADE AT BOTTOM FACE OF WALL (NOT BOTTOM OF BURIED WALL COURSES).
- REFER TO THE REPORT OF GEOTECHNICAL EXPLORATION AND REVIEW (REPORT NO. B1610448), DATED 04/27, 2016 AS PREPARED BY BRAUN INTERTEC FOR AN EXISTING SUBSURFACE SITE CONDITION ANALYSIS AND CONSTRUCTION RECOMMENDATIONS.
- STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
- DUST MUST BE ADEQUATELY CONTROLLED.
- SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
- SEE UTILITY PLAN FOR WATER, STORM AND SANITARY SEWER INFORMATION.
- SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.

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GRADING PLAN
C3-1



NOTE
SEE SHEET C3-3 FOR SWPPP NOTES AND C3-4 FOR SWPPP DETAILS.

ESTIMATED QUANTITIES

DESCRIPTION	UNIT	QUANTITY
TEMPORARY ROCK CONSTRUCTION ENTRANCE	EA	N/A
PREFABRICATED CONCRETE WASHOUT	EA	N/A
SILT FENCE (STANDARD)	LF	68
EROSION CONTROL BLANKET	SY	4,067
INLET PROTECTION	EA	12
BIO-ROLL	LF	88

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SWPPP
C3-2

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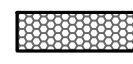
SWPPP NOTES

1. THE NATURE OF THIS PROJECT WILL CONSIST OF CONSTRUCTING A PARKING LOT AND THE ASSOCIATED UTILITIES, & STORM WATER TREATMENT AREAS.
2. THE INTENDED SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES ARE AS FOLLOWS:
 1. PHASE CONSTRUCTION AS NEEDED
 2. INSTALL VEHICLE TRACKING BMP
 3. INSTALL SILT FENCE AROUND SITE AND ALONG WETLANDS
 4. INSTALL PROTECTIVE FENCE AROUND FILTRATION AREAS
 5. CLEAR AND GRUB SITE
 6. STRIP AND STOCKPILE TOPSOIL
 7. REMOVE PAVEMENTS AND UTILITIES
 8. CONSTRUCT STORMWATER MANAGEMENT SYSTEM
 9. ROUGH GRADE SITE
 10. IMPORT CLEAN FILL FOR REPLACEMENT AND BALANCE
 11. INSTALL UTILITIES
 12. INSTALL CURB AND GUTTER
 13. INSTALL PAVEMENTS AND WALKS
 14. FINAL GRADE SITE
 15. REMOVE ACCUMULATED SEDIMENT FROM STORMWATER TREATMENT SYSTEM
 16. SEED AND MULCH
 17. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVAL.
3. SITE DATA:

AREA OF DISTURBANCE:	2.71 ± AC
PRE-CONSTRUCTION IMPERVIOUS AREA:	0.60 AC (EXISTING PARKING LOT)
POST-CONSTRUCTION IMPERVIOUS AREA:	1.75 AC (PROPOSED PARKING LOT)

GENERAL SOIL TYPE: CLAY, SANDY CLAY, SILTY SAND (HSG B- SEE GEOTECHNICAL EVALUATION REPORT FOR DETAILED INFORMATION)
4. THE LOCATION OF AREAS NOT TO BE DISTURBED MUST BE IDENTIFIED WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC. BEFORE CONSTRUCTION BEGINS.
5. ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN (7) OR MORE DAYS SHALL BE STABILIZED BY SEEDING OR SODDING (ONLY AVAILABLE PRIOR TO SEPTEMBER 15) OR BY MULCHING OR COVERING OR OTHER EQUIVALENT CONTROL MEASURE.
6. ON SLOPES 3:1 OR GREATER MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES. SLOPE LENGTHS CAN NOT BE GREATER THAN 75 FEET.

DENOTES SLOPES GREATER THAN 3:1. ALL 3:1 SLOPES TO BE STABILIZED WITH EROSION CONTROL BLANKET


7. ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
8. TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT AMOUNT OF SILT, CLAY, OR ORGANIC COMPOUNDS ARE EXEMPT EX: CLEAN AGGREGATE STOCK PILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES.
9. SEDIMENT LADEN WATER MUST BE DISCHARGED TO A SEDIMENTATION BASIN WHENEVER POSSIBLE. IF NOT POSSIBLE, IT MUST BE TREATED WITH THE APPROPRIATE BMP'S.
10. SOLID WASTE MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
11. EXTERNAL WASHING OF CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE PROPERLY CONTAINED.
12. NO ENGINE DEGREASING IS ALLOWED ON SITE.
13. THE OWNER WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITTEE AND IS RESPONSIBLE FOR COMPLIANCE WITH ALL TERMS AND CONDITIONS OF THE PERMIT. THE OPERATOR (CONTRACTOR) WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITTEE FOR PARTS II.B., PART II.C, PART II.B-F, PART V, PART IV AND APPLICABLE CONSTRUCTION ACTIVITY REQUIREMENTS FOUND IN APPENDIX A, PART C. OF THE NPDES PERMIT AND IS JOINTLY RESPONSIBLE WITH THE OWNER FOR COMPLIANCE WITH THOSE PORTIONS OF THE PERMIT.
14. TERMINATION OF COVERAGE-PERMITTEE(S) WISHING TO TERMINATE COVERAGE MUST SUBMIT A NOTICE OF TERMINATION (NOT) TO THE MPCA. ALL PERMITTEE(S) MUST SUBMIT A NOT WITHIN 30 DAYS AFTER ONE OR MORE OF THE FOLLOWING CONDITIONS HAVE BEEN MET:
 - A. FINAL STABILIZATION, PER NPDES PERMIT PART IV.G. HAS BEEN ACHIEVED ON

- B. ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE. TRANSFER OF OWNERSHIP AS DESCRIBED IN THE PERMIT.
15. INSPECTIONS
 - A. INITIAL INSPECTION FOLLOWING SILT FENCE INSTALLATION BY CITY REPRESENTATIVE IS REQUIRED.
 - B. EXPOSED SOIL AREAS: ONCE EVERY 7 DAYS AND WITHIN 24 HOURS FOLLOWING A 0.5" OVER 24 HOUR RAIN EVENT.
 - C. STABILIZED AREAS: ONCE EVERY 30 DAYS
 - D. FROZEN GROUND: AS SOON AS RUNOFF OCCURS OR PRIOR TO RESUMING CONSTRUCTION.
 - E. INSPECTION AND MAINTENANCE RECORDS MUST BE RETAINED FOR 3 YEARS AFTER FILING OF THE NOTICE OF TERMINATION AND MUST INCLUDE: DATE AND TIME OF ACTION, NAME OF PERSON(S) CONDUCTING WORK, FINDING OF INSPECTIONS AND RECOMMENDATIONS FOR CORRECTIVE ACTION, DATE AND AMOUNT OF RAINFALL EVENTS GREATER THAN 0.5 INCHES IN A 24 HOUR PERIOD.
16. MINIMUM MAINTENANCE
 - A. SILT FENCE TO BE REPAIRED, REPLACED, SUPPLEMENTED WHEN NONFUNCTIONAL, OR 1/3 FULL; WITHIN 24 HOURS
 - B. SEDIMENT BASINS DRAINED AND SEDIMENT REMOVED WHEN REACHES 1/2 STORAGE VOLUME. REMOVAL MUST BE COMPLETE WITHIN 72 HOURS OF DISCOVERY.
 - C. SEDIMENT REMOVED FROM SURFACE WATERS WITHIN (7)SEVEN DAYS
 - D. CONSTRUCTION SITE EXITS INSPECTED, TRACKED SEDIMENT REMOVED WITH 24 HOURS.
 - E. PROVIDE COPIES OF EROSION INSPECTION RESULTS TO CITY ENGINEER FOR ALL EVENTS GREATER THAN 2" IN 24 HOURS
17. THE SWPPP, INCLUDING ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT AT THE SITE DURING CONSTRUCTION ACTIVITY BY THE PERMITTEE(S) WHO HAVE OPERATIONAL CONTROL OF THE SITE.
18. OWNER MUST KEEP RECORDS OF ALL PERMITS REQUIRED FOR THE PROJECT, THE SWPPP, ALL INSPECTIONS AND MAINTENANCE, PERMANENT OPERATION AND MAINTENANCE AGREEMENTS, AND REQUIRED CALCULATIONS FOR TEMPORARY AND PERMANENT STORM WATER MANAGEMENT SYSTEMS. THESE RECORDS MUST BE RETAINED FOR THREE YEARS AFTER FILING NPDES NOTICE OF TERMINATION.
19. SWPPP MUST BE AMENDED WHEN:
 - A. THERE IS A CHANGE IN DESIGN, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS THAT HAS A SIGNIFICANT EFFECT ON DISCHARGE
 - B. INSPECTIONS INDICATE THAT THE SWPPP IS NOT EFFECTIVE AND DISCHARGE IS EXCEEDING WATER QUALITY STANDARDS.
 - C. THE BMP'S IN THE SWPPP ARE NOT CONTROLLING POLLUTANTS IN DISCHARGES OR IS NOT CONSISTENT WITH THE TERMS AND CONDITIONS OF THE PERMIT.
20. CONCRETE WASHOUT AREA
 - A. CONCRETE WASH-OUT IS NOT ALLOWED ON-SITE.
21. IN THE EVENT OF ENCOUNTERING A WELL OR SPRING DURING CONSTRUCTION CONTRACTOR TO CEASE CONSTRUCTION ACTIVITY AND NOTIFY ENGINEER.
22. PIPE OULETTS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER.
23. FINAL STABILIZATION

FINAL STABILIZATION REQUIRES THAT ALL SOIL DISTURBING ACVTIVITIES HAVE BEEN COMPLETED AND THAT DISTURBED AREAS ARE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH 70% OF THE EXPECTED FINAL DENSITY, AND THAT ALL PERMANENT PAVEMENTS HAVE BEEN INSTALLED. ALL TEMPORARY BMP'S SHALL BE REMOVED, DITCHES STABILIZED, AND SEDIMENT SHALL BE REMOVED FROM PERMANENT CONVEYANCES AND SEDIMENTATION BASINS IN ORDER TO RETURN THE POND TO DESIGN CAPACITY.
24. TEMPORARY SEDIMENTATION BASINS
 - A. THE TEMPORARY SEDIMENTATION BASINS SHALL BE CONSTRUCTED AND MADE OPERATIONAL PRIOR TO DISTURBANCE OF 10 OR MORE ACRES DRAINING TO A COMMON LOCATION.
 - B. TEMPORARY SEDIMENTATION BASINS ARE REQUIRED PRIOR TO RUNOFF LEAVING THE CONSTRUCTION SITE OR ENTERING SURFACE WATERS WHEN 10 OR MORE ACRES OF DISTURBED SOILS DRAIN TO A COMMON LOCATION. THE BASIN MUST PROVIDE 3,600 CUBIC FEET OF STORAGE BELOW THE OUTLET PER ACRE DRAINED. IF HYDRAULIC CALCULATIONS ARE AVAILABLE, THE TEMPORARY SEDIMENTATION BASIN MUST PROVIDE A STORAGE VOLUME EQUIVALENT TO THE 2-YEAR, 24-HOUR STORM, BUT IN NO CASE LESS THAN 1800 CUBIC FEET PER ACRE DRAINED. THE TEMPORARY SEDIMENTATION BASIN MUST BE

- CONSTRUCTED AND MADE OPERATIONAL CONCURRENT WITH THE START OF SOIL DISTURBANCE UP GRADIENT OF THE POND. THE TEMPORARY SEDIMENTATION BASIN SHALL BE DESIGNED TO PREVENT SHORT CIRCUITING. THE OUTFALL SHALL BE DESIGNED TO REMOVE FLOATABLE DEBRIS, ALLOW FOR COMPLETE DRAWDOWN OF THE POND FOR MAINTENANCE ACTIVITIES, AND HAVE ENERGY DISSIPATION. THE EMERGENCY SPILLWAY SHALL BE STABILIZED.
- C. TEMPORARY SEDIMENTATION BASINS SHALL BE SITUATED OUTSIDE OF SURFACE WATERS AND ANY REQUIRED BUFFER ZONE, AND MUST BE DESIGNED TO AVOID DRAINING WETLANDS, UNLESS THE IMPACT IS IN COMPLIANCE WITH THE REQUIREMENTS OF THIS PERMIT.
- D. EXCESSIVE SEDIMENT-LADEN WATER THAT IS NOT PROPERLY FILTERED WILL NOT BE PERMITTED TO DISCHARGE FROM SIRE.
25. DEWATERING AND BASIN DRAINING
 - A. TURBID OR SEDIMENT-LADEN WATERS RELATED TO DEWATERING OR BASIN DRAINING SHALL BE DISCHARGED TO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. THE TEMPORARY OR PERMANENT BASIN MAY DISCHARGE TO SURFACE WATERS IF THE BASIN WATER HAS BEEN VISUALLY CHECKED TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED IN THE BASIN AND THAT THE NUISANCE CONDITIONS WILL NOT RESULT FROM THE DISCHARGE. DISCHARGE POINTS SHALL BE ADEQUATELY PROTECTED FROM EROSION AND PROPER VELOCITY DISSIPATION PROVIDED.
 - B. ALL WATER FROM DEWATERING OR BASIN-DRAINING ACTIVITIES MUST BE DISCHARGED IN A MANNER THAT DOES NOT CAUSE NUISANCE CONDITIONS, EROSION IN THE RECEIVING CHANNELS OR ON DOWN SLOPE PROPERTIES, OR INUNDATION IN WETLANDS CAUSING SIGNIFICANT ADVERSE IMPACTS TO THE WETLAND.
 - C. IF FILTERS WITH BACKWASH WATERS ARE USED, THE BACKWASH WATER SHALL BE HAULED AWAY FOR DISPOSAL, RETURNED TO THE BEGINING OF THE TREATMENT PROCESS, OR INCORPORATED INTO SITE IN A MANNER THAT DOES NOT CAUSE EROSION. BACKWASH WATER MAY BE DISCHARGED TO SANITARY SEWER IF PERMISSION IS GRANTED BY THE SANITARY SEWER AUTHORITY.
26. POLLUTION PREVENTION
 - A. BUILDING PRODUCTS THAT HAVE THE POTENTIAL TO LEACH POLLUTANTS MUST BE UNDER COVER TO PREVENT DISCHARGE OR PROTECTED BY AN EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER.
 - B. PESTICIDES, HERBICIDES, INSECTICIDES, FERTILIZERS, TREATMENT CHEMICALS, AND LANDSCAPE MATERIALS MUST BE UNDER COVER.
 - C. HAZARDOUS MATERIALS AND TOXIC WASTE MUST BE PROTECTED TO PREVENT VANDALISM.
 - D. SOLID WASTER MUST BE STORED, COLLECTED AND DISPOSED OF IN COMPLIANCE WITH MINN. R. CH 7035.
 - E. PORTABLE TOILETS MUST BE POSITIONED SO THAT THEY ARE SECURE AND WILL NOT BE TIPPED OR KNOCKED OVER. SANITARY WASTE MUST BE DISPOSED OF PROPERLY IN ACCORDANCE WITH MINN. R. CH 7041.
 - F. DISCHARGE OF SPILLED OR LEAKED CHEMICALS, INCLUDING FUEL, FROM ANY AREA WHERE CHEMICALS OR FUEL WILL BE LOADED OR UNLOADED SHALL BE PREVENTED USING DRIP PANS OR ABSORBENTS. SUPPLIES SHALL BE AVAILABLE AT ALL TIMES TO CLEAN UP DISCHARGED MATERIALS AND THAT AN APPROPRIATE DISPOSAL METHOD MUST BE AVAILABLE FOR RECOVERED SPILLED MATERIALS.
27. DESIGN CALCULATIONS

TEMPORARY & PERMANENT STORMWATER TREATMENT ARE DESIGNED TO MEET MPCA GENERAL & SPECIAL WATER REQUIREMENTS. CALCULATIONS ARE PART OF THE HYDROLOGY REPORT, WHICH IS TO BE CONSIDERED PART OF THE SWPP DOCUMENTS. SEE HYDROLOGY REPORT FOR ADDITIONAL INFORMATION.
28. GENERAL STORMWATER DISCHARGE REQUIREMENTS

ALL REQUIREMENTS LISTED IN PART III OF THE PERMIT FOR DESIGN OF THE PERMANENT STORMWATER MANAGEMENT SYSTEM AND DISCHARGE HAVE BEEN INCLUDED IN THE PREPARATION OF THIS SWPP. THESE INCLUDE BUT ARE NOT LIMITED TO:

 - A. THE EXPECTED AMOUNT, FREQUENCY, INTENSITY, AND DURATION PRECIPITATION.
 - B. THE NATURE OF STORMWATER RUNOFF AND RUN-ON AT THE SITE.
 - C. PEAK FLOW RATES AND STORWATER VOLUMES TO MINIMIZE EROSION AT OUTLETS AND DOWNSTREAM CHANNEL AND STREAM BANK EROSION.
 - D. THE RANGE OF SOIL PARTICLE SIZES EXPECTED TO BE PRESENT ON THE SITE.
29. CONSTRUCTION OF FILTRATION BASINS
 - A. NO HEAVY TRAFFIC ON FILTRATION AREAS. CONSTRUCTION TO BE DONE WITH MINIMAL COMPACTION COMPACTION TO FILTRATION AREAS. IF COMPACTION IS ENCOUNTERED, BASIN SOILS FOR THE FIRST & MUST BE REMOVED & RELAID.
 - B. INFILTRATION SYSTEMS MUST NOT BE EXCAVATED TO FINAL GRADE UNTIL THE CONTRIBUTING DRAINAGE AREA HAD BEEN CONSTRUCTED AND FULLY STABILIZED UNLESS RIGOROUS EROSION PREVENTION AND SEDIMENT CONTROLS ARE PROVIDED(PART III.D.1.C.).

- C. WHEN AN INFILTRATION SYSTEM IS EXCAVATED TO FINAL GRADE (OR WITHIN THREE (3) FEET OF FINAL GRADE), THE PERMITTEE(S) MUST EMPLOY RIGOROUS EROSION PREVENTION AND SEDIMENT CONTROLS (E.G., DIVERSION BERMS) TO KEEP SEDIMENT AND RUNOFF COMPLETELY AWAY FROM THE INFILTRATION AREA. THE AREA MUST BE STAKED OFF AND MARKED SO THAT HEAVY CONSTRUCTION VEHICLES OR EQUIPMENT WILL NOT COMPACT THE SOIL IN THE PROPOSED INFILTRATION AREA.
- D. TO PREVENT CLOGGING OF THE INFILTRATION OR FILTRATION SYSTEM, THE PERMITTEE(S) MUST USE A PRETREATMENT DEVICE SUCH AS A VEGETATED FILTER STRIP, SMALL SEDIMENTATION BASIN, OR WATER QUALITY INLET (E.G., GRIT CHAMBER) TO SETTLE PARTICULATES BEFORE THE STORMWATER DISCHARGES INTO THE INFILTRATION OF FILTRATION SYSTEM.
30. POST CONSTRUCTION

THE WATER QUALITY VOLUME THAT MUST BE RETAINED ON SITE BY THE PROJECT'S PERMANENT STORMWATER MANAGEMENT SYSTEM DESCRIBED IN PART III.D. SHALL BE ONE (1) INCH OF RUNOFF FROM THE NEW IMPERVIOUS SURFACES CRATED BY THE PROJECT. SEE PART III.D.1. FOR MORE INFORMATION ON INFILTRATION DESIGN, PROHIBITIONS AND APPROPRIATE SITE CONDITIONS.
31. RESPONSIBILITIES
 - A. THE OWNER MUST IDENTIFY A CONTRACTOR WHO WILL OVERSEE THE SWPPP IMPLEMENTATION AND THE PERSON RESPONSIBLE FOR INSPECTION AND MAINTENANCE:
 - B. THE OWNER MUST IDENTIFY THE A PERSON WHO WILL BE RESPONSIBLE FOR LONG TERM OPERATIONS AND MAINTENANCE OF THE PERMANENT STORMWATER MANAGEMENT SYSTEM:
32. TRAINING REQUEMETS

THE PERMITTEE(S) SHALL ENSURE THE FOLLOWING INDIVIDUALS IDENTIFIED IN THIS PART HAVE BEEN TRIANED IN ACCORDANCE WITH THIS PERMIT'S TRAINING REQUIREMENTS.

 1. WHO MUST BE TRAINED:
 - A. INDIVIDUAL(S) PREPARING THE SWPP FOR THE PROJECT
 - B. INDIVIDUAL(S) OVERSEEING IMPLEMENTATION OF, REVISING, AND AMENDING THE SWWP AND INDIVIDUAL(S) PERFORMING INSPECTIONS AS REQUIRED IN PART IV.E. ONE OF THESE INDIVIDUAL(S) MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY THE MPCA.
 - C. INDIVIDUAL(S) PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPS. AT LEAST ONE INDIVIDUAL ON A PROJECT MUST BE TRAINED IN THES JOB DUTIES.
 2. TRAINING CONTENT:

THE CONTENT AND EXTENT OF TRAINING MUST BE COMMENSURATE WITH THE INDIVIDUAL'S JOB DUTIES AND RESPONSIBILITIES WITH REGARD TO ACTIVITIES COVERED UNDER THIS PERMIT FOR THE PROJECT. AT LEAST ONE INDIVIDUAL PRESENT ON THE PERMITTED PROJECT SITE (OR AVAILABLE TO THE PROJECT SIRE IN 72 HOURS) MUST BE TRAINED IN THE JOB DUTIES DESCRIBED IN PART III.F.1.B. AND PARTIII.F.1.C.
 33. THE PERMITTEE(S) SHALL ENSURE THAT THE INDIVIDUALS ARE TRAINED BY LOCAL, STATE, FEDERAL AGENCIES, PROFESSIONAL OR OTHER ENTITIES WITH EXPERTISE IN EROSION PREVENTION, SEDIMENT CONTROL, PERMANENT STORMWATER MANAGEMENT AND THE MINNESOTA NPDES/SDS CONSTRUCTION STORMWATER PERMIT. AN UPDATE REFESHER-TREINING MUST BE ATTENDED EVERY THREE (3) YEARS STARTING THREE (3) YEARS FROM THE ISSUANCE DATE OF THIS PERMIT.
33. LIST OF CONTACTS

TITLE	NAME	COMPANY	PHONE NUMBER
OWNER	JUSTIN COX	CARGILL	952-742-6172
PROJECT MANAGER	JEFF SHOPEK	LOUCKS	763-496-6715
ENGINEER SWPPP	VAL ANDERSON	LOUCKS	763-496-6728
CONTRACTOR	FPI PAVING		
SITE MANGER			

* MPCA 24HR. HAZARDOUS SPILL HOTLINE: 651-649-5457 OF 80420798

ESTIMATED QUANTITIES

DESCRIPTION	UNIT	QUANTITY
TEMPORARY ROCK CONSTRUCTION ENTRANCE	EA	1
PREFABRICATED CONCRETE WASHOUT	EA	NOT ALLOWED
SILT FENCE (STANDARD)	LF	2,300
EROSION CONTROL BLANKET	SY	2,800
INLET PROTECTION	EA	4
SEEDING	AC	1.00±

STORMWATER FILTRATION

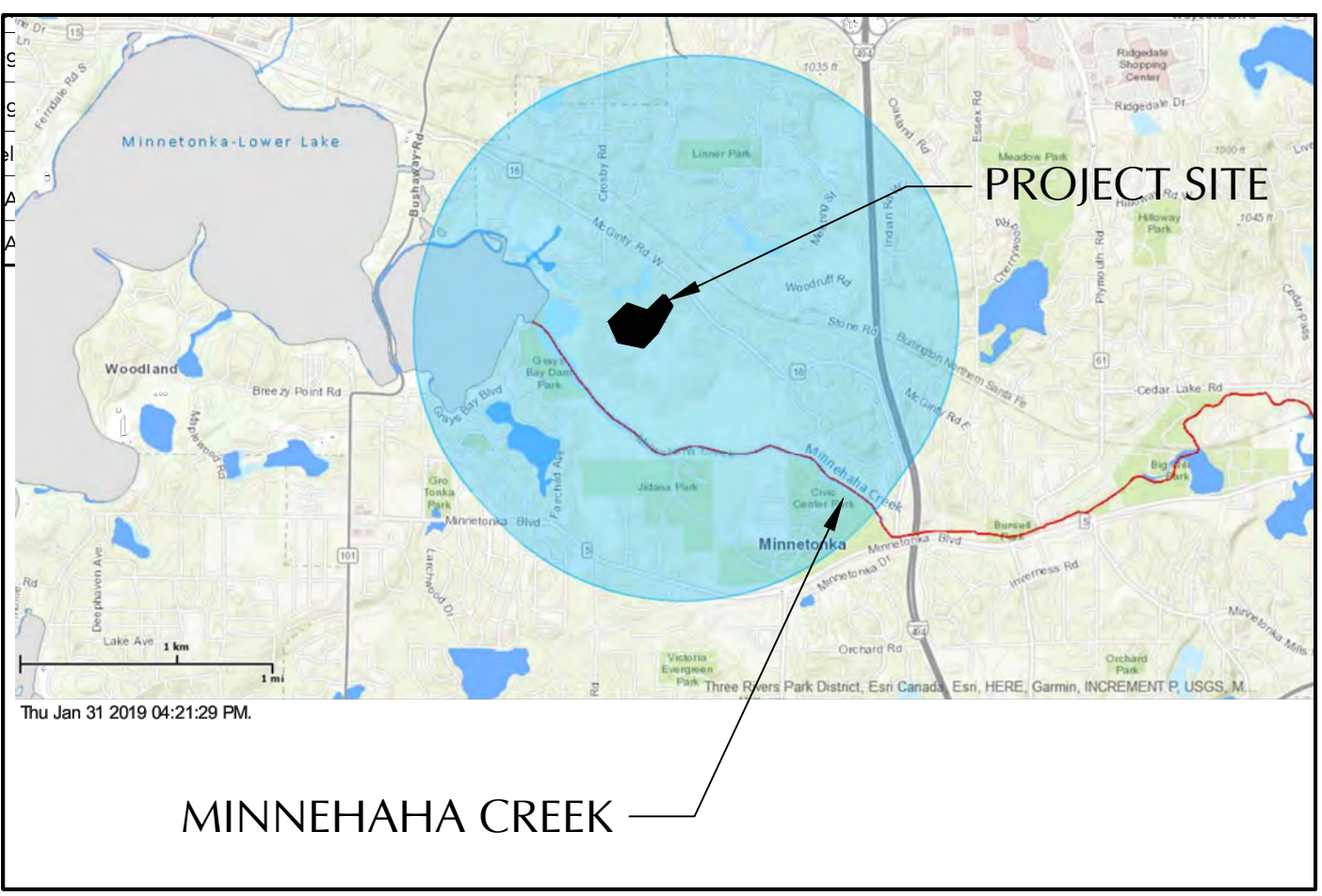
PERMANENT VOLUME = 0.00 AF
 WATER QUALITY VOLUME REQUIRED = 1.0" * 80,586 SF * 1/12 = 6,715 CF
 WATER QUALITY VOLUME PROVIDED =9,496 CF (TOTAL TREATMENT)

RECEIVING WATERS

NAME OF WATER BODY	TYPE OF WATER BODY	SPECIAL WATER	IMAIRED WATER	TYPE OF SPECIAL WATER
MINNEHAHA CREEK	CREEK	NO	YES	

CERTIFICATION

VICINITY MAP



CARGILL PARKING LOT

WAYZATA, MINNESOTA

CARGILL INCORPORATED

15407 MCGINTY ROAD
WAYZATA, MN 55391

LOUCKS

PLANNING
CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
ENVIRONMENTAL

7200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
763.424.5505
www.loucksinc.com

CADD QUALIFICATION

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SUBMITTAL/REVISIONS

01/20/19 90% OWNER REVIEW
05/10/20 CITY SUBMITTAL

PROFESSIONAL SIGNATURE

NOT FOR CONSTRUCTION

QUALITY CONTROL

C1-1 EXISTING CONDITIONS
C1-2 DEMOLITION PLAN
C2-1 SITE PLAN
C3-1 GRADING PLAN
C3-2 SWPPP
C3-3 & C3-4 SWPPP NOTES, DETAILS
C4-1 UTILITY PLAN
C8-1 CIVIL DETAILS
C8-2 CIVIL DETAILS
L1-1 TREE PRESERVATION PLAN
L1-2 TREE INVENTORY
L2-1 LANDSCAPE PLAN
L3-1 LANDSCAPE DETAILS

SWPPP NOTES

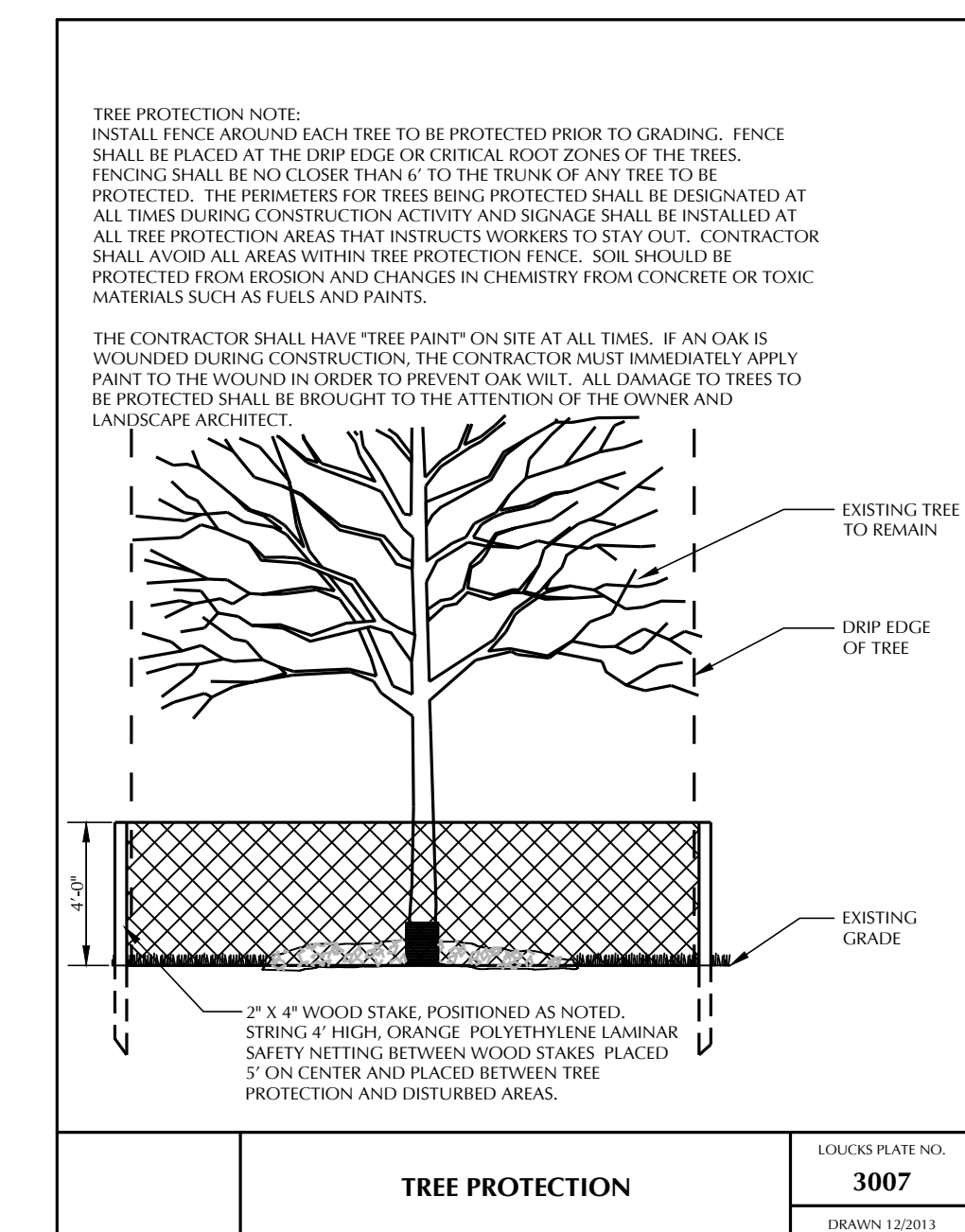
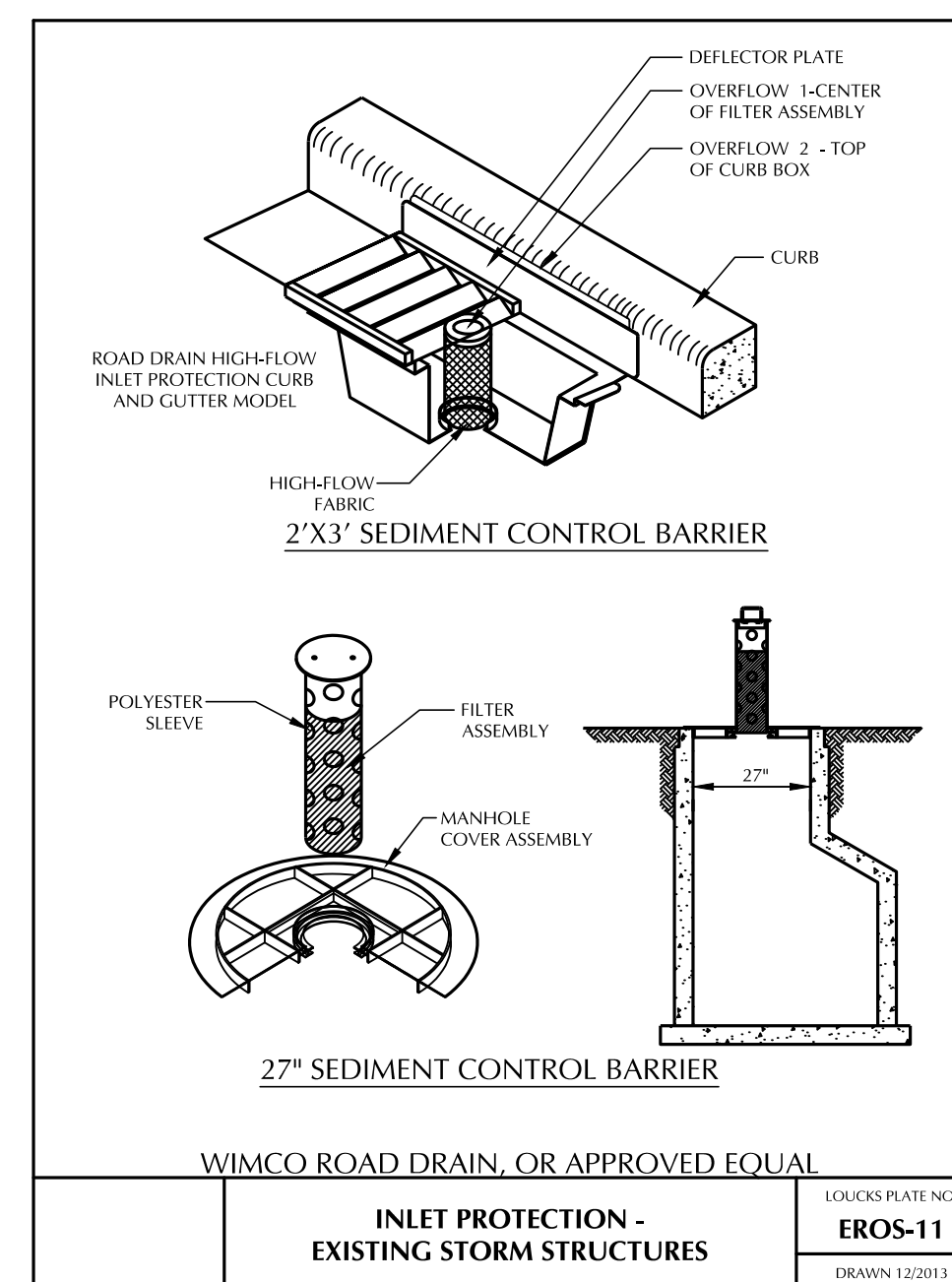
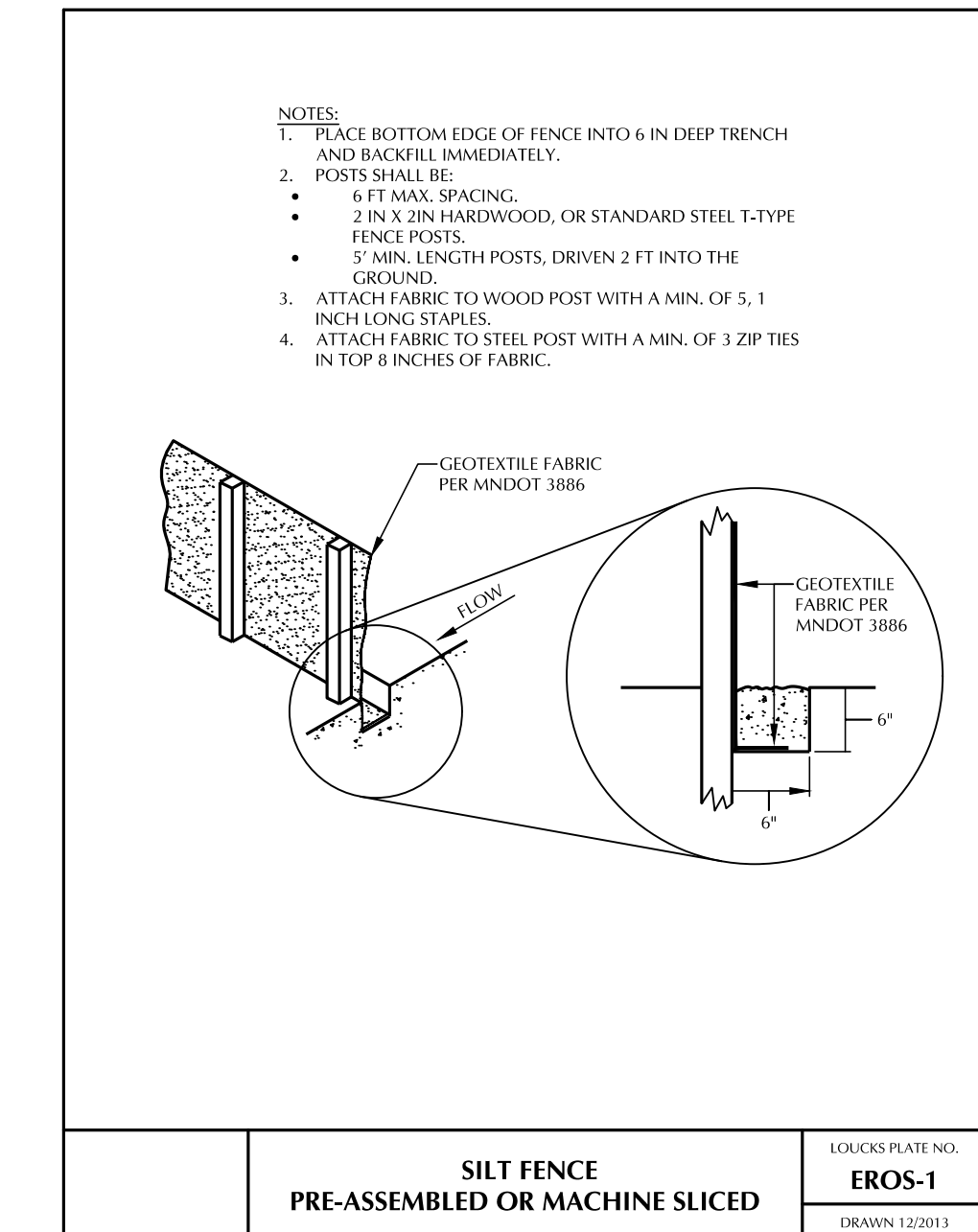
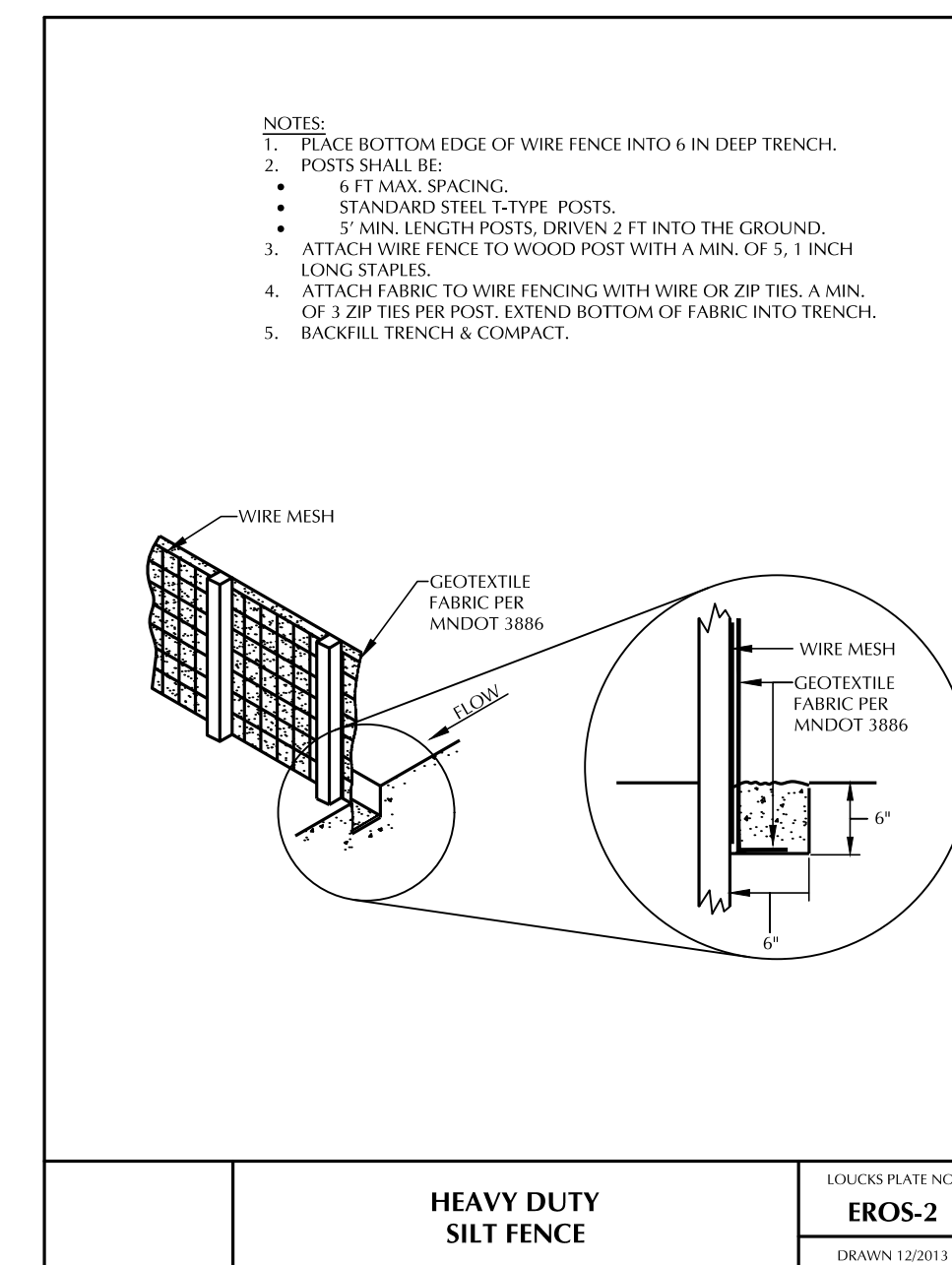
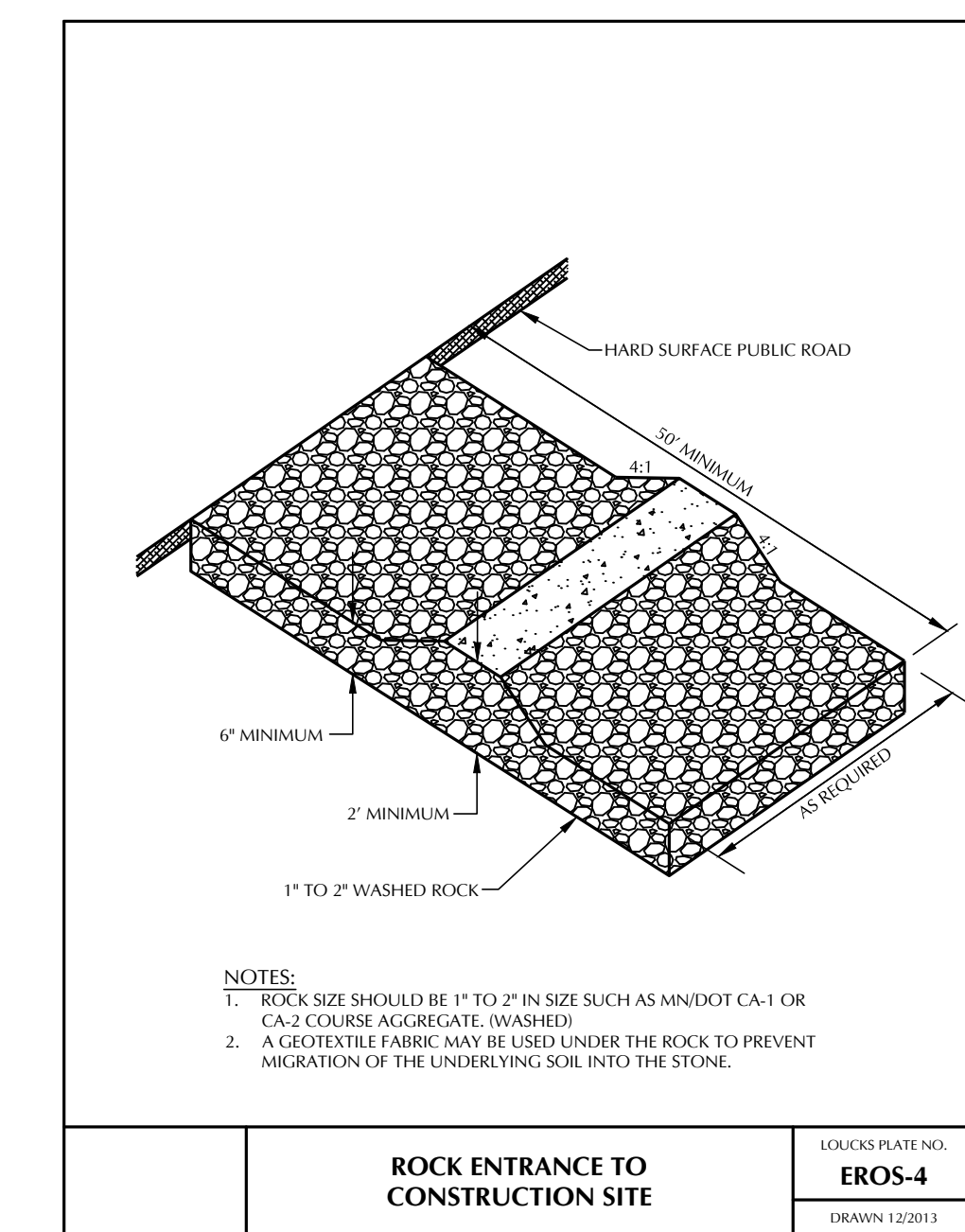
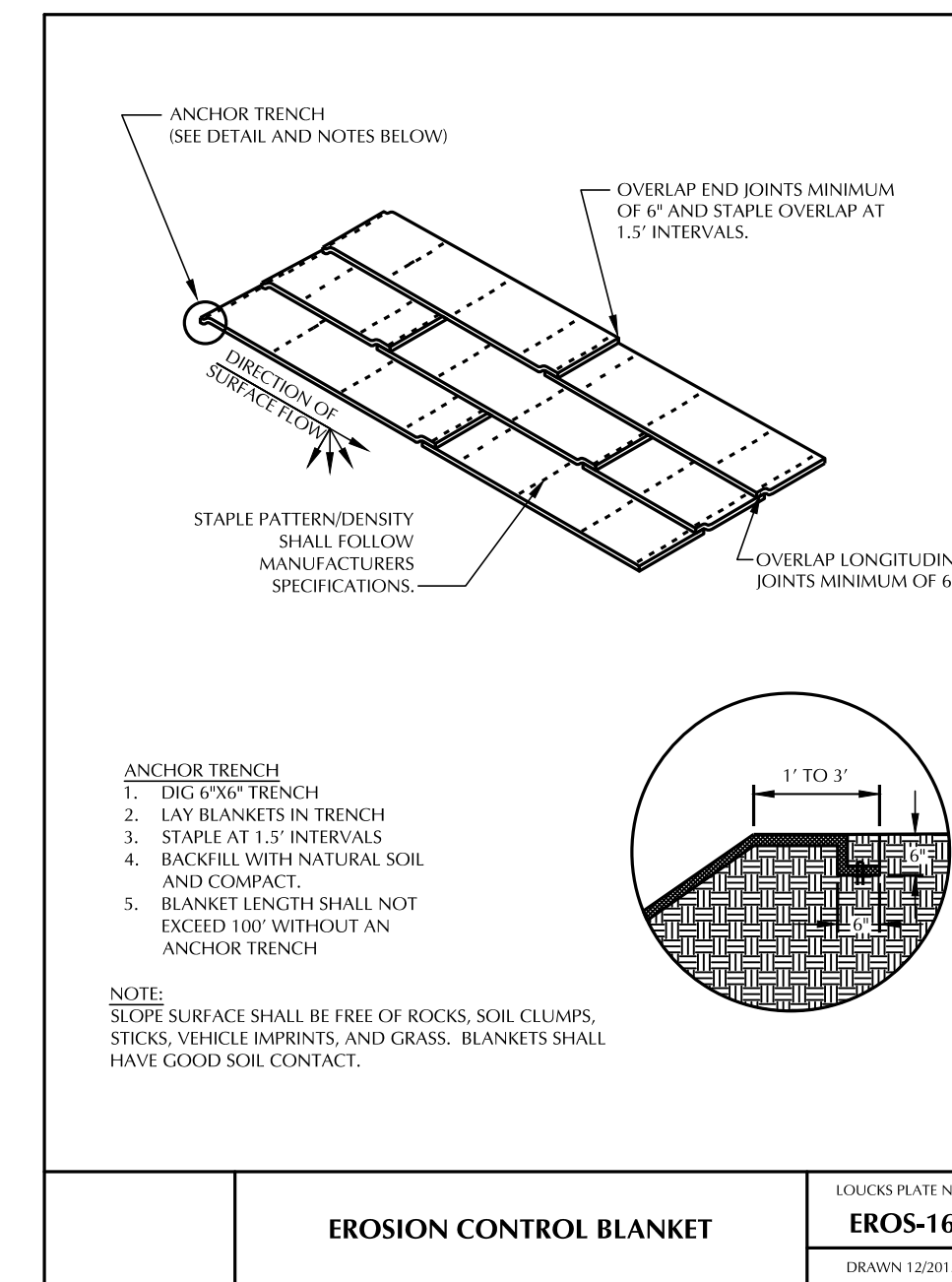
C3-3

Inspection Activities-Surface Structure

Inspection Activity	Recommended Inspection Frequency	Outcomes/Actions
1. Visual inspection for Debris: inlets, outlets, sump manholes and basin	Monthly	Notify maintenance staff/contractor of need for debris removal
2. Visual inspection for erosion and undesirable vegetation around inlet and outlet	Monthly	Notify maintenance staff/contractor of need to repair erosion damage/stabilize
3. Sediment accumulation in sump manholes, basin, inlets	Every 6 months	Notify maintenance staff/contractor of need to remove sediment when depth exceeds 3 inches per manufacturer's specifications.
4. Inspect structural components of inlet and outlet structures	Every 6 months	Notify maintenance staff/contractor of any observed structural damage, loose or missing bolts, blockage, etc...
5. Inspect ground surface around structures for sinkholes or other unusual depression areas	Monthly	Notify maintenance staff/contractor of the presence of sinkholes
6. Dewatering	After Large storm events	Notify maintenance staff/contractor of the system's failure to drain within 72 hours of a storm event
7. Inspect surface basins for snow storage	Winter Months	Notify maintenance staff/contractor of inappropriate storage in basins. Remove snow from basin.

Maintenance Activities-Surface Filtration Structure

Maintenance Activity	Frequency	Procedure	Maintenance by
1. Trash and debris removal from inlets and outlets	As needed per inspection	Remove accumulated debris	Property owner or designated contractor
2. Erosion repair	As needed per inspection	Handwork	Property owner or designated contractor
3. Sediment removal from sumps and basin	Annually in the Spring or as required when sediment exceeds manufacturer's specifications	Remove accumulated sediment	Property owner or designated contractor
4. Clean/Fix structural components	As needed per inspection	Dependent on type of damage; Repair or replace components per manufacturer's recommendations	Property owner or designated contractor
5. Repair of underground structures	As needed per inspection	Follow manufacturer's recommendation	Property owner or designated contractor
6. Dewatering	As needed per inspection	Pump water to downstream storm sewer per manufacturer's recommendations. Inspect for possible causes.	Property owner or designated contractor
7. Storage in basin removed	As needed per inspection	Remove any items stored in basin including snow	Property owner or designated contractor



CARGILL PARKING LOT

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01/20/19 90% OWNER REVIEW
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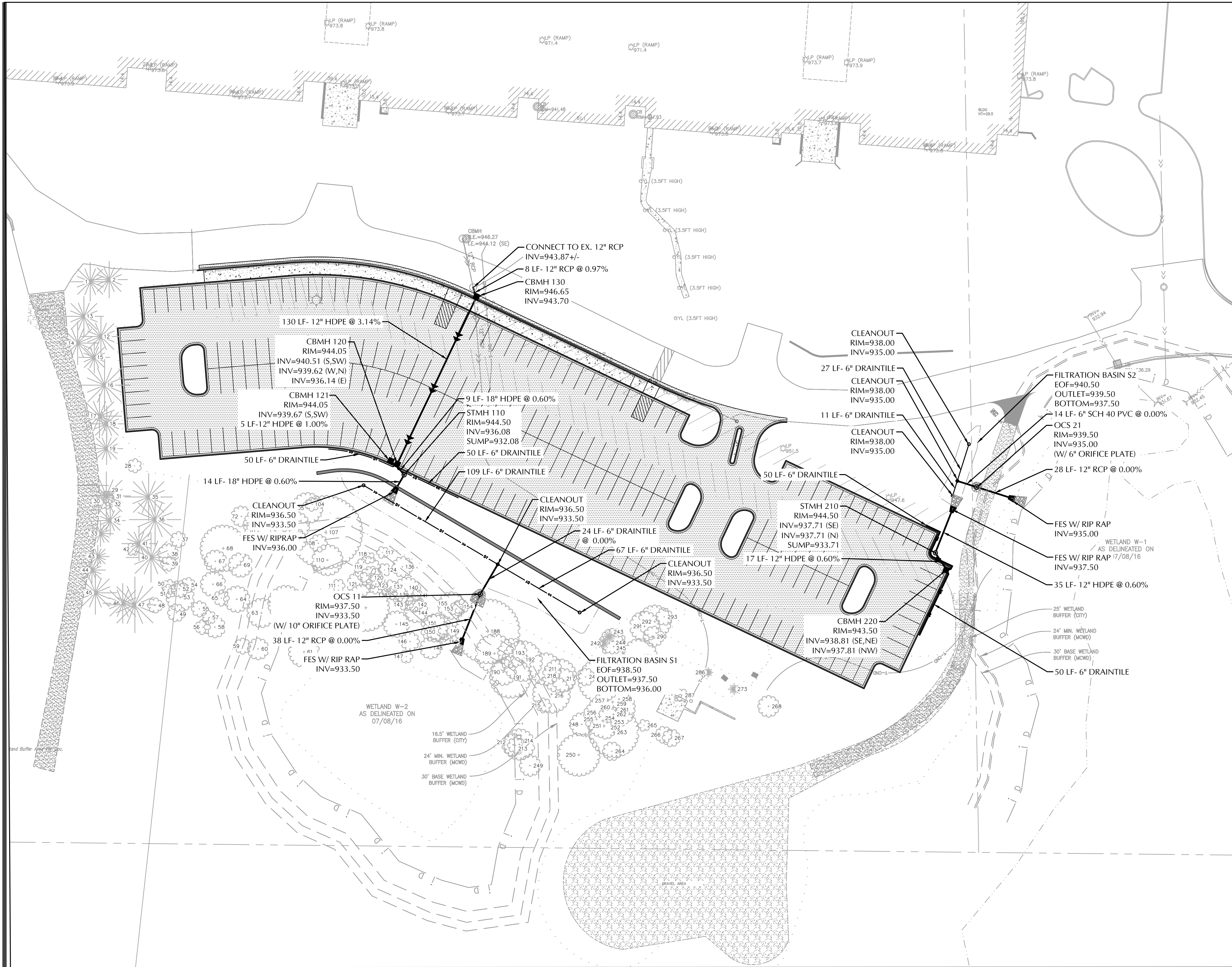
NOT FOR CONSTRUCTION

QUALITY CONTROL

C1-1	EXISTING CONDITIONS
C1-2	DEMOLITION PLAN
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C3-2	SWPPP
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L1-2	TREE INVENTORY
L2-1	LANDSCAPE PLAN
L3-1	LANDSCAPE DETAILS

SWPPP DETAILS

C3-4



LEGEND

EXISTING	PROPOSED

UTILITY NOTES

- ALL SANITARY SEWER, STORM SEWER AND WATERMAIN UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, THE MINNESOTA PLUMBING CODE, THE LOCAL GOVERNING UNIT, AND THE STANDARD UTILITIES SPECIFICATION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), 2013 EDITION.
- ALL UTILITY PIPE BEDDING SHALL BE COMPACTED SAND OR FINE GRANULAR MATERIAL. ALL COMPACTION SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CEAM SPECIFICATION.
- ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE STATE AND LOCAL JURISDICTIONS. THE CITY DEPARTMENT OF ENGINEERING AND BUILDING INSPECTIONS DEPARTMENT AND THE CONSTRUCTION ENGINEER MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, OR WORK IMPACTING PUBLIC UTILITIES.
- ALL STORM SEWER, SANITARY SEWER AND WATER SERVICES SHALL TERMINATE 5' FROM THE BUILDING FACE UNLESS OTHERWISE NOTED.
- A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION FROM WATERMAIN IS REQUIRED FOR ALL OTHER UTILITIES UNLESS OTHERWISE NOTED. CONTRACTOR TO PROVIDE WATERMAIN LOWERINGS AT ANY CONFLICT POINTS.
- PROPOSED PIPE MATERIALS:

STORM SEWER	HDPE	12" TO 15" DIAMETER
STORM SEWER	SCH40 PVC	6" TO 16" DIAMETER
- ALL NEW WATERMAIN AND SERVICES MUST HAVE A MINIMUM OF 8.0 FEET OF COVER. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. THE CONTRACTOR SHALL FIELD ADJUST WATERMAIN TO AVOID CONFLICTS WITH SANITARY SEWER, STORM SEWER, AND SERVICES AS REQUIRED. INSULATION OF WATER AND SANITARY SEWER LINES SHALL BE PROVIDED WHERE 8.0 FEET MINIMUM DEPTH CAN NOT BE ATTAINED.
- ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER WYES, TEES AND SERVICES SHALL BE SCH. 40 PVC.
- ALL PORTIONS OF THE STORM SEWER SYSTEM, INCLUDING CATCH BASINS, LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED ACCORDANCE WITH MINNESOTA RULES, PART 4715.2820
- ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT (SEE MINNESOTA RULES, PART 4715.0700). APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, AND OTHER STRUCTURES.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINS MUST COMPLY WITH MINNESOTA RULES, PART 4715.0540:
 - PIPES 4-INCH TO 10-INCH IN SIZE MUST COMPLY WITH AASHTO M252.
 - PIPES 12-INCH TO 60-INCH IN SIZE MUST COMPLY WITH ASTM F2306.
 - ALL FITTINGS MUST COMPLY WITH ASTM D3212.
 - WATER-TIGHT JOINTS MUST BE USED AT ALL CONNECTIONS INCLUDING STRUCTURES.
- COORDINATE NECESSARY UTILITY SUPPORT PILES, PIERS, ETC. WITH BRAUN INTERTEC, IF APPLICABLE.
- ALL UNUSED UTILITY SERVICES SHALL BE REMOVED BACK TO MAIN.

STORM SEWER STRUCTURE SCHEDULE

STRUCTURE NUMBER	STRUCTURE TYPE	NEENAH CASTING TYPE (OR EQUAL)
STMH 110	60" DIA. PRECAST MANHOLE W/ SAFL BAFFLE, SEE DETAIL	R-1733
OCS-11	SEE DETAIL	
CBMH 120	48" DIA. PRECAST	R-3067-VB
CB 121	2' X 3' PRECAST	R-3067-V
CBMH 130	48" DIA. PRECAST	R-3067-V
OCS-21	SEE DETAIL	
STMH 210	60" DIA. PRECAST MANHOLE W/ SAFL BAFFLE, SEE DETAIL	R-1733
CBMH 220	48" DIA. PRECAST	R-3067-V

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SUBMITTAL/REVISIONS

PROFESSIONAL SIGNATURE

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QUALITY CONTROL

C1-1	EXISTING CONDITIONS
C1-2	DEMOLITION PLAN
C2-1	SITE PLAN
C3-1	GRADING PLAN
C3-2	SWPPP
C3-3 & C3-4	SWPPP NOTES, DETAILS
C4-1	UTILITY PLAN
C8-1	CIVIL DETAILS
C8-2	CIVIL DETAILS
L1-1	TREE PRESERVATION PLAN
L1-2	TREE INVENTORY
L2-1	LANDSCAPE PLAN
L3-1	LANDSCAPE DETAILS

UTILITY PLAN
C4-1

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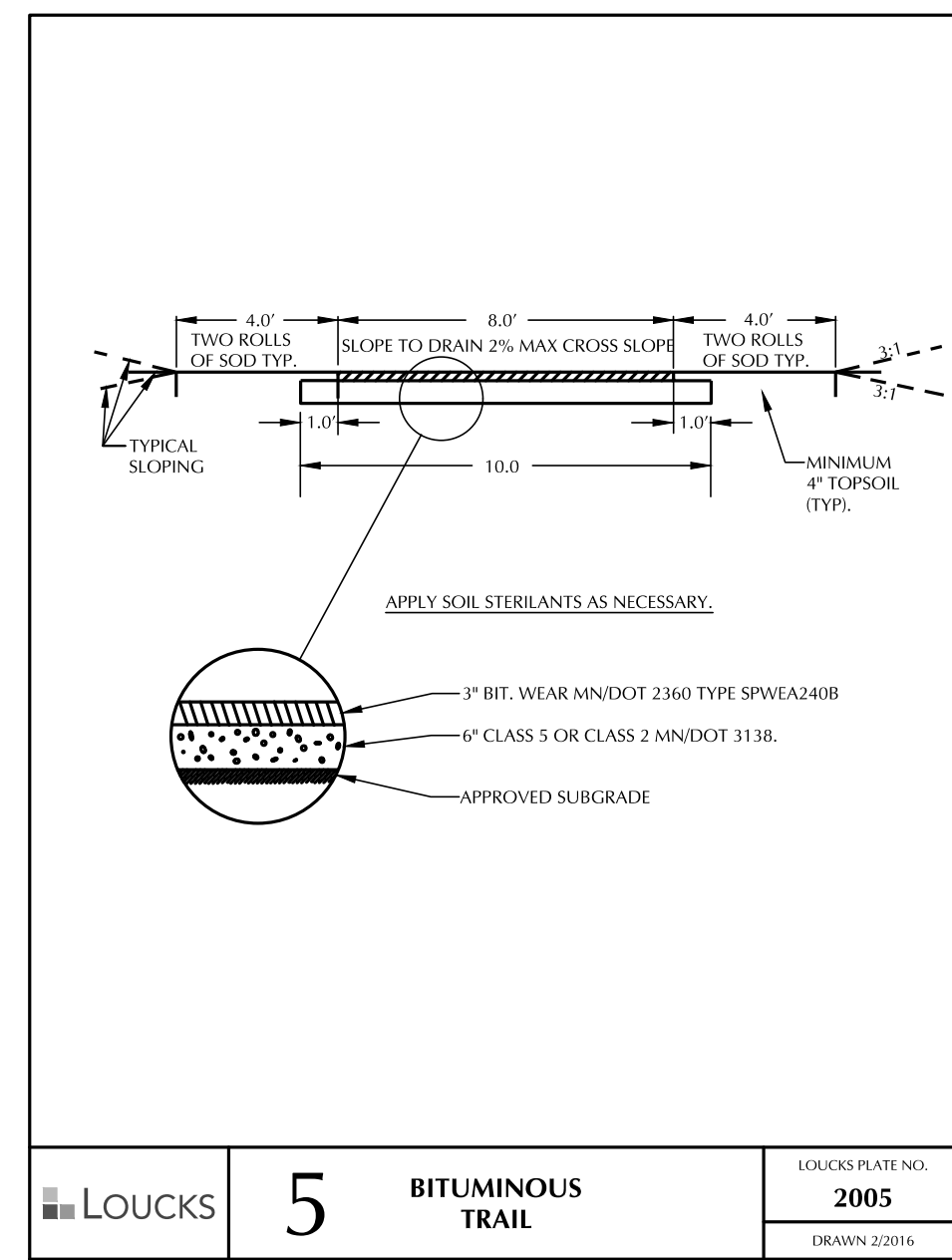
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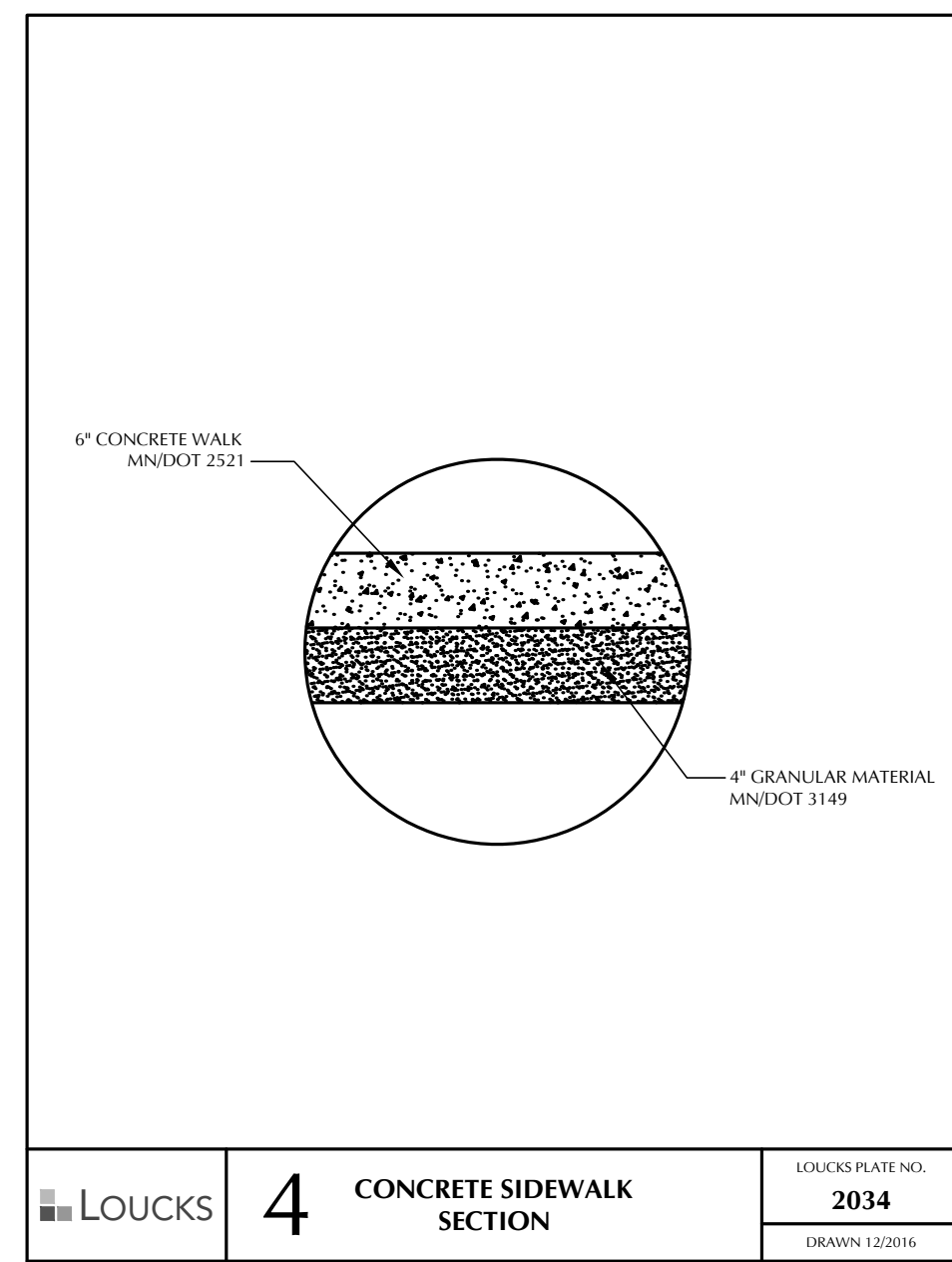
01/20/19 90% OWNER REVIEW
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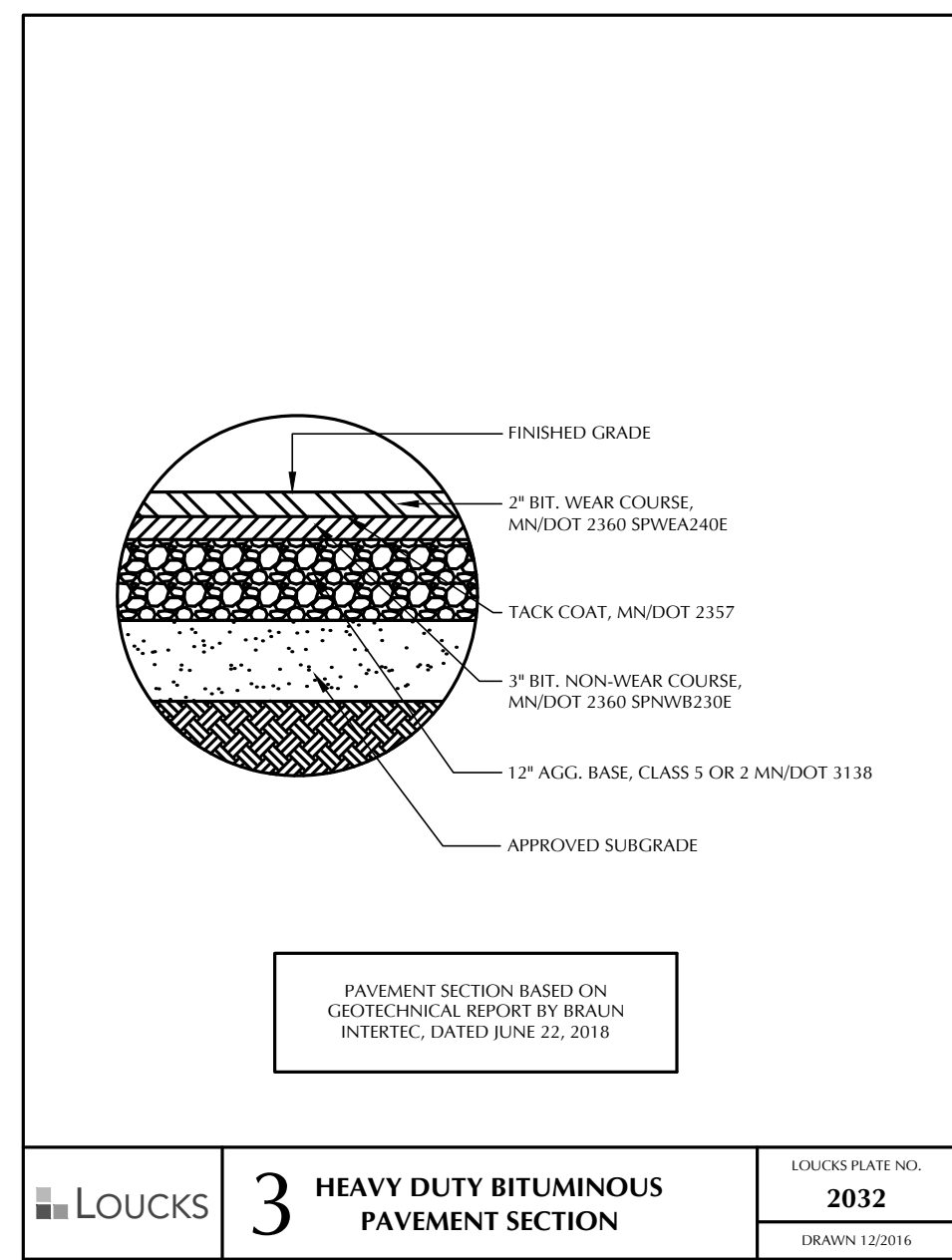
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C3-3 & C3-4	SWPPP NOTES, DETAILS
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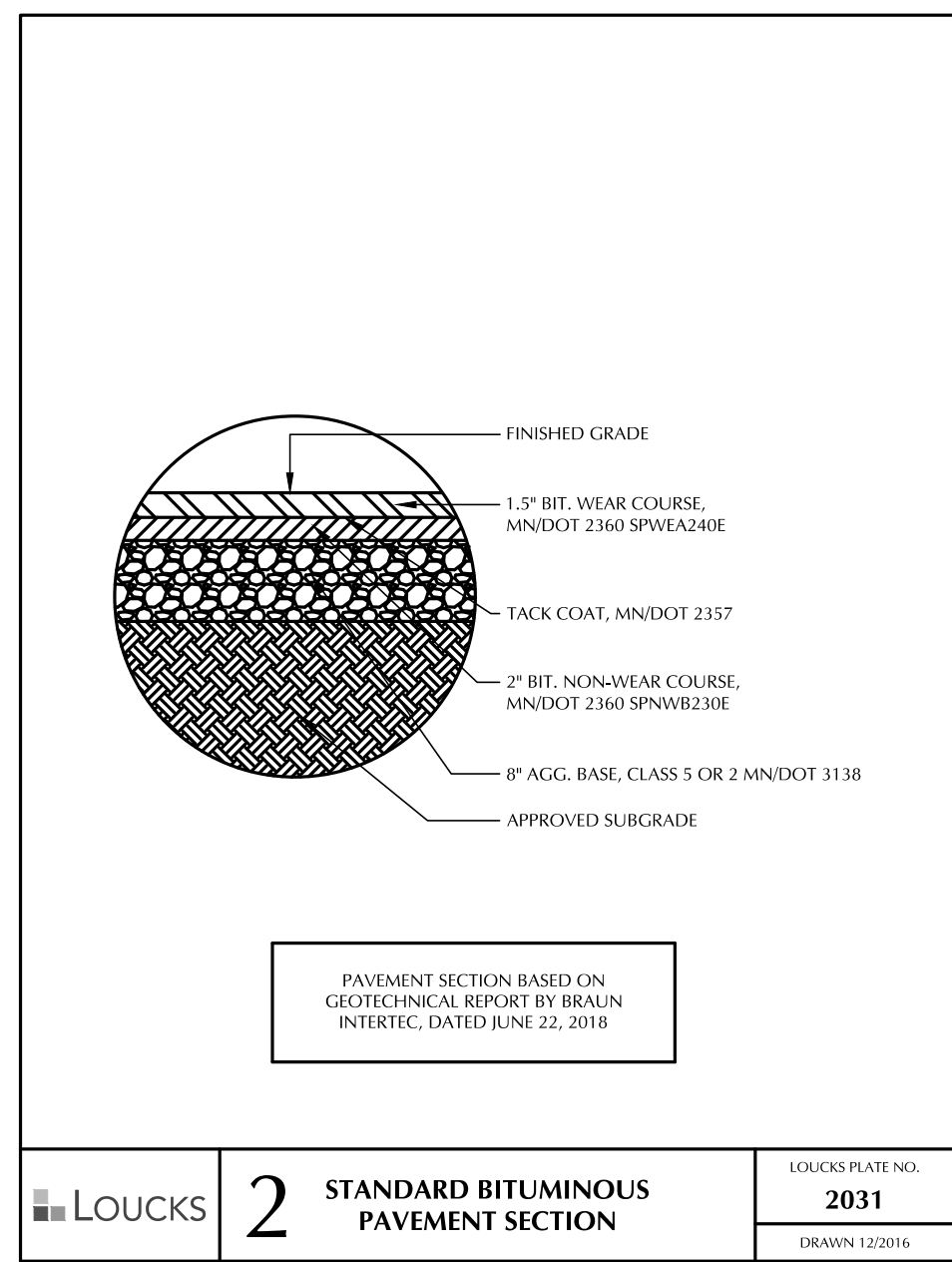
5 BITUMINOUS TRAIL
LOUCKS PLATE NO. 2005
DRAWN 12/2016



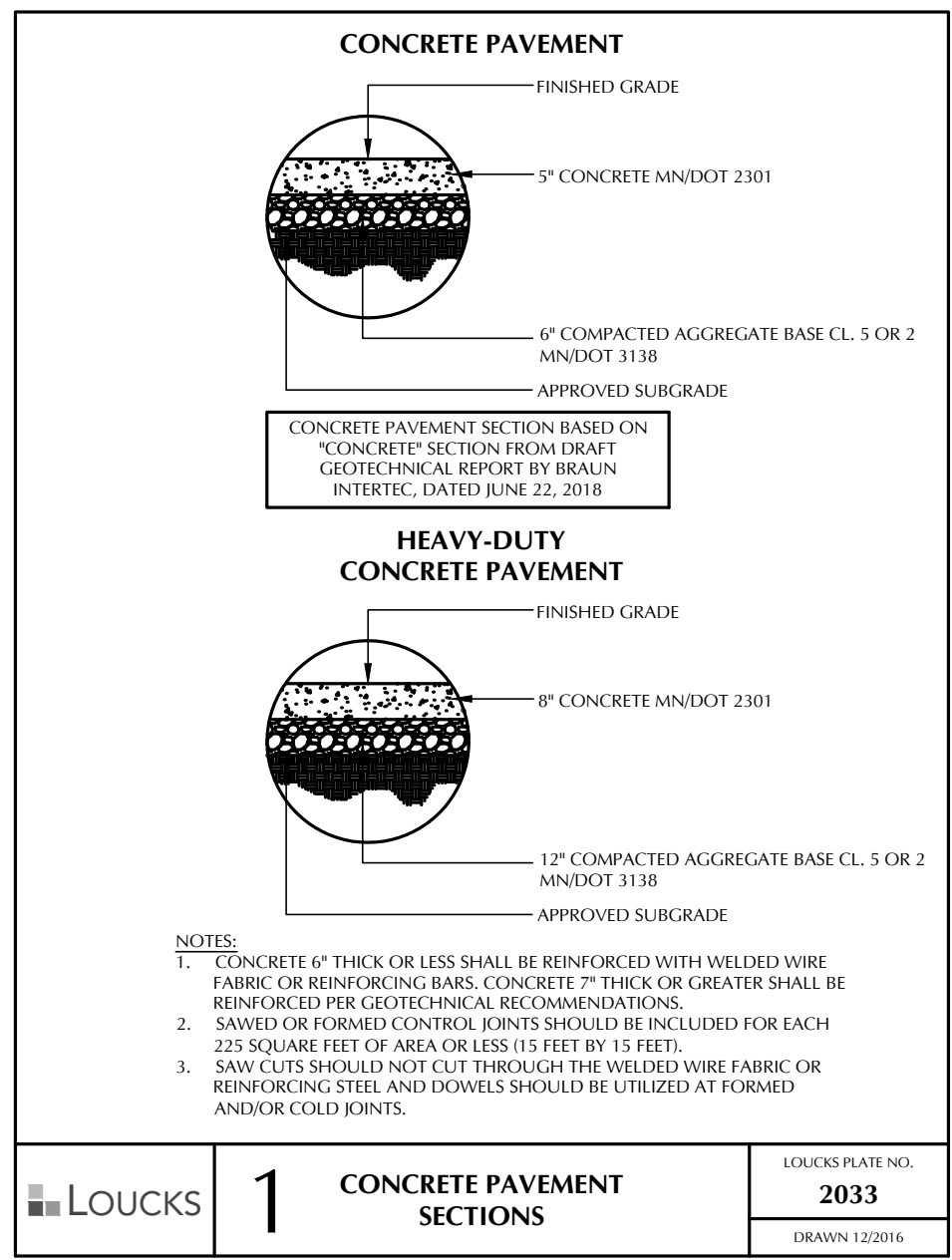
4 CONCRETE SIDEWALK SECTION
LOUCKS PLATE NO. 2034
DRAWN 12/2016



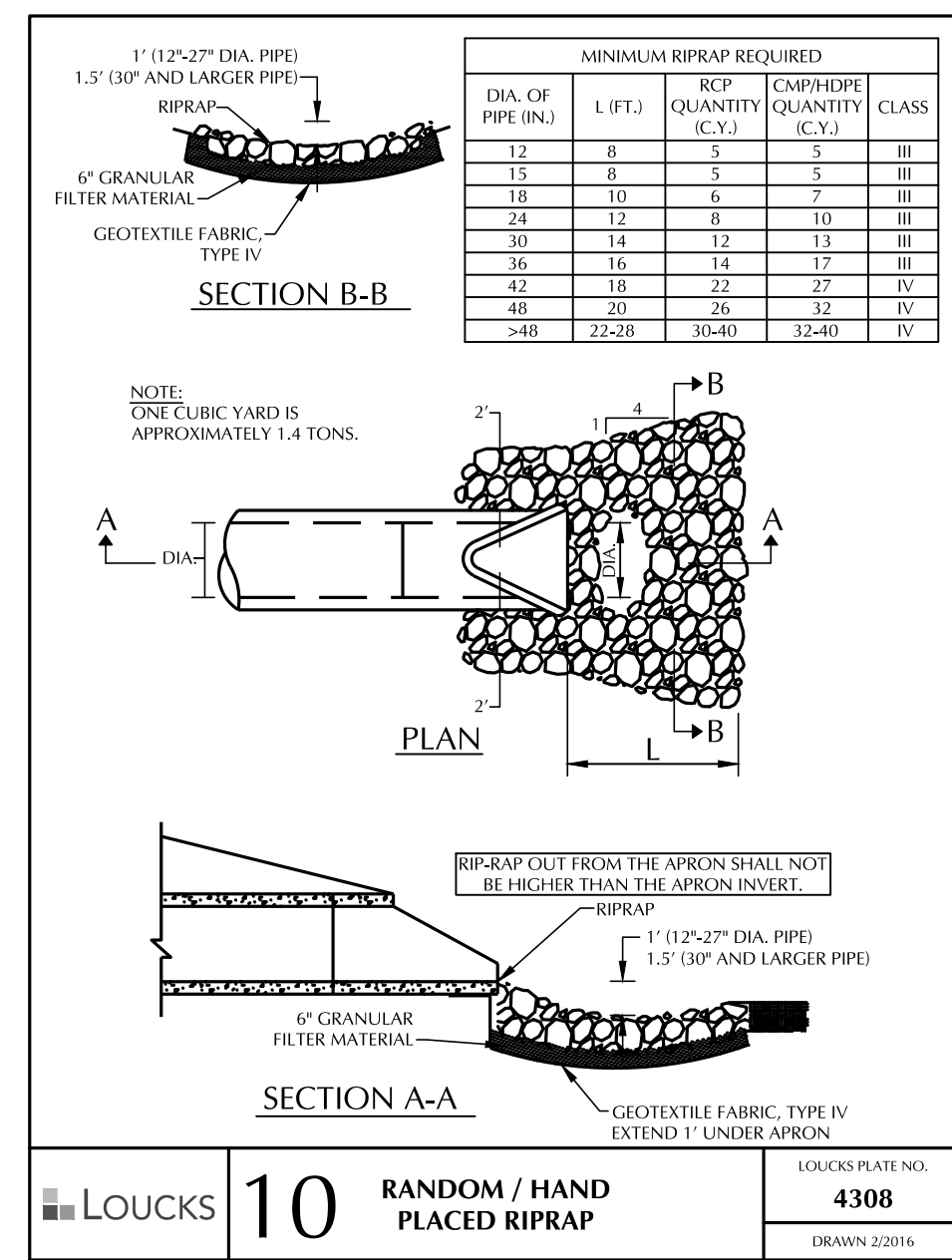
3 HEAVY DUTY BITUMINOUS PAVEMENT SECTION
LOUCKS PLATE NO. 2032
DRAWN 12/2016



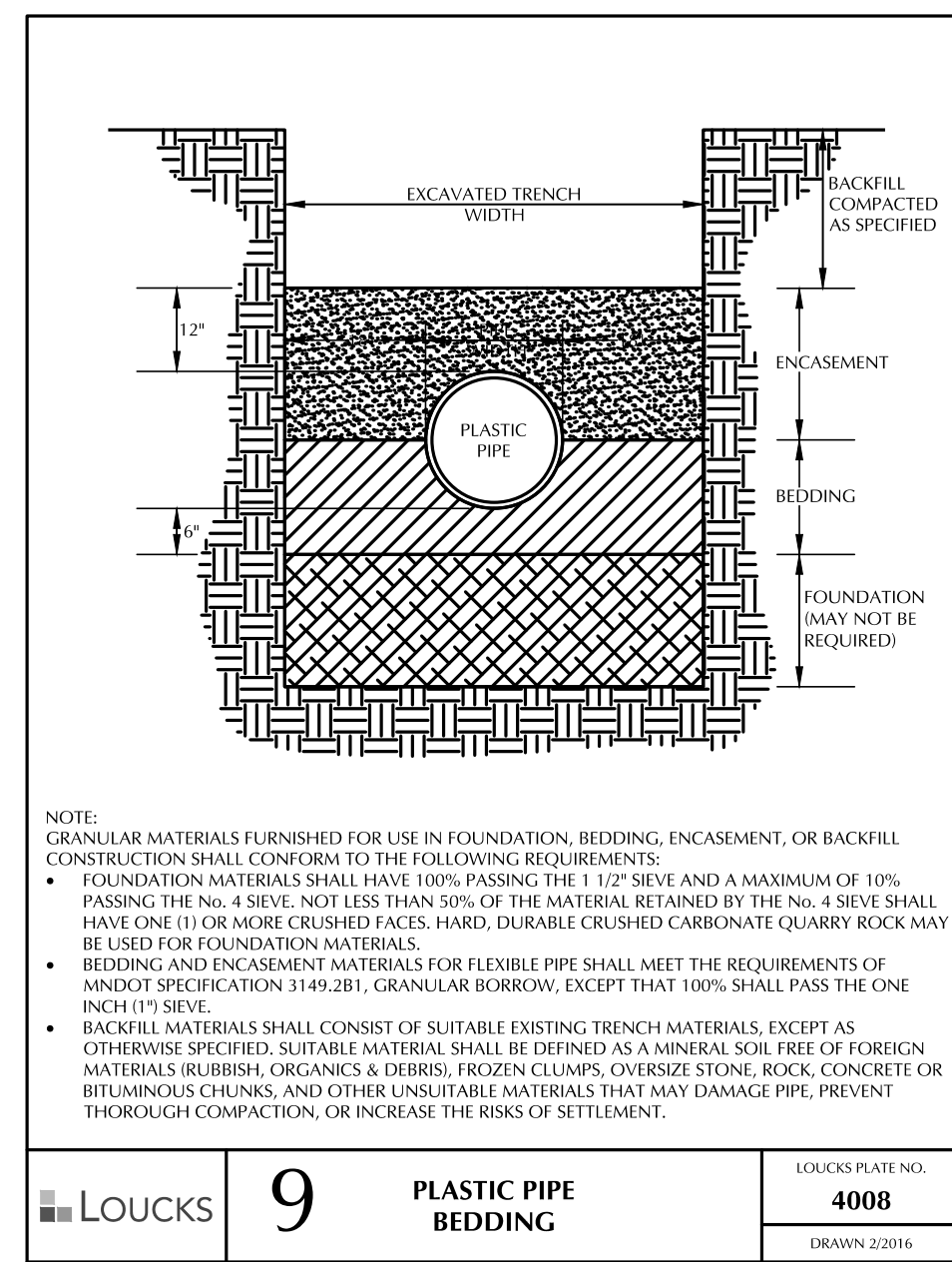
2 STANDARD BITUMINOUS PAVEMENT SECTION
LOUCKS PLATE NO. 2031
DRAWN 12/2016



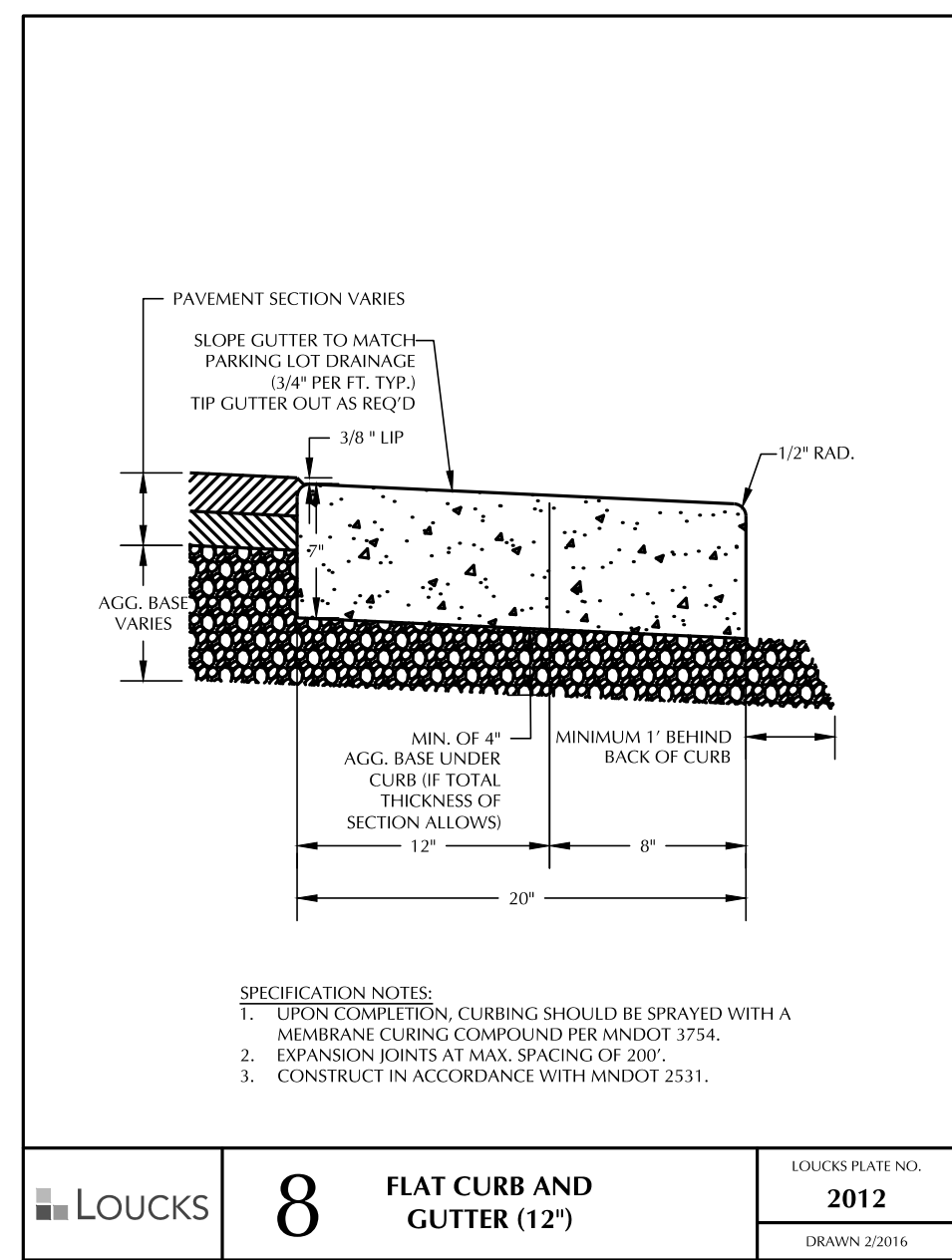
1 CONCRETE PAVEMENT SECTIONS
LOUCKS PLATE NO. 2033
DRAWN 12/2016



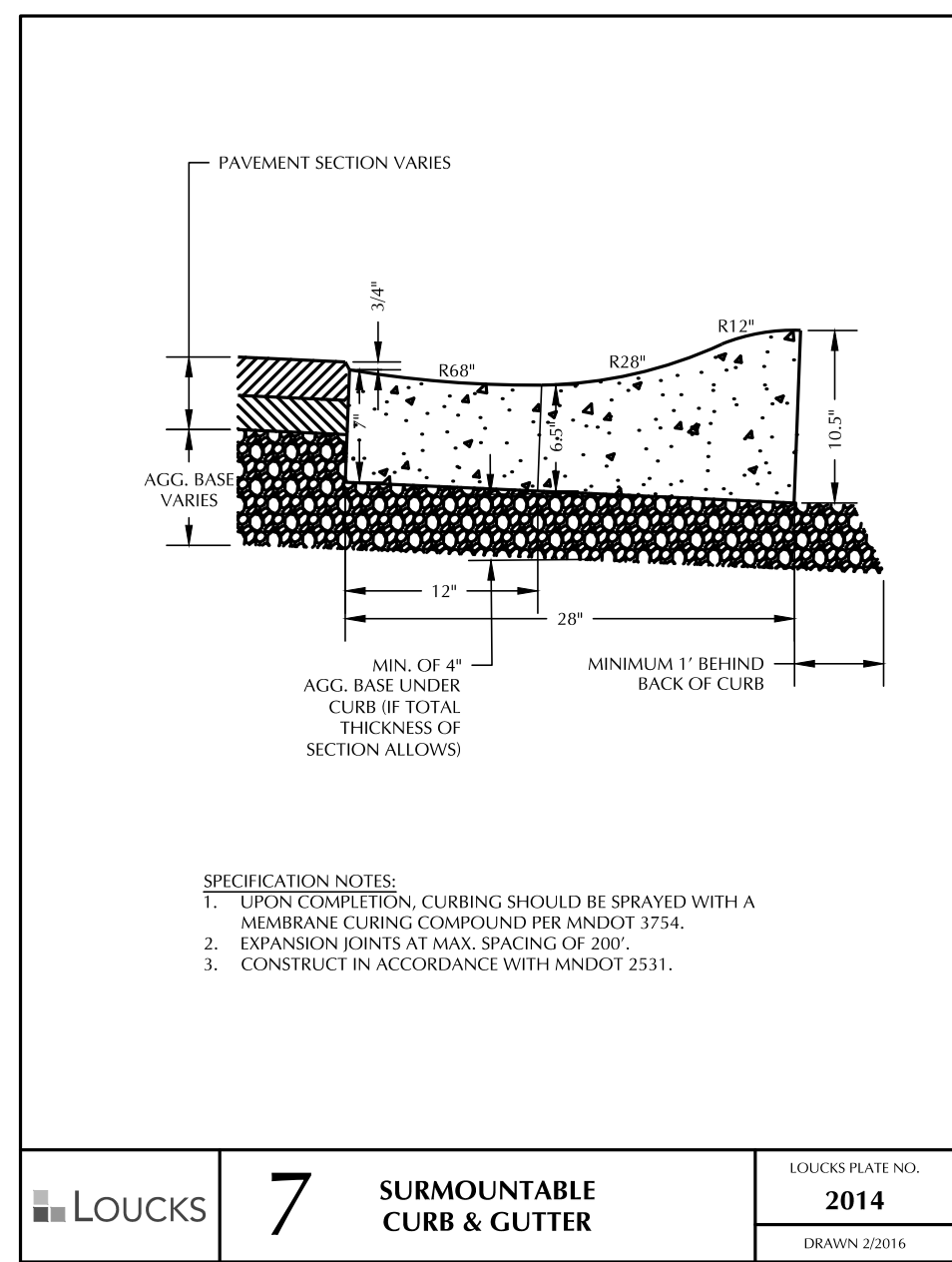
10 RANDOM / HAND PLACED RIPRAP
LOUCKS PLATE NO. 4308
DRAWN 2/2016



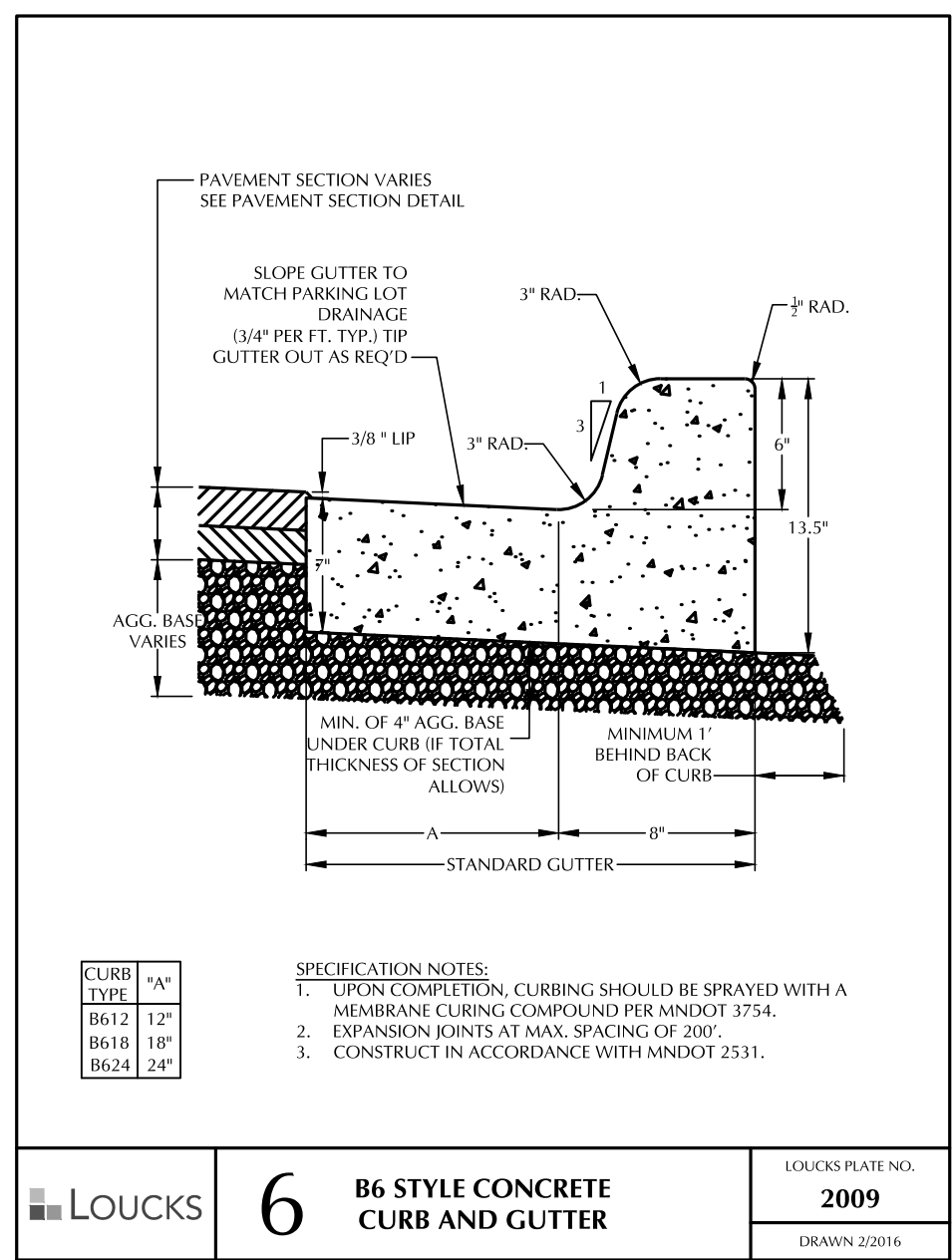
9 PLASTIC PIPE BEDDING
LOUCKS PLATE NO. 4008
DRAWN 2/2016



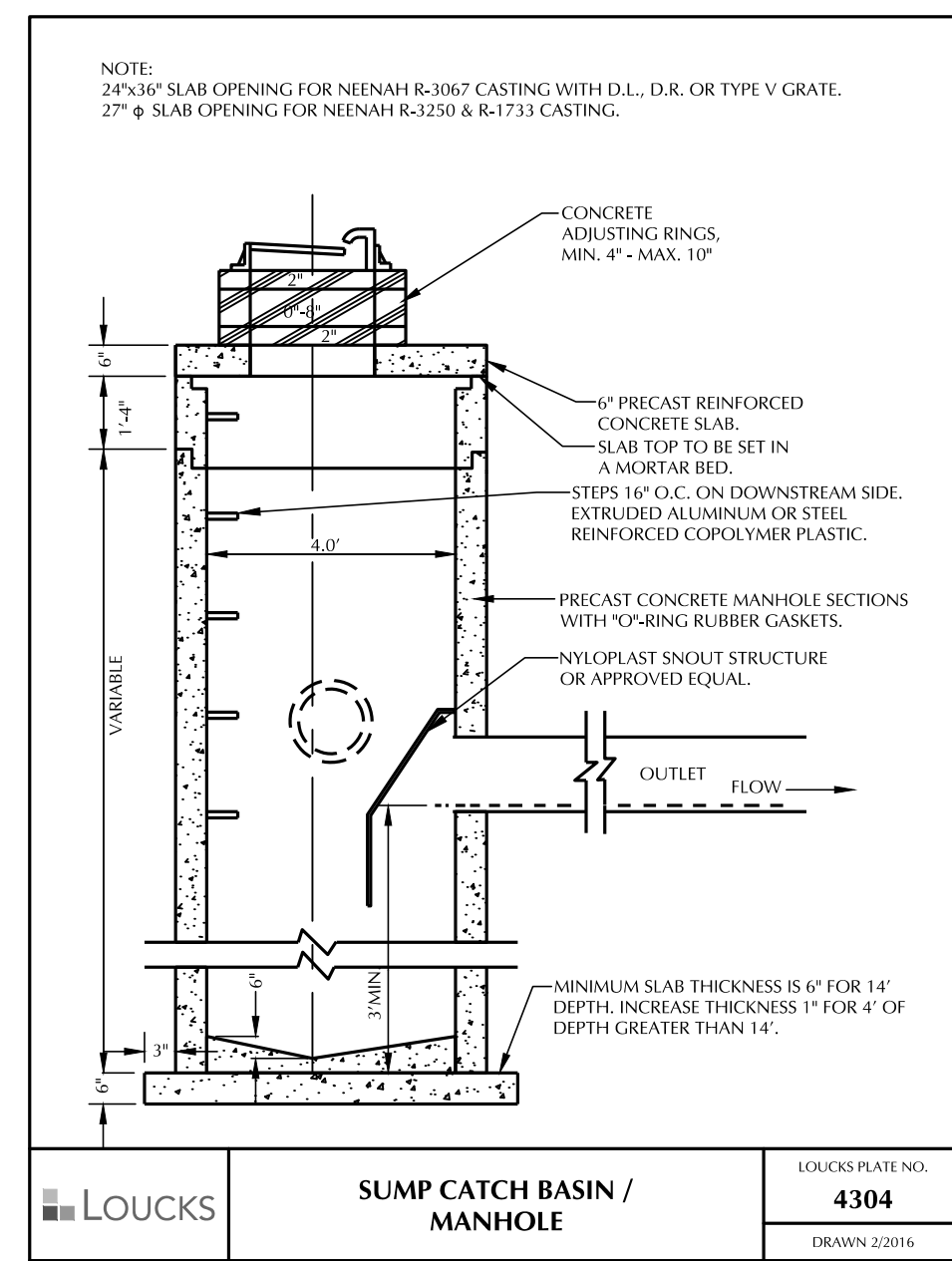
8 FLAT CURB AND GUTTER (12\"/>



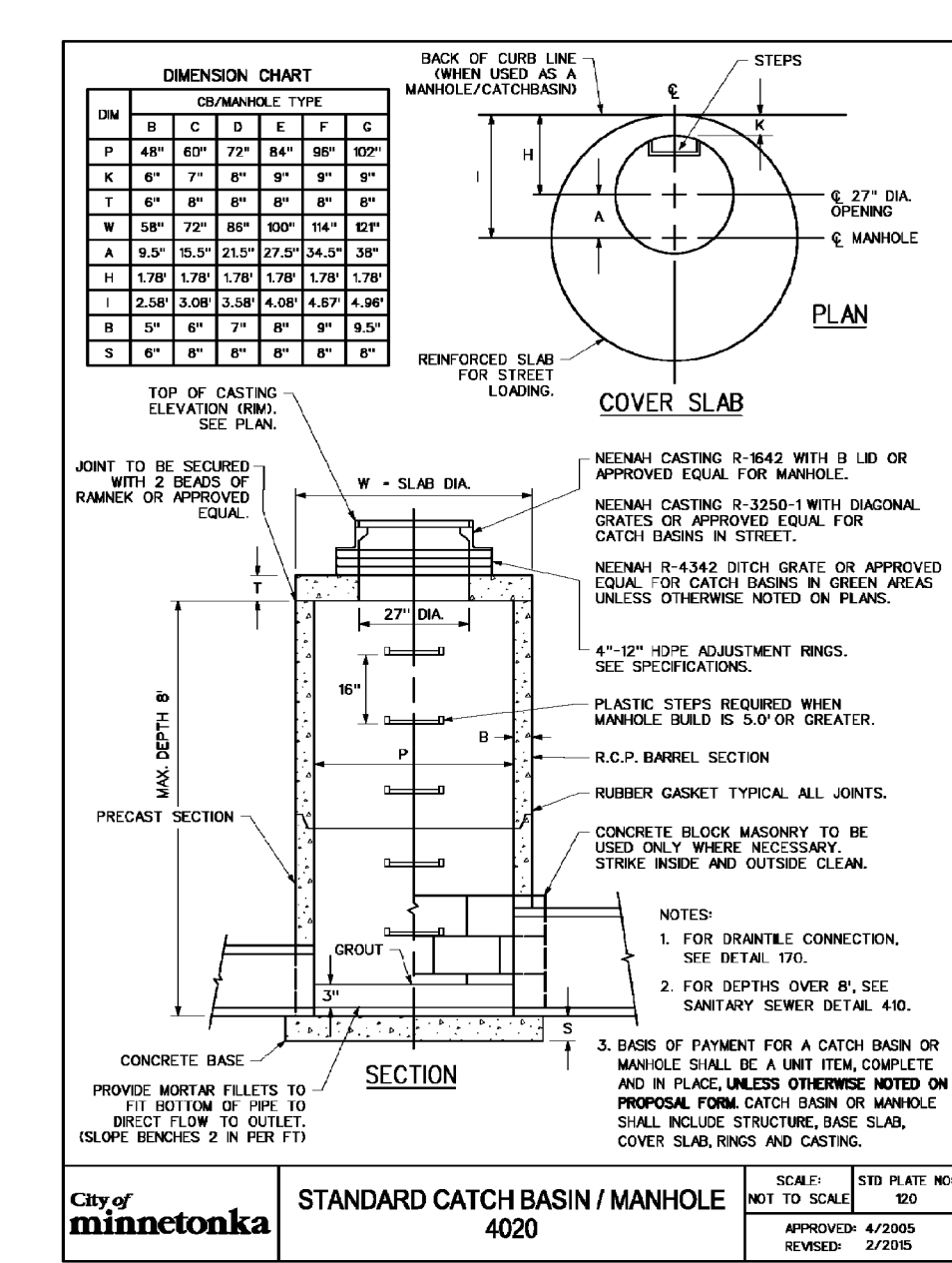
7 SURMOUNTABLE CURB & GUTTER
LOUCKS PLATE NO. 2014
DRAWN 2/2016



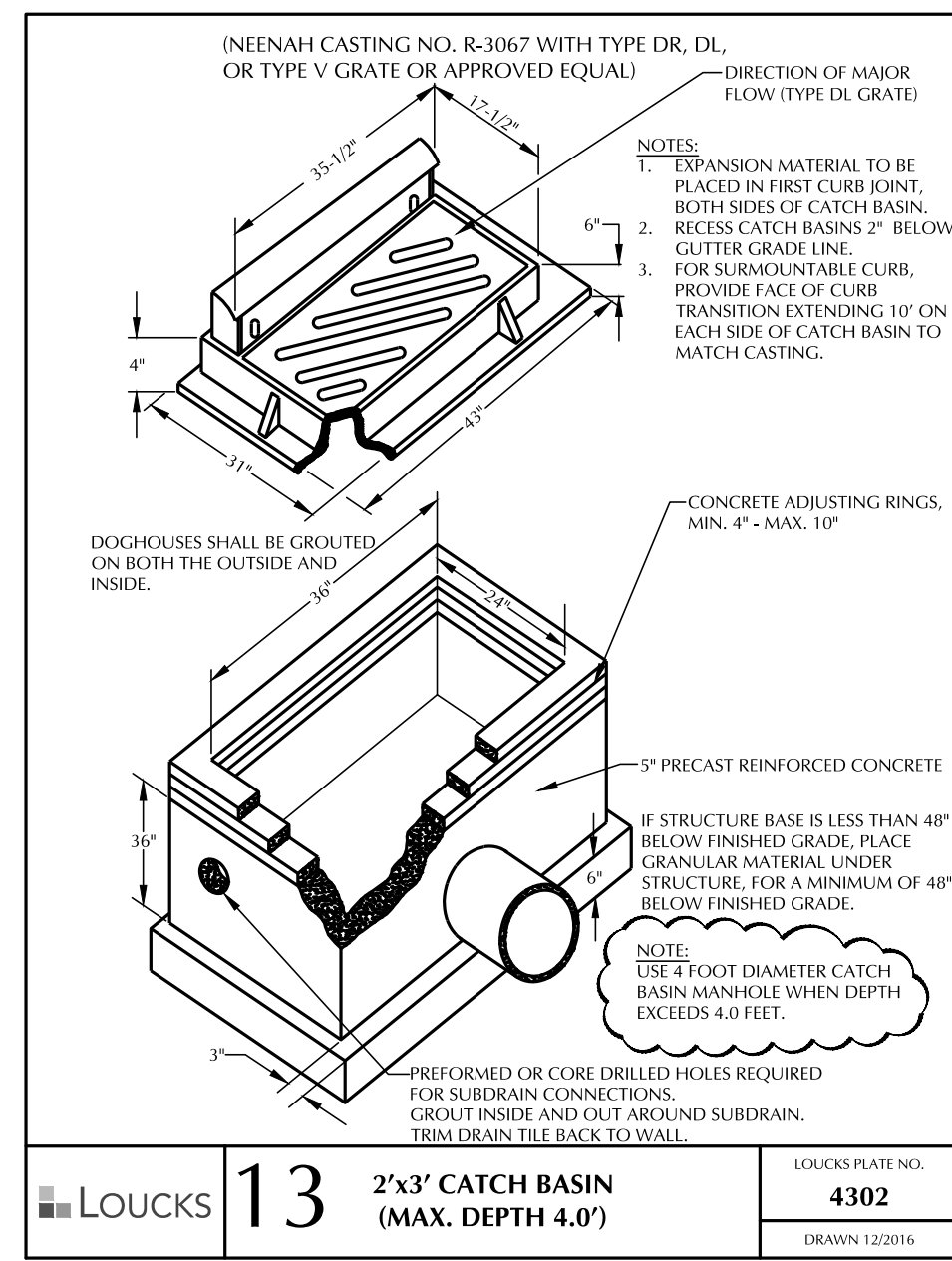
6 B6 STYLE CONCRETE CURB AND GUTTER
LOUCKS PLATE NO. 2009
DRAWN 2/2016



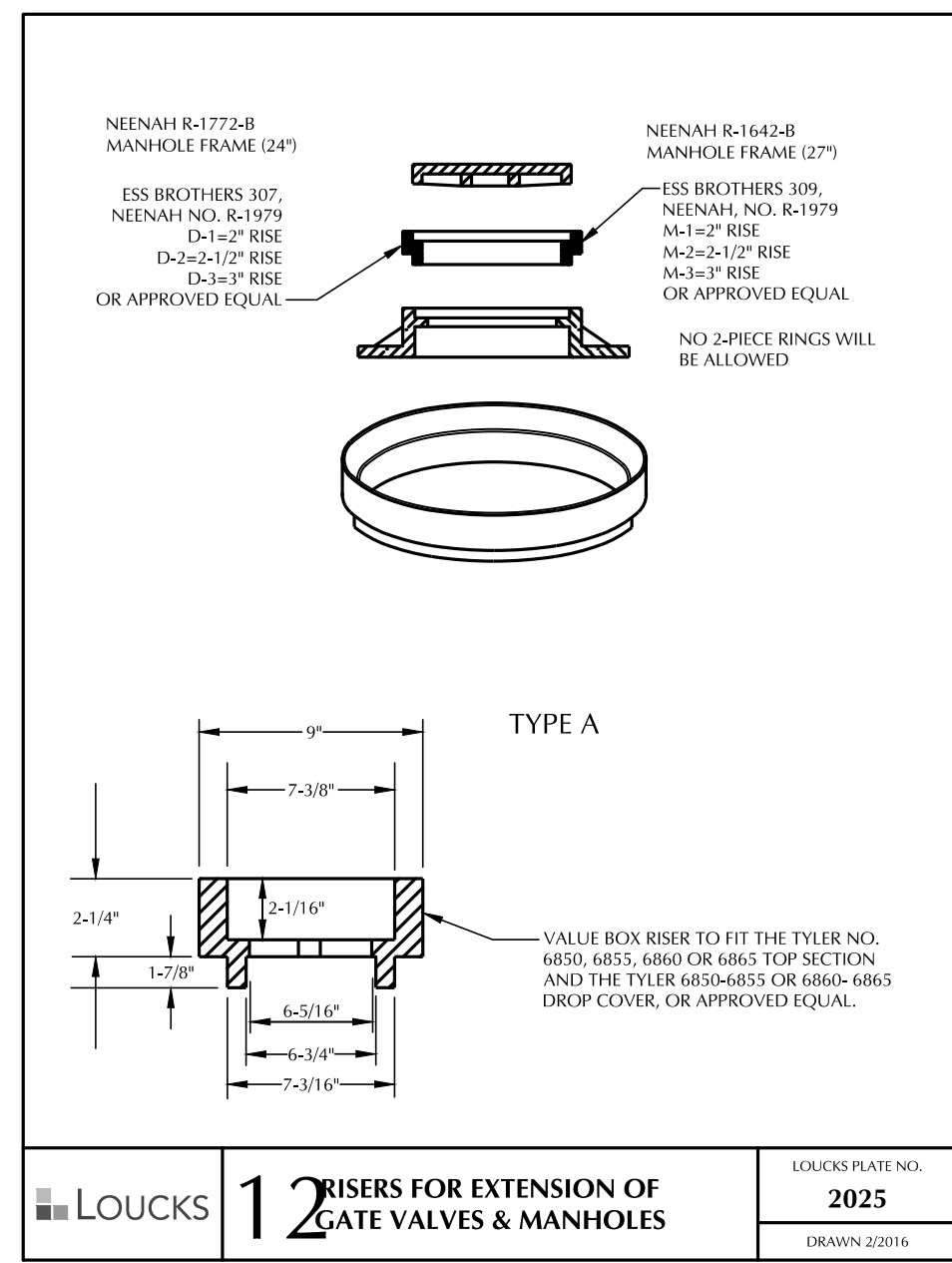
13 2'x3' CATCH BASIN (MAX. DEPTH 4.0')
LOUCKS PLATE NO. 4302
DRAWN 12/2016



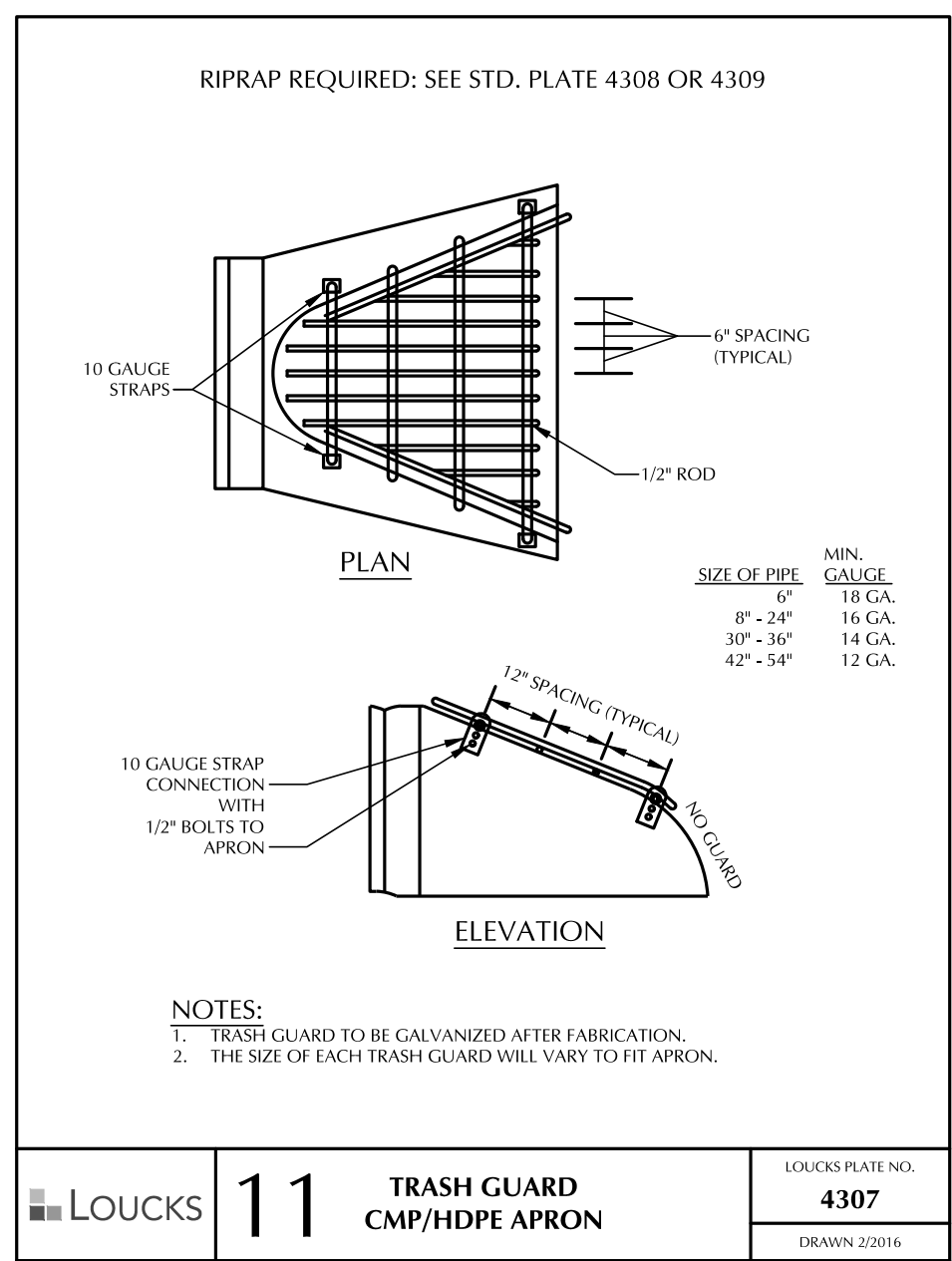
11 TRASH GUARD CMP/HDPE APRON
LOUCKS PLATE NO. 4307
DRAWN 2/2016



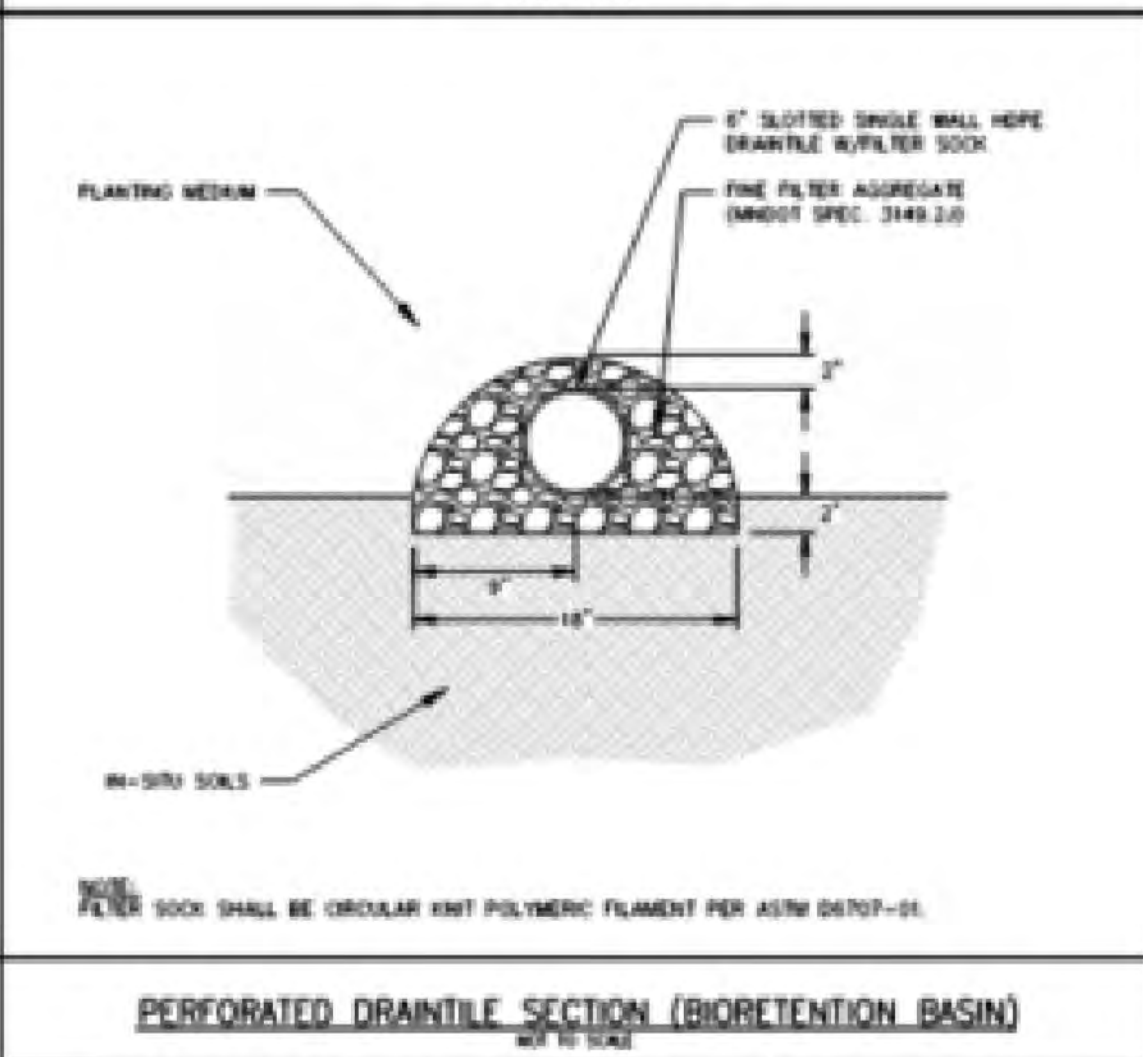
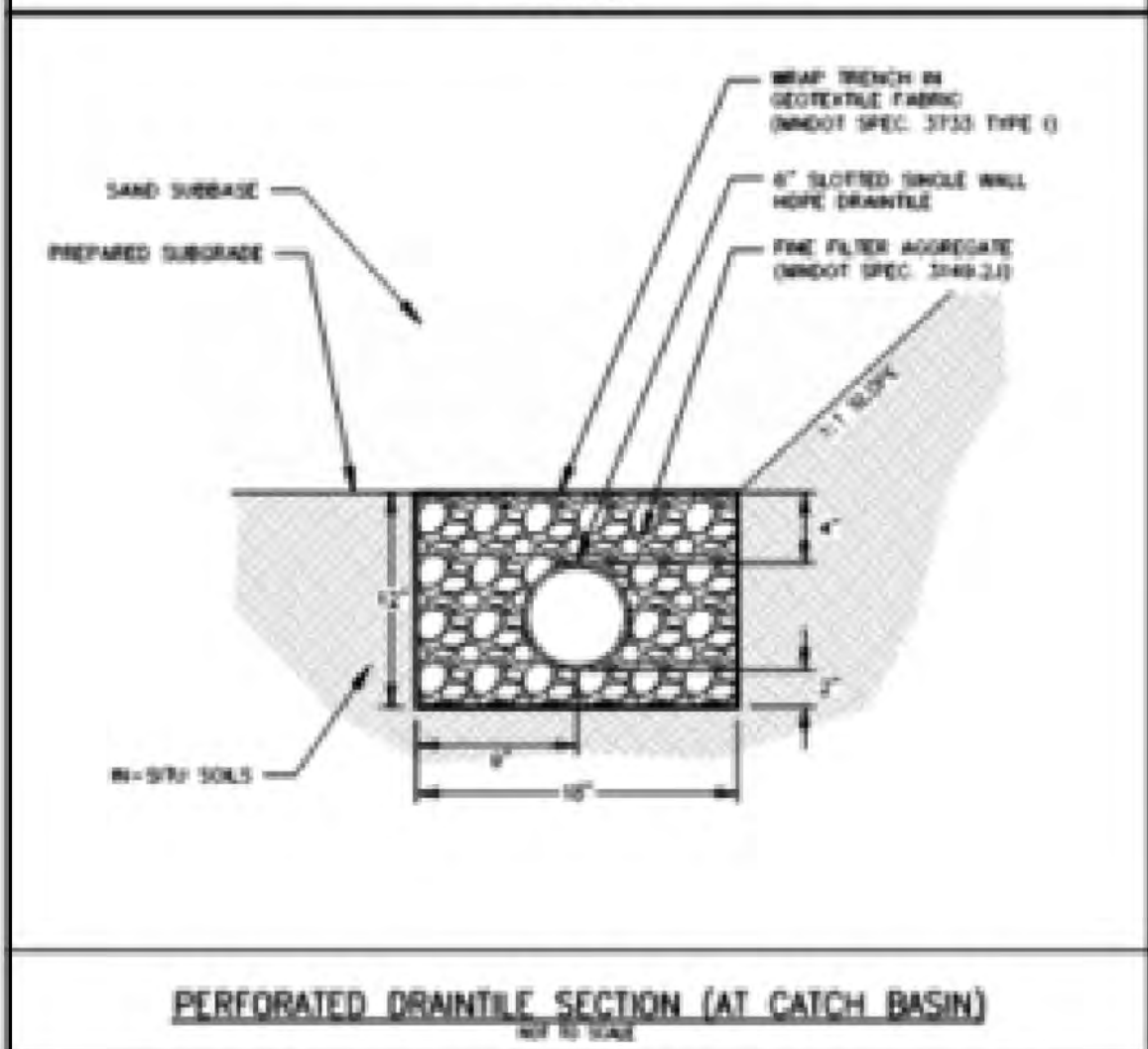
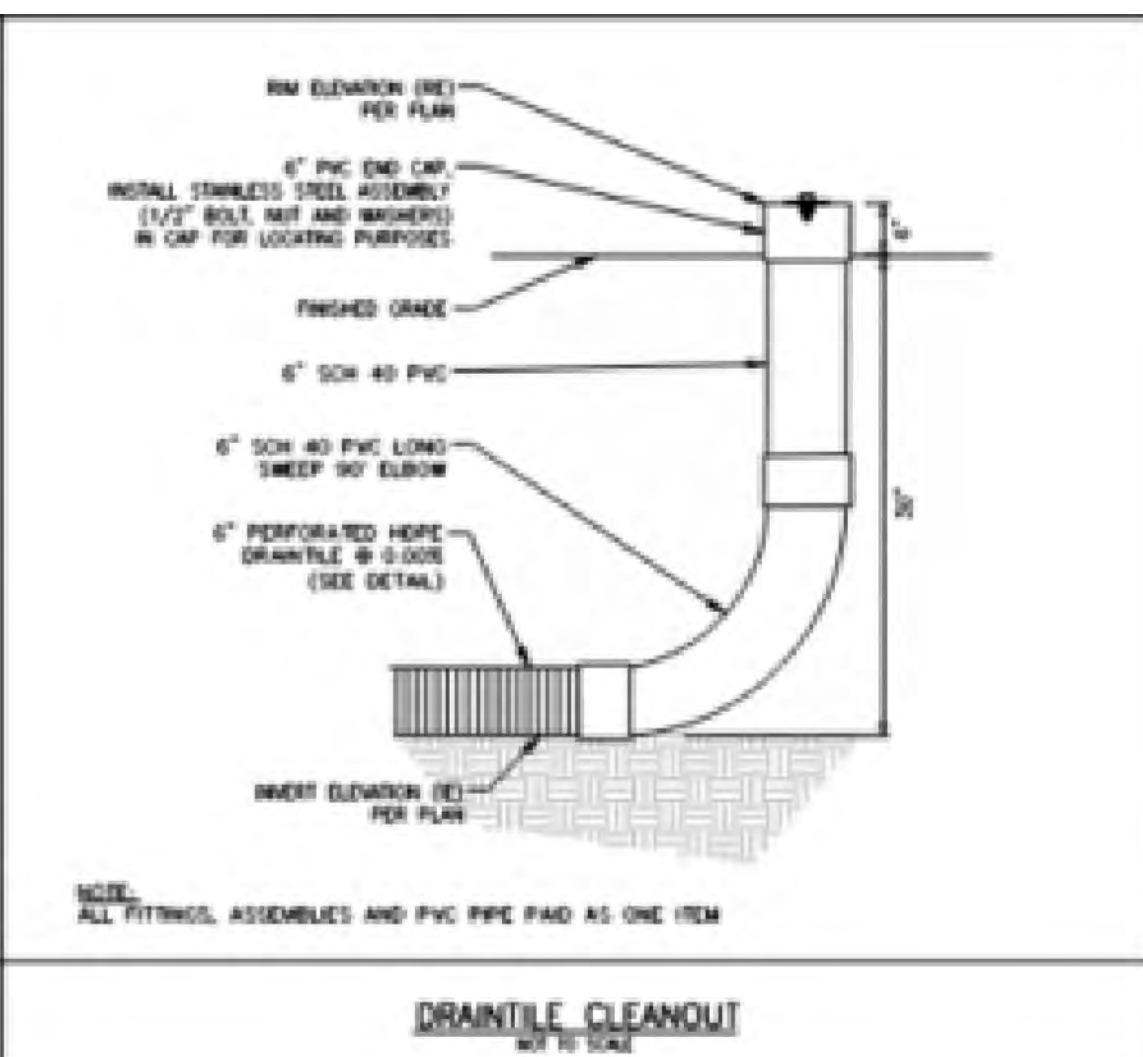
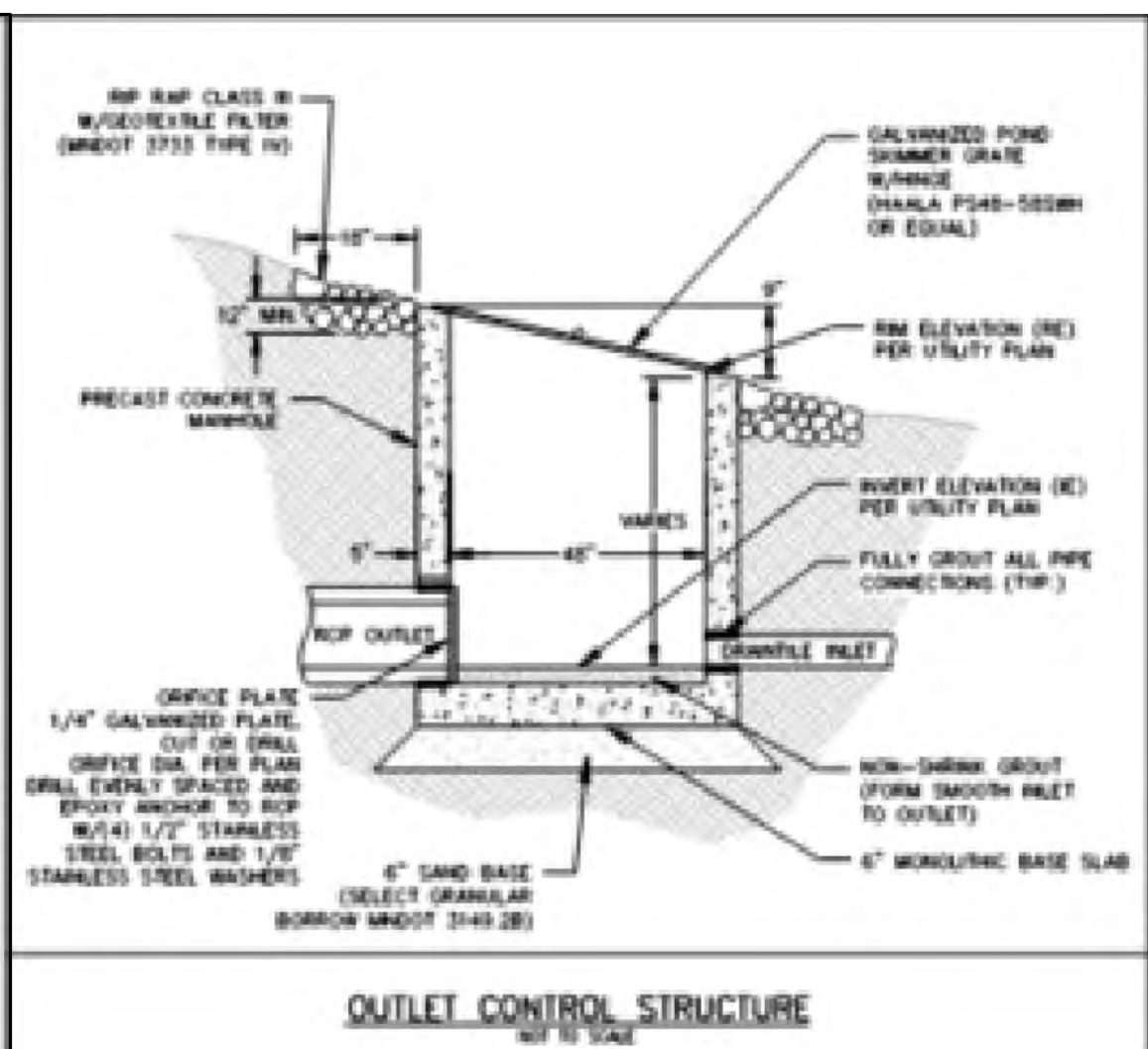
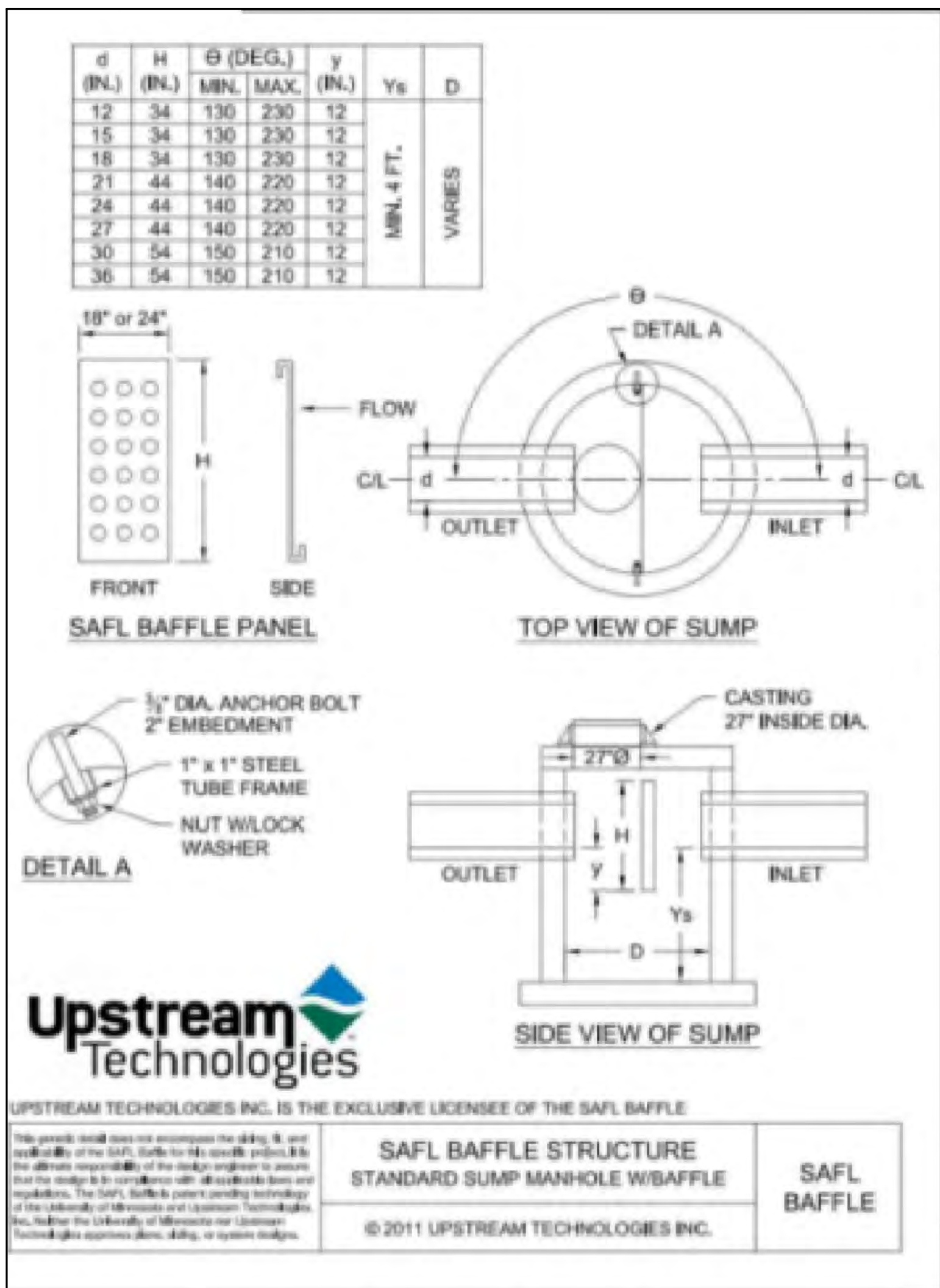
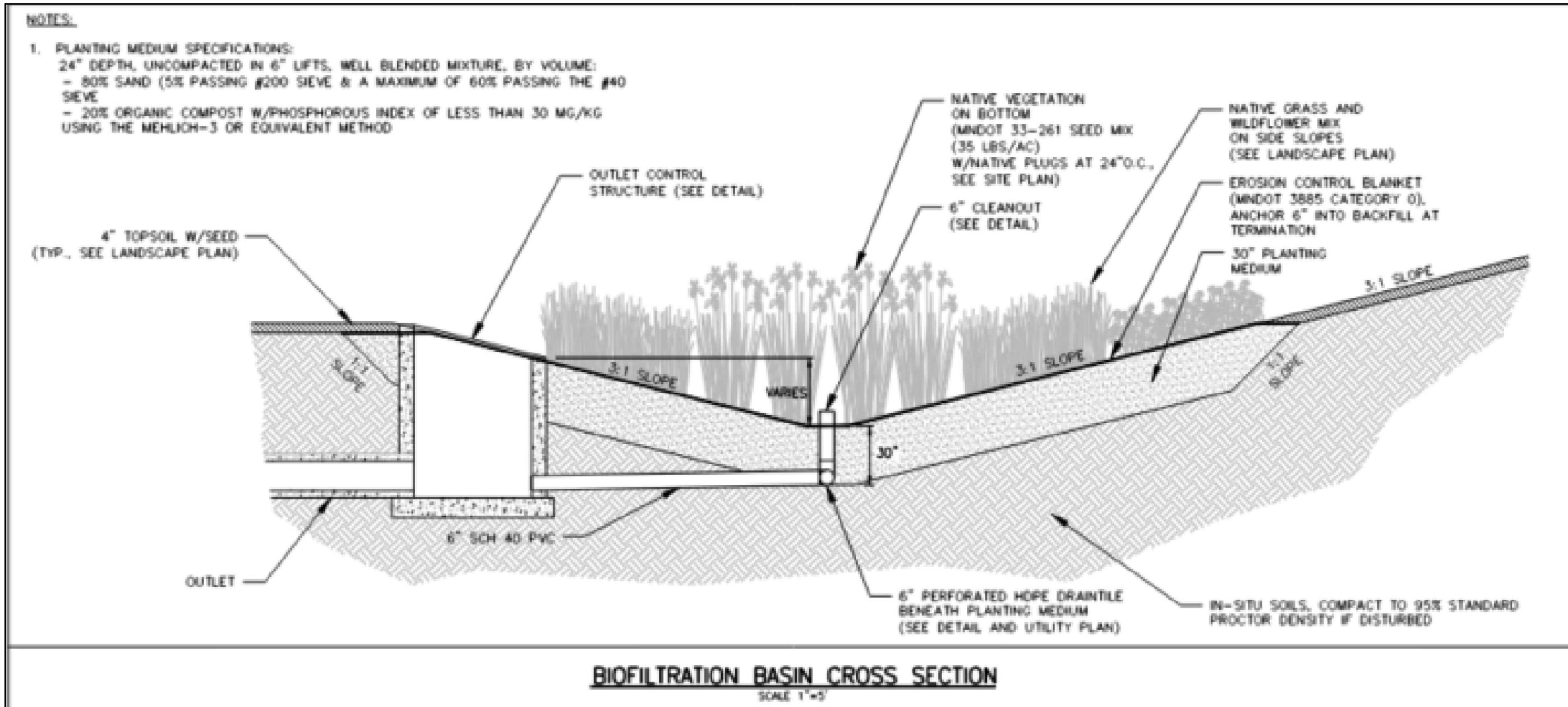
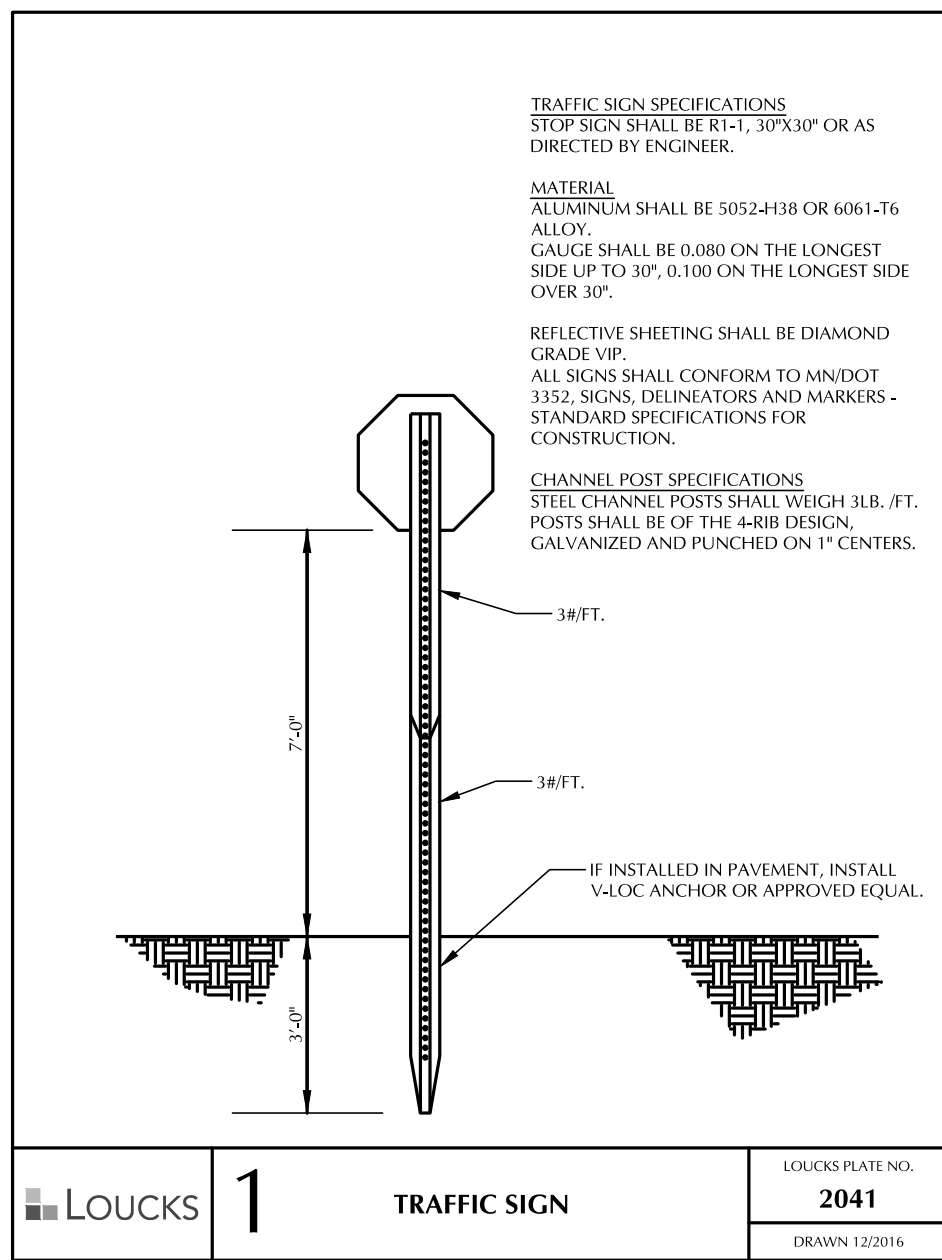
12 RISERS FOR EXTENSION OF GATE VALVES & MANHOLES
LOUCKS PLATE NO. 2025
DRAWN 2/2016



10 STANDARD CATCH BASIN / MANHOLE
LOUCKS PLATE NO. 4020
REVISED 2/2005



10 RIPRAP REQUIRED: SEE STD. PLATE 4308 OR 4309
LOUCKS PLATE NO. 4308
DRAWN 2/2016



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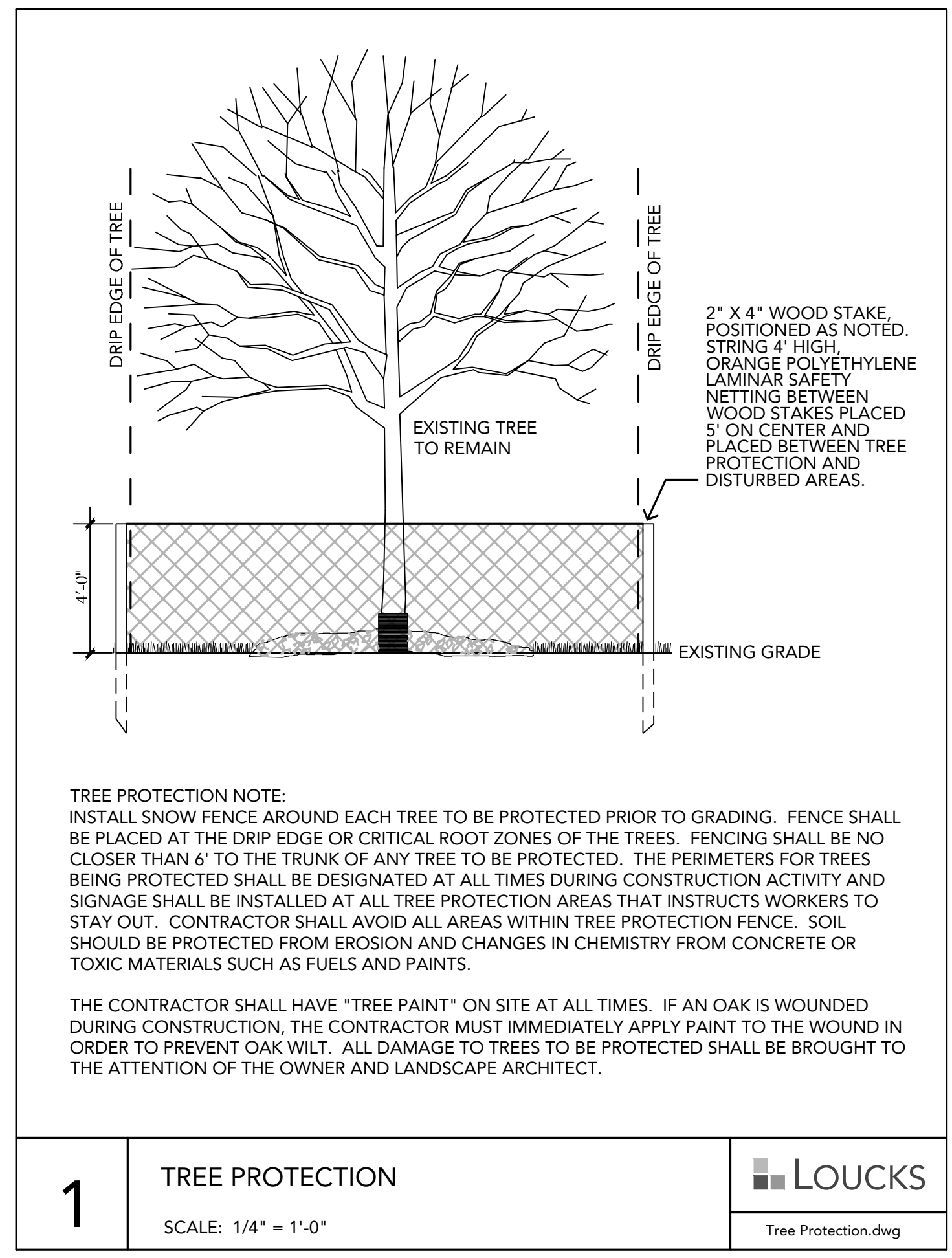
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L1-2	TREE INVENTORY
L2-1	LANDSCAPE PLAN
L3-1	LANDSCAPE DETAILS



TREE PRESERVATION PLAN



TREE PROTECTION NOTE:
 INSTALL SNOW FENCE AROUND EACH TREE TO BE PROTECTED PRIOR TO GRADING. FENCE SHALL BE PLACED AT THE DRIP EDGE OR CRITICAL ROOT ZONES OF THE TREES. FENCING SHALL BE NO CLOSER THAN 6' TO THE TRUNK OF ANY TREE TO BE PROTECTED. THE PERIMETERS FOR TREES BEING PROTECTED SHALL BE DESIGNATED AT ALL TIMES DURING CONSTRUCTION ACTIVITY AND SIGNAGE SHALL BE INSTALLED AT ALL TREE PROTECTION AREAS THAT INSTRUCTS WORKERS TO STAY OUT. CONTRACTOR SHALL AVOID ALL AREAS WITHIN TREE PROTECTION FENCE. SOIL SHOULD BE PROTECTED FROM EROSION AND CHANGES IN CHEMISTRY FROM CONCRETE OR TOXIC MATERIALS SUCH AS FUELS AND PAINTS.

THE CONTRACTOR SHALL HAVE "TREE PAINT" ON SITE AT ALL TIMES. IF AN OAK IS WOUNDED DURING CONSTRUCTION, THE CONTRACTOR MUST IMMEDIATELY APPLY PAINT TO THE WOUND IN ORDER TO PREVENT OAK WILT. ALL DAMAGE TO TREES TO BE PROTECTED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT.

1	TREE PROTECTION	LOUCKS Tree Protection.dwg
	SCALE: 1/4" = 1'-0"	

TREE PRESERVATION CALCULATIONS

TOTAL SIGNIFICANT TREES ON SITE	237 TREES	2988.5 CAL. IN.
TOTAL TREES SAVED	52 TREES	1409.5 CAL. IN. (47.2%)
TOTAL TREES REMOVED	185 TREES	1579.0 CAL. IN. (52.8%)
TOTAL TREE REMOVAL ALLOWED		1495.0 CAL. IN. (50%)
TREE REMOVAL TO BE MITIGATED		84.0 CAL. IN.

PROPOSED PLANT MATERIAL - SEE SHEET L2-1

DECIDUOUS OVERSTORY - 2.5" CAL. IN.	25	2988.5 CAL. IN.
CONIFEROUS - 6' HT.	43	1409.5 CAL. IN. (47.2%)
SHRUBS	18	1579.0 CAL. IN. (52.8%)

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TREE PRESERVATION PLAN
L1-1

Plotted: 05/05/2023 3:24 PM W:\2009\09\01\01\CADD\DATA\LANDSCAPE.dwg Sheet Files\L1-1 Tree Preservation

Table with 6 columns: Tree #, Species, DBH, Cond, Stems, Disposition. Rows 1-80.

Table with 6 columns: Tree #, Species, DBH, Cond, Stems, Disposition. Rows 81-160.

Table with 6 columns: Tree #, Species, DBH, Cond, Stems, Disposition. Rows 161-240.

Table with 6 columns: Tree #, Species, DBH, Cond, Stems, Disposition. Rows 241-320.

Table with 6 columns: Tree #, Species, DBH, Cond, Stems, Disposition. Rows 321-400.



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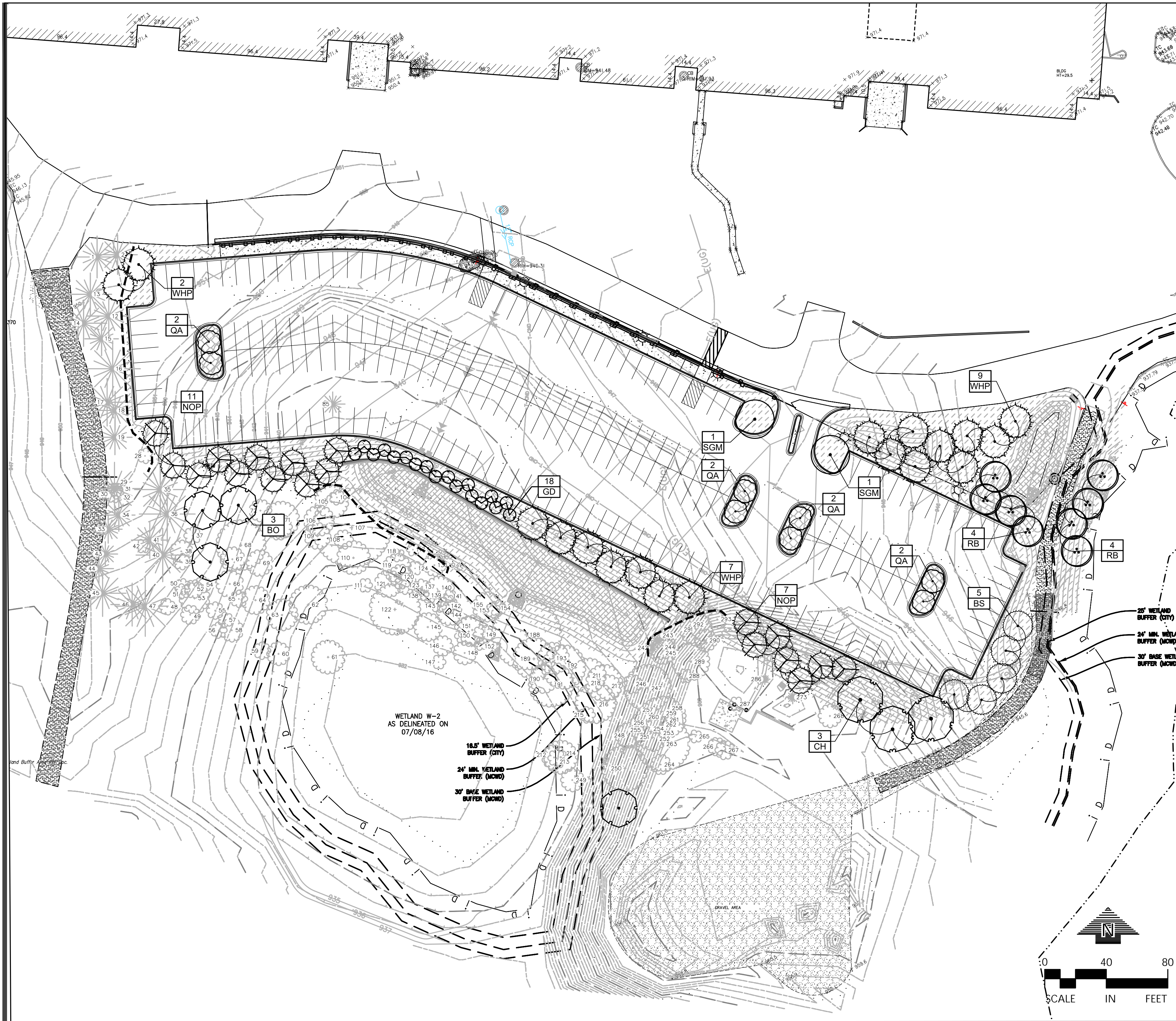
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LANDSCAPE PLAN

GENERAL NOTES

CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. HE SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.

VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND / OR INTENT OF THE PROJECT'S LAYOUT.

ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.

CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS / GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER.

CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES. CONTRACTOR TO PROVIDE THE NECESSARY PROTECTION FOR THE UTILITIES BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS. CONTRACTOR TO NOTIFY GENERAL CONTRACTOR OF ANY CONCERNS PRIOR TO INSTALLATION OF PLANTINGS.

EXISTING CONTOURS, TRAILS, VEGETATION, CURB / GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.

THE ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND / OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. ANY CHANGE IN ALIGNMENT MUST BE APPROVED BY LANDSCAPE ARCHITECT.

LANDSCAPE INSTALLATION

GENERAL NOTES

COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.

NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. REMOVE ALL FLAGGING AND LABELS FROM PLANTS.

IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE MUST BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND / OR INSTALLATION.

PROTECT ALL EXISTING TREES ON SITE SCHEDULED TO REMAIN. IF EXISTING TREES ARE DAMAGED IN ANY MANNER, ABOVE OR BELOW GROUND IN THE ROOT SYSTEM, AN ASPHALTIC TREE PRUNING PAINT SHOULD BE APPLIED IMMEDIATELY AFTER WOUNDING.

SOIL & GROUND COVER

ALL PLANTING AREAS RECEIVING GROUND COVER, PERENNIALS, ANNUALS, AND / OR VINES SHALL RECEIVE A MINIMUM OF 12" DEPTH OF PLANTING SOIL CONSISTING OF AT LEAST 45 PARTS TOPSOIL, 45 PARTS PEAT OR MANURE AND 10 PARTS SAND.

WHERE SEED ABUTS PAVED SURFACES, FINISHED GRADE OF SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.

SEED ALL AREAS DISTURBED DUE TO GRADING. SEED SHALL BE INSTALLED AND MULCHED AS PER MNDOT SPECS.

LANDSCAPE CONTRACTOR SHALL VERIFY THAT SOIL AND COMPACTION CONDITIONS ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AT AND AROUND THE BUILDING SITE.

PLANTINGS INFO

ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN. UNLESS NOTED OTHERWISE, ALL SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED MINIMUM SHRUB HEIGHT OR WIDTH. OVERSTORY TREES SHALL BEGIN BRANCHING NO LOWER THAN 5' ABOVE FINISHED GRADE.

ANY CONIFEROUS TREE PREVIOUSLY PRUNED FOR CHRISTMAS TREE SALES SHALL NOT BE USED. ALL CONIFEROUS TREES SHALL BE FULL FORM, NATURAL TO THE SPECIES, WITHOUT PRUNING.

PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR / ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR / ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR / ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.

ALL PROPOSED PLANTS SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN. ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED.

PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.

NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND / OR QUOTATION.

WRAPPING MATERIAL SHALL BE CORRUGATED PVC PIPING 1" GREATER IN CALIPER THAN THE TREE BEING PROTECTED OR QUALITY, HEAVY, WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.

FERTILIZER

ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH A 27-3-3 SLOW RELEASE FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS. PLANTS MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 27-3-3 AT 6 OZ PER 2.5" CALIPER PER TREE AND 3 OZ PER SHRUB WITH AN ADDITIONAL APPLICATION OF 27-3-3 THE FOLLOWING SPRING IN THE TREE SAUCER.

PLANTING BED PREPARATION

ALL SHRUB BED MASSINGS TO RECEIVE 3" DEEP SHREDDED HARDWOOD / ROCK MULCH AND FIBER MAT WEED BARRIER.

ALL TREES NOT IN PLANTING BEDS TO RECEIVE 4" DEEP SHREDDED HARDWOOD / ROCK MULCH RING WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.

SPREAD GRANULAR PRE EMERGENT HERBICIDE (PREEN OR EQUAL) PER MANUFACTURER'S RECOMMENDATIONS UNDER ALL MULCHED AREAS.

INSPECTION AND WARRANTY

CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF ALL LANDSCAPE AND SITE IMPROVEMENTS.

CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE PROGRAM INCLUDING, BUT NOT NECESSARILY LIMITED TO, PRUNING, FERTILIZATION AND DISEASE / PEST CONTROL.

CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE (1) CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE.

WARRANTY (ONE (1) FULL GROWING SEASON) FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

TIMING OF INSTALLATION

UNLESS NOTED OTHERWISE THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEED PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.

FALL SEEDING IS GENERALLY ACCEPTABLE FROM AUGUST 15 - SEPTEMBER 1. DORMANT SEEDING IN THE FALL SHALL NOT OCCUR PRIOR TO NOVEMBER 1. FALL CONIFEROUS PLANTING MAY OCCUR FROM AUGUST 15 - OCTOBER 1 AND DECIDUOUS PLANTING FROM THE FIRST FROST UNTIL NOVEMBER 15. PLANTING OUTSIDE THESE DATES IS NOT RECOMMENDED. ANY ADJUSTMENT MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

TREES ARE NOT TO BE PRUNED, REMOVED OR TRANSPLANTED BETWEEN APRIL 15 AND JULY 1. NOTIFY LANDSCAPE ARCHITECT IF THESE DATES ARE UNAVOIDABLE.

IRRIGATION/WATERING NOTES

IRRIGATION IS NOT PLANNED FOR THIS SITE. FOR THE HEALTH AND SURVIVAL OF ALL PROPOSED PLANTINGS, REGULAR WATERING OF THE PLANTINGS IS RECOMMENDED.

FOR ESTABLISHMENT OF PLANTINGS, THE CONTRACTOR IS TO REGULARLY WATER NEWLY INSTALLED PLANTINGS DURING PROJECT CONSTRUCTION. CONTRACTOR TO PROVIDE OWNER WITH WATERING RECOMMENDATIONS OR WATERING CONTRACT FOR THE ONE (1) YEAR WARRANTY PERIOD.

CARGILL PARKING LOT
WAYZATA, MINNESOTA

CARGILL INCORPORATED
15407 MCGINTY ROAD
WAYZATA, MN 55391

LOUCKS
PLANNING
CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
ENVIRONMENTAL
7200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
763.424.5505
www.loucksync.com

CADD QUALIFICATION
CADD files prepared by the Consultant for this project are instruments of the Consultant professional services for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval of the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made at the full risk of that party making such revisions, additions or deletions and that party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

SUBMITTAL/REVISIONS
01/20/19 90% OWNER REVIEW
03/20/20 CITY SUBMITTAL

PROFESSIONAL SIGNATURE
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.
Date: 03/20/20
Signature: [Signature]

License No. 19624
Date

QUALITY CONTROL
Loucks Project No. 090105
Project Lead JAS
Drawn By JDK
Checked By JAS
Review Date

SHEET INDEX

C1-1	EXISTING CONDITIONS
C1-2	DEMOLITION PLAN
C2-1	SITE PLAN
C3-1	GRADING PLAN
C3-2	SWPPP
C3-3 & C3-4	SWPPP NOTES, DETAILS
C4-1	UTILITY PLAN
C8-1	CIVIL DETAILS
C8-2	CIVIL DETAILS
L1-1	TREE PRESERVATION PLAN
L1-2	TREE INVENTORY
L2-1	LANDSCAPE PLAN
L3-1	LANDSCAPE DETAILS

LANDSCAPE PLAN
L2-1

CALL BEFORE YOU DIG!
Gopher State One Call
TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

WARNING:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.
THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

Plotted: 05/07/2023 1:31 PM W:\20209\0910\CADD\DATA\LANDSCAPE.dwg Sheet Files\L2-1 Landscape Plan

CADD QUALIFICATION
CADD files prepared by the Consultant for this project are instruments of the Consultant professional services for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made at the full risk of that party making such revisions, additions or deletions and that party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

SUBMITTAL/REVISIONS
01/20/19 90% OWNER REVIEW
03/20/20 CITY SUBMITTAL

PROFESSIONAL SIGNATURE
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.
Date: _____
License No. _____
Date: _____

QUALITY CONTROL
Loucks Project No. 090105
Project Lead JAS
Drawn By JDK
Checked By JAS
Review Date _____

SHEET INDEX

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L1-2	TREE INVENTORY
L2-1	LANDSCAPE PLAN
L3-1	LANDSCAPE DETAILS

PLANT SCHEDULE							
DECIDUOUS TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	
	BO	4	BURR OAK	Quercus macrocarpa	B & B	2.5"Cal	
	CH	3	COMMON HACKBERRY	Celtis occidentalis	B & B	2.5"Cal	
	QA	8	QUAKING ASPEN	Populus tremuloides	25 gal		
	RB	8	RIVER BIRCH CLUMP	Betula nigra	B & B	8' HGT	
	SGM	2	SIENNA GLEN MAPLE	Acer freemanii 'Sienna Glen'	B & B	2.5"Cal	
EVERGREEN TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	
	BS	6	BLACK HILLS SPRUCE FULL FORM	Picea glauca 'Densata'	B & B	6' HGT	
	NOP	19	NORWAY PINE FULL FORM	Pinus resinosa	B & B	6' HGT	
	WHP	18	WHITE PINE	Pinus strobus	B & B	6' HGT	
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	SPACING
	GD	18	GRAY DOGWOOD	Cornus racemosa	5 gal		96" o.c.
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME			
	RM1	1,784 sf	STONE MULCH WASHED GREY TRAP ROCK 2.5" INSTALLED OVER FABRIC				
	SEED 1	31,214 sf	TURF SEED SEED AT 220 LBS. PER ACRE				
	SEED 2	7,568 sf	WETLAND SEED MIX SEED AT 44 LBS PER ACRE				

1 DECIDUOUS TREE PLANTING
SCALE: 1/2" = 1'-0"

NOTES:
THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL TREES IN A PLUMB POSITION THROUGH THE WARRANTY PERIOD. STAKING IS SUGGESTED, BUT NOT REQUIRED. ANY STAKING MUST CONFORM WITH PRACTICES AS DEFINED IN A.N.A. GUIDELINES FOR STANDARD PRACTICES.

PRUNE DAMAGED AND CROSSING BRANCHES AFTER PLANTING IS COMPLETE.

CUT BACK WIRE BASKET.

WATER TREE THOROUGHLY DURING PLANTING OPERATIONS. PLACE BACKFILL IN 8-12" LIFTS AND SATURATE SOIL WITH WATER. DO NOT COMPACT MORE THAN NECESSARY TO MAINTAIN PLUMB.

16"x2" POLYPROPYLENE OR POLYETHYLENE STRAP
TREE WRAP TO FIRST BRANCH
SAFETY FLAGGING - ONE PER WIRE
ROOT FLARE EVEN WITH OR JUST ABOVE GRADE
MULCH - 4" DEEP. NO MULCH IN CONTACT WITH TRUNK - SEE NOTES OR SPECS.
BACKFILL WITH IN SITU TOPSOIL
WOOD STAKE
EDGE VARIES
SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING
SET PLANT ON UNDISTURBED NATIVE SOIL

NOTE:
CONTRACTOR IS RESPONSIBLE FOR TESTING PERCOLATION RATES PRIOR TO PLANTING. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF POOR DRAINAGE EXISTS.

LOUCKS
Deciduous Tree Planting.dwg

2 CONIFEROUS TREE PLANTING
SCALE: 1/2" = 1'-0"

NOTES:
THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL TREES IN A PLUMB POSITION THROUGH THE WARRANTY PERIOD. STAKING IS SUGGESTED, BUT NOT REQUIRED. ANY STAKING MUST CONFORM WITH PRACTICES AS DEFINED IN A.N.A. GUIDELINES FOR STANDARD PRACTICES.

PRUNE ANY DAMAGED BRANCHES AFTER PLANTING IS COMPLETE.

WATER TREE THOROUGHLY DURING PLANTING OPERATIONS. PLACE BACKFILL IN 8-12" LIFTS AND SATURATE SOIL WITH WATER. DO NOT COMPACT MORE THAN NECESSARY TO MAINTAIN PLUMB.

16"x2" POLYPROPYLENE OR POLYETHYLENE STRAP
SAFETY FLAGGING - ONE PER WIRE
MULCH - 4" DEEP - SEE NOTES OR SPECS. MULCH MUST NOT BE IN CONTACT WITH TRUNK.
BACKFILL WITH IN SITU TOPSOIL
WOOD STAKE (OPTIONAL)
EDGE VARIES - SEE PLAN
SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING
ROOT BALL SET ON UNDISTURBED SUBGRADE

NOTE:
CONTRACTOR IS RESPONSIBLE FOR TESTING PERCOLATION RATES PRIOR TO PLANTING. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF POOR DRAINAGE EXISTS.

LOUCKS
Coniferous Tree Planting.dwg

3 SHRUB PLANTING
SCALE: 3/4" = 1'-0"

REFER TO PLAN 18" MIN.

SHRUBS TO BE PLACED SO THAT TOP OF CONTAINER SITS FLUSH WITH PROPOSED GRADE

PLANTING SOIL - SEE NOTES OR SPEC.
MULCH - 3" DEPTH - SEE NOTES OR SPEC.
LANDSCAPE FABRIC - SEE NOTES OR SPEC.
EDGING MATERIAL - SEE NOTES OR SPEC.
EDGE VARIES - REFER TO PLAN

LOOSEN ROOTS OF ALL CONTAINERIZED PLANTS. SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING

LOUCKS
Shrub Planting.dwg

MINNESOTA

Shade Tree Advocate

Speaking Out For  Community Forests

VOL. 8, NO. 2

Spring



2006

COMMUNITY FOREST PROFILE

Cargill's Corporate Campus

By Scott Adams

When Cargill purchased a personal residence on McGinty Road in Minnetonka, Minnesota in 1944, the area was forever changed. This residence would eventually become a corporate campus with approximately 1500 employees coming and going each day.

Cargill's campus is special in many ways. For example, consider what you see while driving through the suburbs. You might see the same types of houses, all in a row, with maybe a neighborhood park here and there. Well, not on McGinty Road. What appears to be just another typical neighborhood unexpectedly becomes a tree farm where all you see are wetlands, trees, trees, and more trees.

The campus site covers approximately 240 acres. The wooded portions encompass close to 150 acres. The property has been registered with the Tree Farm System since the inception of the program in Minnesota in 1950. In fact, it is the southern most tree farm with conifers in Minnesota. Over 150,000 Red and White Pine, White Spruce and Northern White Cedar were planted between 1947 and 1955. Approximately 70 acres are conifers with the remaining 80 acres being various hardwoods.

Managing a forest as a Tree Farm is both challenging and rewarding. The Cargill Farm has been maintained by both nature and nurture since the original planting was done. Cargill uses a forestry management plan developed by the Minnesota Department of Natural Resources. The Grounds Team, as part of the Facility Services group, administers the plan to keep this wonderful resource healthy and viable.

Cargill's Corporate Campus continued on p. 3



Cargill

Inside THIS ISSUE

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- 10 Clip & Save: A Day in the Life of a Tree
- 13 Reforesting the Fairgrounds
- 15 STAC Info and Calendar
- 16 METRIA

Visit MnSTAC on the Web at www.mnstac.org

The Minnesota Shade Tree Advisory Committee's mission is to advance Minnesota's commitment to the health, care and future of all community forests.

Cargill's Corporate Campus from p. 1

Over the years, the trees have weathered Pine Bark Beetles, Dutch Elm Disease, and Blister Rust. The Grounds Team is proud of the fact that, with proper management and control efforts, damage was always minimal. However, in the late 1970's, the campus did lose 145 cords of Elm to Dutch Elm Disease.

Common Buckthorn has been the hardest hurdle for the team. This plant, brought over from Europe years ago as a landscape hedge, invaded native forests relentlessly. It grows anywhere, under any conditions, and completely overtakes everything around it. Since the late 1990's, Cargill has made a large investment in the removal of this invasive and destructive plant. Cargill took the necessary steps to save its wetlands and forests from the Buckthorn and, in the process, developed a model for others to use.

Using loaders with large brush cutters, tractors with brush cutters, and weed whips with metal blades to fight the battle, the Grounds Team has removed 25' Buckthorn trees measuring up to 10" in diameter. Main seed producers are removed by chainsaw and placed in a wood chipper. When an area is cleared of Buckthorn, it is then sprayed with Garlon 4 to kill any remaining plants and host roots. This chemical has proven to be a powerful weapon that kills the Buckthorn in one application.

Yet, to illustrate how insidious this plant can be, there are still many berries in the area and spraying continues on a regular basis. This work will likely go on for many years and may not ever end for this campus, however Cargill and the Grounds Team are committed to success. On a more positive note, as soon as the Team establishes good control of the Buckthorn in a given area, they replant native trees for the future.

The Grounds Team is also responsible for the other approximately 90 acres of buildings, wetlands, grass areas, paved surfaces, and plantings. Cargill maintains around 35 acres of manicured lawns and garden areas. The Team employs two full time Grounds maintenance staff and several seasonal workers. Cargill values the outdoor features of this property as much as the indoor office space. It is an important resource for employees and visitors.

A recently completed two-mile fitness walking path meanders through the trees and



Cargill

gardens. Employees enjoy the natural beauty of the forests and plants while improving their health and fitness. During path construction, the project team worked closely with local officials, the Grounds Crew and a local contractor to minimize construction impact to the forest, wetlands, and habitat areas.

Cargill continues to collaborate with the DNR and a local tree company to scrutinize the health and vigor of the trees. Currently, Cargill and its tree contractor have been working on a tree survey. Many of the trees have been identified and mapped. Maintenance such as pruning, fertilizing, and other care is tracked through the survey process. During the last few years, Dutch Elm Disease re-emerged and several majestic and beautiful trees were lost. As a result, the Grounds Crew learned that being proactive and vigilant is more important than ever. They have invested thousands of dollars in Dutch Elm treatment. In addition, quick response helped save many other at-risk elms.

Many corporations, large and small, give back to their communities in a variety of ways. Cargill embraces this idea by supporting community-based organizations such as the McKnight Foundation and the United Way. The corporate campus is another way that Cargill supports the community. Finding 240 undeveloped acres, in the middle of a busy suburban area, is a rare

Cargill's Corporate Campus continued on p. 4

Cargill's Corporate Campus from p. 3

thing. Another company may have built up the land up or sold it for development. The forest, wetlands, and habitats are wonderful natural resources that have been well maintained in the past and to which Cargill is committed to preserving for the present and the future. 🌿



Cargill

Scott Adams is a Grounds Supervisor with Cargill.

Office With A View from p. 2

If someone is interested in becoming a climbing arborist, there are several places to get information and training. Tree climbing can be very dangerous for someone who has not learned proper techniques and safe work practices, which is why it is very important to get your information and training from a qualified instructor or climber. If you were to ask, most climbers will tell you a great place to learn is from other climbers at the local ISA chapter conferences and trade shows. For myself, The Wisconsin Arborist Association was a great place to see climbing demonstrations and chat with other climbers. Mid-State technical college in Wisconsin Rapids, Wisconsin offers a two year program to become an Urban Forestry Technician. Graduates of the program are trained in planting, pruning, maintaining and removing urban trees. An aerial component is included in the curriculum for students who are physically and mentally capable of ascending a tree. Elective courses include a series of aerial tree pruning and rigging courses. These classes feature rope and saddle techniques along with bucket truck operation to prune trees of all sizes.

Tree climbing is not only just for the professionals anymore; recreational tree climbing groups are gaining in popularity. A sense of

adventure and a love of the outdoors are the biggest attractors for most recreational tree climbers. I've been a part of several recreational tree climbs ranging from sleeping overnight in a 200-foot Douglas fir to showing my nephews and nieces how to climb grandpa's 20-foot sugar maple with a rope and saddle. With advancements in climbing equipment and techniques, tree climbing is becoming easier and easier for the professionals as well as the weekend enthusiast.

Climbing trees on a daily basis can be very demanding both physically and mentally but the rewards are worth it. When I get paid for a job that some people do for fun and adventure on the weekends, I'm reminded that I've found something very unique. 🌿

Mike Stanonik is a Certified Arborist for the City of Appleton, Wisconsin, and an adjunct instructor for Mid-State Technical College. He was the 2003 Tree Climbing Champion for the Wisconsin Arborist Association. He can be reached at happytrees@earthlink.net

Resolution No. 2023-

Resolution approving a final site plan for a parking lot at 15407 McGinty Road West and an adjacent unaddressed parcel

Be it resolved by the Planning Commission of the City of Minnetonka, Minnesota, as follows:

Section 1. Background.

1.01 In 2016, the city approved final site plans for two new parking lots on the Cargill campus. Neither lot was constructed.

1.02 Justin Cox, on behalf of Cargill, is proposing to construct the southern lot, previously approved in 2016, south of the existing parking ramp.

1.03 The property is located at 15407 McGinty Road W. It is legally described as follows:

PARCEL B

That part of Lot 1, Block 1, Greendale Park, Hennepin County, Minnesota, lying Southerly of a line drawn 1191.26 feet northerly of, measured at a right angle to and parallel with the most southerly line of said Lot 1 and its extensions, and which lies easterly of a line drawn 727.45 feet Easterly of, measured at a right angle to and parallel with the most westerly line of said Lot 1 and its extensions.

PARCEL C

Lot 3, Block 1, Greendale Park 2nd Addition, Hennepin County, Minnesota

Torrens Certificate No. 1500146 and 1500142

1.04 On July 20, 2023, the planning commission held a hearing on the proposal. The applicant was provided the opportunity to present information to the planning commission. The planning commission considered all of the comments received and the staff report, which are incorporated by reference into this resolution.

Section 2. General Standards.

2.01 City Code §300.27, Subd. 5, states that in evaluating a site and building plan, the city will consider its compliance with the following:

1. Consistency with the elements and objectives of the city's development guides, including the comprehensive plan and water resources management plan;
2. Consistency with the ordinance;
3. Preservation of the site in its natural state to the extent practicable by minimizing tree and soil removal and designing grade changes to be in keeping with the general appearance of neighboring developed or developing areas;
4. Creation of a harmonious relationship of buildings and open spaces with natural site features and with existing and future buildings having a visual relationship to the development;
5. Creation of a functional and harmonious design for structures and site features, with special attention to the following:
 - a) an internal sense of order for the buildings and uses on the site and provision of a desirable environment for occupants, visitors and the general community;
 - b) the amount and location of open space and landscaping;
 - c) materials, textures, colors and details of construction as an expression of the design concept and the compatibility of the same with the adjacent and neighboring structures and uses; and
 - d) vehicular and pedestrian circulation, including walkways, interior drives and parking in terms of location and number of access points to the public streets, width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic and arrangement and amount of parking.
6. Promotion of energy conservation through design, location, orientation and elevation of structures, the use and location of glass in structures and the use of landscape materials and site grading; and
7. Protection of adjacent and neighboring properties through reasonable provision for surface water drainage, sound and sight buffers, preservation of views, light and air and those aspects of design not adequately covered by other regulations which may have substantial effects on neighboring land uses.

Section 3. Findings.

- 3.01 The proposal would meet site and building plan standards outlined in the City Code §300.27, Subd. 5.

1. The proposal has been reviewed by city planning, engineering, natural resources, public works, fire and legal staff and found to be generally consistent with the city's development guides.
2. The proposal would meet the minimum standards of the zoning ordinance.
3. The proposal would result in grading and tree removal. However, the proposed parking area is appropriately located in generally developed areas of the campus.
4. The proposed site design is intuitive and would result in an appropriate location of parking areas.
6. The energy conservation standard applies primarily to structures which aren't included in the proposal.
7. The proposal would not negatively impact adjacent or neighborhood properties. The lot would be more than 1,500 feet away from the nearest residential structure.

Section 4. Planning Commission Action.

4.01 The planning commission approves the final site plans for a parking lot expansion. Approval is based on the findings outlined in section 3 of this resolution. Approval is subject to the following conditions:

1. Subject to staff approval, the site must be developed and maintained in substantial conformance with the following plans, except as modified by the conditions below:
 - Demolition plan dated March 20, 2020
 - Site, grading, and utility plans dated May 10, 2020
 - Tree preservation and landscape plans dated March 20, 2020
2. A grading permit is required. Unless authorized by appropriate staff, no site work may begin until a complete grading permit application has been submitted, reviewed by staff, and approved.
 - a) The following must be submitted for the grading permit to be considered complete.
 - 1) Final site, grading, drainage, utility, landscape, and tree mitigation plans, and a stormwater pollution prevention plan (SWPPP) for staff approval.
 - a. Final grading plan. The plan must continue to meet the city's steep slope ordinance.

- b. Final tree inventory. Several trees on the inventory are excluded but would be regulated under the city's current tree protection ordinance.
- c. Final tree mitigation plan. The plan must meet mitigation requirements as outlined in the ordinance. However, at the sole discretion of staff, mitigation may be decreased. Based on the submitted plans, the mitigation requirements would be unclear based upon submitted plans.
- d. The final landscaping plan must meet minimum landscaping and mitigation requirements as outlined in the ordinance. However, at the sole discretion of natural resources staff, mitigation may be adjusted based on site conditions.

In addition, all disturbed wetland buffer areas must be restored with a native seed mix and cover crop.

- c. Final stormwater management plan is required for the disturbed area. The plan must demonstrate conformance with the following criteria:
 - 1. Rate: limit peak runoff flow rates to that of existing conditions from the 2-, 10- and 100-year events at all points where stormwater leaves the site.
 - 2. Volume: Provide for onsite retention of 1.1 inches of runoff.
 - 3. Quality: Provide for runoff to be treated to at least 60 percent total phosphorus annual removal efficiency and 90 percent total suspended solid annual removal efficiency.
- 2) A soil boring at the site of the proposed stormwater management BMP is required to confirm soil infiltration rates.
- 3) WCA exemption application for all proposed utilities within wetland areas.
- 4) Cash escrow in the amount of \$5,000. This escrow must be accompanied by a document prepared by the city attorney and signed by the builder and property owner.

Through this document, the builder and property owner will acknowledge the following:

- The property will be brought into compliance within 48 hours of notification of a violation of the construction management plan, other conditions of approval, or city code standards; and
 - If compliance is not achieved, the city will use any or all of the escrow dollars to correct any erosion and/or grading problems.
- 5) A MPCA NPDES permit.
- 6) A construction management plan. The plan must be in a city-approved format and must outline minimum site management practices and penalties for non-compliance
- b) Prior to issuance of a grading permit:
- 1) This resolution must be recorded at Hennepin County.
 - 2) Submit the following documents for the city attorney's review and approval. These documents must be prepared by an attorney knowledgeable in the area of real estate.
 - a. A stormwater maintenance agreement in a city-approved format for review and approval of city staff.
 - b. Conservation easements over the 25-foot wetland buffers and a drawing of the easements. The easement may allow the removal of hazardous, diseased, or invasive species.
 - c. Declaration and restrictive covenants over all mitigated wetland areas per the WCA for review and approval by city staff.
 - 3) Install erosion control, tree protection fencing and any other measures identified on the SWPPP for staff inspection. These items must be maintained throughout the course of construction.
- c) Permits may be required from other outside agencies including Hennepin County, the Nine-Mile Creek Watershed District, and the MPCA. It is the applicant's or property owner's responsibility to obtain any necessary permits.

3. Retaining walls exceeding four feet in height require a separate building permit. The application must be accompanied by plans and calculations from a licensed engineer.

Adopted by the Planning Commission of the City of Minnetonka, Minnesota, on July 20, 2023.

Josh Sewall, Chairperson

Attest:

Fiona Golden, Deputy City Clerk

Action on this Resolution:

Motion for adoption:

Seconded by:

Voted in favor of:

Voted against:

Abstained:

Absent:

Resolution adopted.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the Planning Commission of the City of Minnetonka, Minnesota, at a duly authorized meeting held on July 20, 2023.

Fiona Golden, Deputy City Clerk

Minnetonka Planning Commission Meeting

Agenda Item 9

Other Business

MINNETONKA PLANNING COMMISSION
July 20, 2023

Brief Description	Concept plan for Wells Fargo redevelopment at 1809 Plymouth Road
Action Requested	Discuss the concept plan with the applicant. No formal action is required.

Concept Plan

OneCorp Global, on behalf of Wells Fargo, has submitted a concept plan for the redevelopment of the property at 1809 Plymouth Road. The submitted plan contemplates the removal of the existing Wells Fargo building and the construction of two buildings. Two fast-casual restaurants would occupy the northerly building, and a Wells Fargo branch and retailer would occupy the southern building.

The property is roughly two acres in size; it is located in the Planned I-394 District and is guided for mixed-use. The concept is consistent with the zoning and comprehensive guide plan designation.



Planning Commission Input

The commission is asked to answer the following questions:

1. Is there merit for this concept to proceed to a formal development review?
2. If yes, why? If not, why?
3. What would make this concept better?

Originator: Susan Thomas, AICP, Assistant City Planner
Through: Loren Gordon, AICP, City Planner

ADDITIONAL INFORMATION

Ridgedale Village Center Study

In 2012, the City of Minnetonka commissioned the [Ridgedale Village Center Study](#) to develop a vision for the future of the area. The master plan will guide development decisions and provide strategies for land use, design and key investments to keep the area vibrant and successful.

Concept Plan Review Process

The concept plan review process is a feedback process. It is intended to provide opportunities for the public, planning commissioners, and city councilmembers to offer feedback to potential developers. Developers may use that feedback to inform future plans and formal applications.

The concept plan review process is not a process that informs or guarantees future decisions. If a concept receives negative feedback, that does prevent a developer from submitting formal applications. Conversely, if a concept receives positive feedback, that does not ensure that formal applications will be approved.

Generally, the process will include the following steps:

- **Neighborhood Meeting.** At this meeting, potential developers have an opportunity to introduce themselves and their development concept to area property owners and residents. Attendees are given the opportunity to provide feedback on the concept. This is a primary forum for public feedback.
- **Concept Plan Page.** A page is set up on minnetonkamn.gov for each concept plan. Through this page, the public can view the concept plans and provide written comments to city staff. This is a primary forum for public feedback.
- **Planning Commission Meeting.** At this meeting, potential developers have an opportunity to introduce themselves and their development concept. This meeting is the forum for commissioner feedback to the developer. While the public is welcome to attend the meeting to observe, no public comment will be taken.
- **City Council Meeting.** At this meeting, potential developers have an opportunity to introduce themselves and their development concept. This meeting is the forum for councilmember feedback. While the public is welcome to attend the meeting to observe, no public comment will be taken.

Next Steps

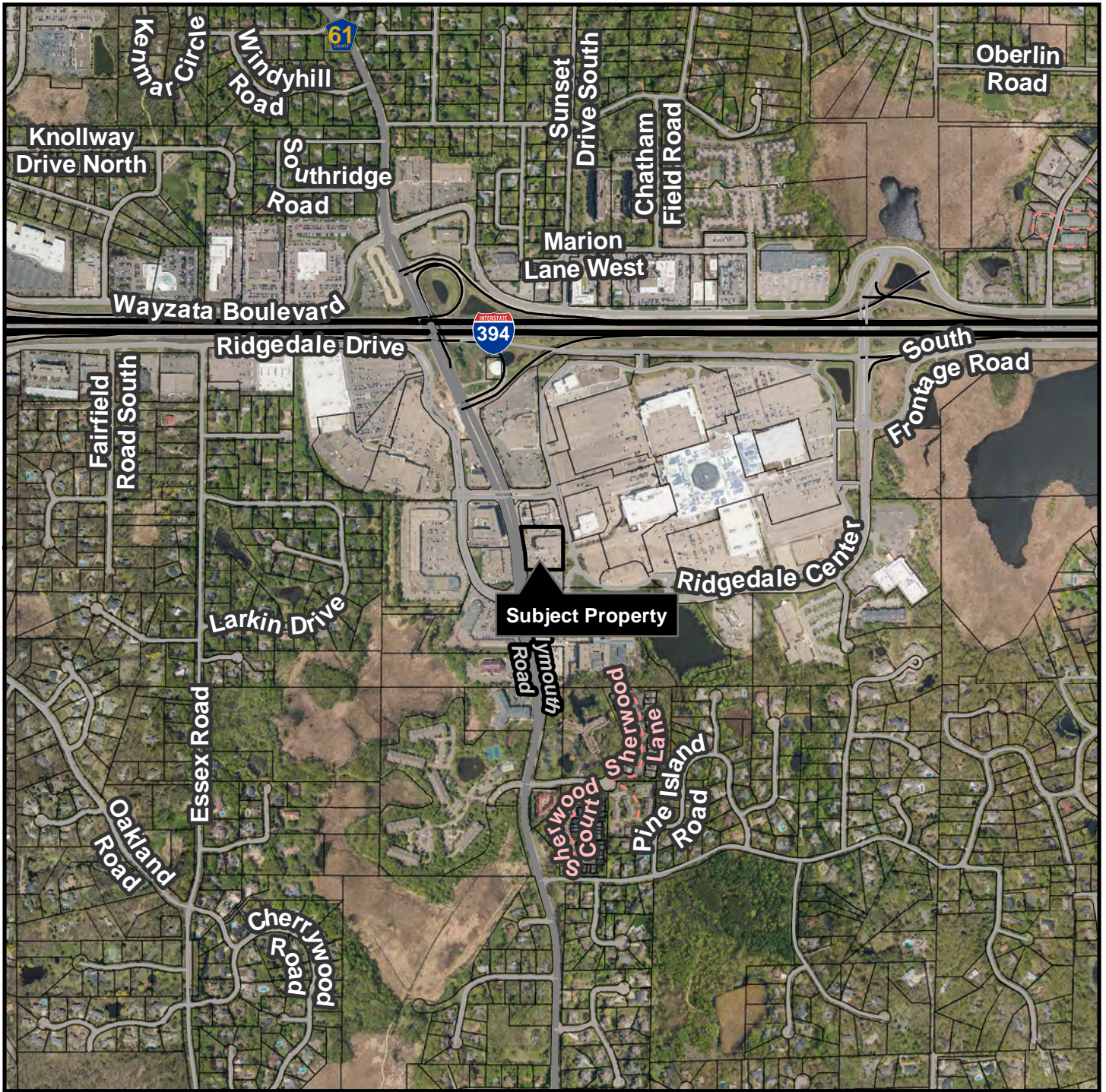
- **Formal Application.** If the developer/applicant chooses to file a formal application, notification of the application will be mailed to area property owners. Area property owners are encouraged to view plans and provide feedback via the city's website. Through recent website updates: (1) staff can provide owners with ongoing project updates, (2) owners can "follow" projects they are particularly interested in by signing up

for automatic notification of project updates; (3) owners may provide project feedback on the project; and (4) and staff can review resident comments.

- **Council Introduction.** The proposal would be introduced at a city council meeting. At that time, the council would be provided another opportunity to review the issues identified during the initial concept plan review meeting and to provide direction about any refinements or additional issues they wish to be researched and for which staff recommendations should be prepared.
- **Planning Commission Review.** The planning commission will review and subsequently make a recommendation to the city council on land use matters.
- **City Council Action.** Based on input from the planning commission, professional staff, and the general public, the city council would take final action.

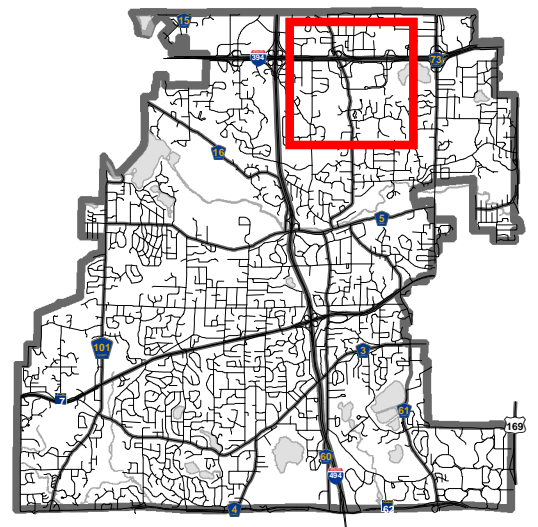
Roles and Responsibilities

- **Applicants.** Applicants are responsible for providing clear, complete, and timely information throughout the review process. They are expected to be accessible to both the city and the public and respect the integrity of the public process.
- **Public.** Neighbors and the general public will be encouraged and enabled to participate in the review process to the extent they are interested. However, effective public participation involves shared responsibilities. While the city has an obligation to provide information and feedback opportunities, interested residents are expected to accept the responsibility to educate themselves about the project and review process, provide constructive, timely, and germane feedback, and stay informed and involved throughout the entire process.
- **Planning Commission.** The planning commission hosts the primary forum for public input and provides clear and definitive recommendations to the city council. To serve in that role, the commission identifies and attempts to resolve development issues and concerns prior to the council's consideration by carefully balancing the interests of applicants, neighbors, and the general public.
- **City Council.** As the ultimate decision-maker, the city council must be in a position to equitably and consistently weigh all input from their staff, the general public, commissioners, applicants, and other advisors. Accordingly, council members traditionally keep an open mind until all the facts are received. The council ensures that residents have an opportunity to participate in the process effectively.
- **City Staff.** The city staff is neither an advocate for the public nor the applicant. Rather, staff provides professional advice and recommendations to all interested parties, including the city council, planning commission, the applicant, property owners, and residents. Staff advocates for its professional position, not a project. Staff recommendations consider neighborhood concerns but necessarily reflect professional standards, legal requirements, and broader community interests.



Location Map

Project: Wells Fargo
Address: 1809 Plymouth Road





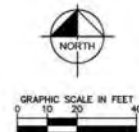
LEGEND

---	PROPERTY LINE
---	SETBACK LINE
---	EASEMENT LINE

BUILDING DATA	
TOTAL BUILDING AREA	14,500 SF
PERCENT OF TOTAL PROPERTY AREA	15.0%
PARKING SUMMARY	
REQUIRED PARKING	82 SPACES
TOTAL PROPOSED PARKING	84 SPACES (83 STANDARD & 1 COMPACT SPACES)
REQUIRED ACCESSIBLE PARKING	4 STANDARD SPACES 1 VAN ACCESSIBLE
PROPOSED ACCESSIBLE PARKING	4 STANDARD SPACES 1 VAN ACCESSIBLE

PROPERTY SUMMARY	
TOTAL PROPERTY AREA	2.12 AC
RIGHT-OF-WAY EASEMENT	0.10 AC
NET PROPERTY AREA	2.02 AC
PROPOSED IMPERVIOUS AREA	1.73 AC (79.7%)
PROPOSED PERVIOUS AREA	0.41 AC (20.3%)
EXISTING IMPERVIOUS AREA	1.59 AC
EXISTING PERVIOUS AREA	0.53 AC

SITE DATA	
EXISTING ZONING	PD
PROPOSED ZONING	PD
PROPOSED LAND USE	RETAIL, COMMERCIAL
PARKING SETBACKS	SIDEWALK = 10' RIGHT OF WAY = 20'
BUILDING SETBACKS	RIGHT OF WAY = 50'



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NO.	REVISIONS	DATE	BY

SHEET NUMBER
EX-1



14600 Minnetonka Blvd. | Minnetonka, MN 55345 | 952-939-8200 | minnetonkamn.gov

TO: Planning Commission
DATE: July 14, 2023
SUBJECT: Concept Plan Review Process

The concept plan review process was established by the city council in 2008. At that time, there was a sense that many controversial development projects had “a lot of momentum” before residents, commissioners, or councilmember had an opportunity to provide input. Though the concept plan review process was intended to provide that venue, council members did express some trepidation that the process may open the city up to criticism that “statements made [during this process] might contradict how a member ultimately votes on a project.” In other words, the process may set false and differing expectations for potential developers and the public.

What began as a process to engage the public and city leaders – to ground ideas and principles at a conceptual level – has essentially become a “pre-formal” development review process. Too often, the concept plan process has been dominated by premature questions about code compliance, business operations, and construction practices, rather than comments about basic land use and zoning policy. At the same time, development design teams produce detailed site and building plan information using sophisticated civil and architectural software systems. The level of detail requested and provided at the conceptual stage results in developers and residents having a higher desire to understand potential final outcomes. The process has become time-intensive for all involved.

Earlier this year, the city council requested that the concept plan review process be streamlined and its focus reset as a venue for providing high-level input. The revised process includes:

- **Neighborhood Meeting.** At this meeting, potential developers have an opportunity to introduce themselves and their development concept. Property owners are given the opportunity to provide feedback on the concept.
- **Concept Plan Page.** A page is set up on minnetonkamn.gov for each concept plan. Through this page, the public can view the concept plans and provide written comments to city staff.
- **Planning Commission Meeting.** At this meeting, potential developers have an opportunity to introduce themselves and their development concept. Commissioners will then be asked to provide answers to three questions:
 1. Is there merit for this concept to proceed to a formal development review?
 2. If yes, why? If not, why?

3. What would make this concept better?

This meeting is the forum for commissioner feedback. While the public is welcome to attend the meeting to observe, no public comment will be taken. The neighborhood meeting and written comments are the forum for public feedback.

- **City Council Meeting.** At this meeting potential developers have an opportunity to introduce themselves and their development concept. City councilmembers will be asked to provide answers to three questions:

1. Is there merit for this concept to proceed to a formal development review?
2. If yes, why? If not, why?
3. What would make this concept better?

This meeting is the forum for councilmember feedback. While the public is welcome to attend the meeting to observe, no public comment will be taken.

- **Follow-up.** After the neighborhood, commission, and council meetings are complete, staff will either provide a written memo or meet with the potential developer to go over the comments received. This is current staff practice and will continue.