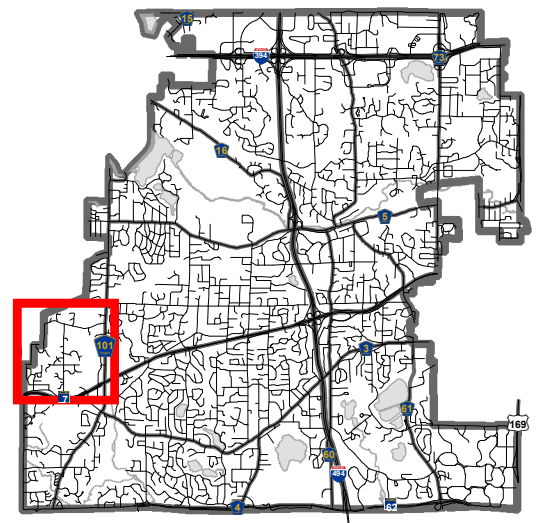
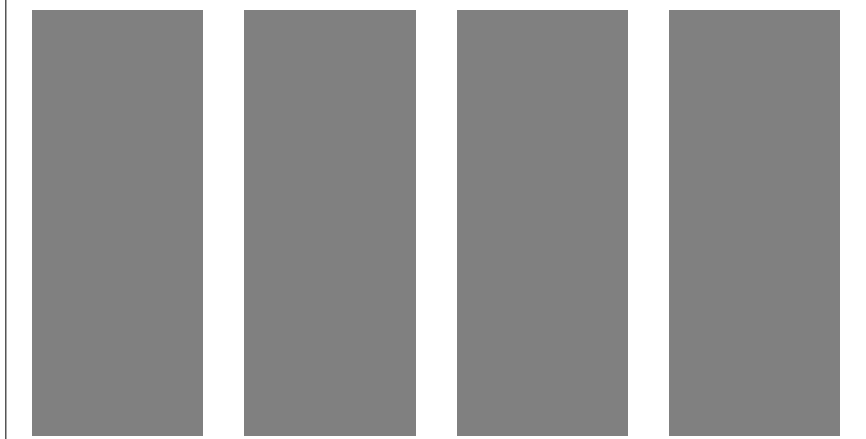


Location Map

Project: Lee Residence
Address: 19102 Covington Road



Proposed Site Plan



BRENT HOLDMAN ARCHITECTURE, PLLC

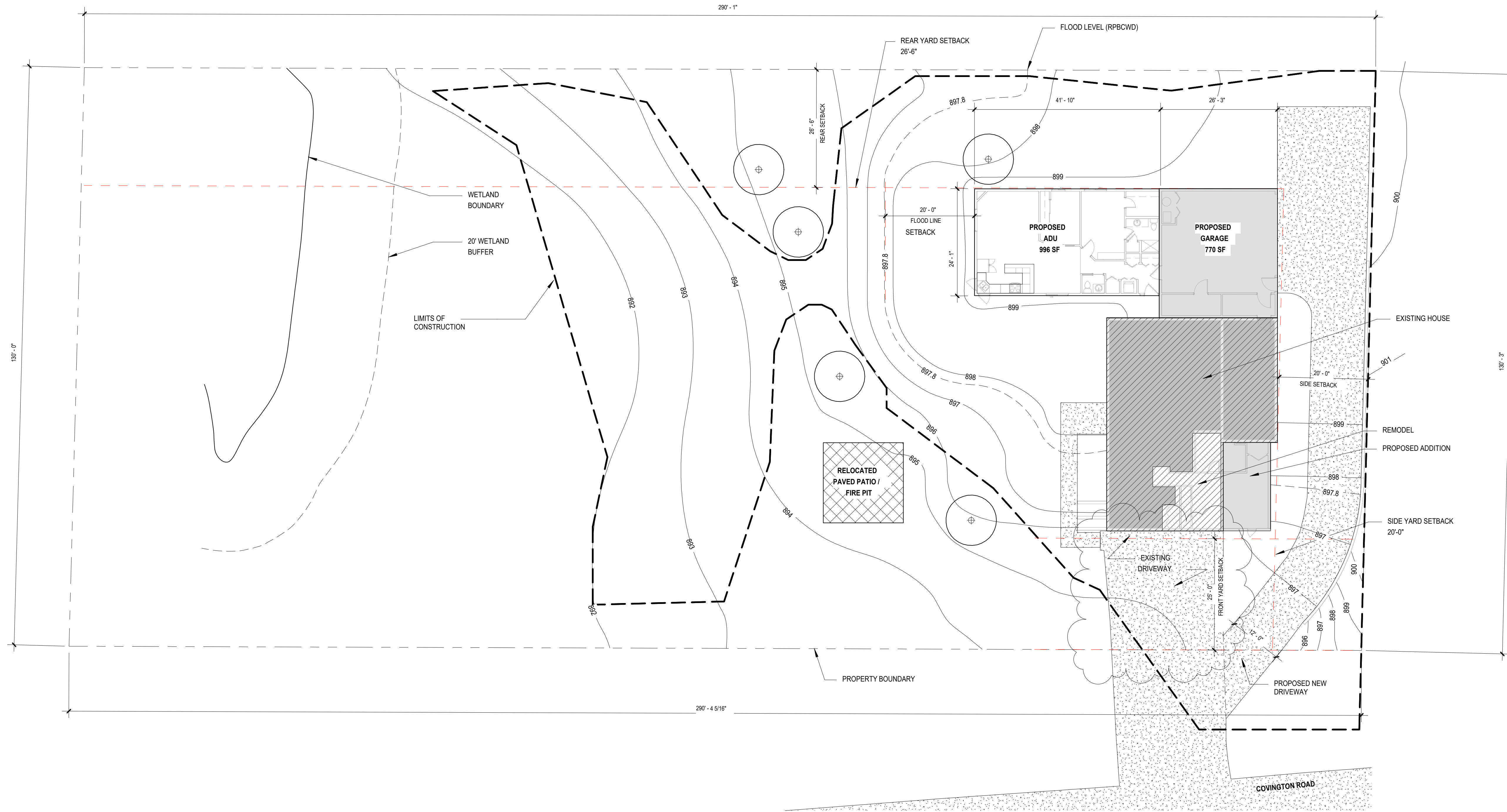
19102 COVINGTON RD
MINNETONKA, MN

RECEIVED

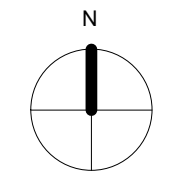
By Bria Raines at 1:53 pm, Nov 06, 2023

ARCHITECT
BRENT HOLDMAN ARCHITECTURE, PLLC
Minneapolis, MN

Brent Holdman
612.710.4961
bh@brentholdman.com



1 ARCHITECTURAL SITE PLAN (EXHIBIT 3)
A1.00



NOT FOR CONSTRUCTION

EXHIBIT 3 ARCHITECTURAL SITE PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

Signature: **BRENT E. HOLDMAN**
Date: _____ Licence #: 45504

ISSUE / REVISION:	1
ISSUE DATE:	11/06/23
PROJECT #:	1801
ARCHITECTURAL SITE PLAN	

NOT FOR CONSTRUCTION

A1.00

TAUER RESIDENCE

19102 COVINGTON ROAD
MINNETONKA, MN 55345

I hereby certify that this plan or drawing was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Company: PIERCE PINI & ASSOCIATES

Signed: *Kevin Gardner*

Name: Kevin Gardner

Date: 09/12/2023 Reg. No: 45815

Issued for: _____ Date: _____
RPBCWD Permit: _____ 09/12/2023

Copyright 2023 Pierce Pini & Associates, Inc.

Comm. No. 23-024

Drawn: JR

Checked: KG

Date: 09/12/2023

Watershed Permit

Drawing Title
GRADING, DRAINAGE AND EROSION CONTROL PLAN

C400

DRAWING LEGEND

- PROPERTY LINE
- - - EXISTING SETBACK
- - - EXISTING CHAIN LINK FENCE
- - - EXISTING FLOODPLAIN (897.8)
- - - EXISTING CONTOUR
- █ EXISTING BITUMINOUS PAVEMENT
- - - PROPOSED FLOODPLAIN (897.8)
- - - PROPOSED CONTOUR
- + 899.0 PROPOSED SPOT ELEVATION
- █ ROCK CONSTRUCTION ENTRANCE
- █ SILT FENCE
- █ TREE PROTECTION FENCE
- █ PROPOSED BITUMINOUS PAVEMENT

SITE SUMMARY

TOTAL LOT AREA	37,759 SQ. FT.
EXISTING IMPERVIOUS AREA	3,248 SQ. FT.
PROPOSED IMPERVIOUS AREA	6,4246 SQ. FT.
IMPERVIOUS COVERAGE	17.0%
DISTURBED AREA	17,670 SQ. FT.

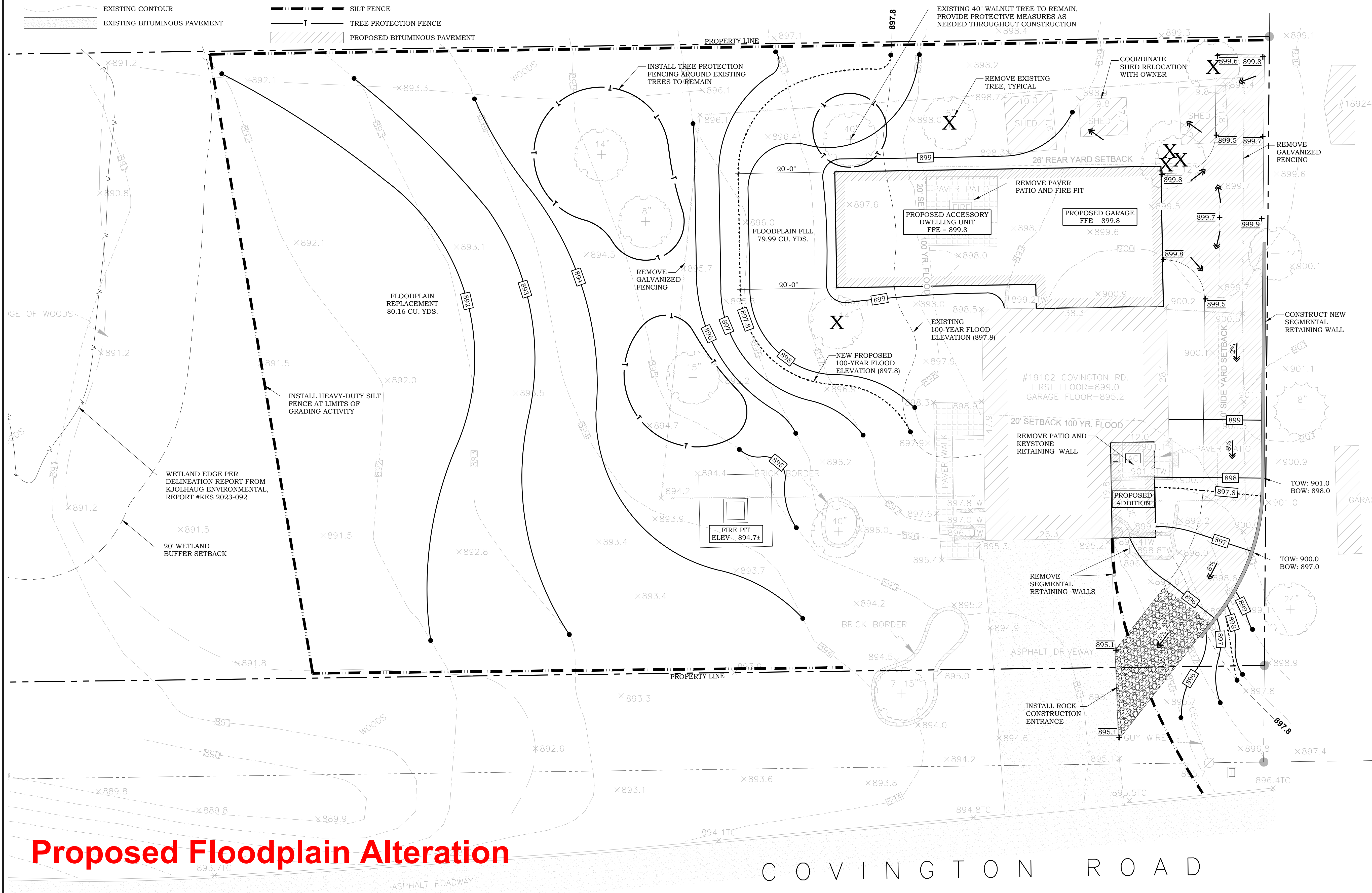
FLOODPLAIN SUMMARY

100-YEAR FLOODPLAIN ELEVATION	897.8
PROPOSED FLOODPLAIN FILL	78.46 CY
PROPOSED FLOODPLAIN REPLACEMENT	80.16 CY
NET FLOODPLAIN IMPACT (GAIN)	1.70 CY

ESTIMATED BMP QUANTITIES

HEAVY-DUTY SILT FENCE	500 LF
ROCK CONSTRUCTION ENTRANCE	1 EACH
CONCRETE WASHOUT AREA	1 EACH
TREE PROTECTION FENCING	250 LF

NOTE: QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL DETERMINE FOR THEMSELVES THE EXACT QUANTITIES FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL NOT RELY ON THESE QUANTITIES FOR THEIR BID AND CIVIL ENGINEER IS NOT RESPONSIBLE FOR COST ESTIMATES OR ACTUAL CONSTRUCTION COSTS.



Proposed Floodplain Alteration



Figure 2 - Existing Conditions (2020 Metro Photo)



1
G1.00 WETLANDS DELINEATION (EXHIBIT 2)
12" = 1'-0"

Certificate of Title

Certificate Number: 1541121

Created by Document Number: 5933549

Transfer from: 1531873

Originally registered September 22, 1953 Volume: 671, Certificate No: 204268, District Court No: 11373

State of Minnesota }
County of Hennepin } S.S. Registration

This is to certify that
MELISSA LEE, whose address is 19102 Covington Road, Minnetonka, Minnesota, 55435, married
is now the owner of an estate in fee simple

In the following described land situated in the County of Hennepin and State of Minnesota:
The South 150 feet of the West 1/2 of the Southwest Quarter of the Southwest Quarter of the Northwest Quarter in
Section 31, Township 117, Range 22.

- Subject to the interests shown by the following memorials and to the following rights or encumbrances set forth in Minnesota statutes chapter 508, namely:
1. Liens, claims, or rights arising under the laws or the Constitution of the United States, which the statutes of this state cannot require to appear of record;
 2. Any real property tax or special assessment;
 3. Any lease for a period not exceeding three years, when there is actual occupation of the premises under the lease;
 4. All rights in public highways upon the land;
 5. Such right of appeal or right to appear and contest the application, petition, or other proceeding affecting the title, as is allowed by law;
 6. The rights of any person in possession under deed or contract for deed from the owner of the certificate of title;
 7. Any outstanding mechanics lien rights which may exist under sections 514.01 to 514.17.

Memorials				
Document Number	Document Type	Date of Filing Month Day, Year Time	Amount	Running in Favor Of
T727411	Quit Claim Deed	May 24, 1963 1:00 PM		The City of Minnetonka. Granting an easement for public roadway over the S 20 ft of above land
TS886413	Mortgage	Oct 13, 2021 8:03 AM	\$375,000.00	MORTGAGE ELECTRONIC REGISTRATION SYSTEMS INC, P.O. Box 2026, Flint, Michigan, 48501-2026 and AMRES CORPORATION (a PA corp) 1 Neshaminy Interplex Drive Suite 310, Feasterville Trevose, PA 19053
TS933550	Mortgage	Mar 31, 2022 8:28 AM	\$397,639.00	MORTGAGE ELECTRONIC REGISTRATION SYSTEMS INC (a DE corp), P.O. Box 2026, Flint, Michigan, 48501-2026 and AMRES CORPORATION, (a PA corp) 1 Neshaminy Interplex Drive, Suite 310, Feasterville Trevose, PA 19053
TS936246	Satisfaction/Release of Mortgage	Apr 12, 2022 9:00 AM		Satisfies or Releases Mortgage document no(s) 5886413

Certificate Number: 1541121

This is a non-certified copy

Page 1 of 2

2
G1.00 LEGAL DESCRIPTION (EXHIBIT 1)
12" = 1'-0"

Indexes Verified through 10/15/2023



In Witness Whereof, I have hereunto subscribed my name and affixed the seal of my office this 31st day of March, 2022.

Amber Bougie
Registrar of Titles,
In and for the County of Hennepin and State of Minnesota.

BRENT HOLDMAN ARCHITECTURE, PLLC

19102 COVINGTON RD
MINNETONKA, MN

RECEIVED
By Bria Raines at 2:03 pm, Nov 06, 2023

ARCHITECT
BRENT HOLDMAN ARCHITECTURE, PLLC
Minneapolis, MN

Brent Holdman
612.710.4961
bh@brentholdman.com

PROJECT SUMMARY

EXHIBITS FOR C.U.P. AND FLOOD PLAIN ALTERATION APPLICATIONS

G1.00
EXHIBIT 1 - LEGAL DESCRIPTION OF PROPERTY
EXHIBIT 2 - WETLANDS DELINEATION
EXHIBIT 3 - ARCHITECTURAL SITE PLAN

G1.01
EXHIBIT 4 - SURVEY (EXISTING SITE/TOPOGRAPH)

G1.02
EXHIBIT 5.1 - TREE PLAN (EXISTING TREE SURVEY)

G1.03
EXHIBIT 5.2 - TREE PLAN (CRZ AND REMOVED TREES)

C100 - C400
EXHIBIT 6 - GRADING, DRAINAGE AND EROSION CONTROL PLANS

MULTIPLE CIVIL ENGINEERING SHEETS
INCLUDES STORAGE CAPACITY CALCULATIONS
(SHEET C400)
CUT/FILL COLOR DIAGRAM FOR ENGINEERING

L1.01
EXHIBIT 7 - REVEGETATION PLAN / LANDSCAPE PLAN

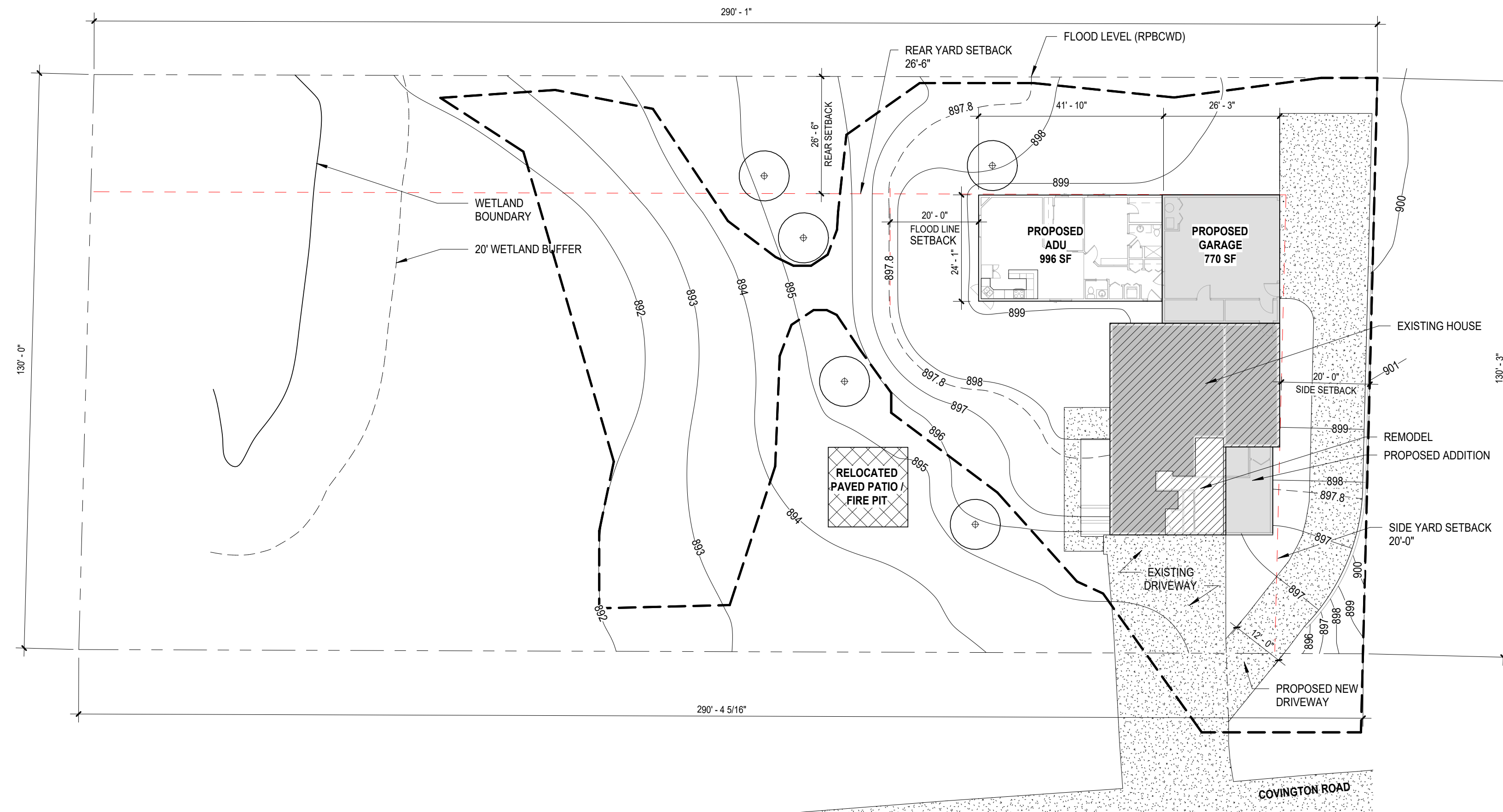
A1.01
EXHIBIT 8.1 - FLOOR PLAN - ADU AND GARAGE

A1.02
EXHIBIT 8.2 - FLOOR PLAN - ADDITION TO EXISTING HOME

A2.01
EXHIBIT 9 - EXTERIOR ELEVATIONS

A9.00
EXHIBIT 10 - ADDITIONAL PERMITS (RILEY PURGATORY BLUFF CREEK WATERSHED DISTRICT PERMIT)

EXHIBIT 11 - OWNER'S WRITTEN STATEMENT
- ARCHITECT'S WRITTEN STATEMENT



3
G1.00 ARCHITECTURAL SITE PLAN (EXHIBIT 3)
1" = 20'-0"

NOT FOR CONSTRUCTION

G1.00

NOT FOR CONSTRUCTION

FLOOD PLAIN / WETLAND ALTERATION APPLICATION EXHIBITS

C.U.P. APPLICATION EXHIBITS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

Signature:
Name: BRENT E. HOLDMAN
Date: Licence #: 45504

ISSUE / REVISION:
ISSUE DATE: 10/07/22
PROJECT #: 1801
FLOOD PLAIN ALTERATION / C.U.P. APPLICATION EXHIBITS

Existing Conditions



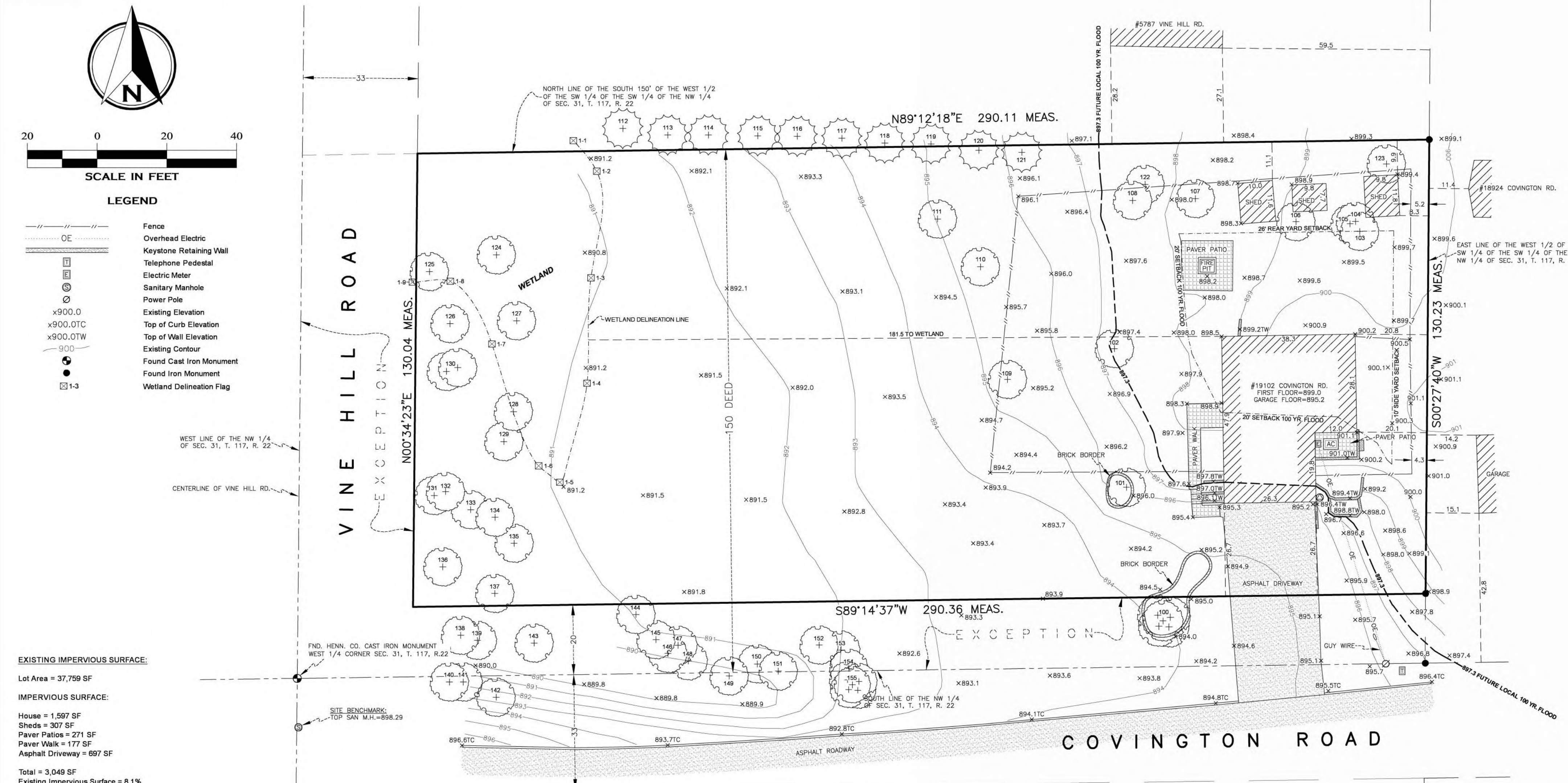
19102 COVINGTON RD
MINNETONKA, MN

RECEIVED
By Bria Raines at 2:04 pm, Nov 06, 2023

ARCHITECT
BRENT HOLDMAN ARCHITECTURE, PLLC
Minneapolis, MN

Brent Holdman
612.710.4961
bh@brentholdman.com

EXISTING CONDITION SURVEY FOR: JUDY TAUER & MELISSA LEE



EXISTING IMPERVIOUS SURFACE:
Lot Area = 37,799 SF

IMPERVIOUS SURFACE:
House = 1,597 SF
Sheds = 307 SF
Paver Patios = 271 SF
Paver Walk = 177 SF
Asphalt Driveway = 697 SF
Total = 3,049 SF
Existing Impervious Surface = 8.1%

NOTE:
Existing Condition Survey completed January 6, 2022. Survey updated with Future 100 year flood elevation of 897.3 and building setbacks on 07-14-2023 AND tree inventory and wetland delineation on 10-13-2023.

GENERAL NOTES:
Existing building dimensions are measured to siding and not building foundation.
No title commitment was provided and no research was performed for any easements not shown on this survey.
Location of utilities shown are from observed evidence in the field and/or plans furnished by others and are considered approximate. Gopher State One Call or a private utility locator should be contacted to locate utilities on site before excavation.

JOB NO. 438-23	SCALE 1" = 20'	SITE ADDRESS 19102 Covington Rd. Minnetonka, MN 55345
BOOK/PAGE	DRAWN CME	PROPERTY DESCRIPTION The South 150 feet of the West 1/2 of the Southwest Quarter of the Southwest Quarter in Section 31, Township 117, Range 22, Hennepin County, Minnesota.
SHEET 1 of 1 18x24	REFERENCE 627-21 178/33 278-23	SITE BENCHMARK Top of sanitary manhole at the intersection of Covington Rd. and Vine Hill Rd. Elevation = 898.29

REVISIONS		DATE	REMARKS

TREE INVENTORY			
TAG NO.	TYPE	D.B.H.	NOTES
100	SILVER MAPLE	16"	CLUMP
101	SILVER MAPLE	16"	CLUMP
102	LOCUST	20"	
103	DECIDUOUS	15"	
104	DECIDUOUS	12"	
105	DECIDUOUS	10"	
106	ASH	8"	
107	ELM	6"	
108	WALNUT	40"	
109	LOCUST	18"	
110	APPLE	6"	
111	APPLE	12"	
112	SPRUCE	10"	
113	SPRUCE	10"	
114	SPRUCE	6"	
115	SPRUCE	12"	
116	SPRUCE	8"	
117	SPRUCE	8"	
118	SPRUCE	10"	

TREE INVENTORY			
TAG NO.	TYPE	D.B.H.	NOTES
119	SPRUCE	10"	
120	SPRUCE	6"	
121	SPRUCE	6"	
122	ELM	6"	
123	ELM	12"	
124	WALNUT	6"	
125	WALNUT	5"	
126	WALNUT	12"	
127	WALNUT	4"	
128	WALNUT	8"	
129	WALNUT	6"	
130	COTTONWOOD	40", 40"	
131	WALNUT	10"	
132	WALNUT	6"	
133	WALNUT	6"	
134	WALNUT	8"	
135	WALNUT	6"	
136	WALNUT	8"	
137	ASH	12"	

TREE INVENTORY			
TAG NO.	TYPE	D.B.H.	NOTES
138	COTTONWOOD	24"	
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140	ELM	12"	
141	ELM	12"	
142	ELM	14"	
143	ASH	18"	
144	WALNUT	8"	
145	ELM	16", 10"	
146	ASH	16"	
147	ASH	10"	
148	ASH	8"	
149	COTTONWOOD	14"	
150	ELM	6"	
151	ELM	8"	
152	ELM	10"	
153	ELM	8"	
154	ELM	6", 6"	
155	ASH	4"	CLUMP

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly registered Land Surveyor under the laws of the State of Minnesota.
W. BROWN LAND SURVEYING, INC.
Woodrow A. Brown, R.L.S., MN REG 15230
DATED: 10-13-2023



W. BROWN LAND SURVEYING, INC.
8030 OLD CEDAR AVENUE SO., SUITE 228
BLOOMINGTON, MN 55425
PH: (652) 854-4055
WBROWNLANDSURVEYING.COM
EMAIL: INFO@WBROWNLANDSURVEYING.COM

EXHIBIT 4 SURVEY - EXISTING CONDITIONS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

Signature:
Name: BRENT E. HOLDMAN
Date: Licence #: 45504

ISSUE / REVISION:	
ISSUE DATE:	10/07/22
PROJECT #:	1801
SURVEY	

G1.01

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

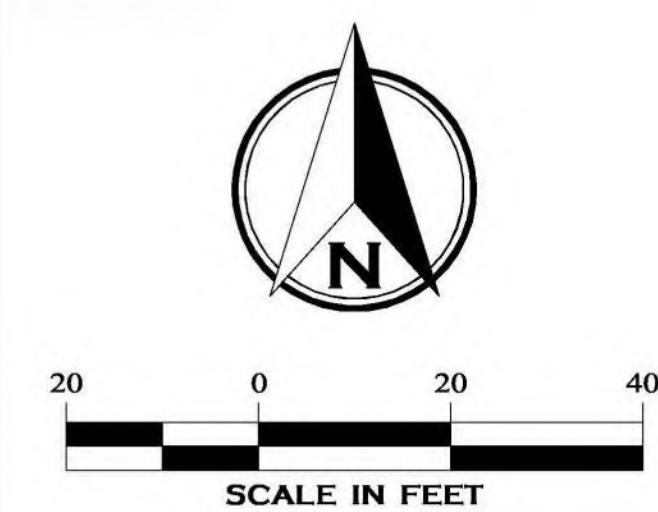
19102 COVINGTON RD
MINNETONKA, MN

RECEIVED
By Bri Raines at 2:04 pm, Nov 06, 2023

ARCHITECT
BRENT HOLDMAN ARCHITECTURE, PLLC
Minneapolis, MN

Brent Holdman
612.710.4961
bh@brentholdman.com

**EXISTING CONDITION SURVEY FOR:
JUDY TAUER & MELISSA LEE**



LEGEND

—	Fence
—	Overhead Electric
—	Keystone Retaining Wall
—	Telephone Pedestal
—	Electric Meter
—	Sanitary Manhole
—	Power Pole
○	Existing Elevation
x900.0	Top of Curb Elevation
x900.0TC	Top of Wall Elevation
x900.0TW	Existing Contour
900	Found Cast Iron Monument
●	Found Iron Monument
□1-3	Wetland Delineation Flag

EXISTING IMPERVIOUS SURFACE:
Lot Area = 37,759 SF
IMPERVIOUS SURFACE:
House = 1,597 SF
Sheds = 307 SF
Paver Patios = 271 SF
Paver Walk = 177 SF
Asphalt Driveway = 697 SF
Total = 3,049 SF
Existing Impervious Surface = 8.1%

NOTE:
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SHEET 1 of 1 18x24	REFERENCE 627-21 178/33 278-23	SITE BENCHMARK Top of sanitary manhole at the intersection of Covington Rd. and Vine Hill Rd. Elevation = 898.29

REVISIONS	
DATE	REMARKS

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W. BROWN LAND SURVEYING, INC.
WOODROW A. BROWN, R.L.S., MN REG 15230
DATED: 10-13-2023

W. BROWN LAND SURVEYING, INC.
8030 OLD CEDAR AVENUE SO., SUITE 228
BLOOMINGTON, MN 55425
PH: (952) 854-4055
WBROWNLANDSURVEYING.COM
EMAIL: INFO@WBROWNLANDSURVEYING.COM

**TREE SURVEY
EXISTING CONDITIONS**

Orange = HIGH PRIORITY TREE
Green = SIGNIFICANT TREE

TAG NO.	TYPE	D.B.H.	NOTES
100	SILVER MAPLE	16"	CLUMP
101	SILVER MAPLE	36"	CLUMP
102	LOCUST	20"	
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155	ASH	4"	CLUMP

**EXHIBIT 5.1
TREE PLAN - EXISTING**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

Signature:
Name: BRENT E. HOLDMAN
Date: Licence #: 45504

ISSUE / REVISION:
ISSUE DATE: 10/07/22
PROJECT #: 1801
TREE PLAN (EXISTING)

G1.02

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

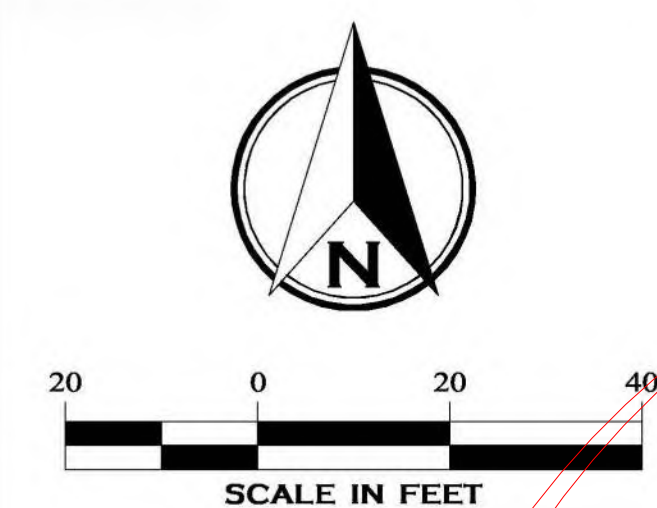
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ARCHITECT
BRENT HOLDMAN ARCHITECTURE, PLLC
Minneapolis, MN

Brent Holdman
612.710.4961
bh@brentholdman.com

**EXISTING CONDITION SURVEY FOR:
JUDY TAUER & MELISSA LEE**



LEGEND

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---	Overhead Electric
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○	Top of Curb Elevation
○	Top of Wall Elevation
○	Existing Contour
○	Found Cast Iron Monument
○	Found Iron Monument
○	Wetland Delineation Flag

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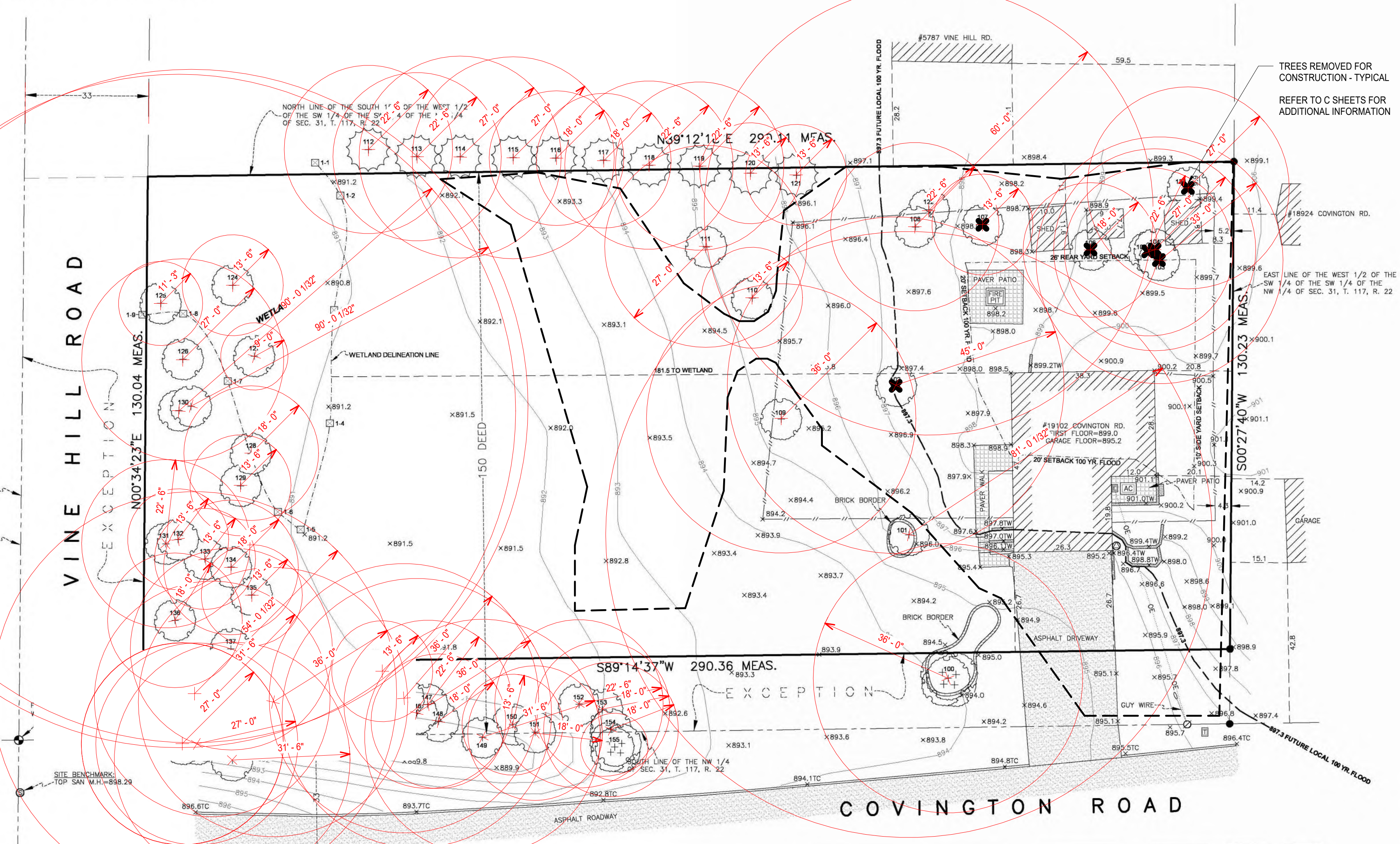
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**TREE SURVEY
EXISTING CONDITIONS**

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Green circle = SIGNIFICANT TREE

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149	COTTONWOOD	14"	
150	ELM	6"	
151	ELM	6"	
152	ELM	10"	
153	ELM	8"	
154	ELM	6", 6"	
155	ASH	4"	CLUMP

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SHEET 1 of 1 18x24	REFERENCE 278-23	SITE BENCHMARK Top of sanitary manhole at the intersection of Covington Rd. and Vine Hill Rd. Elevation = 898.29

DATE	REVISIONS	REMARKS

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly registered Land Surveyor under the laws of the State of Minnesota.

W. BROWN LAND SURVEYING, INC.

Woodrow A. Brown DATED: 10-13-2023
WOODROW A. BROWN, R.L.S. MN REG 15230

W. BROWN LAND SURVEYING, INC.
8030 OLD CEDAR AVENUE SO., SUITE 228
BLOOMINGTON, MN 55425
PH: (952) 854-4055
WWW.BROWNLANDSURVEYING.COM
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1 TREE PLAN (RESULTING) CRITICAL ROOTS ZONES AND REMOVALS (EXHIBIT 5.2)
G1.03 1" = 20'-0"

**EXHIBIT 5.2
TREE PLAN - EXISTING**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

Signature:
Name: BRENT E. HOLDMAN
Date: Licence #: 45504

ISSUE / REVISION:	
ISSUE DATE:	10/07/22
PROJECT #:	1801
TREE PLAN WITH CRZ SHOWN	

G1.03

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

TAUER RESIDENCE

19102 COVINGTON ROAD - MINNETONKA, MINNESOTA

GRADING, DRAINAGE AND EROSION CONTROL PLANS

PIERCE PINI &
ASSOCIATES, INC.
Consulting Civil Engineers

9298 CENTRAL AVENUE NE
SUITE 312
BLAINE, MN 55434
TEL 763-537-1311

TAUER RESIDENCE
 19102 COVINGTON ROAD
 MINNETONKA, MN 55345



LOCATION MAP

PROPERTY INFORMATION

ADDRESS: 19102 COVINGTON ROAD, MINNETONKA
 PARCEL ID: 31-117-22-23-0007
 LOT AREA: 0.87 ACRES
 WATERSHED: RILEY PURGATORY BLUFF CREEK

DRAWING INDEX

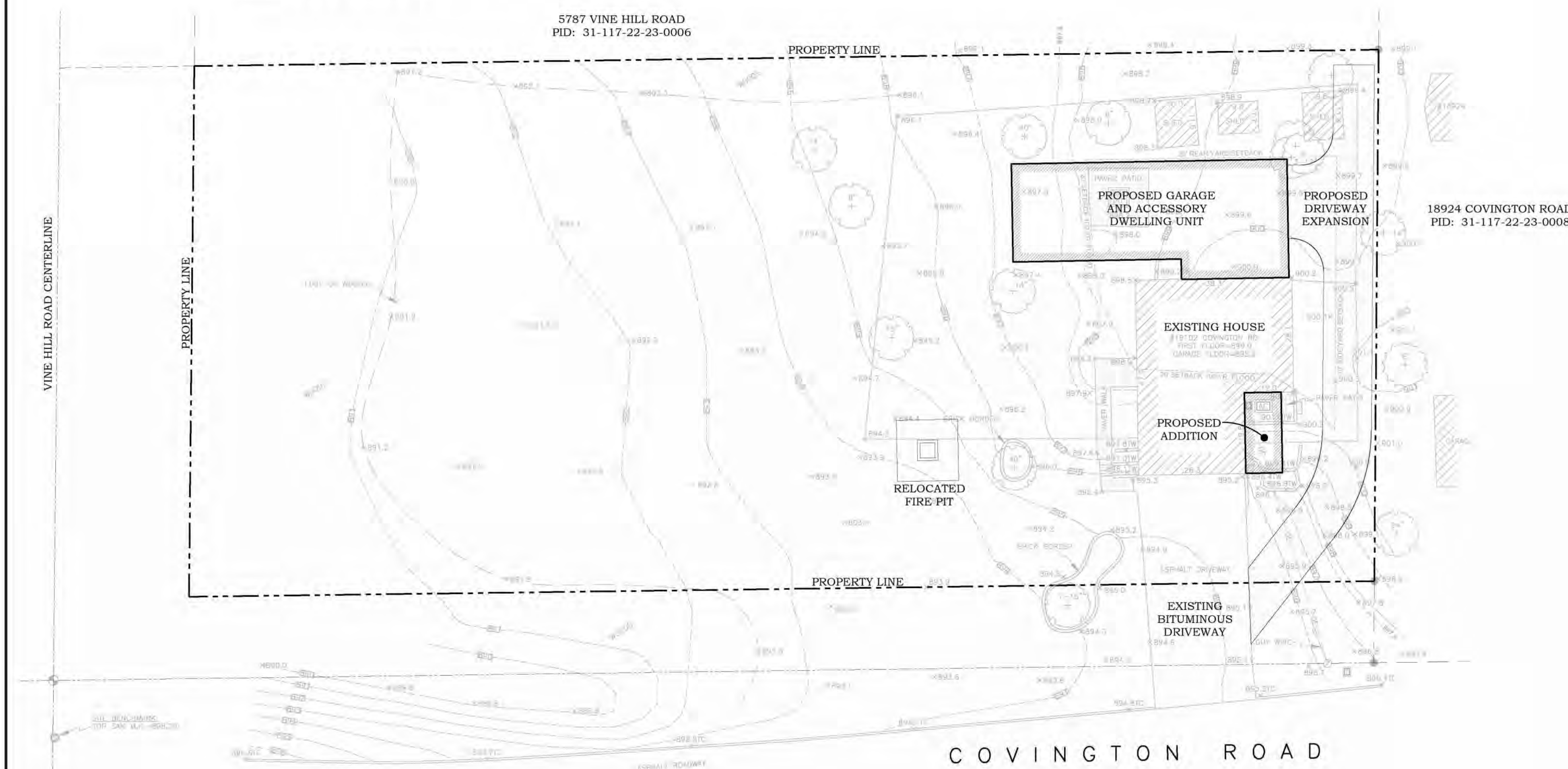
- C100 - COVER SHEET
- C200 - STORMWATER POLLUTION PREVENTION NOTES
- C300 - STORMWATER POLLUTION PREVENTION DETAILS
- C400 - GRADING, DRAINAGE AND EROSION CONTROL PLAN
- C500 - WETLAND BUFFER SIGNAGE PLAN

CONSTRUCTION NOTES

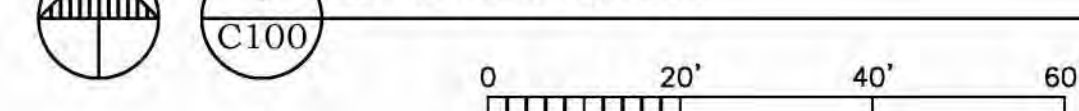
1. ALL EXISTING INFORMATION TAKEN FROM CAD FILES PROVIDED BY BRENT HOLDMAN ARCHITECTURE.
2. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING LOCATIONS OF EXISTING UTILITIES, AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
3. CONTRACTOR TO PREVENT DIRT AND/OR DEBRIS FROM BEING TRANSPORTED OFF-SITE IN AN UNCONTROLLED MANNER. SEDIMENT DISCOVERED SHALL BE REMOVED BY CONTRACTOR WITHIN 7 DAYS OF DISCOVERY.
4. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH CITY OF MINNETONKA, HENNEPIN COUNTY AND STATE OF MINNESOTA REGULATIONS AND STANDARDS.
5. EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS. CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES WHICH MAY INCLUDE BUT IS NOT LIMITED TO: ELECTRIC, TELEPHONE, GAS, CABLE TV, COMPUTER CABLE, FIBER OPTIC CABLE, SANITARY SEWER, STORM SEWER AND WATER MAIN. CONTRACTOR TO CONTACT THE GOPHER STATE ONE CALL BEFORE EXCAVATING.
6. CONTRACTOR TO PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS, LANDSCAPING, STRUCTURES AND UTILITIES THAT ARE TO REMAIN. CONTRACTOR TO STORE AND PROTECT EXISTING SITE FEATURES WHICH NEED TO BE REMOVED AND REPLACED. CONTRACTOR TO PREVENT DAMAGE OR THEFT OF THESE ITEMS AND TO REPAIR AND REPLACE AT OWN EXPENSE.
7. ALL EXCAVATIONS MUST COMPLY WITH THE REQUIREMENTS OF OSHA 29 CFR, PART 1926, SUBPART P "EXCAVATIONS AND TRENCHES". THIS DOCUMENT STATES THAT EXCAVATION SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
8. CONTRACTOR SHALL COORDINATE WITH ARCHITECT'S DRAWINGS TO VERIFY LOCATION, SIZE AND QUANTITY OF ALL ROOF DRAINS AND UTILITY CONNECTIONS.
9. PROVIDE TRAFFIC CONTROL IN ACCORDANCE WITH MMUTCD, INCLUDING "FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS", CURRENT EDITION.
10. DRAWINGS DO NOT INDICATE AREAS OF TEMPORARY SUPPORT SYSTEMS. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS AND WILL HAVE TOTAL CONTROL OVER THE TYPES AND DESIGN OF ALL SHORING, SHEETING, BRACING, ANCHORAGES, EXCAVATION SUPPORT WALLS, DIRECTIONAL BORING, AUGER JACKING, SOIL STABILIZATION AND OTHER METHODS OF PROTECTING EXISTING IMPROVEMENTS. SEE SPECIFICATIONS FOR SUBMITTAL REQUIREMENTS.
11. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO STARTING CONSTRUCTION.
12. ALL MATERIALS FOR PROPOSED CONSTRUCTION OR REPAIR OF EXISTING FACILITIES SHALL BE NEW PRODUCTS DIRECT FROM THE FACTORY AND FREE FROM DEFECTS.
13. WHEN WORKING AROUND EXISTING UTILITIES, LIGHT POLES, TRAFFIC SIGNALS, TELEPHONE OR POWER POLES, THE CONTRACTOR SHALL PROVIDE SUFFICIENT SUPPORT OR BRACING TO PREVENT EXCESSIVE STRESS ON THE PIPING. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND FACILITIES.
14. CARE MUST BE TAKEN DURING CONSTRUCTION AND EXCAVATION TO PROTECT ANY SURVEY MONUMENTS AND/OR PROPERTY IRONS. MONUMENTS DAMAGED OR DISPLACED DUE TO CONTRACTOR NEGLIGENCE SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
15. CONTRACTOR SHALL NOT BLOCK DRAINAGE FROM OR DIRECT EXCESS DRAINAGE ONTO ADJACENT PROPERTY.
16. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE OWNING AUTHORITY.
17. CONTRACTOR MUST ADHERE TO AXLE LOAD LIMITS WHEN DELIVERING MATERIALS AND EQUIPMENT TO THE SITE. ANY DAMAGE TO THE ROADWAY AND TO THE CITY RIGHT-OF-WAY SHALL BE REPAIRED TO THE CITY'S SATISFACTION AT THE COST OF THE CONTRACTOR.
18. CONTRACTOR SHALL TAKE PHOTOGRAPHS AND DOCUMENT THE CONDITION OF THE EXISTING ROADWAY PRIOR TO CONSTRUCTION.

EROSION CONTROL NOTES

1. BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. USE 2 INCH OR GREATER DIAMETER ROCK IN A LAYER AT LEAST 12 INCHES THICK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE. EXTEND THE ROCK ENTRANCE AT LEAST 50 FEET INTO THE CONSTRUCTION ZONE USING A GEOTEXTILE FABRIC BENEATH THE AGGREGATE TO PREVENT MIGRATION OF SOIL INTO THE ROCK FROM BELOW.
2. REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS WHEN TRACKING OCCURS AND MAY BE ORDERED BY CITY INSPECTORS AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION AND DONE IN A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.
3. CATCH BASIN INSERTS OR OTHER APPROVED PRODUCTS ARE REQUIRED IN UNDISTURBED AREAS THAT MAY RECEIVE RUNOFF FROM THE PROJECT AREA. HAY BALES OR FILTER FABRIC WRAPPED GRATES ARE NOT ALLOWED FOR INLET PROTECTION.
4. LOCATE SOIL OR DIRT STOCKPILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. TEMPORARY STOCKPILES LOCATED ON PAVED SURFACES MUST BE NO LESS THAN TWO FEET FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF LEFT MORE THAN 24 HOURS.
5. MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A DAILY BASIS AND REPLACE DETERIORATED, DAMAGED, OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.
6. DISTURBED SOIL STABILIZATION SHALL USE SEED AND MULCH, EROSION CONTROL MATTING, AND/OR SODDING AND STAKING IN GREEN SPACE AREAS. SEED WITH ANNUAL RYE SEED AT 60 LBS PER ACRE AND WOOD MULCH FIBER AT 45 LBS PER 1,000 SF. AN EARLY APPLICATION OF GRAVEL BASE ON AREAS TO BE PAVED IS RECOMMENDED TO MINIMIZE EROSION POTENTIAL.
7. READY MIXED CONCRETE AND CONCRETE BATCH PLANTS ARE PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY. ALL CONCRETE RELATED PRODUCTION, CLEANING AND MIXING ACTIVITIES SHALL BE DONE IN THE DESIGNATED CONCRETE MIXING/WASHOUT LOCATIONS.
8. CHANGES TO EROSION CONTROL PLAN MUST BE APPROVED BY THE EROSION CONTROL INSPECTOR PRIOR TO IMPLEMENTATION. CONTRACTOR TO PROVIDE INSTALLATION AND DETAILS FOR ALL PROPOSED ALTERNATE TYPE DEVICES.
9. ALL EROSION CONTROL ELEMENTS ARE TEMPORARY. CONTRACTOR TO INSTALL EROSION CONTROL ELEMENTS PRIOR TO START OF LAND DISTURBING ACTIVITIES, MAINTAIN IN GOOD CONDITION DURING CONSTRUCTION AND REMOVE FROM THE SITE UPON COMPLETION OF FINAL PAVING AND TURF ESTABLISHMENT.



SITE PLAN



1" = 20' (22" x 34" SHEET)
 1" = 40' (11" x 17" SHEET)

I hereby certify that this plan or drawing was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Company: PIERCE PINI & ASSOCIATES

Signed: *Kevin Gardner*
 Name: Kevin Gardner

Date: 09/12/2023 Reg. No: 45815

Issued for: RPBCWD Permit Date: 09/12/2023

Drawn: JR

Checked: KG

Date: 09/12/2023

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Comm. No. 23-024

Drawn: JR

Checked: KG

Date: 09/12/2023

Watershed Permit

Drawing Title

COVER SHEET

C100

PIERCE PINI &
ASSOCIATES, INC.
Consulting Civil Engineers

9298 CENTRAL AVENUE NE
SUITE 312
BLAINE, MN 55434
TEL 763-537-1311

TAUER RESIDENCE

19102 COVINGTON ROAD
MINNETONKA, MN 55345

PROJECT DESCRIPTION:

A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN PREPARED IN CONFORMANCE WITH THE GENERAL PERMIT AUTHORIZATION TO DISCHARGE STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)/STATE DISPOSAL SYSTEM (SDS) CONSTRUCTION STORMWATER PERMIT. THE PROJECT WILL DISTURB LESS THAN ONE ACRE, HOWEVER ALL SITE WORK SHALL FOLLOW THE PERMIT GUIDELINES.

THE GOAL OF POLLUTION PREVENTION EFFORTS DURING PROJECT CONSTRUCTION IS TO CONTROL SOIL AND POLLUTANTS ON THE SITE AND PREVENT THEM FROM LEAVING THE PROJECT SITE AND FLOWING TO SURFACE WATERS. THE PURPOSE OF THIS SWPPP IS TO PROVIDE GUIDELINES FOR ACHIEVING THAT GOAL. THE SWPPP MUST BE KEPT ONSITE AND UPDATED AS NECESSARY DURING THE COURSE OF CONSTRUCTION TO KEEP IT CURRENT WITH ANY MODIFICATIONS TO THE POLLUTION CONTROL MEASURES BEING UTILIZED.

THIS PROJECT CONSISTS OF THE ADDITION OF A DETACHED GARAGE AND AN ADDITIONAL DWELLING UNIT ALONG WITH A DRIVEWAY EXTENSION TO THE NEW GARAGE.

THE PROPOSED STORMWATER MANAGEMENT DESIGN WILL MEET THE REQUIREMENTS OF THE CITY OF MINNETONKA AND THE RILEY PURGATORY BLUFF CREEK WATERSHED MANAGEMENT ORGANIZATION. THIS PROJECT IS NOT REQUIRED TO MEET THE MPCA PERMANENT STORMWATER MANAGEMENT REQUIREMENTS BECAUSE THE DISTURBED AREA IS LESS THAN ONE ACRE.

REGULATORY CONTEXT:

DISCHARGE TO SPECIAL OR IMPAIRED WATERS WITHIN ONE MILE OF SITE:

-THIS PROJECT DISCHARGES TO PURGATORY CREEK - THERE ARE NO LISTED IMPAIRMENTS ON THE MPCA WEBSITE FOR THIS SECTION OF THE CREEK.

PLACEMENT OF FILL IN WATERS OF THE STATE:

-N/A

DRINKING WATER SUPPLY MANAGEMENT AREA:

-N/A

THE PROJECT STORMWATER DISCHARGE IS NOT ANTICIPATED TO IMPACT ANY OF THE FOLLOWING:

- OUTSTANDING RESOURCE VALUE WATERS, TROUT WATERS, WETLANDS, CALCAREOUS FENS, PROPERTIES LISTED BY THE NATIONAL REGISTER OF HISTORIC PLACES OR ARCHAEOLOGICAL SITES

THE PROJECT STORMWATER DISCHARGE IS NOT SUBJECT TO ADDITIONAL REGULATION DUE TO ANY OF THE FOLLOWING:

- OTHER FORMAL ENVIRONMENTAL REVIEWS, ENDANGERED OR THREATENED SPECIES

STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IMPLEMENTATION RESPONSIBILITIES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE IMPLEMENTATION OF THE SWPPP, INCLUDING THE ACTIVITIES OF ALL OF THE CONTRACTOR'S SUBCONTRACTORS.
- CONTRACTOR SHALL PROVIDE A PERSON(S) KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMPs TO OVERSEE ALL INSTALLATION AND MAINTENANCE OF BMPs AND IMPLEMENTATION OF THE SWPPP.
- FOLLOWING FINAL STABILIZATION, THE OWNER IS EXPECTED TO FURNISH LONG TERM OPERATION AND MAINTENANCE (O & M) OF THE PERMANENT STORM WATER MANAGEMENT SYSTEM.

STORMWATER DISCHARGE DESIGN REQUIREMENTS:

THE FOLLOWING SIZING CRITERIA APPLY TO THE DESIGN OF STORMWATER TREATMENT FACILITIES. N/A INDICATES NOT APPLICABLE OR NOT CONSTRUCTED AS PART OF THIS PROJECT.

- TEMPORARY SEDIMENTATION BASINS: N/A
- PERMANENT WET SEDIMENTATION BASINS: N/A
- PERMANENT INFILTRATION/FILTRATION : N/A
- PERMANENT REGIONAL PONDS: N/A
- ALTERNATIVE METHODS: N/A

SEQUENCE OF CONSTRUCTION:

THE FOLLOWING SEQUENCE DESCRIBES, IN GENERAL, THE WORK ON THE SITE:

- CONTRACTOR SHALL VERIFY THAT ALL PERMITS HAVE BEEN OBTAINED AND/OR OBTAIN THE NECESSARY PERMITS.
- CONTRACTOR SHALL PERFORM SITE INSPECTIONS, RECORD KEEPING AND RECORD RETENTION IN ACCORDANCE WITH ALL PERMITS.
- CONTRACTOR SHALL INSTALL ALL PERIMETER AND DOWN GRADIENT EROSION CONTROL AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs), CONSTRUCTION ENTRANCES AND INLET PROTECTION DEVICES PRIOR TO SITE GRADING, EXCAVATION, STOCKPILING OR DISTURBING EXISTING VEGETATIVE COVER.
- CONTRACTOR SHALL PERFORM SITE GRADING, EXCAVATION, STOCKPILING WORK IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
- CONTRACTOR SHALL INSTALL, INSPECT, MONITOR AND MAINTAIN TEMPORARY AND PERMANENT EROSION CONTROL BMPs AS SHOWN ON PLANS & IN CONFORMANCE WITH NPDES PERMIT, CONTINUOUSLY DURING THE WORK. CONTRACTOR SHALL STABILIZE ALL EXPOSED SOILS NO LATER THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
- CONTRACTOR SHALL REPLACE OR REPAIR EROSION CONTROL AND SEDIMENT CONTROL BMPs THAT ARE NOT FUNCTIONING PROPERLY.
- CONTRACTOR SHALL PERFORM SITE RESTORATION ACTIVITIES FOR PERMANENT VEGETATIVE ESTABLISHMENT.
- CONTRACTOR SHALL REMOVE SEDIMENT CONTROL DEVICES PRIOR TO FINAL COMPLETION.

CONSTRUCTION ACTIVITY FIELD REQUIREMENTS:

- ALL FIELD REQUIREMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NPDES PERMIT AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
- THE CONTRACTOR MUST IMPLEMENT THE SWPPP AND PROVIDE BMPs IDENTIFIED IN THE SWPPP IN AN APPROPRIATE AND FUNCTIONAL MANNER.
 - THE CONTRACTOR SHALL RESPOND TO CHANGING SITE CONDITIONS AND IMPLEMENT/SUPPLEMENT EROSION PREVENTION AND SEDIMENT CONTROL MEASURES UTILIZED TO PROVIDE ADEQUATE PROTECTION OF DISTURBED SOILS AND ADEQUATE PREVENTION OF SEDIMENT TRANSPORT OFF-SITE. AT A MINIMUM, THE FOLLOWING STORM WATER POLLUTION PREVENTION CONSTRUCTION ACTIVITY FIELD REQUIREMENTS SHALL BE FURNISHED BY THE CONTRACTOR.

EROSION PREVENTION PRACTICES

- CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING EROSION PREVENTION PRACTICES:
- THE CONTRACTOR SHALL ATTEMPT TO PHASE ALL WORK TO MINIMIZE EROSION AND MAINTAIN VEGETATIVE COVER TO THE EXTENT POSSIBLE. THE LOCATION OF AREAS NOT TO BE DISTURBED MUST BE DELINEATED ON THE SITE BEFORE CONSTRUCTION BEGINS.
 - STABILIZATION ON ALL EXPOSED SOILS MUST BE INITIATED IMMEDIATELY WHENEVER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 7 CALENDAR DAYS, INCLUDING STOCKPILES WITH SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS. STABILIZATION MUST BE COMPLETED WITHIN 7 CALENDAR DAYS.
 - THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH THAT DRAINS WATER FROM A CONSTRUCTION SITE OR DIVERTS WATER AROUND A SITE MUST BE STABILIZED BY CONTRACTOR WITHIN 200 FEET FROM THE PROPERTY EDGE, OR FROM THE POINT OF DISCHARGE TO ANY SURFACE WATER WITHIN 24 HOURS OF CONNECTING TO A SURFACE WATER. TEMPORARY OR PERMANENT DITCH SWALES BEING USED AS A SEDIMENT CONTAINMENT SYSTEM DO NOT NEED TO BE STABILIZED UNTIL THEY ARE NO LONGER USED AS A SEDIMENT CONTAINMENT SYSTEM, AFTER WHICH THEY MUST BE STABILIZED WITHIN 24 HOURS.
 - TEMPORARY OR PERMANENT ENERGY DISSIPATION AT PIPE OUTLETS MUST BE PROVIDED WITHIN 24 HOURS OF CONNECTING TO A SURFACE WATER.
 - THE CONTRACTOR MUST DIRECT DISCHARGES FROM BMPs TO VEGETATED AREAS OF THE SITE IN ORDER TO INCREASE SEDIMENT REMOVAL AND MAXIMIZE INFILTRATION UNLESS INFEASIBLE. THE CONTRACTOR MUST UTILIZE VELOCITY DISSIPATION DEVICES IF NECESSARY TO PREVENT EROSION WHEN DIRECTING STORMWATER TO VEGETATED AREAS.

SEDIMENT CONTROL PRACTICES

- CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING SEDIMENT CONTROL PRACTICES:
- CONTRACTOR MUST INSTALL ALL DOWN GRADIENT PERIMETER CONTROLS BEFORE ANY UP GRADIENT DISTURBANCE BEGINS. CONTRACTOR SHALL MAINTAIN PERIMETER CONTROLS UNTIL FINAL STABILIZATION HAS BEEN ESTABLISHED.
 - CONTRACTOR SHALL PROVIDE GRADING AND BMP INSTALLATION TO LIMIT ALL SLOPES OF 3H:1V OR STEEPER TO AN UNBROKEN LENGTH OF 75 FEET OR LESS.
 - IF DOWN GRADIENT SEDIMENT CONTROLS ARE OVERLOADED, THE CONTRACTOR MUST INSTALL ADDITIONAL UPGRADIENT SEDIMENT CONTROL PRACTICES OR REDUNDANT BMPs TO ELIMINATE OVERLOADING. THE SWPPP MUST BE AMENDED TO IDENTIFY THESE ADDITIONAL PRACTICES.
 - TIMING AND INSTALLATION OF SEDIMENT CONTROL DEVICES CAN BE ADJUSTED BY CONTRACTOR TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING AND GRUBBING OR VEHICLE PASSAGE. ANY SHORT-TERM ACTIVITY MUST BE COMPLETED AS QUICKLY AS POSSIBLE AND THE SEDIMENT CONTROL PRACTICES MUST BE INSTALLED IMMEDIATELY AFTER THE ACTIVITY IS COMPLETED AND IN ALL CASES PRIOR TO THE NEXT PRECIPITATION EVENT.
 - ALL PUBLIC AND PRIVATE STORM SEWER INLETS AND OUTLETS SHALL BE PROTECTED BY CONTRACTOR WITH APPROPRIATE BMPs DURING THE WORK. THESE PRACTICES SHALL REMAIN IN PLACE UNTIL THE POTENTIAL SOURCES FOR DISCHARGING SEDIMENT TO INLETS HAVE BEEN STABILIZED BY CONTRACTOR.
 - TEMPORARY SOIL STOCKPILES MUST HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS. SOIL STOCKPILES SHALL NOT BE PLACED IN SURFACE WATERS OR STORMWATER CONVEYANCES. ACCEPTABLE PROTECTION INCLUDES COVER OF MULCH, EROSION CONTROL MATS, OR PLASTIC SHEETING.
 - ROCK CONSTRUCTION ENTRANCES OR EQUIVALENT SYSTEM MUST BE INSTALLED BY CONTRACTOR TO MINIMIZE TRACKING FROM SITE. CONTRACTOR SHALL PROVIDE STREET SWEEPING AS NECESSARY IF BMPs ARE NOT ADEQUATE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE STREET.
 - CONTRACTOR SHALL PROVIDE TEMPORARY SEDIMENTATION BASINS AS NEEDED.
 - CONTRACTOR MUST MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL, UNLESS INFEASIBLE. MINIMIZING SOIL COMPACTION IS NOT REQUIRED WHERE THE FUNCTION OF A SPECIFIC AREA OF THE SITE DICTATES THAT IT BE COMPACTED.
 - THE CONTRACTOR MUST PRESERVE A 50 FOOT NATURAL BUFFER OR PROVIDE REDUNDANT SEDIMENT CONTROLS WHEN A SURFACE WATER IS LOCATED WITHIN 50 FEET OF THE PROJECT DISTURBANCE LIMITS AND STORMWATER FLOWS TO THE SURFACE WATER.
 - IF POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS ARE USED ON SITE, THE CONTRACTOR MUST COMPLY WITH THE FOLLOWING REQUIREMENTS.
 - THE CONTRACTOR MUST USE CONVENTIONAL EROSION AND SEDIMENT CONTROLS PRIOR TO CHEMICAL ADDITION TO ENSURE EFFECTIVE TREATMENT. CHEMICALS MAY ONLY BE APPLIED WHERE TREATED STORMWATER IS DIRECTED TO A SEDIMENT CONTROL SYSTEM WHICH ALLOWS FOR THE SETTLEMENT OF THE FLOC PRIOR TO DISCHARGE.
 - CHEMICALS MUST BE SELECTED THAT ARE APPROPRIATELY SUITED TO THE TYPES OF SOILS LIKELY TO BE EXPOSED DURING CONSTRUCTION. CHEMICALS MUST BE USED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES. AND WITH DOSING SPECIFICATION AND SEDIMENT REMOVAL DESIGN SPECIFICATION PROVIDED BY THE MANUFACTURER.

DEWATERING AND BASIN DRAINING

- CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING DEWATERING REQUIREMENTS:
- CONTRACTOR'S DEWATERING ACTIVITIES THAT HAVE SEDIMENT-LADEN DISCHARGE WATER MUST BE DISCHARGED INTO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN WHENEVER POSSIBLE, OTHERWISE IT MUST BE DISCHARGED THROUGH SOME FORM OF BEST MANAGEMENT PRACTICE (BMP) BY CONTRACTOR TO LIMIT SEDIMENT FROM LEAVING THE SITE. PRIOR TO DISCHARGE, THE CONTRACTOR SHALL PERFORM A VISUAL TEST TO ENSURE ADEQUATE TREATMENT IS OBTAINED IN THE BASIN OR BMP AND APPLY ADDITIONAL TREATMENT AS REQUIRED TO ENSURE ADEQUATE TREATMENT.
 - THE CONTRACTOR SHALL DISCHARGE WATER FROM DEWATERING IN A MANNER THAT DOES NOT CAUSE NUISANCE CONDITIONS. THE DISCHARGE WATER SHALL BE DISPERSED OVER AN ACCEPTED ENERGY DISSIPATION MEASURE AND NOT ADVERSELY AFFECT THE RECEIVING WATER OR DOWNSTREAM LANDOWNERS OR WETLANDS.
 - IF CONTRACTOR IS USING FILTERS WITH BACKWASH WATER, THE CONTRACTOR SHALL HAUL THE BACKWASH WATER AWAY FOR DISPOSAL, RETURN THE BACKWASH WATER TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATE THE BACKWASH WATER INTO THE SITE IN A MANNER THAT DOES NOT CAUSE EROSION.

INSPECTIONS AND MAINTENANCE

- CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING THE FOLLOWING INSPECTIONS AND MAINTENANCE:
- WHEN INSPECTIONS FIND EROSION PREVENTION AND SEDIMENT CONTROL BMPs THAT ARE NONFUNCTIONAL, ALL NONFUNCTIONAL BMPs MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WITH FUNCTIONAL BMPs WITHIN 24 HOURS AFTER DISCOVERY. THE CONTRACTOR SHALL ALSO PLACE ANY ADDITIONAL EROSION CONTROL MEASURES DEEMED NECESSARY WITHIN 24 HOURS OF NOTICE FROM CITY INSPECTORS.
 - THE CONTRACTOR MUST ROUTINELY INSPECT THE SITE ONCE EVERY 7 DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS.
 - ALL INSPECTIONS AND MAINTENANCE CONDUCTED DURING CONSTRUCTION MUST BE RECORDED IN WRITING BY CONTRACTOR AND RETAINED WITH THE SWPPP BY CONTRACTOR. MAINTENANCE MUST BE COMPLETED BY CONTRACTOR. CONTRACTOR'S RECORDS MUST INCLUDE:
 - DATE AND TIME OF INSPECTION.
 - NAME OF PERSON CONDUCTING INSPECTION.
 - FINDING OF INSPECTION INCLUDING RECOMMENDATIONS FOR CORRECTIVE ACTION.
 - DETAILS OF CORRECTIVE ACTION TAKEN (DATE, TIME, PARTY COMPLETING MAINTENANCE ACTIVITIES).
 - DATE AND AMOUNT OF RAINFALL GREATER THAN 0.5 INCHES IN 24 HOURS.
 - IF ANY DISCHARGE IS OBSERVED TO BE OCCURRING DURING THE INSPECTION, A RECORD OF ALL POINTS OF THE PROPERTY FROM WHICH THERE IS A DISCHARGE MUST BE MADE, AND THE DISCHARGE SHALL BE DESCRIBED (COLOR, ODOR, FLOATING, SETTLED, OR SUSPENDED SOLIDS, FOAM, OIL SHEEN, AND OTHER INDICATORS) AND PHOTOGRAPHED.
 - DOCUMENTATION OF CHANGES MADE TO SWPPP.
 - IN AREAS OF PROJECT WHERE FINAL STABILIZATION IS COMPLETE INSPECTIONS CAN BE REDUCED TO ONCE A MONTH. THESE AREAS SHALL BE INSPECTED BY CONTRACTOR FOR MINIMUM PERIOD OF 12 NON-WINTER MONTHS AND WITHIN 24 HOURS OF FIRST SPRING RUNOFF OR PRIOR TO RESUMING CONSTRUCTION FOLLOWING ANY WINTER STOPPAGE, WHICHEVER COMES FIRST.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF BMPs UNTIL THE PROJECT HAS UNDERGONE FINAL STABILIZATION.
 - ALL EROSION CONTROL MEASURES MUST BE INSTALLED AND MAINTAINED BY CONTRACTOR ACCORDING TO THE DETAILS INCLUDED IN THE CONSTRUCTION DOCUMENTS AND IN ACCORDANCE WITH THE PRODUCT MANUFACTURER'S RECOMMENDATIONS.
 - ALL PERIMETER CONTROL DEVICES MUST BE REPAIRED, REPLACED OR SUPPLEMENTED BY THE CONTRACTOR WHEN THEY BECOME NON-FUNCTIONAL OR THE SEDIMENT REACHES ONE-HALF THE HEIGHT OF THE DEVICE. CONTRACTOR SHALL REPAIR OR REPLACE DEVICE THAT IS NONFUNCTIONAL BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY, OR THEREAFTER AS SOON AS FIELD CONDITIONS ALLOW.
 - TEMPORARY AND PERMANENT SEDIMENTATION BASINS MUST BE DRAINED AND SEDIMENT REMOVED BY CONTRACTOR ONCE THE SEDIMENT COLLECTED REACHES ONE HALF THE STORAGE VOLUME WITH 72 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW.
 - ALL SEDIMENT DEPOSITS WITHIN SURFACE WATERS OR STORMWATER CONVEYANCES MUST BE REMOVED AND RESTABILIZED BY CONTRACTOR WITHIN 7 DAYS OF DISCOVERY OR SOONER IF IT PRESENTS A FLOOD RISK, INCLUDING DELTAS AND STORM SEWER SEDIMENT DEPOSITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED, IF NECESSARY, FOR SUCH SEDIMENT REMOVAL.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING EXISTING PAVED SURFACES CLEAN OF SEDIMENT. CONSTRUCTION ENTRANCES SHALL BE CHECKED DAILY BY CONTRACTOR. IF THE ENTRANCE BECOMES INUNDATED WITH SEDIMENT, THE ENTRANCE WILL BE CLEANED OR REPLACED AS APPROPRIATE BY CONTRACTOR. STREETS LEADING TO AND FROM THE CONSTRUCTION ENTRANCE SHALL BE CHECKED DAILY BY CONTRACTOR FOR OFF-SITE SEDIMENT TRACKING ONTO PAVED SURFACES. THESE AREAS WILL BE SWEEP CLEAN OF ANY TRACKED MATERIALS BY CONTRACTOR AS SOON AS POSSIBLE AND WITHIN 24 HOURS OF DISCOVERY AND AS DIRECTED BY THE CITY. CONTRACTOR SHALL EXTEND SWEEPING TO THE EXTREMITY OF ANY SEDIMENT TRACKING THAT OCCURS OFF-SITE.

- CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ANY OFF-SITE SEDIMENT ACCUMULATIONS IN A MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS.
- ALL INFILTRATION/FILTRATION AREAS MUST BE INSPECTED BY CONTRACTOR TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION IS ACCUMULATING OVER THE INFILTRATION/FILTRATION AREA. SEDIMENT ACCUMULATED OVER INFILTRATION /FILTRATION MUST BE REMOVED BY CONTRACTOR.
- CONTRACTOR SHALL PROTECT INFILTRATION/FILTRATION AREAS FROM SEDIMENTATION AND OVER-COMPACTION. DURING EXCAVATION, SEDIMENT AND EROSION CONTROL DEVICES MUST BE UTILIZED BY CONTRACTOR TO PREVENT SEDIMENTATION AND THE AREA MUST BE STAKED OFF AND MARKED SO THAT HEAVY CONSTRUCTION EQUIPMENT WILL NOT COMPACT THE SOIL.
- INSPECTIONS CAN BE SUSPENDED DUE TO FROZEN GROUND CONDITIONS UNTIL FIRST RUNOFF OCCURS OR CONSTRUCTION ACTIVITIES RESUME.
- A COPY OF ALL WEEKLY AND STORM EVENT INSPECTION RECORDS SHALL BE PROVIDED TO THE CITY OF RAMSEY BUILDING INSPECTOR.

POLLUTION PREVENTION MEASURES

- CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE FOLLOWING POLLUTION PREVENTION MANAGEMENT MEASURES ON THE SITE:
- THE CONTRACTOR SHALL MINIMIZE THE EXPOSURE OF ALL PRODUCTS, MATERIALS, AND WASTES FROM STORMWATER WHICH MAY BE A SOURCE OF CONTAMINATION TO STORMWATER OR ARE NOT DESIGNED TO BE EXPOSED TO STORMWATER.
 - BUILDING PRODUCTS THAT MAY LEACH POLLUTANTS MUST BE UNDER COVER (PLASTIC SHEETING, TEMPORARY ROOFS, ETC.) TO PREVENT THE DISCHARGE OF POLLUTANTS OR PROTECTED BY A SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER.
 - PESTICIDES, HERBICIDES, INSECTICIDES, FERTILIZERS, TREATMENT CHEMICALS, AND LANDSCAPE MATERIALS MUST BE UNDER COVER (PLASTIC SHEETING, TEMPORARY ROOFS, ETC.) TO PREVENT THE DISCHARGE OF POLLUTANTS OR PROTECTED BY A SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER.
 - HAZARDOUS MATERIALS, TOXIC WASTE, (INCLUDING OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) MUST BE STORED IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM, STORAGE AND DISPOSAL OF HAZARDOUS MATERIALS MUST COMPLY WITH ALL STATE REQUIREMENTS.
 - SOLID WASTE MUST BE STORED, COLLECTED, AND DISPOSED IN COMPLIANCE WITH ALL STATE REQUIREMENTS.
 - PORTABLE TOILETS MUST BE POSITIONED SO THAT THEY ARE SECURE AND WILL NOT BE TIPPED OVER. SANITARY WASTE MUST BE DISPOSED OF IN ACCORDANCE WITH ALL STATE REQUIREMENTS.
 - THE CONTRACTOR SHALL TAKE REASONABLE STEPS TO PREVENT THE DISCHARGE OF SPILLED OR LEAKED CHEMICALS, INCLUDING FUEL, FROM ALL AREAS WHERE CHEMICALS OR FUEL WILL BE LOADED OR UNLOADED. THE CONTRACTOR MUST CONDUCT FUELING IN A CONTAINED AREA UNLESS INFEASIBLE. THE CONTRACTOR MUST ENSURE ADEQUATE SUPPLIES ARE AVAILABLE AT ALL TIMES TO CLEAN UP DISCHARGED MATERIALS AND THAT AN APPROPRIATE DISPOSAL METHOD IS AVAILABLE FOR RECOVERED SPILLED MATERIALS. ALL SPILLS MUST BE CLEANED UP AND REPORTED IN ACCORDANCE WITH STATE REQUIREMENTS. DRY CLEAN UP MEASURES SHALL BE USED WHERE POSSIBLE.
 - THE CONTRACTOR MUST LIMIT VEHICLE AND EQUIPMENT WASHING TO A DEFINED AREA WHEN COMPLETED ON THE PROJECT SITE. RUNOFF FROM THE WASHING AREA MUST BE CONTAINED IN A SEDIMENT BASIN OR OTHER SIMILARLY EFFECTIVE CONTROLS AND WASTE FROM THE WASHING ACTIVITY MUST BE PROPERLY DISPOSED OF. THE CONTRACTOR MUST PROPERLY USE AND STORE SOAPS, DETERGENTS, OR SOLVENTS. NO ENGINE DEGREASING IS ALLOWED ONSITE.
 - THE CONTRACTOR MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS (CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS, AND OTHER CONSTRUCTION MATERIALS) RELATED TO THE PROJECT CONSTRUCTION ACTIVITY. NO WASHOUT WASTES MAY CONTACT THE GROUND, AND THE CONTAINMENT MUST BE DESIGNED SO THAT IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR ARE LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH ALL MPCA RULES. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY THAT REQUIRES SITE PERSONNEL TO UTILIZE PROPER FACILITIES FOR DISPOSAL OF CONCRETE AND OTHER WASHOUT WASTES.

FINAL STABILIZATION

- THE CONTRACTOR SHALL ENSURE FINAL STABILIZATION OF THE SITE. FINAL STABILIZATION REQUIRES THE FOLLOWING:
- ALL SOIL DISTURBING ACTIVITIES ARE COMPLETE AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OVER THE ENTIRE PERSISTENT SURFACE HAS BEEN ACHIEVED, INCLUDING STABILIZATION OF ALL DITCHES AND SWALES.
 - CONTRACTOR SHALL ENSURE THAT ALL PERMANENT STORMWATER TREATMENT SYSTEMS ARE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF CONSTRUCTION DOCUMENTS.
 - CONTRACTOR SHALL REMOVE ALL TEMPORARY SYNTHETIC AND STRUCTURAL BMPs.

RECORD AVAILABILITY AND RETENTION:

-THE CONTRACTOR SHALL MAKE THE SWPPP, INCLUDING ALL CERTIFICATES, REPORTS, RECORDS, OR OTHER INFORMATION, AVAILABLE TO FEDERAL, STATE, OR LOCAL OFFICIALS WITHIN 72 HOURS UPON REQUEST FOR THE DURATION OF THE PROJECT AND FOR THREE YEARS FOLLOWING FINAL STABILIZATION.

INSPECTION AND ENTRY:

-THE CONTRACTOR MUST ALLOW ACCESS FOR REPRESENTATIVES OF THE CITY OR ANY MEMBER THEREOF WHEN AUTHORIZED BY IT, TO ENTER UPON THE PROJECT SITE FOR THE PURPOSE OF OBTAINING INFORMATION, EXAMINATION OF RECORDS, OR CONDUCTING SURVEYS OR INVESTIGATIONS.

CHANGES TO SWPPP

- THE CONTRACTOR MUST AMEND THE SWPPP AS NECESSARY TO INCLUDE ADDITIONAL REQUIREMENTS, SUCH AS ADDITIONAL OR MODIFIED BMPs, DESIGNED TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER:
- THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION OR MAINTENANCE, WEATHER OR SEASONAL CONDITIONS THAT HAVE SIGNIFICANT EFFECT ON DISCHARGE. INSPECTION IS REQUIRED WITHIN 24 HOURS OF A RAINFALL EVENT GREATER THAN ONE-HALF INCH.
 - INSPECTION OR INVESTIGATION BY SITE OPERATORS, LOCAL, STATE OR FEDERAL OFFICIALS INDICATE THE SWPPP IS NOT EFFECTIVE.
 - THE SWPPP IS NOT ACHIEVING THE GENERAL OBJECTIVES OF CONTROLLING POLLUTANTS.

SWPPP CERTIFICATION:

- THIS STORMWATER POLLUTION PREVENTION PLAN WAS PREPARED BY INDIVIDUAL(S) TRAINED IN ACCORDANCE WITH TRAINING REQUIREMENTS FOR PREPARATION OF SWPPPS. INDIVIDUAL(S) PREPARING THIS SWPPP:

PREPARED BY:

KEVIN GARDNER, P.E.
PIERCE PINI AND ASSOCIATES
KEVIN@PIERCEPINI.COM
763-537-1311

TRAINING/CERTIFICATION:

DATE OF TRAINING/CERTIFICATION: 2023
CERTIFICATION PROGRAM: UNIVERSITY OF MINNESOTA - DESIGN OF CONSTRUCTION SWPPP
ARDEN HILLS, MN
INSTRUCTOR(S): JOHN CHAPMAN
CERTIFICATION EXPIRATION: 2026

I hereby certify that this plan or drawing was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Company: PIERCE PINI & ASSOCIATES

Signed: *Kevin Gardner*

Name: Kevin Gardner

Date: 09/12/2023 Reg. No: 45815

Issued for Date

RPBCWD Permit 09/12/2023

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Comm. No. 23-024

Drawn JR

Checked KG

Date 09/12/2023

Watershed Permit

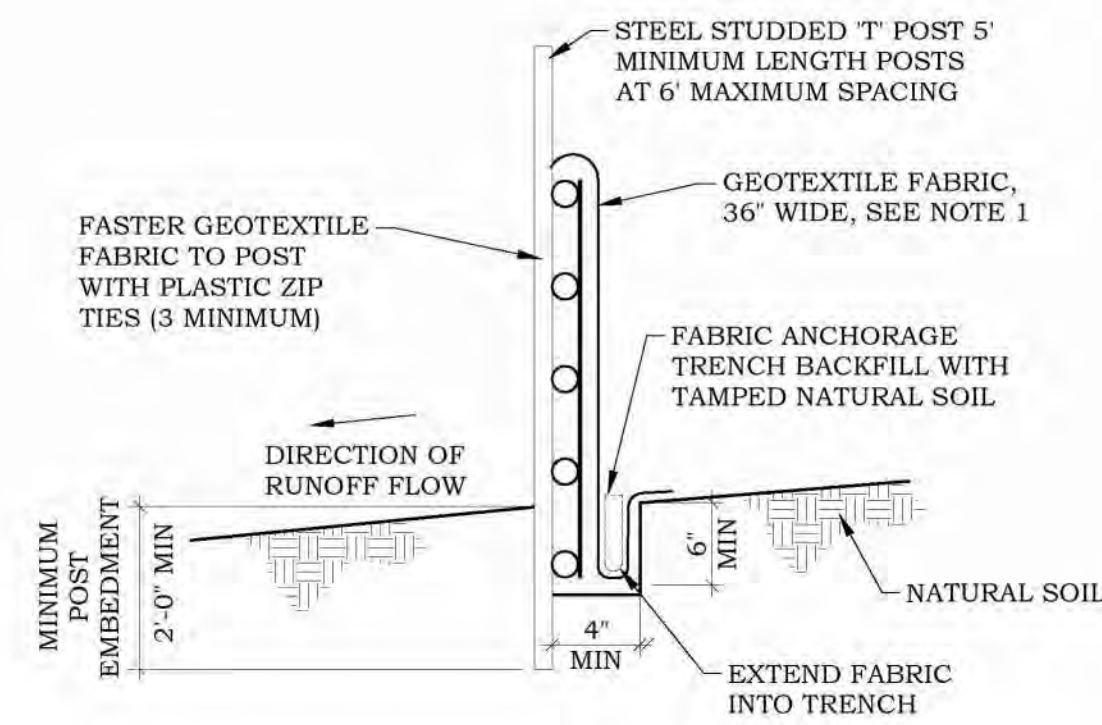
Drawing Title

STORMWATER
POLLUTION
PREVENTION NOTES

C200

TAUER RESIDENCE

19102 COVINGTON ROAD
MINNETONKA, MN 55345



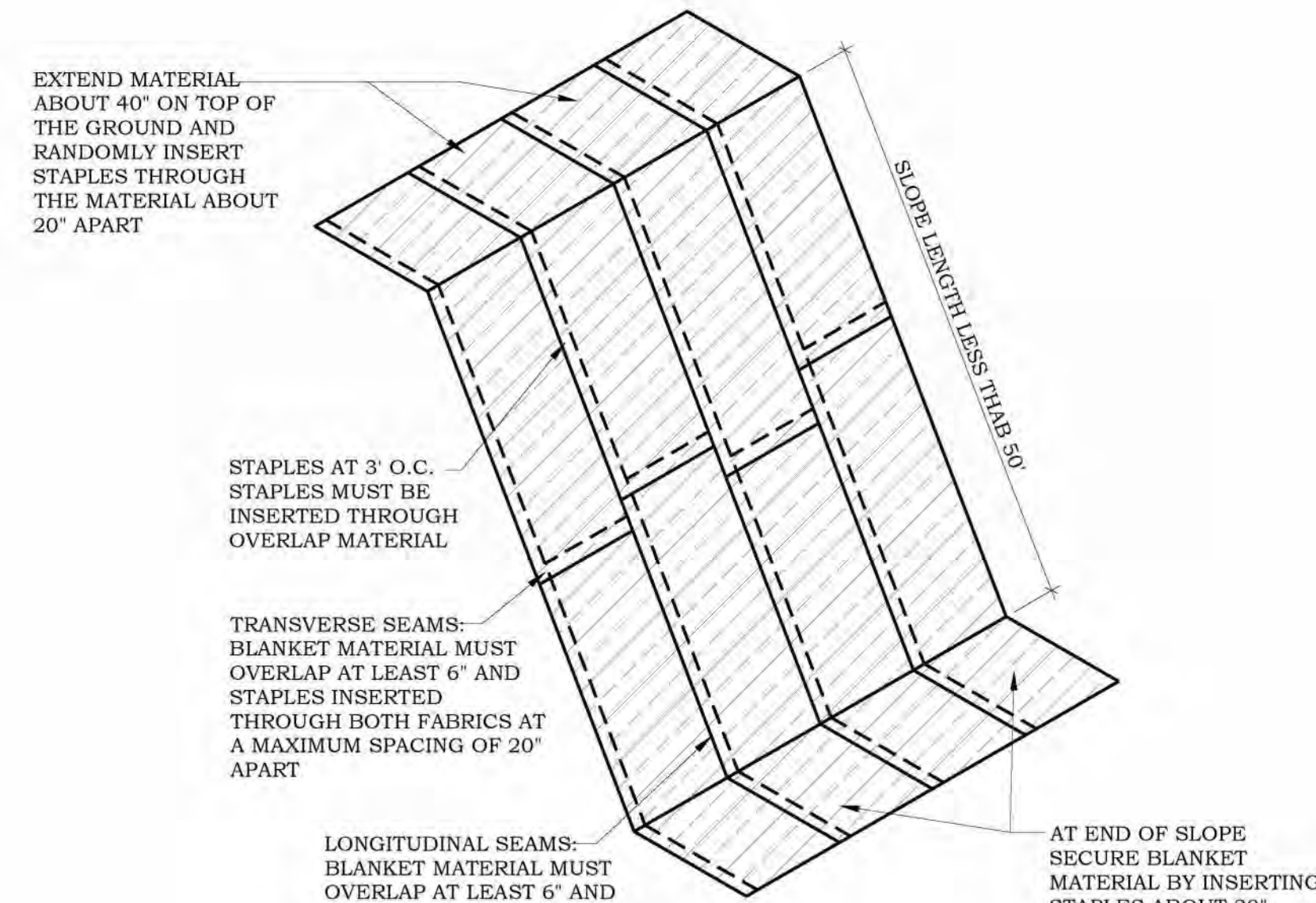
- NOTES:
1. GEOTEXTILE FABRIC SHALL BE PER MNDOT SPEC 3886.
 2. SILT FENCES SHOULD BE INSTALLED ON THE CONTOUR (AS OPPOSED TO UP AND DOWN A HILL) AND CONSTRUCTED SO THAT FLOW CANNOT BYPASS THE ENDS.
 3. ENSURE DRAINAGE AREA IS NO GREATER THAN 1/4 ACRE PER 100 FT OF FENCE.
 4. FIELD VERIFY THE MAXIMUM SLOPE LENGTH IN THE TABLE. THIS LENGTH EQUATES TO A 2 FOOT STORAGE HEIGHT FOR THE 100-YEAR EVENT.
 5. SILT FENCE INSTALLATION TO CONFORM TO MNDOT SPEC 2573.3

		BY ACCEPTED DESIGN PRACTICES
SLOPE H:V	PERCENT	MAXIMUM SLOPE LENGTH
100:1	1%	100 FT
50:1	2%	75 FT
25:1	4%	75 FT
20:1	5%	75-50 FT
17:1	6%	50 FT
12.5:1	8%	50 FT
10:1	10%	50-25 FT
5:1	20%	25-15 FT
4:1	25%	15 FT
3:1	33%	15 FT
2:1	50%	15 FT

HEAVY DUTY SILT FENCE

1
C300

NO SCALE

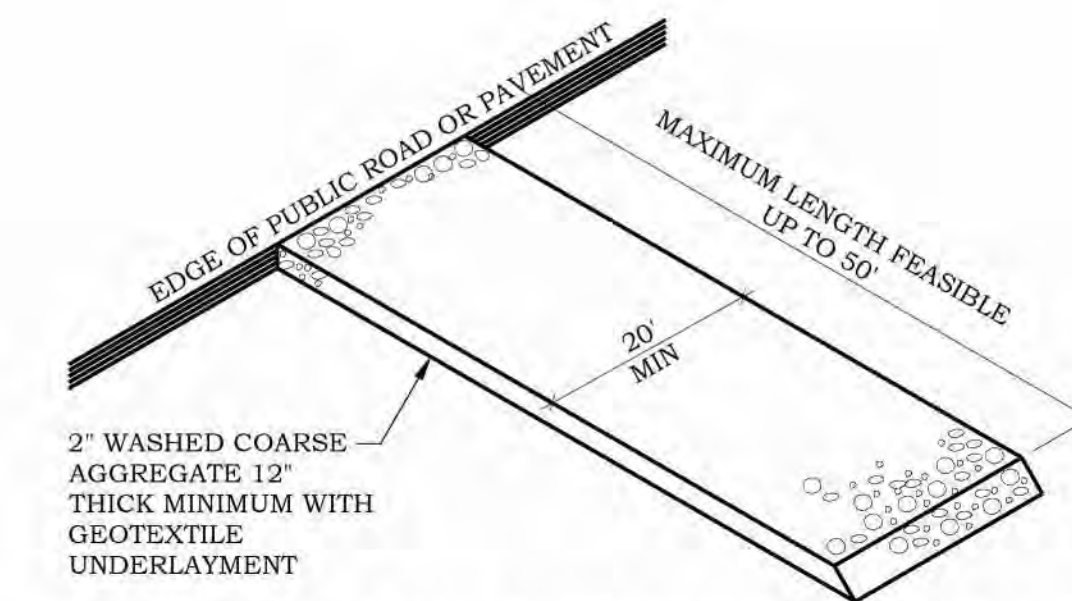


- NOTES:
1. EROSION CONTROL BLANKET TO BE CATEGORY 4 COCONUT 2S FOR SLOPES GREATER THAN 5:1 AND SIDES AND BOTTOM OF ALL DRAINAGE SWALES AND PONDING AREAS AND CATEGORY 2-STRAW 2S FOR ALL SLOPES LESS THAN 5:1 PER MNDOT SPEC. SECTION 3885.
 2. INSTALL PER MNDOT SPEC. SECTION 2575

EROSION CONTROL BLANKET

2
C300

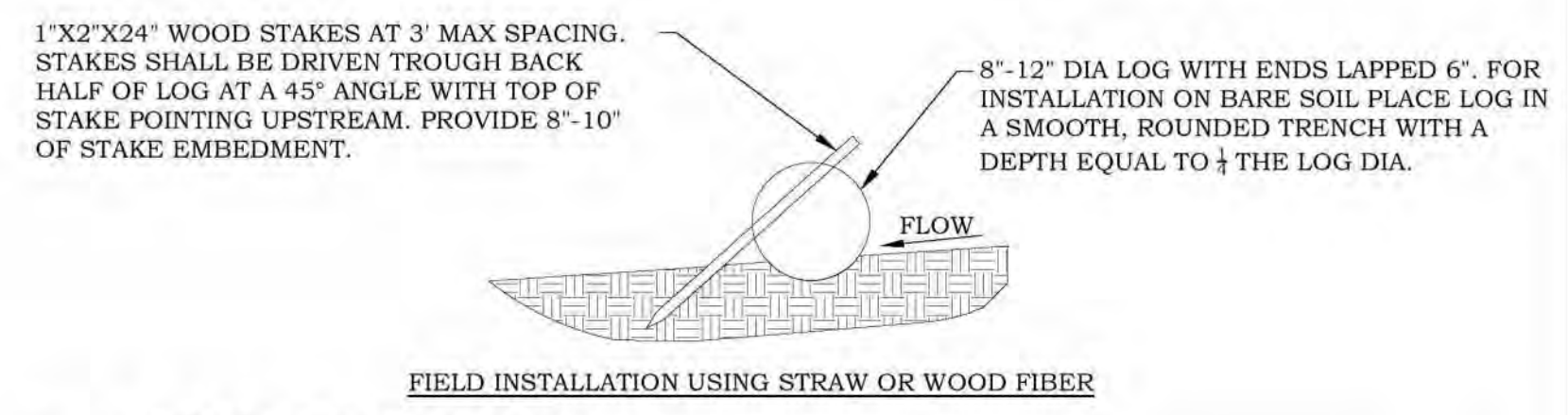
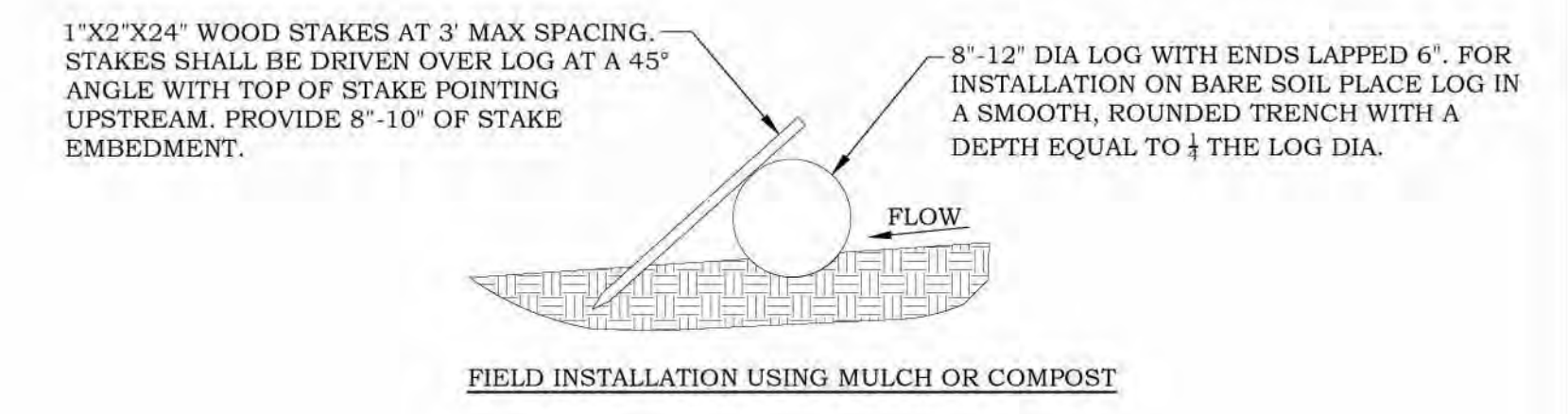
NO SCALE



GRAVEL CONSTRUCTION ENTRANCE

3
C300

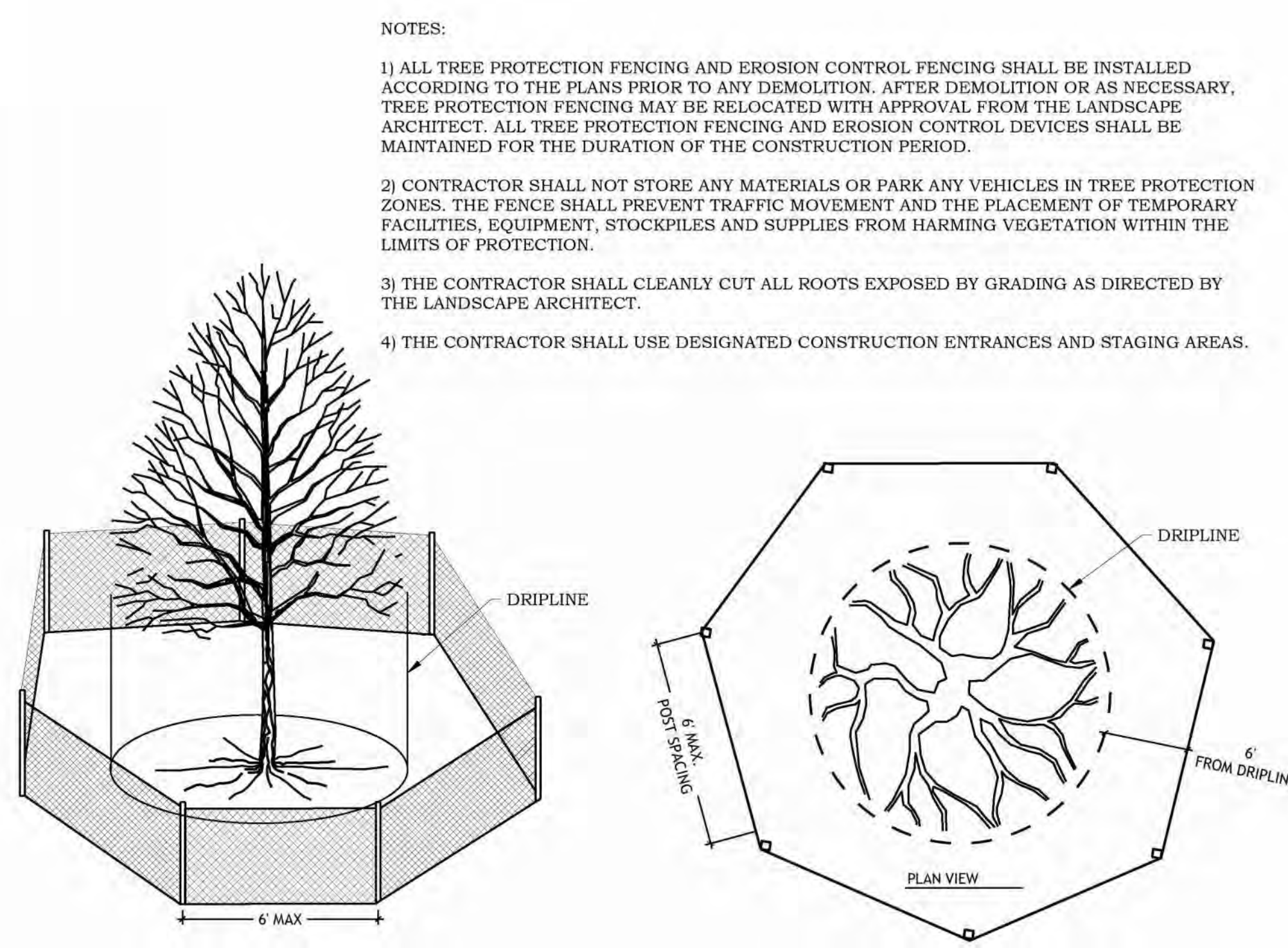
NO SCALE



EROSION LOG

4
C300

NO SCALE

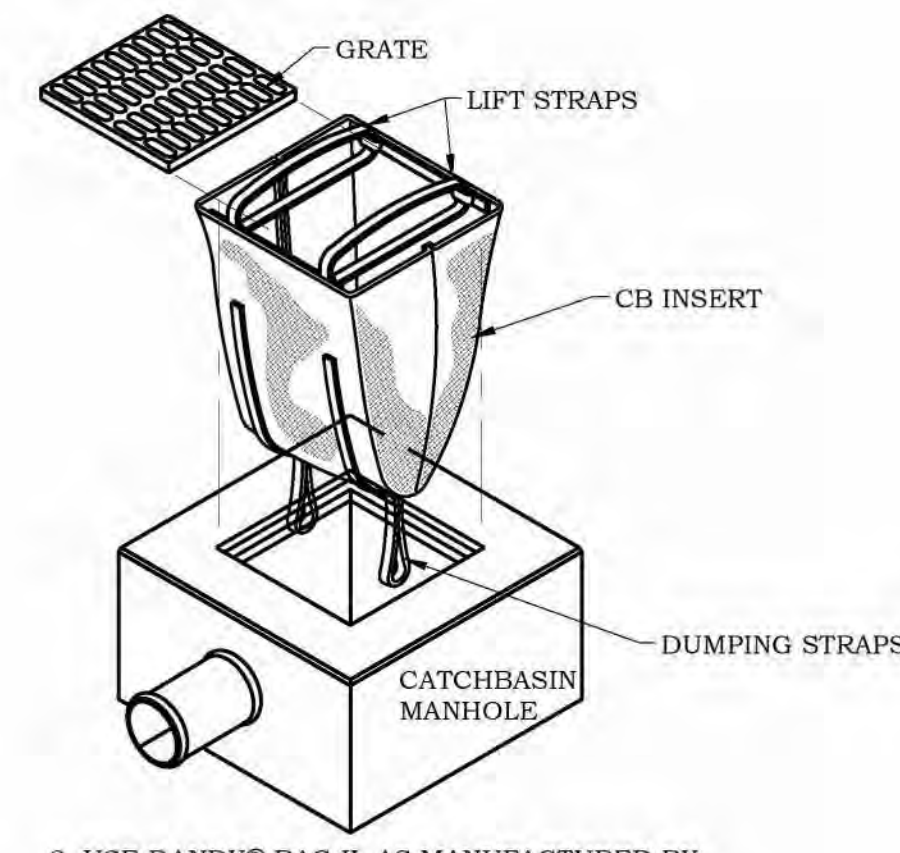


- NOTES:
- 1) ALL TREE PROTECTION FENCING AND EROSION CONTROL FENCING SHALL BE INSTALLED ACCORDING TO THE PLANS PRIOR TO ANY DEMOLITION. AFTER DEMOLITION OR AS NECESSARY, TREE PROTECTION FENCING MAY BE RELOCATED WITH APPROVAL FROM THE LANDSCAPE ARCHITECT. ALL TREE PROTECTION FENCING AND EROSION CONTROL DEVICES SHALL BE MAINTAINED FOR THE DURATION OF THE CONSTRUCTION PERIOD.
 - 2) CONTRACTOR SHALL NOT STORE ANY MATERIALS OR PARK ANY VEHICLES IN TREE PROTECTION ZONES. THE FENCE SHALL PREVENT TRAFFIC MOVEMENT AND THE PLACEMENT OF TEMPORARY FACILITIES, EQUIPMENT, STOCKPILES AND SUPPLIES FROM HARMING VEGETATION WITHIN THE LIMITS OF PROTECTION.
 - 3) THE CONTRACTOR SHALL CLEANLY CUT ALL ROOTS EXPOSED BY GRADING AS DIRECTED BY THE LANDSCAPE ARCHITECT.
 - 4) THE CONTRACTOR SHALL USE DESIGNATED CONSTRUCTION ENTRANCES AND STAGING AREAS.

TREE PROTECTION FENCING

5
C300

NO SCALE

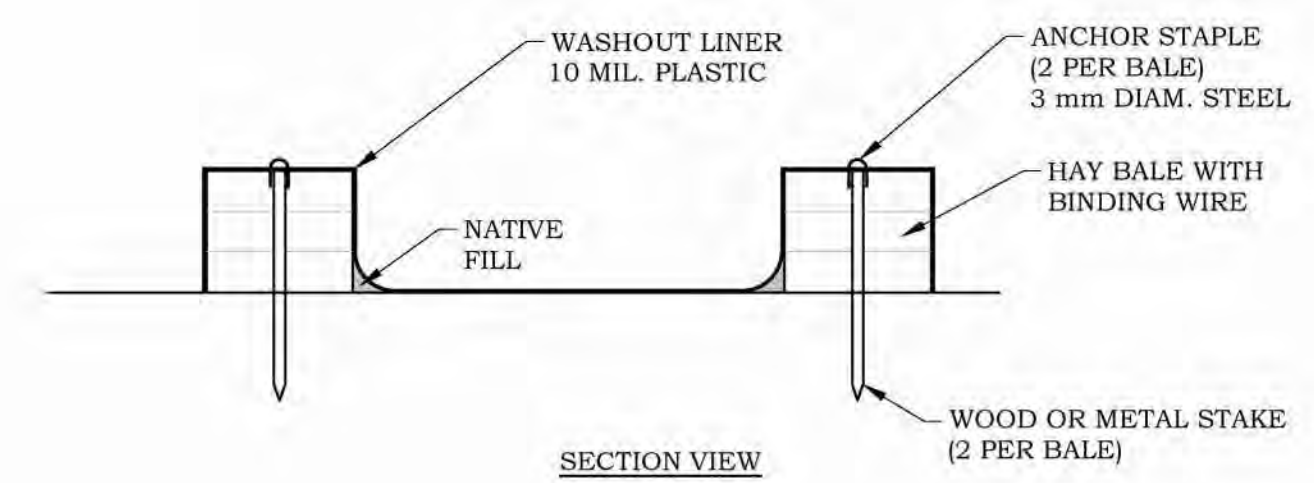
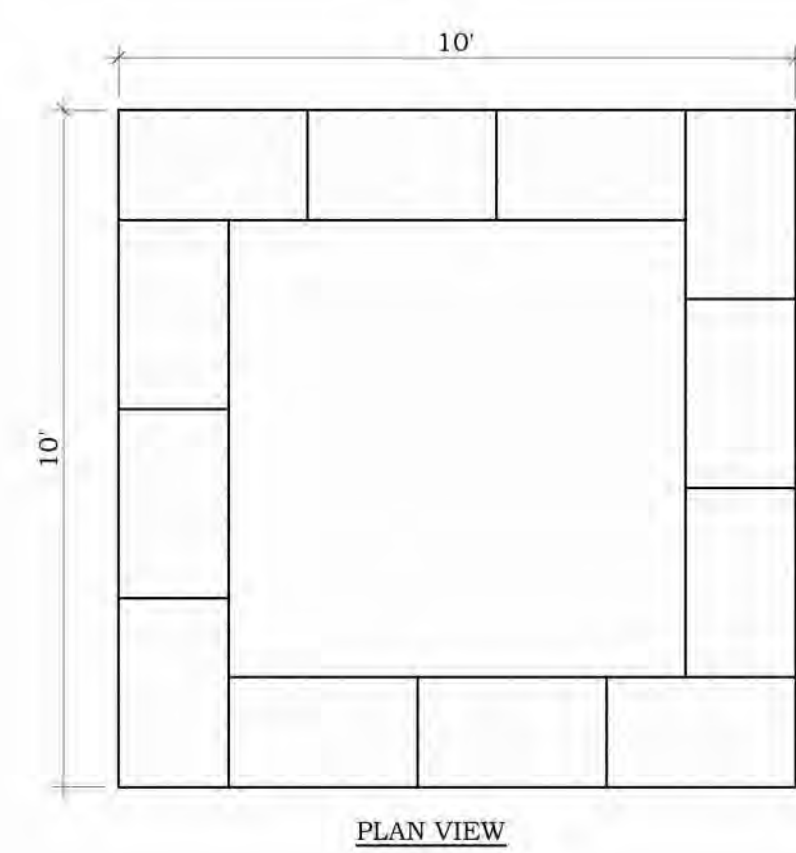


2. USE DANDY® BAG II AS MANUFACTURED BY DANDY® PRODUCTS, INC.
3. AN EQUIVALENT CATCHBASIN EROSION CONTROL INSERT METHOD OR PRODUCT MAY BE USED WITH PRIOR APPROVAL FROM ENGINEER.

CATCH BASIN INSERT

6
C300

NO SCALE



CONCRETE WASHOUT AREA

7
C300

NO SCALE

I hereby certify that this plan or drawing was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Company: PIERCE PINI & ASSOCIATES

Signed: *Kevin Gardner*

Name: Kevin Gardner

Date: 09/12/2023 Reg. No: 45815

Issued for: _____ Date: _____

RPBCWD Permit: _____ 09/12/2023

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Comm. No. 23-024

Drawn: JR

Checked: KG

Date: 09/12/2023

Watershed Permit

Drawing Title

STORMWATER POLLUTION PREVENTION DETAILS

C300

CUT/FILL DIAGRAM AND CALCULATIONS

RECEIVED
By Bria Raines at 2:05 pm, Nov 06, 2023

DRAWING LEGEND

- PROPERTY LINE
- - - EXISTING SETBACK
- - - EXISTING CHAIN LINK FENCE
- - - EXISTING FLOODPLAIN (897.8)
- - - EXISTING CONTOUR
- ▭ EXISTING BITUMINOUS PAVEMENT
- - - PROPOSED FLOODPLAIN (897.8)
- ~ PROPOSED CONTOUR
- + 899.0 PROPOSED SPOT ELEVATION
- ▨ ROCK CONSTRUCTION ENTRANCE
- - - SILT FENCE
- - - TREE PROTECTION FENCE
- ▨ PROPOSED BITUMINOUS PAVEMENT

SITE SUMMARY	
TOTAL LOT AREA	37,759 SQ. FT.
EXISTING IMPERVIOUS AREA	3,248 SQ. FT.
PROPOSED IMPERVIOUS AREA	6,4246 SQ. FT.
IMPERVIOUS COVERAGE	17.0%
DISTURBED AREA	17,670 SQ. FT.

FLOODPLAIN SUMMARY	
100-YEAR FLOODPLAIN ELEVATION	897.8
PROPOSED FLOODPLAIN FILL	78.46 CY
PROPOSED FLOODPLAIN REPLACEMENT	80.16 CY
NET FLOODPLAIN IMPACT (GAIN)	1.70 CY

ESTIMATED BMP QUANTITIES	
HEAVY-DUTY SILT FENCE	500 LF
ROCK CONSTRUCTION ENTRANCE	1 EACH
CONCRETE WASHOUT AREA	1 EACH
TREE PROTECTION FENCING	250 LF

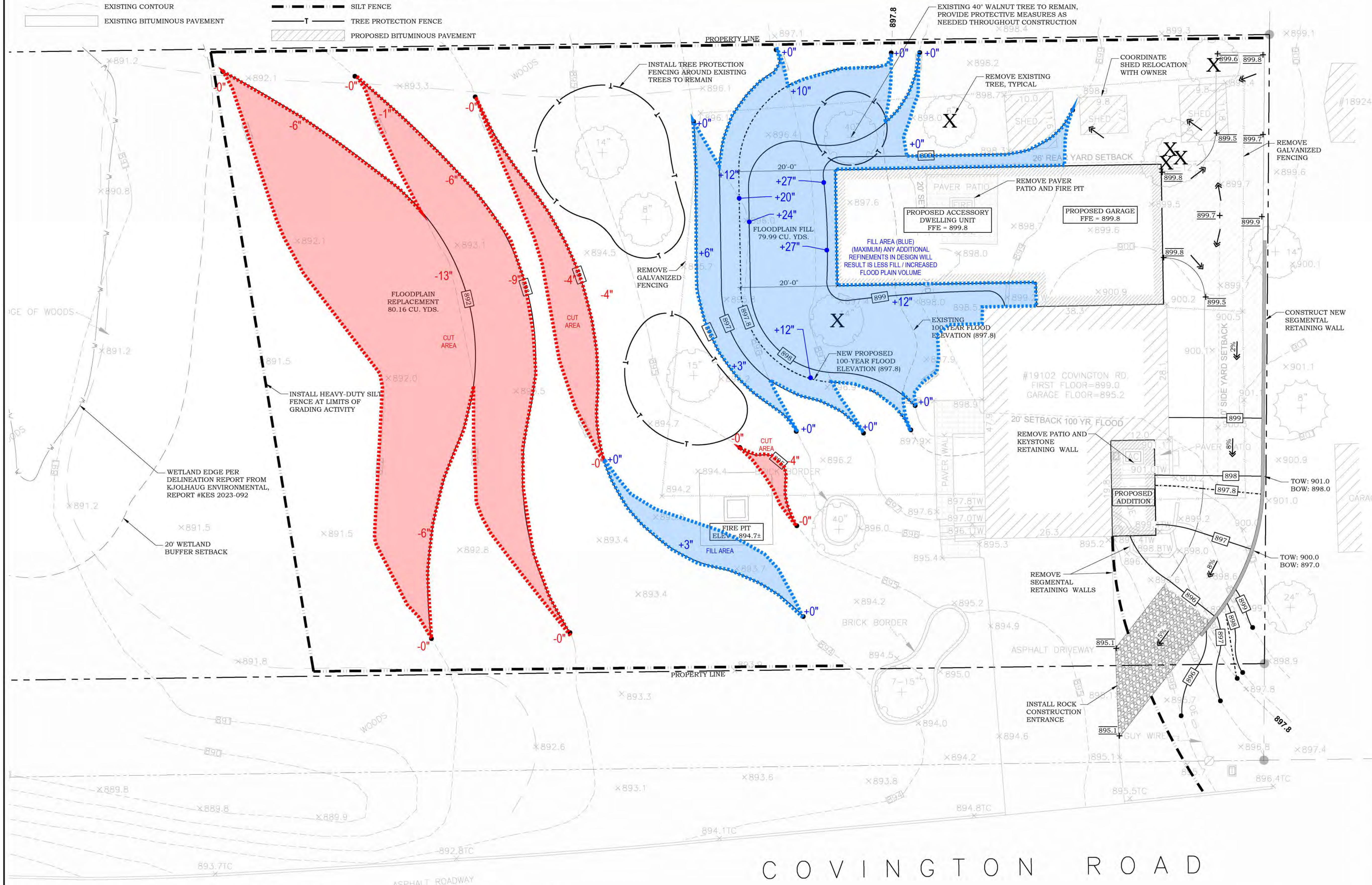
NOTE: QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL DETERMINE FOR THEMSELVES THE EXACT QUANTITIES FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL NOT RELY ON THESE QUANTITIES FOR THEIR BID AND CIVIL ENGINEER IS NOT RESPONSIBLE FOR COST ESTIMATES OR ACTUAL CONSTRUCTION COSTS.

PIERCE PINI & ASSOCIATES, INC.
Consulting Civil Engineers

9298 CENTRAL AVENUE NE
SUITE 312
BLAINE, MN 55434
TEL 763-537-1311

TAUER RESIDENCE

19102 COVINGTON ROAD
MINNETONKA, MN 55345



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Company: PIERCE PINI & ASSOCIATES

Signed: *Kevin Gardner*

Name: Kevin Gardner

Date: 09/12/2023 Reg. No: 45815

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Date 09/12/2023

Watershed Permit

Drawing Title

GRADING, DRAINAGE AND EROSION CONTROL PLAN

C400

EXHIBIT 6 (4 OF 6)

GRADING, DRAINAGE AND EROSION CONTROL PLAN



1
C400

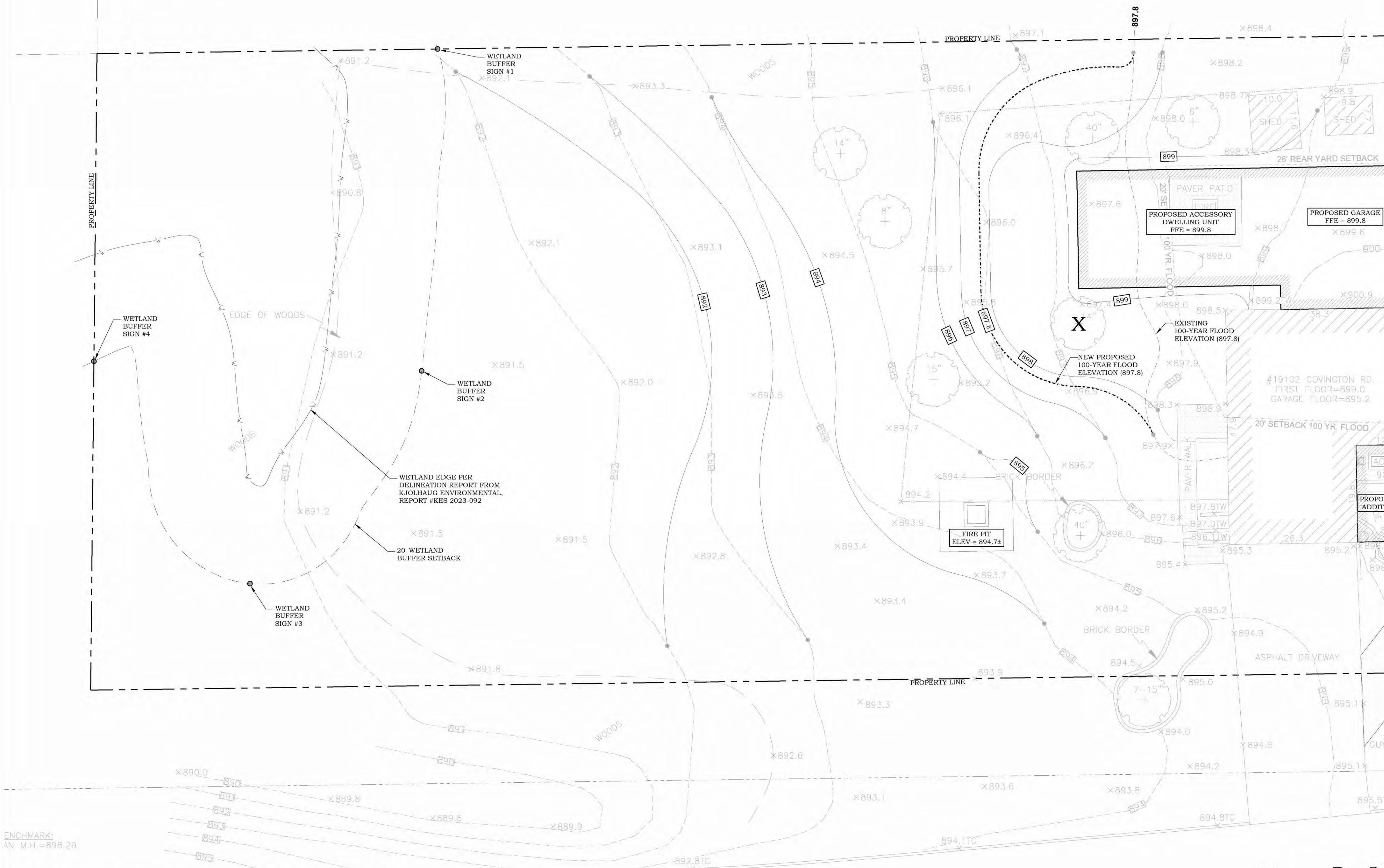
0 10' 20' 30'

1" = 10' (22" x 34" SHEET)
1" = 20' (11" x 17" SHEET)

DRAWING LEGEND

- PROPERTY LINE
- - - - - EXISTING SETBACK
- - - - - EXISTING CHAIN LINK FENCE
- - - - - EXISTING FLOODPLAIN (897.8)
- - - - - EXISTING CONTOUR
- - - - - PROPOSED FLOODPLAIN (897.8)
- - - - - PROPOSED CONTOUR
- PROPOSED WETLAND BUFFER SIGN

NOTE: RILEY PURGATORY BLUFF CREEK WATERSHED DISTRICT WILL PROVIDE CONTRACTOR THE WETLAND BUFFER SIGNS AT NO COST UPON REQUEST. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF THE WETLAND BUFFER SIGNS AT THE LOCATIONS NOTED ON THE PLANS.



ENCHMARK:
AN M.H. = 898.29



WETLAND BUFFER SIGNAGE PLAN

1
C500



1" = 10' (22" x 34" SHEET)
1" = 20' (11" x 17" SHEET)

PIERCE PINI & ASSOCIATES, INC.
Consulting Civil Engineers

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SUITE 312
BLAINE, MN 55434
TEL 763-537-1311

TAUER RESIDENCE

19102 COVINGTON ROAD
MINNETONKA, MN 55345

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Company: PIERCE PINI & ASSOCIATES

Signed: *Keri Gardner*

Name: Kevin Gardner

Date: 09/12/2023 Reg. No: 45815

Issued for: _____ Date: _____

RPBCWD Permit: _____ 09/12/2023

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Checked: KG

Date: 09/12/2023

Watershed Permit

Drawing Title

WETLAND BUFFER SIGNAGE PLAN

C500

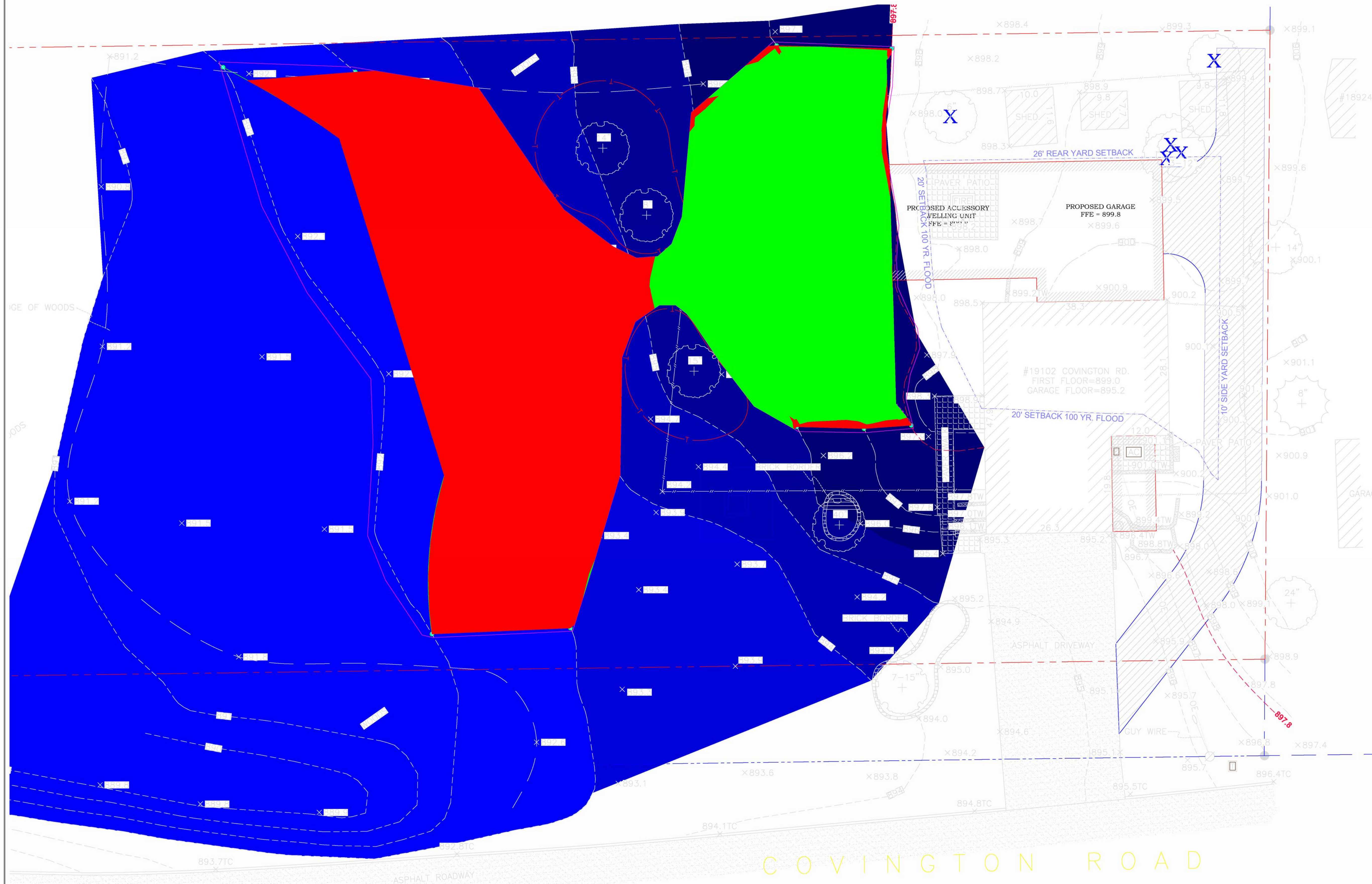
EXHIBIT 6 (5 OF 6)

PIERCE PINI & ASSOCIATES, INC.
Consulting Civil Engineers

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SUITE 312
BLAINE, MN 55434
TEL 763-537-1311

TAUER RESIDENCE

19102 COVINGTON ROAD
MINNETONKA, MN 55345



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Company: PIERCE PINI & ASSOCIATES

Signed: *Kevin Gardner*

Name: Kevin Gardner

Date: 09/12/2023 Reg. No: 45815

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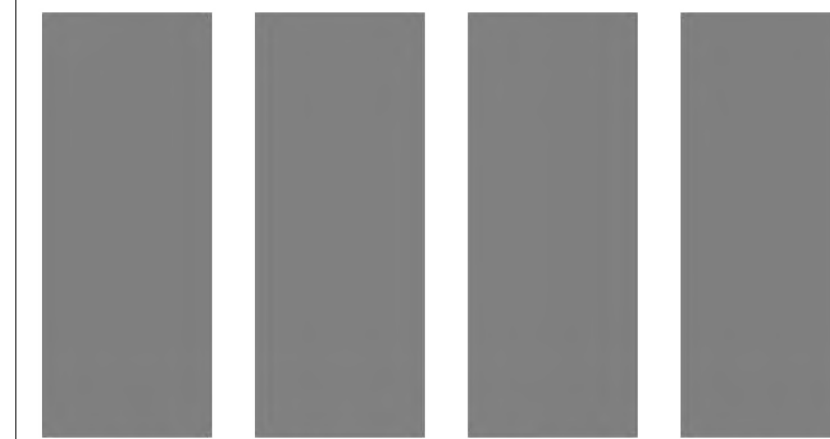
Date: 09/12/2023

Watershed Permit

Drawing Title

GRADING, DRAINAGE AND EROSION CONTROL PLAN

C400



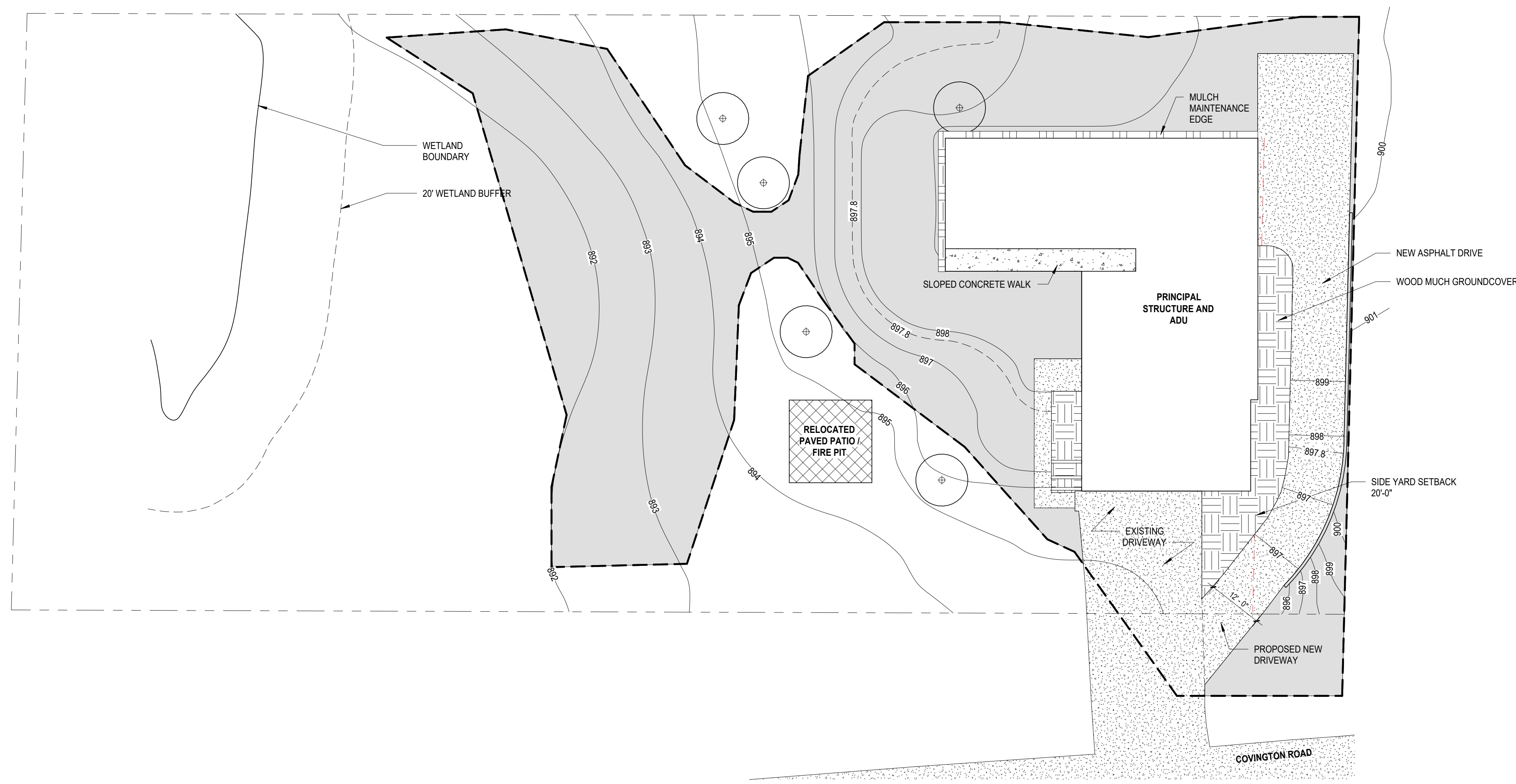
BRENT HOLDMAN ARCHITECTURE, PLLC

19102 COVINGTON RD
MINNETONKA, MN

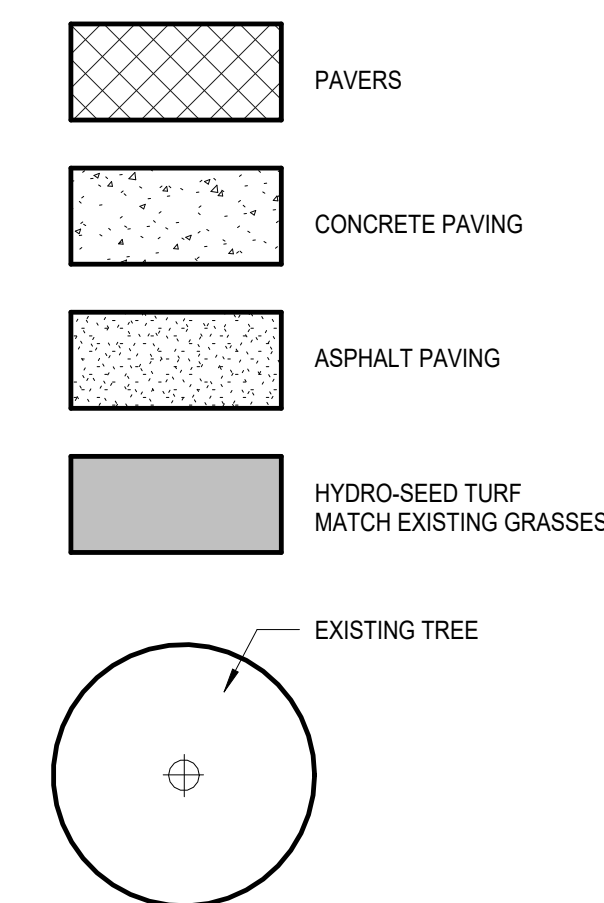
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By Bria Raines at 2:05 pm, Nov 06, 2023

ARCHITECT
BRENT HOLDMAN ARCHITECTURE, PLLC
Minneapolis, MN

Brent Holdman
612.710.4961
bh@brentholdman.com



LANDSCAPE SYMBOLS



1 LANDSCAPE / REVEGETATION PLAN
L1.00 1/16" = 1'-0"

LANDSCAPE REVEGETATION BUDGET

ITEM	AREA	UNIT	TOTAL
RE-SEED TURF	10,968 SF	\$0.26/SF	\$3,000 (ESTIMATED)
MULCH COVER	903 SF	\$0.45/SF	\$450 (ESTIMATED)

**EXHIBIT 7
LANDSCAPE / REVEGETATION**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

Signature: **BRENT E. HOLDMAN**
Date: _____ Licence #: 45504

ISSUE / REVISION:
ISSUE DATE: 10/29/2023
PROJECT #: 1801
LANDSCAPE / REVEGETATION PLAN

NOT FOR CONSTRUCTION

L1.00

NOT FOR CONSTRUCTION



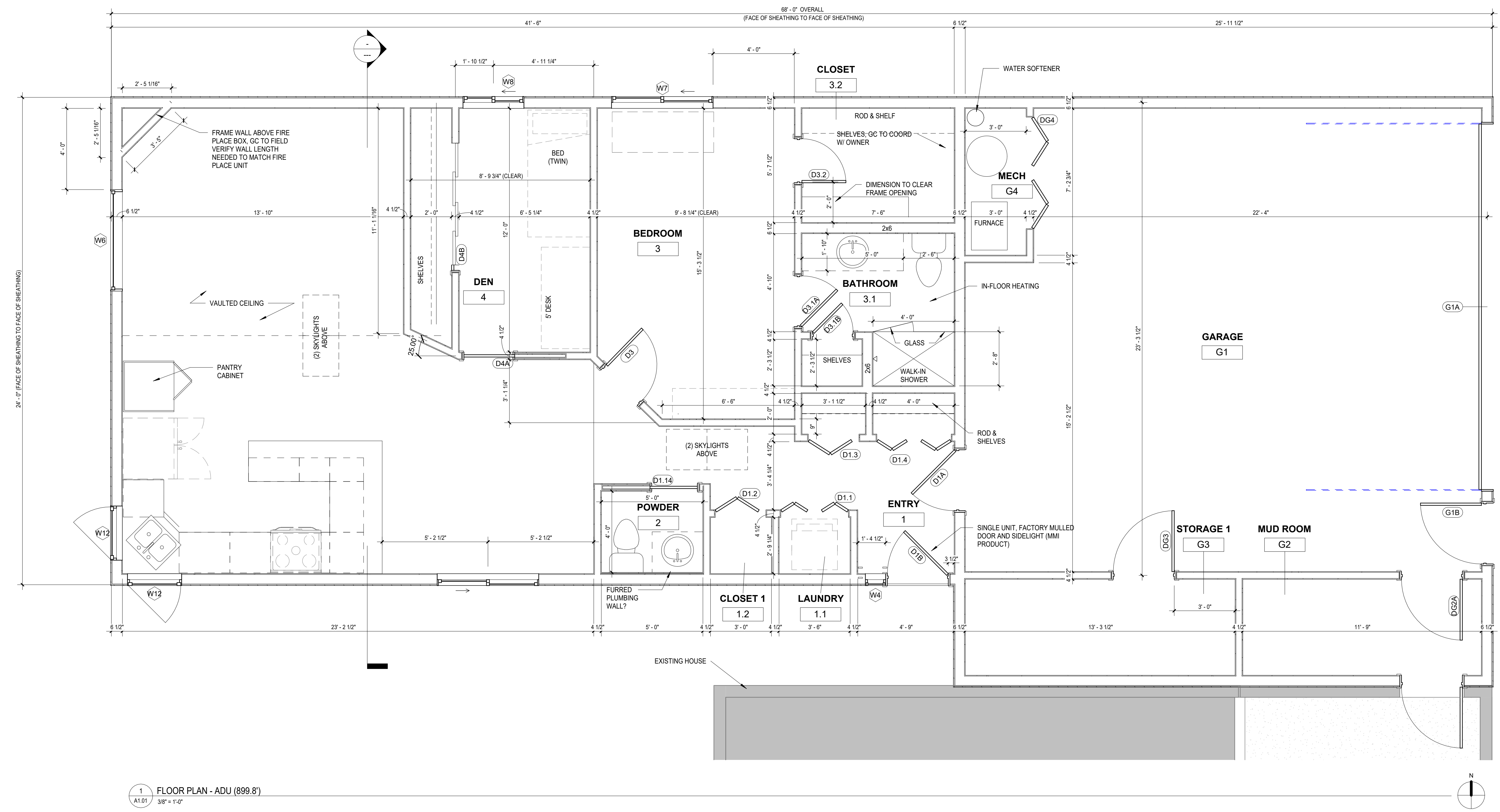
BRENT HOLDMAN ARCHITECTURE, PLLC

19102 COVINGTON RD
MINNETONKA, MN

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By Bria Raines at 2:05 pm, Nov 06, 2023

ARCHITECT
BRENT HOLDMAN ARCHITECTURE, PLLC
Minneapolis, MN

Brent Holdman
612.710.4961
bh@brentholdman.com



1 FLOOR PLAN - ADU (899.8')
A1.01 3/8" = 1'-0"

NOT FOR CONSTRUCTION

EXHIBIT 8.1
FLOOR PLAN - ADU

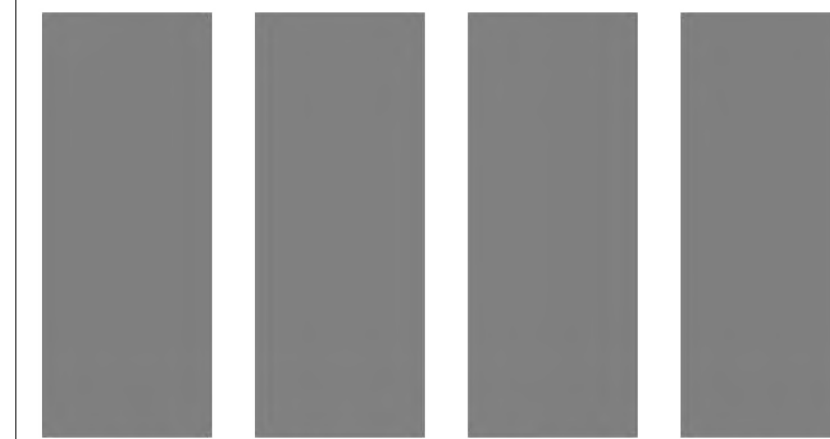
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

Signature:
Name: BRENT E. HOLDMAN
Date: Licence #: 45504

ISSUE / REVISION:	
ISSUE DATE:	9/19/2023
PROJECT #:	1801
FLOOR PLAN - ADU & GARAGE	

A1.01

NOT FOR CONSTRUCTION



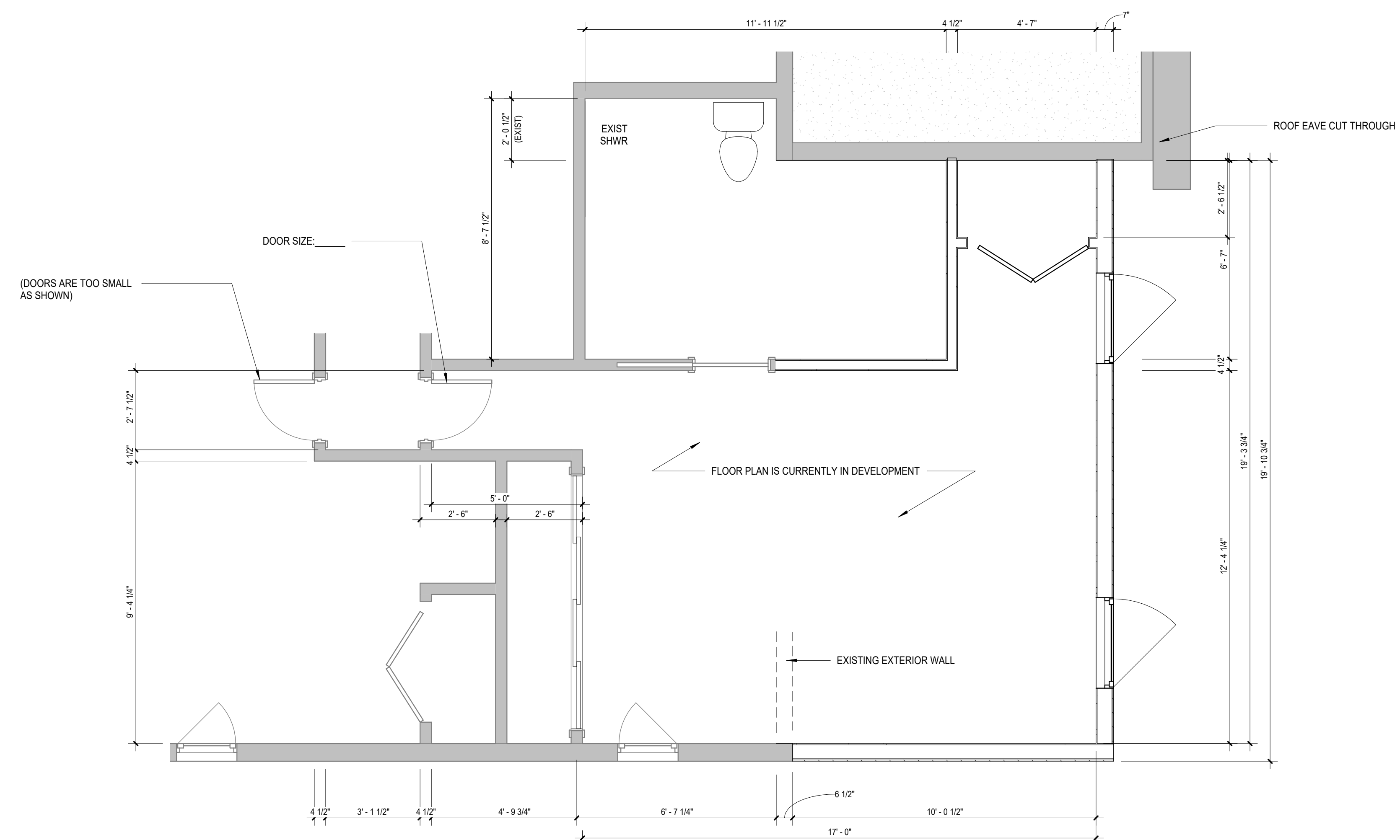
BRENT HOLDMAN ARCHITECTURE, PLLC

19102 COVINGTON RD
MINNETONKA, MN

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By Bria Raines at 2:05 pm, Nov 06, 2023

ARCHITECT
BRENT HOLDMAN ARCHITECTURE, PLLC
Minneapolis, MN

Brent Holdman
612.710.4961
bh@brentholdman.com



1 FLOOR PLAN - UPPER LEVEL - ADDITION AND REMODEL
A1.02 3/8" = 1'-0"

NOT FOR CONSTRUCTION

EXHIBIT 8.2
FLOOR PLAN - ADDITION

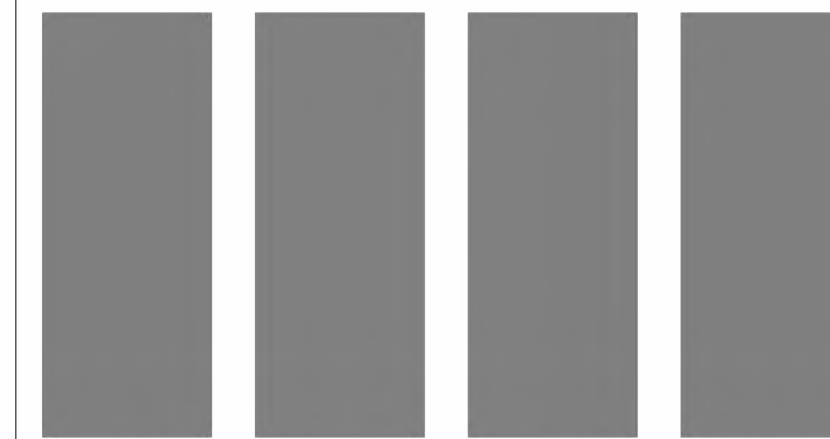
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

Signature: BRENT E. HOLDMAN
Date: Licence #: 45504

ISSUE / REVISION:
ISSUE DATE: 9/19/2023
PROJECT #: 1801
FLOOR PLAN - ADDITION / REMODEL

NOT FOR CONSTRUCTION

A1.02



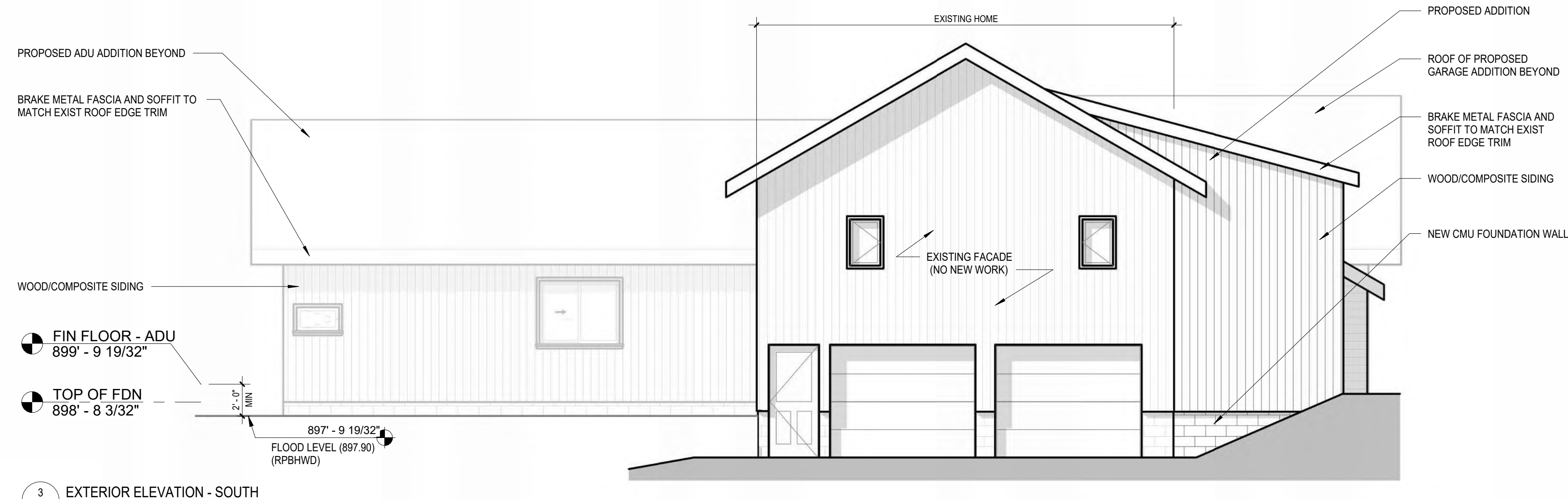
BRENT HOLDMAN ARCHITECTURE, PLLC

19102 COVINGTON RD
MINNETONKA, MN

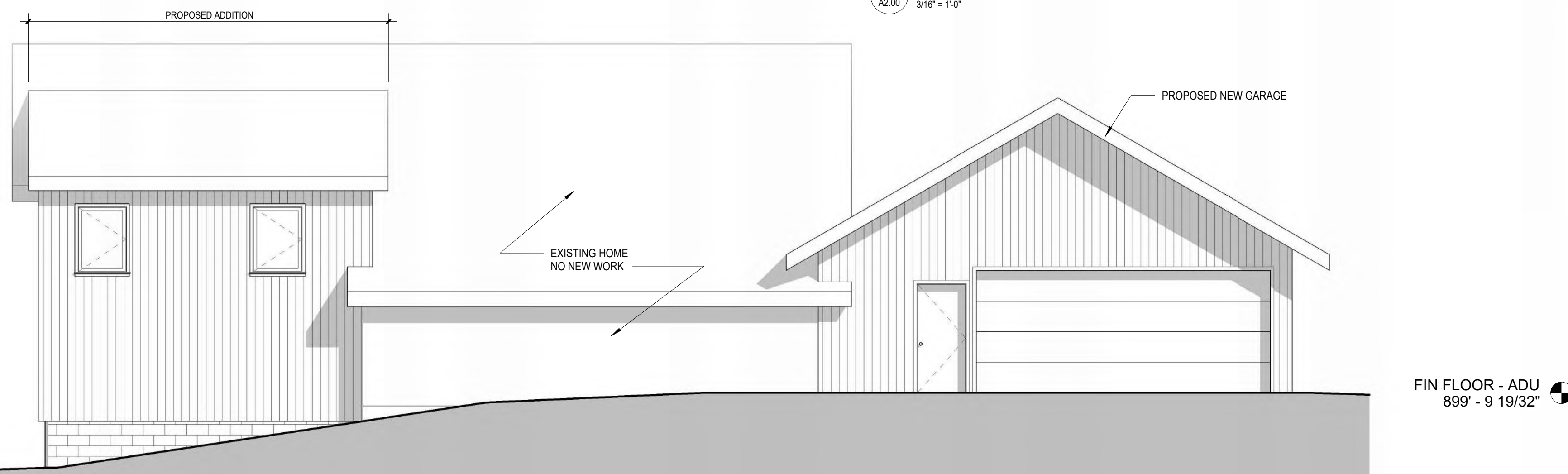
RECEIVED
By Bria Raines at 2:05 pm, Nov 06, 2023

ARCHITECT
BRENT HOLDMAN ARCHITECTURE, PLLC
Minneapolis, MN

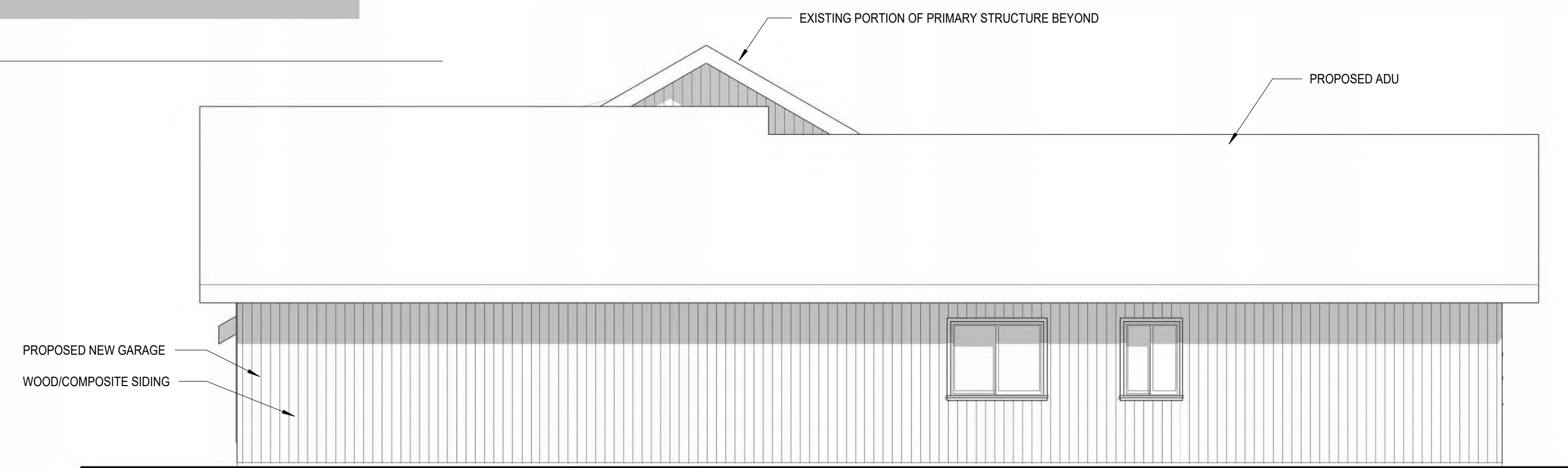
Brent Holdman
612.710.4961
bh@brentholdman.com



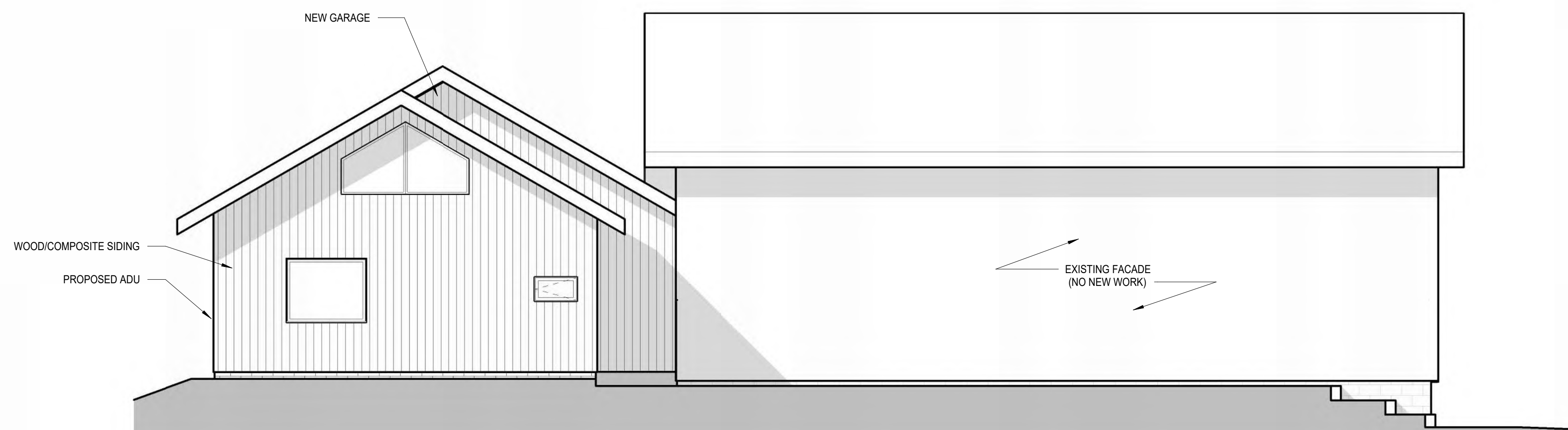
3 EXTERIOR ELEVATION - SOUTH
A2.00 3/16" = 1'-0"



1 EXTERIOR ELEVATION - EAST
A2.00 3/16" = 1'-0"



2 EXTERIOR ELEVATION - NORTH
A2.00 3/16" = 1'-0"



4 EXTERIOR ELEVATION - WEST
A2.00 3/16" = 1'-0"

NOT FOR CONSTRUCTION

EXHIBIT 9 EXTERIOR ELEVATIONS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

Signature: BRENT E. HOLDMAN
Date: Licence #: 45504

ISSUE / REVISION:
ISSUE DATE: 9/19/2023
PROJECT #: 1801
EXTERIOR ELEVATIONS

A2.00

NOT FOR CONSTRUCTION

EXHIBIT 10 - ADDITIONAL PERMIT REQUIRED (RPBC WATERSHED DISTRICT)

Riley-Purgatory-Bluff Creek Watershed District
 18681 Lake Drive East
 Chanhassen, MN 55317
 Tel: (952)807-8885

PERMIT **2023-054**
 Expiration Date **10/04/2024**

Pursuant to the rules of the Riley-Purgatory-Bluff Creek Watershed District, permission is hereby granted to the applicant named below to conduct the activity described below:

1. Applicant Information			
Property Owner Name:	Melissa Tauer-Lee	Point of Contact (if different):	
Mailing Address:	19102 Covington Rd	City:	Minnetonka
Email Address:	mistauser@gmail.com	State:	MN
Engineer/Designer:	Kevin Gardener - Pierce Pini & Associates	Phone:	612-207-9887
Mailing Address:	9298 Central Avenue NE, Suite 312	Fax:	
Email Address:	kevin@piercepini.com	City:	Blaine
		State:	MN
		Zip:	55434
2. Project Information			
Project Name:	Tauer Residence	PID:	311172230007
Address:	19102 Covington Road		
City:	Minnetonka	State:	MN
Description:	Addition to single-family home.	Zip:	55345
Date of RPBCWD Approved Plans and Specifications:	August 16, 2023 (as revised September 12, 2023)		
Date of RPBCWD Approved H&H and WQ Models:	N/A		
3. Permit Authorized			
<input checked="" type="checkbox"/> B: Floodplain Management	<input type="checkbox"/> F: Shoreline/Streambank Stabilization		
<input checked="" type="checkbox"/> C: Erosion Prevention & Sediment Control	<input type="checkbox"/> G: Waterbody Crossings		
<input checked="" type="checkbox"/> D: Wetland and Creek Buffers	<input type="checkbox"/> H: Appropriation of Public Waters		
<input checked="" type="checkbox"/> E: Dredging and Sediment Removal	<input checked="" type="checkbox"/> J: Stormwater Management		
4. Contractor Information			
Individual Responsible for EPSC:			
Phone:		Email:	
Contractor:			
Phone:		Email:	

This Permit is granted subject to the following General Requirements:

- Construction must be consistent with the plans, specifications, and models that were submitted by the applicant that were the basis of permit approval and the criteria listed for the rules under which the permit is authorized in section 3. The date(s) of the approved plans, specifications, and modeling are listed on the permit. The grant of the permit does not in any way relieve the permittee, its engineer, or other professional consultants of responsibility for the permitted work.
- The grant of the permit does not relieve the permittee of any responsibility to obtain approval of any other regulatory body with authority, except as may be provided under Minnesota Department of Natural Resources General Permit 2015-1192, compliance with which, if applicable, is entirely the responsibility of the permittee.
- The issuance of this permit does not convey any rights to either real or personal property, or any exclusive privileges, nor does it authorize any injury to private property or any invasion of personal rights, nor any infringement of federal, state, or local laws or regulations.
- In all cases where the doing by the permittee of anything authorized by this permit involves the taking, using or damaging of any property, rights or interests of any other person or persons, or of any publicly owned lands or improvements or interests, the permittee, before proceeding therewith, must acquire all necessary property rights and interest.
- The permit is transferable only with the approval of RPBCWD (please see RPBCWD Rule A). RPBCWD's determination to issue this permit was made in reliance on the information provided by the applicant. Any substantive change in the work affecting the nature and extent of applicability of RPBCWD regulatory requirements or substantive changes in the methods or means of compliance with RPBCWD regulatory requirements must be the subject of an application for a permit modification to the RPBCWD.
- In accepting this permit, the permittee grants access to the site of the work subject to the permit at all reasonable times during and after construction to authorized representatives of the RPBCWD for inspection of the work authorized by the permit.
- In accepting this permit, the permittee and their assigns acknowledge that will abide with the criteria applicable to the rule(s) to which the project is subject to.
- All work subject to the permit must be completed on or before the date specified in the permit. The permittee may request that RPBCWD extend the valid period of the permit by submitting a request in writing **prior to the expiration date stated in the permit.** (Please see RPBCWD Rule A, section 5.)

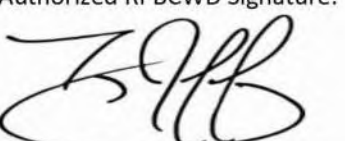
Authorized RPBCWD Signature:	Title:	Date:
	Administrator	10/05/2023

EXHIBIT 11 - WRITTEN STATEMENT

WRITTEN STATEMENT (OWNER)

Dear Minnetonka City Council,

I'm writing to you to discuss what I'm hoping will be an ADU project that will come before your group to review and approve at your October city council meeting.

I have been a Minnetonka resident since 1974 initially living at 9801 Robin Oak Rd until 1999 and since have lived in the Breconwood townhome association at 17919 Comstock Rd. I'm currently in a transition in my senior years due to both financial and health reasons and needing to explore other living arrangements. Since 2014 I've had 3 spinal fusions, both total knees, and rt total hip requiring assistance especially post op. My daughter Melissa Tauer Lee, who lives at 19102 Covington Rd, has attempted to assist me as much as possible given she's a Special Ed/ Social Worker at Washburn HS which has been a demanding position these past 18 yrs. I have been very fortunate that she and her family moved from Richfield to Minnetonka within 3.5 miles of me to be available given my multi orthopedic issues over the years. Breconwood townhomes were built in 1975 and the builder chose not to have required street setbacks which then canceled out the city of Minnetonka assuming costs of maintaining our streets / sewer status. Our monthly dues have gradually increased due to regular association maintenance. This year the monthly dues increased by 31% and scheduled to increase by 10% each year given major maintenance required of our roads, roofs, sewer and pool projections. These annual increased dues on a fixed income are not compatible for me to continue living in Breconwood in the coming years.

My daughter and I have discussed alternative living options on a fixed income and obviously requiring more health assistance from her in future years. In addition I'm starting my 3rd year as a "tag-teaming" grandparent on M/W/F being available when my now 3rd grade granddaughter gets off the bus. This is saving them major after school Explorer's expense at Clear Springs. We decided my best option was to build a connecting ADU slab house on her property. The challenge with this project is approx 3/4 of her .82 acres are on a 100 year flood plain. Our architect has been working with Bria in the Planning Dept to assist in guiding us through this very challenging undertaking. We are very thankful with her direction and step approach she has given us these past months. We have been careful to follow-up on every requirement to meet the current floodplain building requirements of the updated floodplain of August 1st including updated floodplain survey, wetlands survey, and our civil engineer working with the Riley Purgatory Bluff Creek Watershed District agency. Today we received word that the civil engineer has met all the watershed requirements and it will go before this board on Oct 4th hoping of course for their final approval. Our architect will continue to work with meeting all the required zoning requirements and we are hoping this ADU project will be ready for the Planning Commission to submit for your October council meeting for final approval so we could start construction ASAP this late fall.

Thank you very much for taking your time in listening to my current living status concerns and my desire as a senior resident to remain living in Minnetonka.

Judy Tauer

WRITTEN STATEMENT (ARCHITECT)

THIS PROJECT INVOLVES AN ADDITION TO AN EXISTING HOME AND AN ATTACHED ACCESSORY DWELLING UNIT. THE ADU IS NEW CONSTRUCTION ADDITION TO THE EXISTING HOME.

THE ADU AND PRINCIPAL STRUCTURE ARE BOTH OCCUPIED BY THE OWNER AND HER MOTHER.

THE ADU WILL BE BUILT TO FACILITATE A MOVE IN THE FALL OF 2024 WHILE THE ADDITION ON THE PRINCIPLE STRUCTURE IS BEING COMPLETED.

ADEQUATE OFF STREET PARKING FOR THE ADU IS PROVIDED BY A PROPOSED 2-CAR GARAGE.

THE NEW ADDITION TO THE PRINCIPAL STRUCTURE WILL IMPROVE LONG TERM LIVABILITY AND FUNCTIONALITY OF THE EXISTING HOUSE. THE ADDITION WILL RAISE THE LIVABLE SQUARE FOOTAGE OF THE PRINCIPAL STRUCTURE TO APPROXIMATELY 2,800 SF OF LIVABLE SPACE. SUBJECT TO REVIEW/APPROVAL OF CITY OF MINNETONKA STAFF, ALLOWING FOR A 1,000 SF ADU. THE AREA OF THE ADU IS 996 SF OR LESS THAN 36% OF THE AREA OF THE LARGER PRINCIPAL STRUCTURE.

BRENT HOLDMAN, ARCHITECT
 10/30/2023

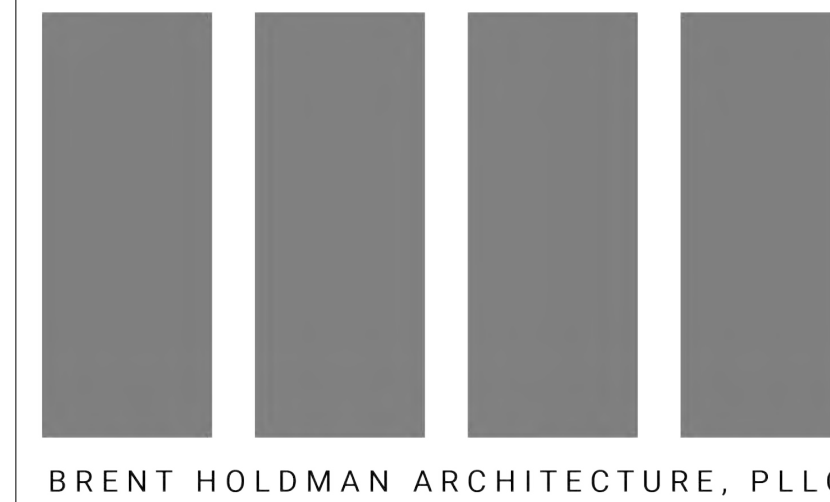
5. Inspections	
EPSC BMP Installation Date:	Inspector Signature:
Buffer Monument Installation Date:	Inspector Signature:
Topsail Inspection Date:	Inspector Signature:
Decompaction Testing Date:	Inspector Signature:
Final Stabilization (site stabilized with 75% cover of requisite species composition)	Inspector Signature:

Email Mat at mnicklay@rpbcwd.org at least 72 hours prior to inspection to schedule

6. Close-out Items (all items may not be applicable to every permit)	
Close-out Item	Description and Date of materials
Demonstrate vegetative cover consisting of a uniform perennial vegetation with a density of 75 percent	
laboratory testing and/or gradations of key stormwater materials (including but not limited to iron enhanced sand, washed sand, riprap, filter media, angular storage stone, etc.).	N/A
pumping and irrigation tests (as applicable)	N/A
construction and completion photos	N/A
monitoring data, if required	N/A
As-built/record drawings must be signed by a professional engineer licensed in Minnesota and include: <ol style="list-style-type: none"> the surveyed bottom elevations, water levels, and general topography of all facilities; the size, type, and surveyed invert elevations of all stormwater facility inlets and outlets; the surveyed elevations of all emergency overflows including stormwater facility, street, and other; other important features to show that the project was constructed as approved by the Managers and protects the public health, welfare, and safety. the surveyed minimum floor elevations and low building opening elevations of constructed structures; the required minimum floor elevations for all lots and unbuilt structures; and All surveys must be certified by a Minnesota registered land surveyor or engineer.	N/A
Documentation that constructed infiltration and filtration facilities perform as designed	N/A
Documentation that disturbed pervious areas have been decompacted	

¹ IMPORTANT: This includes all underground facilities.

² This may include infiltration testing, flood testing, or other with prior approval from RPBCWD



**19102 COVINGTON RD
 MINNETONKA, MN**

RECEIVED
 By Bria Raines at 2:05 pm, Nov 06, 2023

ARCHITECT
 BRENT HOLDMAN ARCHITECTURE, PLLC
 Minneapolis, MN

Brent Holdman
 612.710.4961
 bh@brentholdman.com

NOT FOR CONSTRUCTION

ADDITIONAL EXHIBITS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

Signature:
 Name: **BRENT E. HOLDMAN**
 Date: _____ Licence #: 45504

ISSUE / REVISION:	
ISSUE DATE:	10/05/22
PROJECT #:	1801
ADDITIONAL EXHIBITS	

A9.00

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