

PRELIMINARY PLANS

FOR PRELIMINARY PLAT, GRADING, UTILITIES, LANDSCAPE, AND TREE PRESERVATION PLAN

FOR MINNETONKA FLATS MINNETONKA, MN

PREPARED FOR:

LAKE WEST DEVELOPMENT, LLC

14525 HIGHWAY 7, SUITE 265

MINNETONKA, MN 55345

CONTACT: CURT FRETAM

PHONE: 952-653-1346

EMAIL: CURTF@LWESTDEV.COM

PREPARED BY:

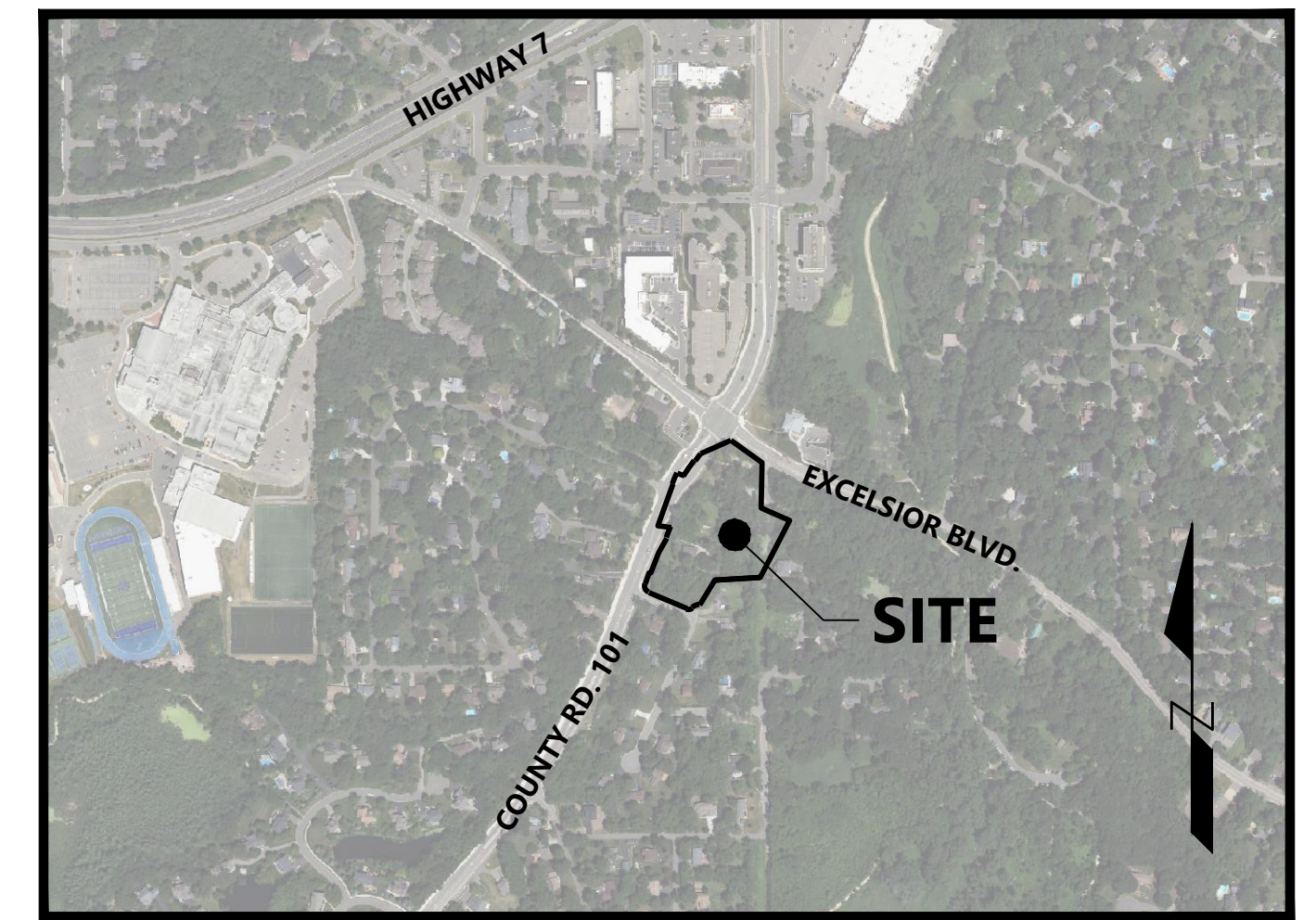
Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
 Fax (952) 937-5822 Minnetonka, MN 55343
 Toll Free (888) 937-5150 westwoodps.com

Westwood Professional Services, Inc.

PROJECT NUMBER: 0032305.00

CONTACT: NICHOLAS T. MEYER



Vicinity Map
(NOT TO SCALE)

SHEET INDEX

Sheet List Table	
SHEET NUMBER	SHEET TITLE
01	COVER
02	ALTA SURVEY
03	EXISTING CONDITIONS & REMOVALS
04	PRELIMINARY PLAT
05	SITE PLAN
06	GRADING PLAN
07	EROSION CONTROL PLAN
08	UTILITY PLAN
09	DETAILS
10	DETAILS
11	TREE PRESERVATION PLAN
12	TREE PRESERVATION DATA
13	PRELIMINARY LANDSCAPE PLAN
14	PRELIMINARY FOUNDATION PLANTINGS
15	PRELIMINARY FOUNDATION PLANTINGS
16	PRELIMINARY LANDSCAPE NOTES & DETAILS

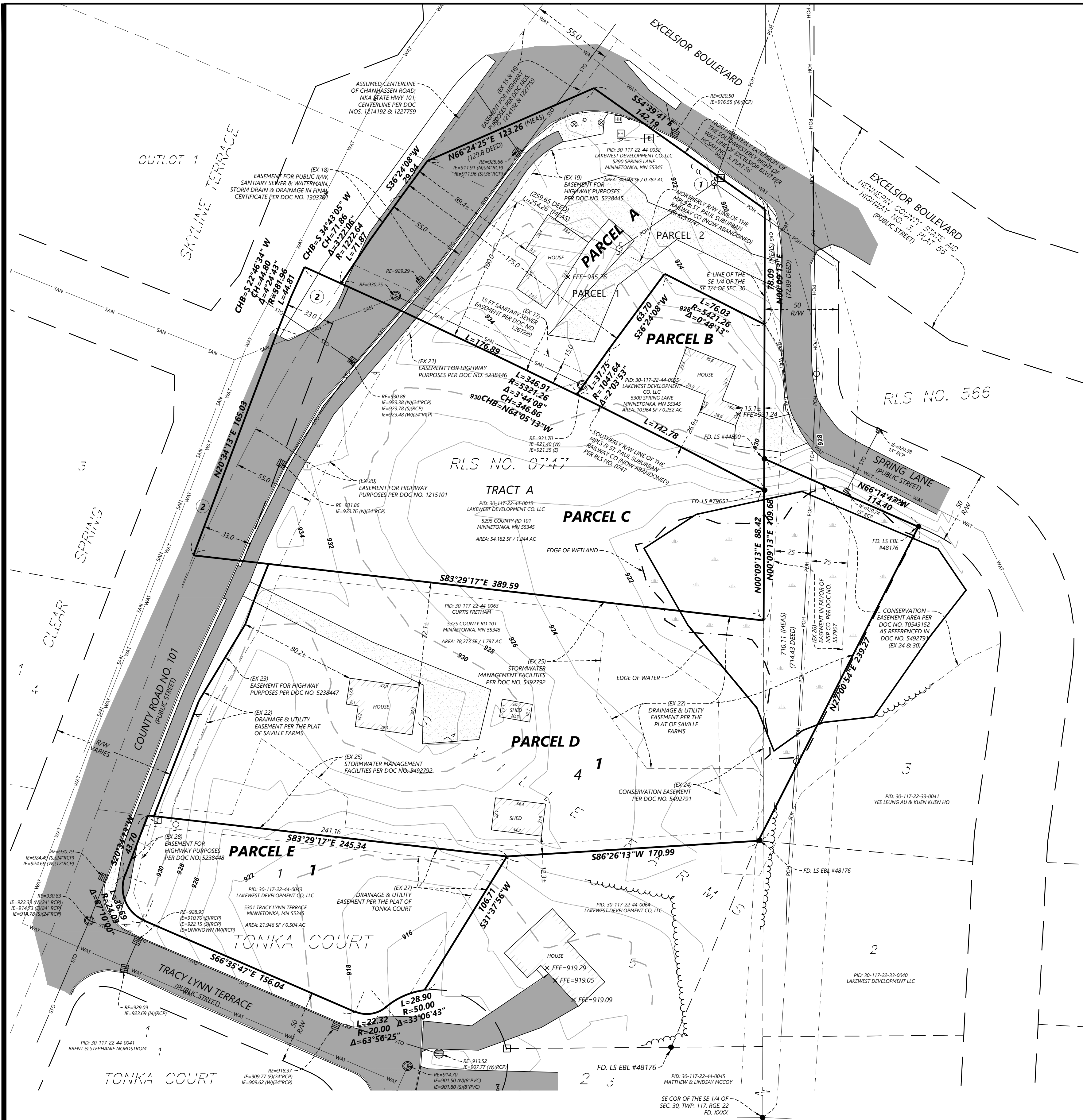
NO.	DATE	REVISION	SHEETS

PRELIMINARY PLANS

FOR
PRELIMINARY PLAT, GRADING,
UTILITIES, LANDSCAPE, AND TREE
PRESERVATION PLAN

FOR
MINNETONKA FLATS
MINNETONKA, MN

INITIAL SUBMITTAL DATE: 01/18/24 SHEET: 01 OF 16



GENERAL NOTES

- Bearings of property lines shown hereon are based on the Hennepin County coordinate system, (NAD 83 - 2011 Control Adjustment).
- Lengths of lines and distances between features are measured in US-Survey Feet.
- Elevations and ground contours shown hereon are relative to the NAVD88 vertical datum. And are based on MnDOT Control Station 2706 K which has an elevation of 894.94
- Wetlands were delineated by Westwood Professional Services in October, 2022

STATEMENT OF POSSIBLE ENCROACHMENTS

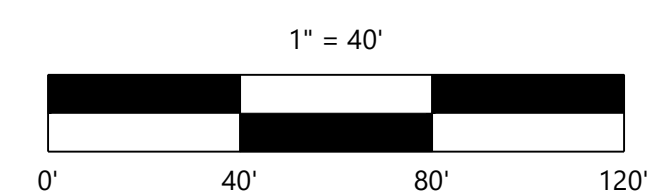
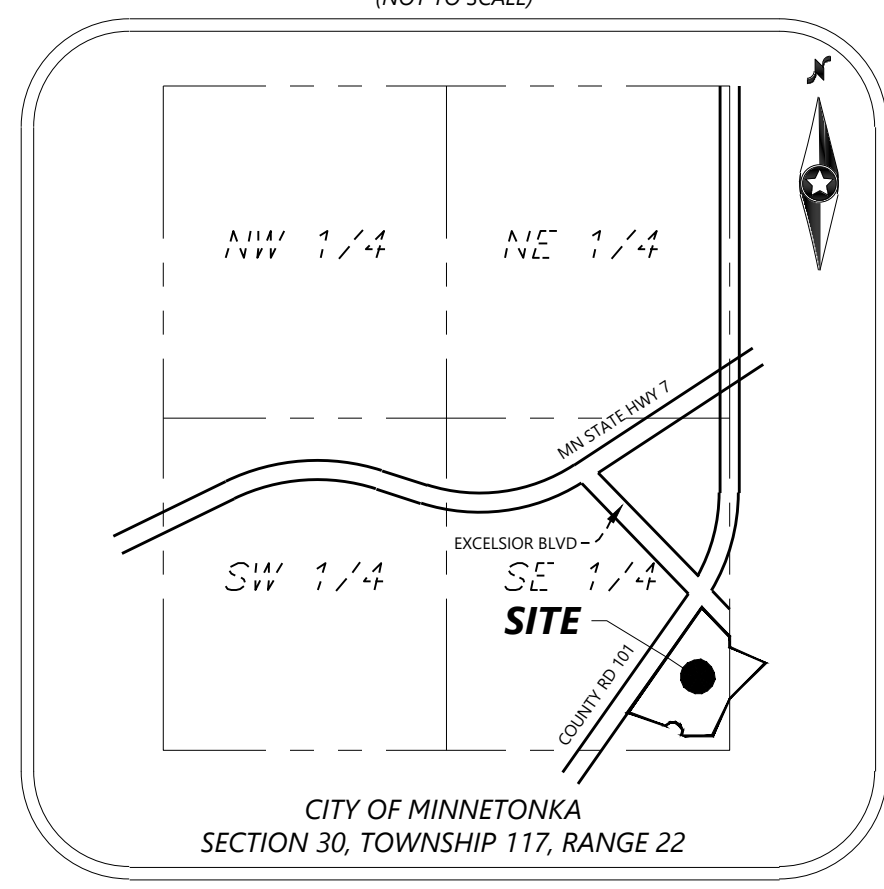
The following items are items observed by the surveyor which may constitute an encroachment onto/from the subject property and are provided to draw the users attention, the items below may not in fact constitute an encroachment and there may be additional encroachments not included in this list.

- Private and/or public utility lines serving adjacent properties cross the subject property outside of an easement.
- Part of County Road 101 lying within the subject property is not covered by a highway easement.

LEGEND

	SANITARY MANHOLE		ELECTRIC BOX		STEEL/WOOD POST		GAS LINE
	STORM MANHOLE		STREET LIGHT		SIGN		POWER OVERHEAD
	CATCH BASIN		GUY WIRE		BOUNDARY LINE		POWER UNDERGROUND
	CULVERT		POWER POLE		RIGHT-OF-WAY LINE		SANITARY SEWER
	CATCH BASIN MANHOLE		MAST ARM		LOT LINE		STORM SEWER
	HYDRANT		TELEPHONE BOX		EASEMENT LINE		TELEPHONE UNDERGROUND
	GATE VALVE		HAND HOLE/JUNCTION BOX		SECTION LINE		FENCE LINE
					TREE LINE		CURB & GUTTER
							CONCRETE SURFACE
							BITUMINOUS SURFACE
							GRAVEL SURFACE
							WETLAND
							FOUND MONUMENT (SEE LABEL)

VICINITY MAP



CREW:	GK
CHECKED:	CA
DRAWN:	SRM
HORIZONTAL SCALE:	40'
VERTICAL SCALE:	

INITIAL ISSUE: 06/15/2023
REVISIONS:

PREPARED FOR:
LAKE WEST DEVELOPMENT COMPANY
14525 HIGHWAY 7, SUITE 265
MINNETONKA, MN 55345

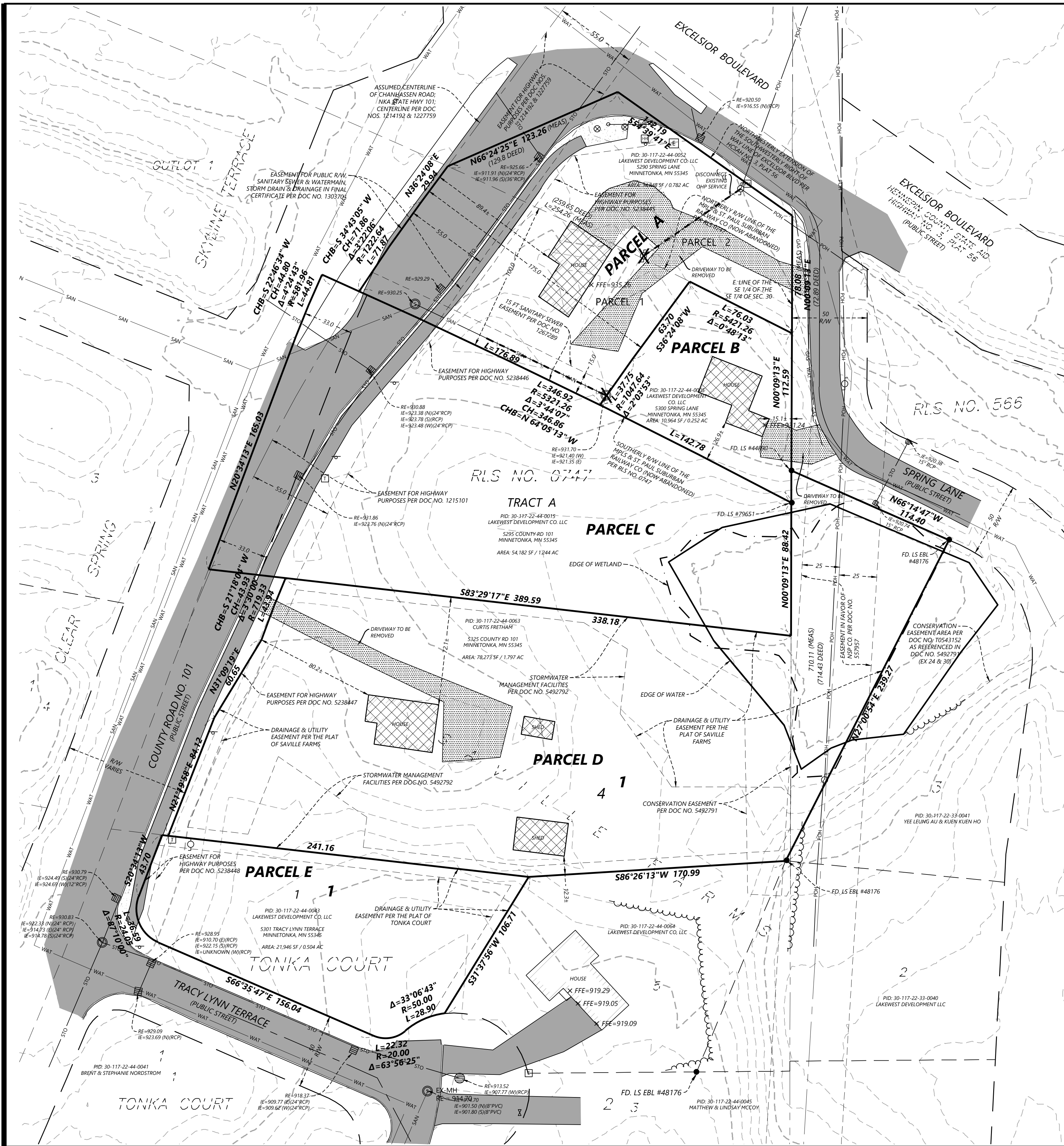
MINNETONKA FLATS
MINNETONKA, MINNESOTA

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 TollFree (888) 937-5150 westwoodps.com
 Westwood Professional Services, Inc.

ALTA/NSPS LAND TITLE SURVEY

SHEET NUMBER:
2 OF **2**
DATE: 06/15/2023

PROJECT NUMBER: 0032305.00



LEGEND

	SANITARY MANHOLE		BOUNDARY LINE
	STORM MANHOLE		RIGHT-OF-WAY LINE
	CATCH BASIN		LOT LINE
	CULVERT		EASEMENT LINE
	CATCH BASIN MANHOLE		SECTION LINE
	HYDRANT		TREE LINE
	GATE VALVE		GAS LINE
	ELECTRIC BOX		POH - POWER OVERHEAD
	STREET LIGHT		PUG - POWER UNDERGROUND
	GUY WIRE		SAN - SANITARY SEWER
	POWER POLE		STO - STORM SEWER
	MAST ARM		TUG - TELEPHONE UNDERGROUND
	TELEPHONE BOX		WAT - WATERMAIN
	HAND HOLE/JUNCTION BOX		FENCE LINE
	STEEL/WOOD POST		CURB & GUTTER
	SIGN		CONCRETE SURFACE
			BITUMINOUS SURFACE
			GRAVEL SURFACE
			WETLAND
			FOUND MONUMENT (SEE LABEL)

GENERAL NOTES

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- Lengths of lines and distances between features are measured in US-Survey Feet.
- Elevations and ground contours shown herein are relative to the NAVD88 vertical datum. And are based on MnDOT Control Station 2706 K which has an elevation of 894.94
- Wetlands were delineated by Westwood Professional Services in October, 2022

REMOVAL LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		SAW CUT PAVEMENT
		CURB & GUTTER
		SANITARY SEWER
		WATER MAIN
		HYDRANT
		STORM SEWER
		GAS
		UNDERGROUND ELECTRIC
		OVERHEAD ELECTRIC
		OVERHEAD TELEPHONE
		TELEPHONE FIBER OPTIC
		CABLE TELEVISION
		RETAINING WALL
		FENCE
		CONCRETE
		BITUMINOUS
		BUILDING

REMOVAL NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTOR SHALL COORDINATE LIMITS OF REMOVALS WITH PROPOSED IMPROVEMENTS AND FIELD VERIFY CONDITION OF EXISTING APPURTENANCES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING OR REPLACING MISCELLANEOUS ITEMS (SUCH AS FENCES, SIGNS, IRRIGATION HEADS, ETC.) THAT MAY BE DAMAGED BY CONSTRUCTION.
- CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY PROVIDERS FOR REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES AFFECTED BY SITE DEVELOPMENT. ALL PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

LEGAL DESCRIPTION

The following information was provided in CHB Title, LLC, Issuing Agent for Old Republic National Title Insurance Company File Number 59034, which has an effective date of June 1, 2023 at 7:00 AM:

Parcel A:
Par 1: The West 175 feet of the following described tract: That part of the Southeast quarter of the Southeast quarter of Section 30, Township 117, Range 22, lying between the East line of said Section 30 and the Chanhassen Road, now known as State Highway 101, said land being a 100 foot strip of land which was formerly the right of way of The Minneapolis & St. Paul Suburban Railroad Company and which is accordingly bounded by the Northerly and Southerly lines of said right of way, Hennepin County, Minnesota.

Parcel 2: That part of the Southeast Quarter of Section 30, Township 117, Range 22 described as follows: Commencing at a point on East line of said Section 30, 714.43 feet North of Southeast corner of said Section, thence North along said line 72.89 feet to Southwesterly line of Excelsior Boulevard, thence North 53 degree 29 minutes West along said Southwesterly line of Excelsior Boulevard 141.58, thence South, 57 degrees 29 minutes West along the Southeast line of Chanhassen Road 129.8 feet to North line of Minneapolis and St. Paul Suburban Railway Company's right of way; thence Southeasterly along the North line of said right of way 259.65 feet to place of beginning, Hennepin County, Minnesota.

Torrens Property
Torrens Certificate No. 1401308.

Parcel B:
That part of the Southeast Quarter of the Southeast Quarter of Section 30, Township 117, Range 22, lying between the East line of said Section 30 and the Chanhassen Road, now known as State Highway No. 101, said land being a 100 foot strip of land which was formerly the right of way of The Minneapolis & St. Paul Suburban Railroad Company and which is accordingly bounded by the Northerly and Southerly lines of said right of way, except the West 175 feet thereof, Hennepin County, Minnesota.

Torrens Property
Torrens Certificate No. 1401309.

Parcel C:
Tract A, Registered Land Survey No. 747, Hennepin County, Minnesota.

Torrens Property
Torrens Certificate No. 1401310.

Parcel D:
Lot 4, Block 1, Saville Farms, Hennepin County, Minnesota.

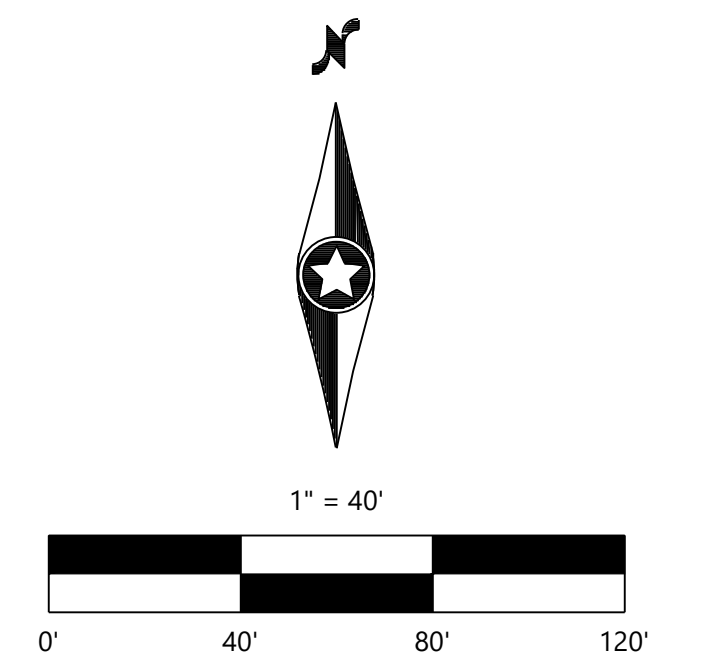
Torrens Property
Torrens Certificate No. 1540584.

Parcel E:
Lot 1, Block 2, Tonka Court, Hennepin County, Minnesota.

Torrens Property
Torrens Certificate No. 1401312.

Parcel F: (NOT INCLUDED IN ALTA SURVEY)
Lot 5, Block 1, Saville Farms, Hennepin County, Minnesota.

Torrens Property
Torrens Certificate No. 1454960.



DESIGNED:	
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	###
VERTICAL SCALE:	### OF ##

INITIAL ISSUE:	01/18/24
REVISIONS:	

PREPARED FOR:
LAKE WEST DEVELOPMENT, LLC
14525 HIGHWAY 7, SUITE 265
MINNETONKA, MN 55345

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA
CHRISTIAN FROEMKE
DATE: 01/18/24 LICENSE NO. 56208

MINNETONKA FLATS
MINNETONKA, MN

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Westwood Professional Services, Inc.

EXISTING CONDITIONS &
REMOVALS

SHEET NUMBER:
03 OF **16**
DATE: 01/18/24

LEGAL DESCRIPTION

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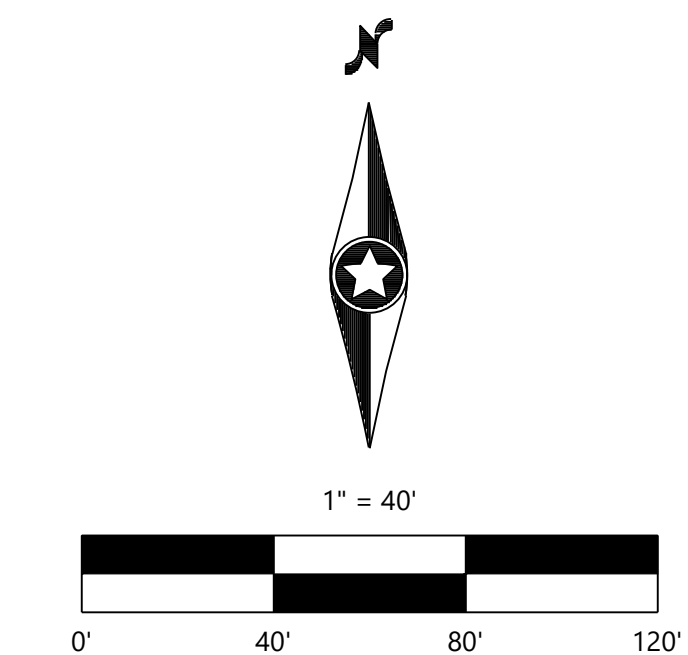
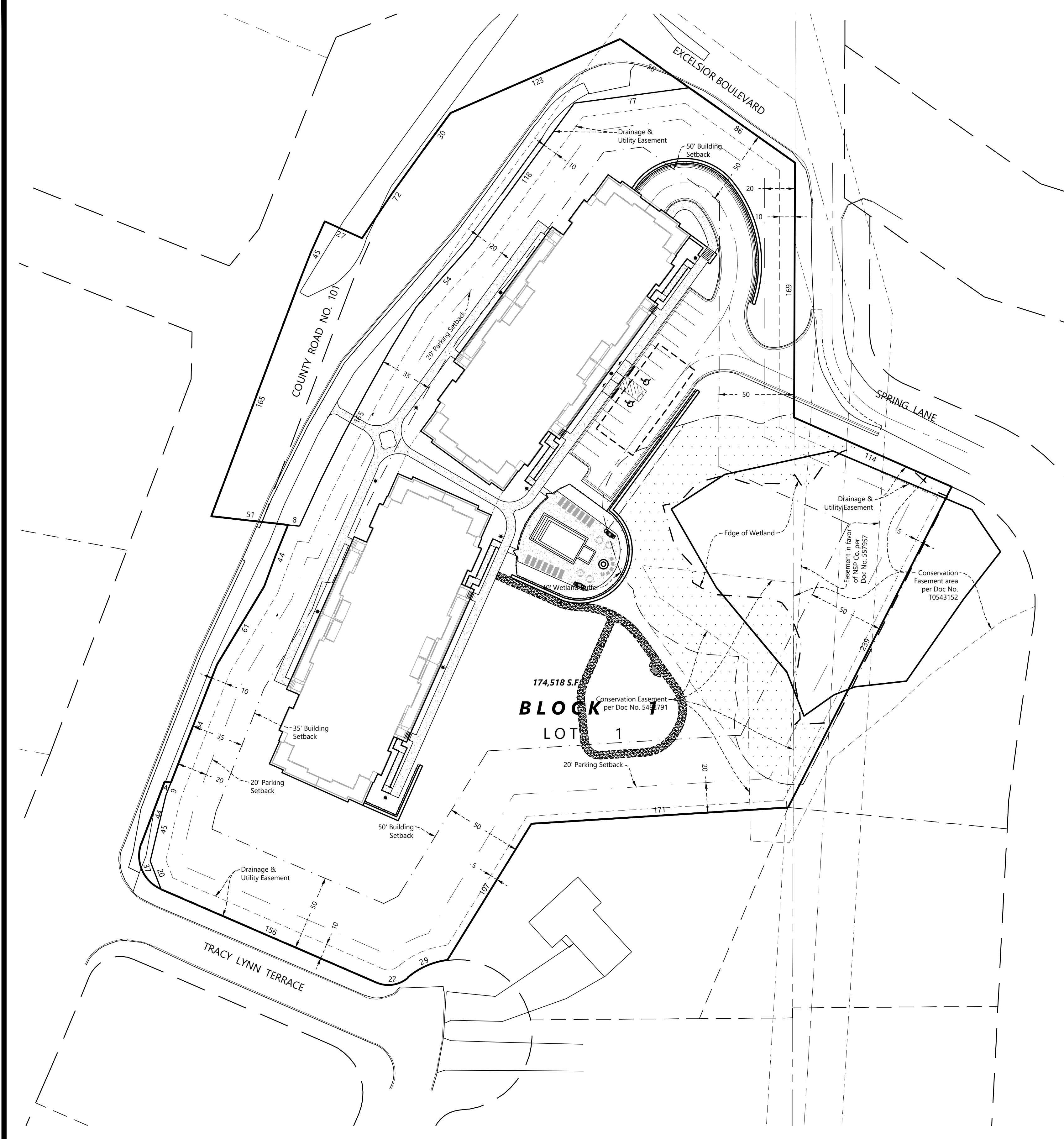
Torrens Property
Torrens Certificate No. 1401312.

Parcel F: (NOT INCLUDED IN ALTA SURVEY)
Lot 5, Block 1, Saville Farms, Hennepin County, Minnesota.

Torrens Property
Torrens Certificate No. 1454960.

SITE DEVELOPMENT DATA

EXISTING ZONING:	R-1, LOW DENSITY RESIDENTIAL
PROPOSED ZONING:	R-4, MEDIUM DENSITY RESIDENTIAL
GROSS SITE AREA:	4.58 AC
LOT 1, BLOCK 1:	4.01 AC



NOT FOR CONSTRUCTION

DESIGNED:	
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	###
VERTICAL SCALE:	### or ##

INITIAL ISSUE:	01/18/24
REVISIONS:	
▲	
▲	
▲	
▲	
▲	

PREPARED FOR:
LAKE WEST DEVELOPMENT, LLC
14525 HIGHWAY 7, SUITE 265
MINNETONKA, MN 55345

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA

CHRIS AMBOURN
DATE: 01/18/24 LICENSE NO. 43055

MINNETONKA FLATS
MINNETONKA, MN

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Westwood Professional Services, Inc.

SHEET NUMBER:
04 OF **16**
PRELIMINARY PLAT
PROJECT NUMBER: 0032305.00 DATE: 01/18/24

SITE DEVELOPMENT SUMMARY

- CURRENT ZONING: **R-1**
- PROPOSED ZONING: **R-4**
- GROSS SITE AREA: **4.00 AC. / 174,518.36 SF.**

- LOT 1**
- BUILDINGS: **40 UNITS**
 - CONDO FLATS: **36 UNITS**
 - 2 BEDROOM: **4 UNITS**
 - 1 BEDROOM
 - 3 LEVELS LIVING SPACE**
 - 1 LEVEL UNDERGROUND PARKING**

- DENSITY:
- BUILDING SETBACKS: **50' FRONT FROM COLLECTOR R.O.W. 50' SIDE/REAR FROM LOW DENSITY RES. 35' FRONT ONE SIDE 50' OTHER SIDE 50' SIDE/REAR FROM LOW DENSITY RES. REAR 20' BOC; SIDE 20' BOC**
 - PROPOSED BUILDING SETBACKS:
 - PARKING SETBACKS

- PARKING REQUIRED: **84 SPACES**
- RESIDENT PARKING: **76 SPACES**
- 1 SPACE / BEDROOM
- GUEST PARKING: **7.6 SPACES**
- 10% OF REQUIRED STALLS
- PARKING PROVIDED: **84 SPACES**
- SURFACE PARKING: **13 SPACES**
- TYPICAL SPACES: **2 SPACES**
- ADA SPACES
- UNDERGROUND GARAGE: **71 SPACES**

- RATIO: **2.1 SPACES/UNIT**
- PARKING SPACE / DRIVE AISLE: **9' WIDE X 18' LONG, 24' AISLE**

- IMPERVIOUS SURFACE: **27.3%**
- PERVIOUS SURFACE: **EXISTING 166,524 SF**
 - IMPERVIOUS SURFACE: **PROPOSED 131,241 SF**
 - 13,939 SF**
 - 49,222 SF**

GENERAL SITE NOTES

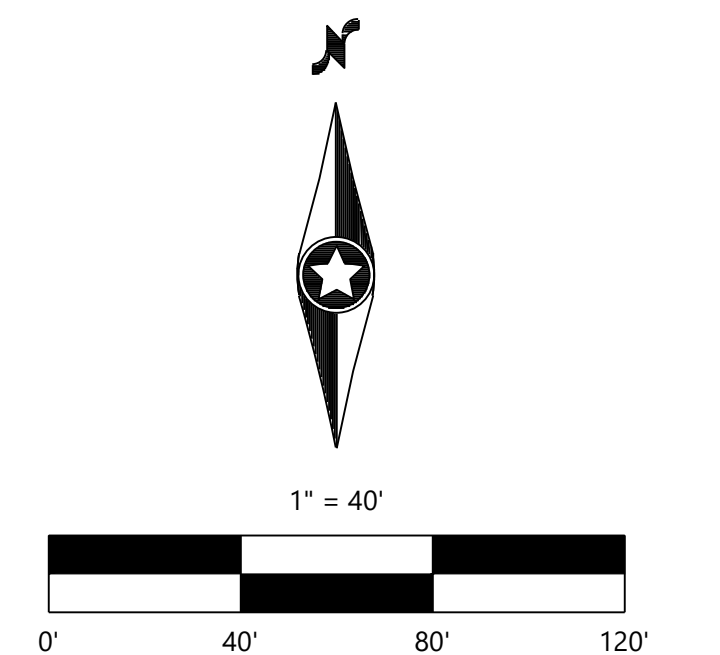
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- ALL DIMENSIONS ARE TO BACK OF CURB FOR RESIDENTIAL OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- ALL CURB RADII SHALL BE 5.0 FEET (TO BACK OF CURB) UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE **B612** UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.

1 SITE NOTES

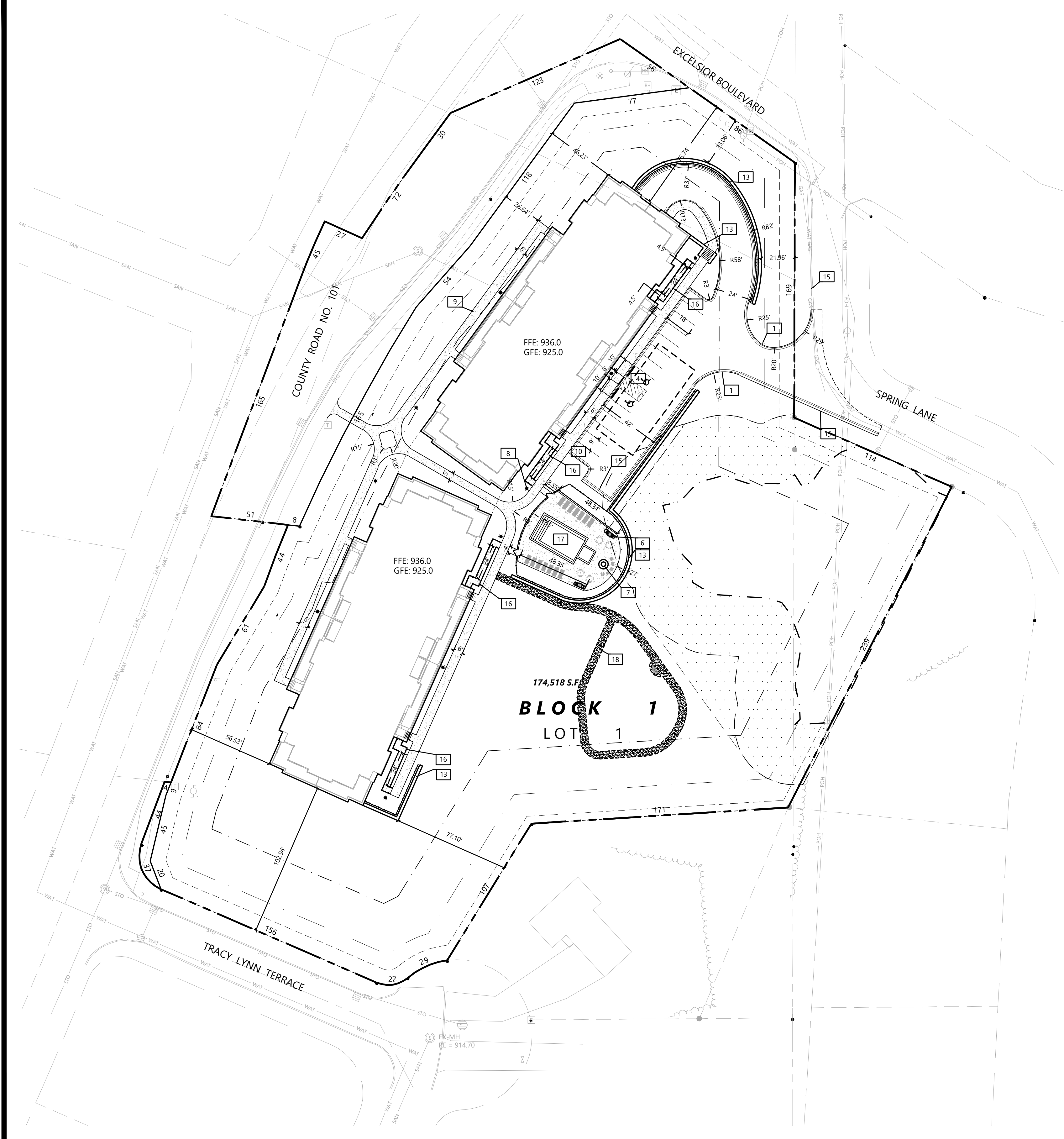
- B612 CURB AND GUTTER
- PEDESTRIAN CURB RAMP W/ TRUNCATED DOMES
- FLUSH CURB
- HANDICAP ACCESSIBLE SIGNAGE AND STRIPPING
- BIKE RACK
- GRILL STATION, AND OUTDOOR DINING AREA
- FIRE PIT
- SITE LIGHTING (SEE LIGHTING PLANS)
- PRIVATE CONCRETE SIDEWALK
- ELECTRIC CAR CHARGING STATION
- TRASH PICK-UP PAD
- FENCE
- RETAINING WALL
- HANDRAILS
- SURMOUNTABLE CURB AND GUTTER
- ADA RAMP
- POOL
- MULCH NATURE TRAIL

SITE LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		LOT LINE
		SETBACK LINE
		EASEMENT LINE
		CURB AND GUTTER
		TIP-OUT CURB AND GUTTER
		POND NORMAL WATER LEVEL
		RETAINING WALL
		FENCE
		CONCRETE PAVEMENT
		CONCRETE SIDEWALK
		COLORLED CONCRETE PAVEMENT
		HEAVY DUTY BITUMINOUS PAVEMENT
		NORMAL DUTY BITUMINOUS PAVEMENT
		NUMBER OF PARKING STALLS
		TRANSFORMER
		SITE LIGHTING (SEE LIGHTING PLANS)
		TRAFFIC SIGN
		POWER POLE
		BOLLARD / POST
		SNOW STORAGE AREA



NOT FOR CONSTRUCTION



DESIGNED:	INITIAL ISSUE: 01/18/24
CHECKED:	REVISIONS:
DRAWN:	
HORIZONTAL SCALE: 40'	
VERTICAL SCALE: 8' or 4'	

PREPARED FOR:
LAKE WEST DEVELOPMENT, LLC
 14525 HIGHWAY 7, SUITE 265
 MINNETONKA, MN 55345

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

CHRISTIAN FROEMKE
 DATE: 01/18/24 LICENSE NO. 56208

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 MINNETONKA, MN

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SHEET NUMBER:
05 OF **16**
 SITE PLAN
 PROJECT NUMBER: 0032305.00 DATE: 01/18/24

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MINNETONKA FLATS

GRADING & DRAINAGE NOTES

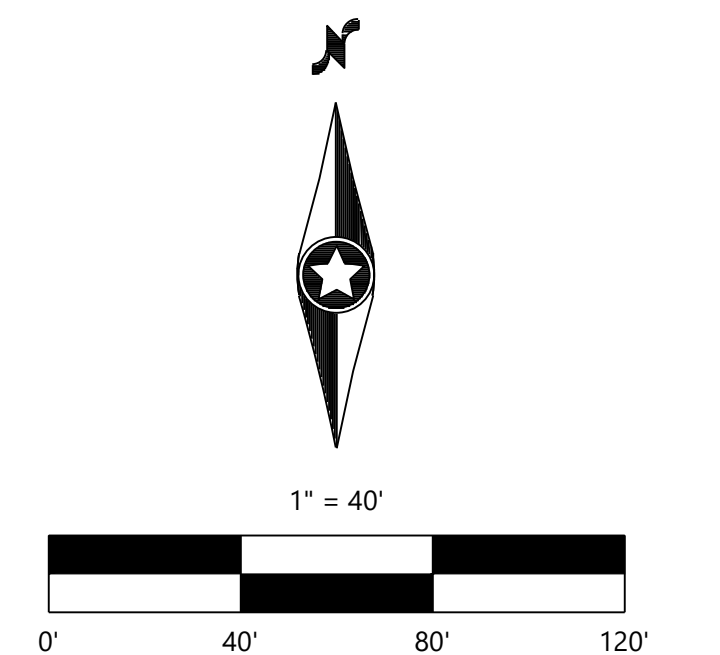
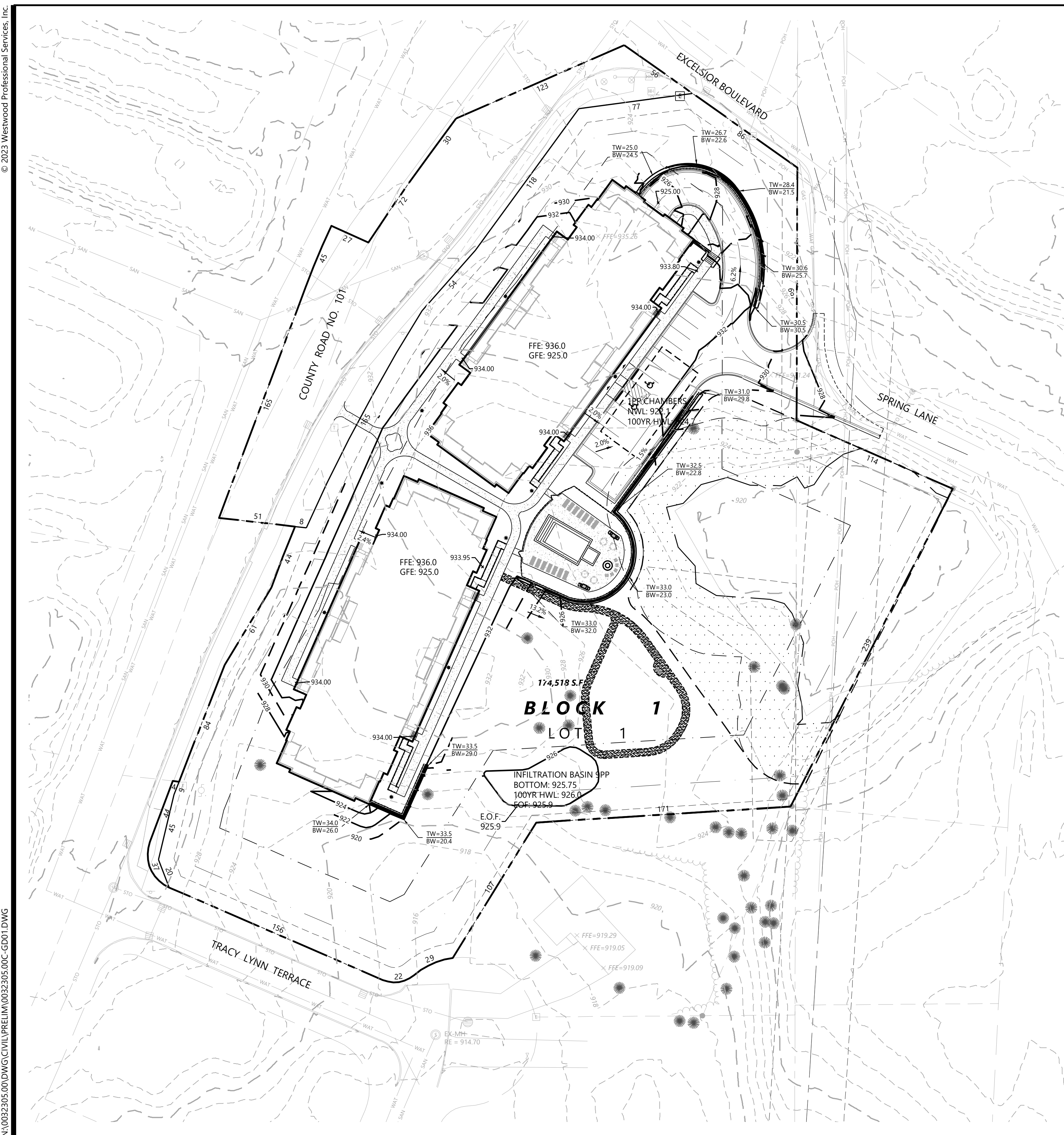
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- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.**
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.

FILTRATION/INFILTRATION BASIN NOTES

- BASIN EXCAVATION AND PIPE INSTALLATION MAY TAKE PLACE BEFORE CURB INSTALLATION. ALL OTHER BASIN CONSTRUCTION MUST WAIT UNTIL FINAL SITE LANDSCAPING. REMOVE SEDIMENT FROM EXCAVATED BASIN PRIOR TO PLACEMENT OF FILTER MEDIA. PLACE SAND BAGS OR SIMILAR ITEM IN CURB CUTS TO PRE-FILTER STORM WATER UNTIL PLANTS ARE ESTABLISHED IN BASINS. MAINTAIN INLET PROTECTION ON DOWN STREAM INLETS UNTIL BASINS ARE ON-LINE.
- BASIN EXCAVATION SHALL BE WITH TOOTHED-BUCKETS TO SCARIFY THE BOTTOM.
- PLACE SILT FENCE AROUND BASINS AS SHOWN IMMEDIATELY AFTER BASIN CONSTRUCTION.
- BASINS MUST BE TESTED FOR INFILTRATION RATE AFTER TOTAL SITE STABILIZATION. A DUAL RING INFILTRATOR SHALL BE USED FOR TESTING. MINIMUM INFILTRATION RATE IS 1-INCH PER HOUR. IF BASIN DOES NOT MEET INFILTRATION RATE, CONTRACTOR MUST TAKE CORRECTIVE ACTION UNTIL MINIMUM INFILTRATION RATE IS MET. CORRECTIVE ACTION MAY INCLUDE REMOVING PLUG IN DRAIN TILE. ALL TESTING AND CORRECTIVE ACTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE INCIDENTAL TO THE CONTRACT, WITH NO DIRECT COMPENSATION MADE.
- NO EQUIPMENT OR MATERIAL STORAGE, OTHER THAN CHAMBERS, WILL OCCUR IN THE INFILTRATION AREA.

GRADING LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		RIDGE LINE
		GRADING LIMITS
		SPOT ELEVATION
		FLOW DIRECTION
		TOP AND BOTTOM OF RETAINING WALL
		EMERGENCY OVERTFLOW
		SOIL BORING LOCATION



NOT FOR CONSTRUCTION

DESIGNED: _____
 CHECKED: _____
 DRAWN: _____
 HORIZONTAL SCALE: 40'
 VERTICAL SCALE: 8' or 4'

INITIAL ISSUE: 01/18/24
 REVISIONS:
 ▲ _____
 ▲ _____
 ▲ _____
 ▲ _____

PREPARED FOR:
LAKE WEST DEVELOPMENT, LLC
 14525 HIGHWAY 7, SUITE 265
 MINNETONKA, MN 55345

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA
 CHRISTIAN FROEMKE
 DATE: 01/18/24 LICENSE NO. 56208

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 Westwood Professional Services, Inc.

GRADING PLAN

SHEET NUMBER:
06 OF **16**
 DATE: 01/18/24

PROJECT NUMBER: 0032305.00

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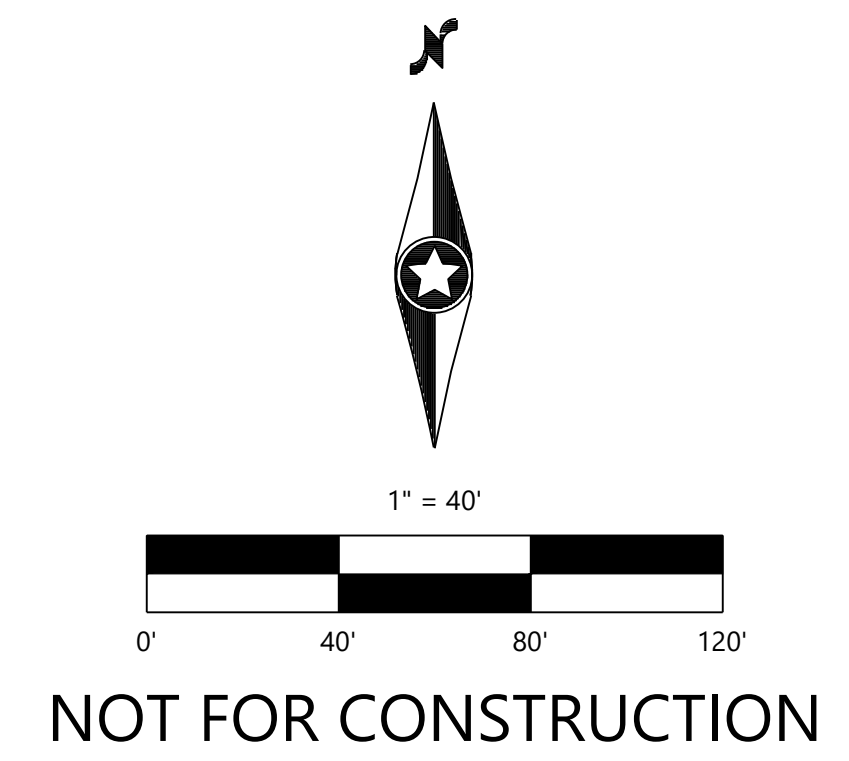
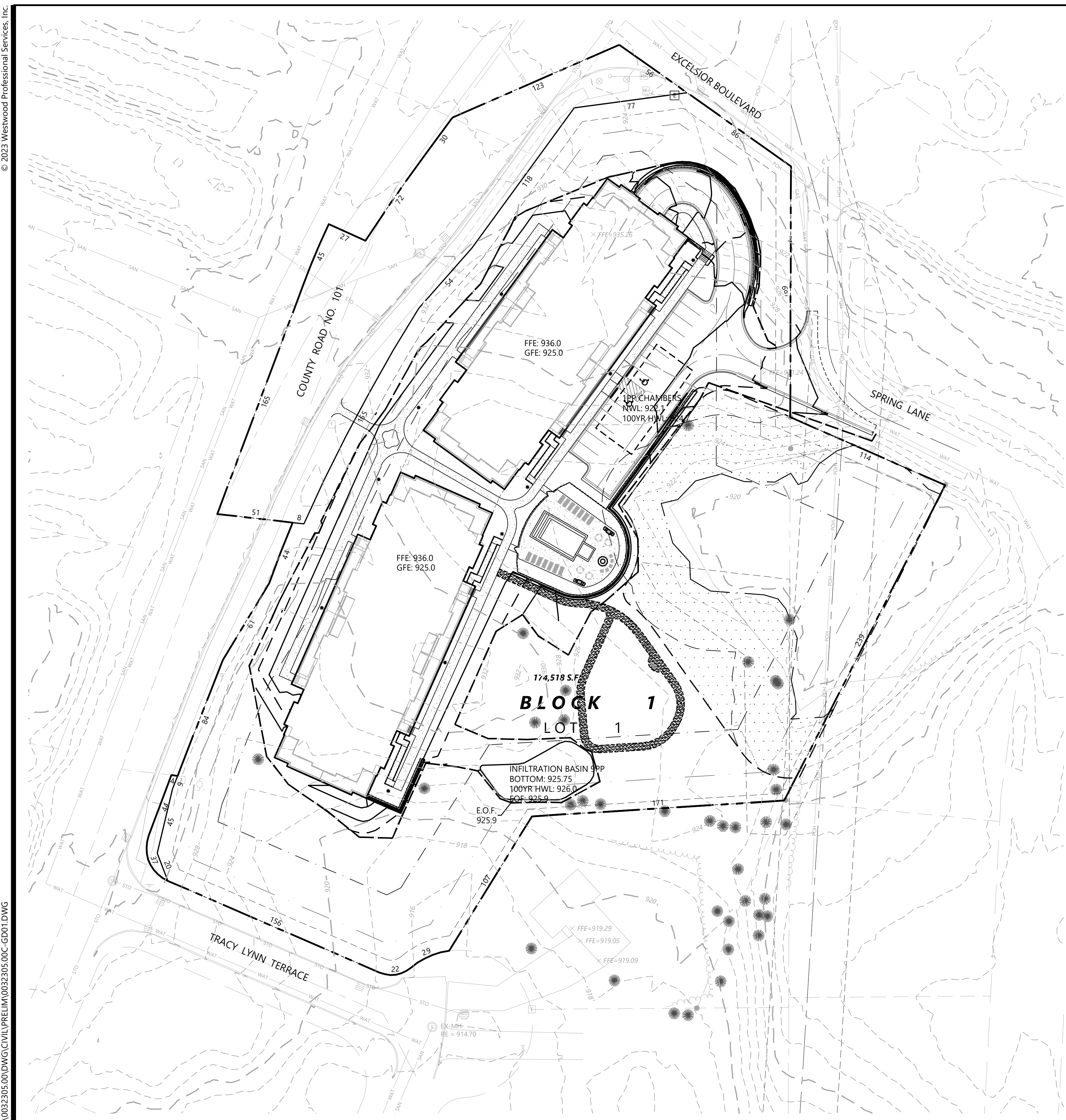
MINNETONKA FLATS

GENERAL EROSION CONTROL NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SILT FENCE AND OTHER EROSION CONTROL FEATURES SHALL BE IN-PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED. EXISTING SILT FENCE ON-SITE SHALL BE MAINTAINED AND REMOVED AND SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONTRACT. IT IS OF EXTREME IMPORTANCE TO BE AWARE OF CURRENT FIELD CONDITIONS WITH RESPECT TO EROSION CONTROL. TEMPORARY PONDING, DIKES, HAYBALES, ETC., REQUIRED BY THE CITY SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- EROSION AND SILTATION CONTROL (ESC): THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL THE EROSION AND SILTATION INCLUDING BUT NOT LIMITED TO: CATCH BASIN INSERTS, CONSTRUCTION ENTRANCES, EROSION CONTROL BLANKET, AND SILT FENCE. ESC SHALL COMMENCE WITH GRADING AND CONTINUE THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER. THE CONTRACTOR'S RESPONSIBILITY INCLUDES ALL IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER MAY DIRECT THE CONTRACTOR'S METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITION OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR IN EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN EVENT. AFFECTED AREAS SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER. ALL AT THE EXPENSE OF THE CONTRACTOR. ALL TEMPORARY EROSION CONTROL SHALL BE REMOVED BY THE CONTRACTOR AFTER THE TURF IS ESTABLISHED.
- ALL STREETS DISTURBED DURING WORKING HOURS MUST BE CLEANED AT THE END OF EACH WORKING DAY. A CONSTRUCTION ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO DETAILS TO REDUCE TRACKING OF DIRT ONTO PUBLIC STREETS.
- WHEN INSTALLING END-OF-LINE FLARED END SECTIONS, BRING THE SILT FENCE UP & OVER THE FLARED END SECTIONS & COVER DISTURBED AREAS WITH RIP RAP. THE UPSTREAM FLARED END SECTIONS SHALL HAVE WOOD FIBER BLANKET INSTALLED ON THE DISTURBED SOILS.
- ALL UNPAVED AREAS ALTERED DUE TO CONSTRUCTION ACTIVITIES MUST BE RESTORED WITH SEED AND MULCH, SOD, EROSION CONTROL BLANKET OR BE HARD SURFACE WITHIN 2 WEEKS OF COMPLETION OF CONSTRUCTION.
- THE SITE MUST BE STABILIZED PER THE REQUIREMENTS OF THE MPCA, NPDES, MNDOT, AND CITY.
 - TEMPORARY (GREATER THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX 22-111 AT 30.5-POUNDS PER ACRE.
 - TEMPORARY (LESS THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX 21-112 (FALL) OR 21-111 (SPRING/SUMMER) AT 100-POUNDS PER ACRE.
 - INFILTRATION/FILTRATION BASIN SHALL BE MNDOT SEED MIX 34-262 AT 14.5-POUNDS PER ACRE.
 - POND SLOPES SHALL BE MNDOT SEED MIX 33-261 AT 35-POUNDS PER ACRE.
 - GENERAL SEEDING SHALL BE MNDOT SEED MIX 25-151 AT 70-POUNDS PER ACRE.
 - MULCH SHALL BE MNDOT TYPE 1 APPLIED AT 2-TONS PER ACRE.
- FOR AREAS WITH SLOPE OF 3:1 OR GREATER, RESTORATION WITH SOD OR EROSION CONTROL BLANKET IS REQUIRED.
- ALL TEMPORARY STOCKPILES MUST HAVE SILT FENCE INSTALLED AROUND THEM TO TRAP SEDIMENT.
- ALL PERMANENT PONDS USED AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION SHALL BE DREDGED AFTER THE SITE HAS BEEN STABILIZED TO RESTORE THE POND TO THE PROPOSED BOTTOM ELEVATION.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL AND STATE RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- THE SITE MUST BE KEPT IN A WELL-DRAINED CONDITION AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DITCHES, PIPING OR OTHER MEANS REQUIRED TO INSURE PROPER DRAINAGE DURING CONSTRUCTION. LOW POINTS IN ROADWAYS OR BUILDING PADS MUST BE PROVIDED WITH A POSITIVE OUTFLOW.
- PUBLIC STREETS USED FOR HAULING SHALL BE KEPT FREE OF SOIL AND DEBRIS. STREET SWEEPING SHALL BE CONCURRENT WITH SITE WORK.

EROSION CONTROL LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		SILT FENCE
		HEAVY DUTY SILT FENCE
		REDUNDANT SILT CONTROL
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		GRADING LIMITS
		ROCK CONSTRUCTION ENTRANCE
		EROSION CONTROL BLANKET
		TURF REINFORCEMENT MAT
		EMERGENCY OUTFLOW
		SOIL BORING LOCATION
		INLET PROTECTION



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HORIZONTAL SCALE: 40'	
VERTICAL SCALE: 8' or 4'	

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CHRISTIAN FROEMKE
 DATE: 01/18/24 LICENSE NO. 56208

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 MINNETONKA, MN

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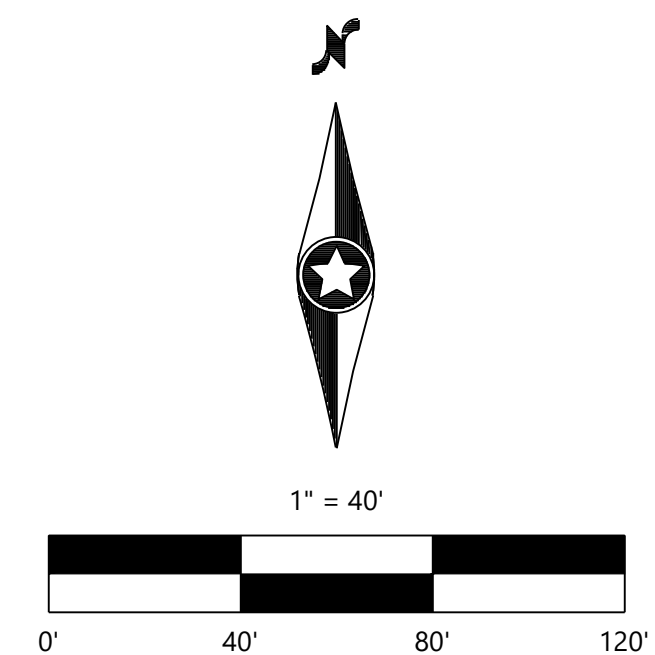
EROSION CONTROL PLAN
 SHEET NUMBER: **07** OF **16**
 PROJECT NUMBER: 0032305.00 DATE: 01/18/24

GENERAL UTILITY NOTES

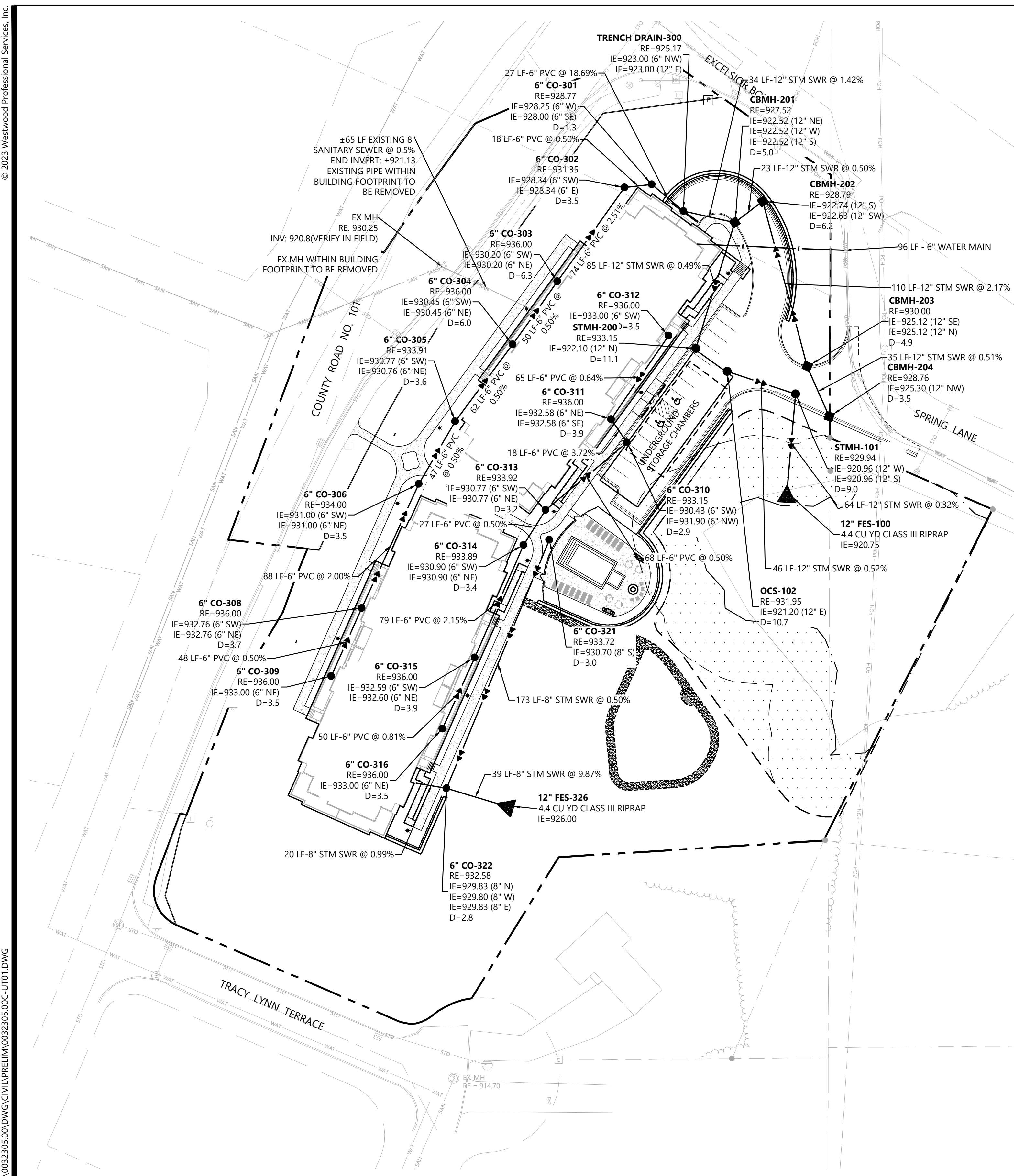
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SANITARY SEWER, STORM SEWER AND WATER MAIN MATERIAL AND INSTALLATIONS SHALL BE PER CITY REQUIREMENTS, MINNESOTA PLUMBING CODE, AND IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
- ALL PRIVATE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES. OVERHEAD UTILITY LINES AND POLES ARE NOT PERMITTED BY CITY CODE, ANY EXISTING LINES AND POLES SHALL BE REMOVED.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL NECESSARY COUNTY PERMITS FOR WEST BROADWAY SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
- WATER MAIN LENGTHS AS SHOWN ARE APPROXIMATE HORIZONTAL LENGTHS. ALLOW FOR ADDITIONAL PIPE WHEN INSTALLING ON SLOPES OR WHEN DEFLECTIONS ARE REQUIRED. THE JOINT DEFLECTIONS SHALL NOT EXCEED THE MAXIMUM RECOMMENDED BY THE PIPE MANUFACTURER OR BY LOCAL GOVERNING SPECIFICATIONS. FITTINGS REQUIRED TO CONSTRUCT WATER MAIN SHALL BE INCLUDED IN WATER MAIN CONSTRUCTION.
- PROVIDE WATER MAIN THRUST RESTRAINTS PER CITY STANDARD REQUIREMENTS.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER LINE CROSSINGS WITH SANITARY SEWER OR STORM SEWER. THE WATER LINE SHALL NOT HAVE JOINTS OR CONNECTION WITHIN 10- FEET OF THE CROSSING. INSULATE CROSSINGS WITH STORM SEWER.
- UTILITY SERVICES TYPICALLY TERMINATE 5' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
- DUCTILE IRON WATER LINES SHALL BE CLASS 52, PER AWWA C115 OR C151. COPPER WATER LINES SHALL BE TYPE K PER ASTM B88.
- ALL WATER LINES SHALL HAVE 8.0' MINIMUM COVER. INSULATE WATER MAIN IF LESS THAN 8' OF COVER. INSULATION SHALL BE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, WITH 4 INCHES OF THICKNESS.
- SANITARY SEWER PIPE OUTSIDE THE BUILDING ENVELOPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 OR 26. SDR 26 IS REQUIRED FOR DEPTHS GREATER THAN 15 FEET. SANITARY SEWER PIPE WITHIN 5 FEET OF THE BUILDING AND UNDER FOOTINGS SHALL BE SCHEDULE 40 PER ASTM D2665. ALL PLASTIC SANITARY SEWER SHALL BE INSTALLED PER D321. SOLVENT WELD JOINTS MUST INCLUDE USE OF A PRIMER WHICH IS OF A CONTRASTING COLOR TO THE PIPE AND CEMENT. ALL SANITARY SEWER SHALL BE TESTED ACCORDING TO MINNESOTA PLUMBING CODE, PART 712.0.
- STORM SEWER PIPE:
 - RCP AND HDPE PIPE MAY BE INSTALLED WITH APPROVAL OF LOCAL GOVERNING AGENCY.
 - REINFORCED CONCRETE PIPE SHALL BE CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED, PER ASTM C76 WITH R-4 GASKETS.
 - HDPE STORM PIPE 4-INCHES TO 10-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF AASHTO M252. HDPE STORM PIPE 12-INCHES TO 60-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF ASTM F2306. FITTINGS SHALL BE PER ASTM D3212 AND INSTALLED PER ASTM D2321.
 - PVC STORM SEWER PIPE AND FITTINGS SHALL BE SCHEDULE 40 PIPE PER ASTM D2665 AND INSTALLED PER ASTM D2321.
 - CORRUGATED METAL PIPE (CMP) IS NOT PERMITTED BY THE CITY.
 - ALL STORM SEWER JOINTS AND STRUCTURE CONNECTIONS SHALL BE GASTIGHT OR WATERTIGHT AS REQUIRED BY MINNESOTA PLUMBING CODE, PART 707.3. STORM SEWER LOCATED WITHIN 10- FEET OF A BUILDING AND/OR WATER LINE SHALL BE TESTED PER MINNESOTA PLUMBING CODE, PART 712.
- ALL NONCONDUCTIVE PIPE SHALL BE INSTALLED WITH A LOCATE (TRACER) WIRE PER MINNESOTA RULES, PART 7560.0150.
- POST INDICATOR VALVES SHALL BE AVK (OR EQUIVALENT) MEETING AWWA STANDARD C509 AND CITY STANDARDS. VALVE TO BE MECHANICAL JOINT RESILIENT WEDGE GATE VALVE. POST TO BE ADJUSTABLE FOR 8 FEET WATER MAIN DEPTH. THE ELECTRICAL ALARM SWITCH SHALL BE PART NO. PCVS2 (OR EQUIVALENT).
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.
- ALL MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.
- ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.15 FEET AND MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.
- ALL EXISTING WATER AND SANITARY SERVICES SHALL BE DISCONNECTED AT THE MAIN.
- (3) 4" CONDUIT TO BE PROVIDED. ROUTE FROM PROPERTY LINE FOR TV, DATA, AND PHONE UTILITIES. COORDINATE LOCATION SITE/CIVIL CONTRACTOR. TERMINATE CONDUIT IN LOW VOLTAGE ROOM.

UTILITY LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	SANITARY SEWER
---	---	SANITARY SEWER FORCE MAIN
---	---	STORM SEWER
---	---	WATER MAIN
---	---	HYDRANT
---	---	GATE VALVE
---	---	FLARED END SECTION (WITH RIPRAP)
---	---	LIGHT POLE



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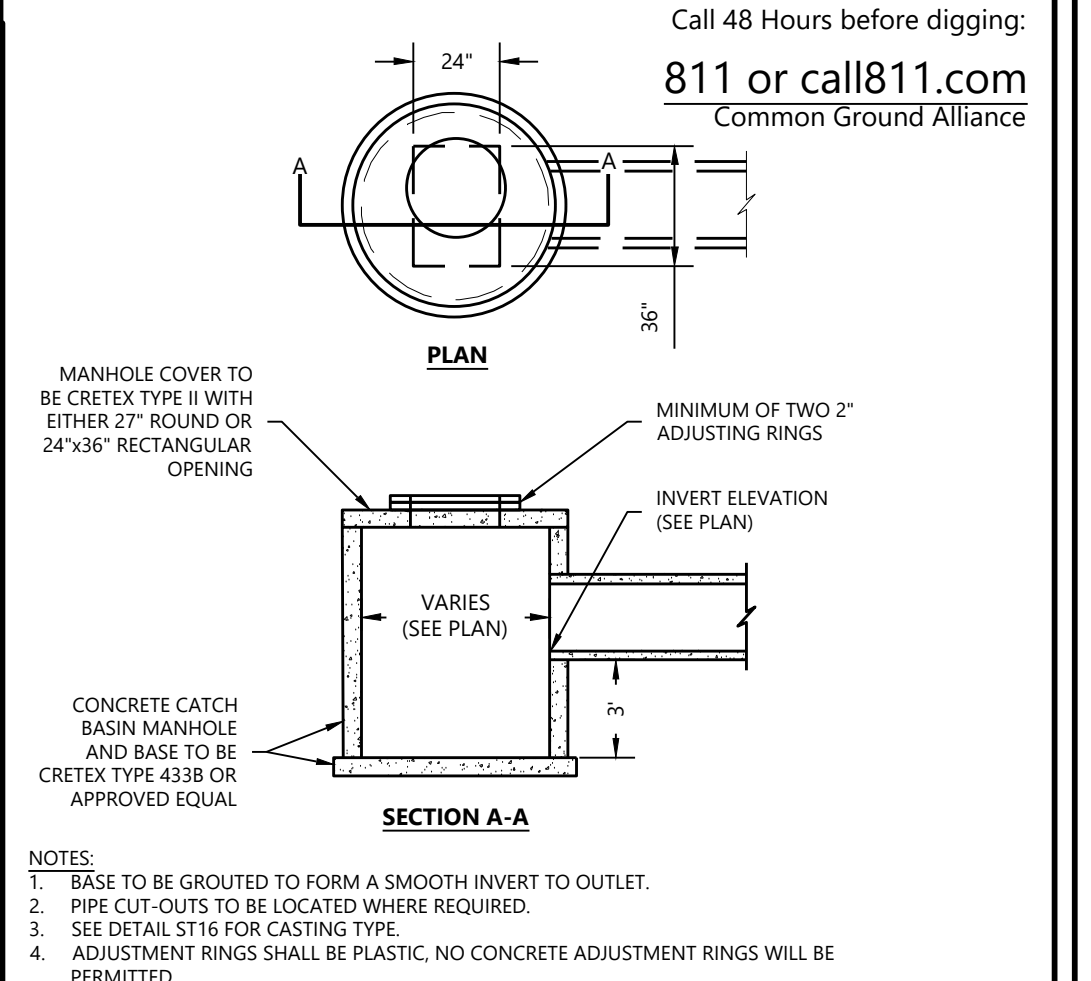
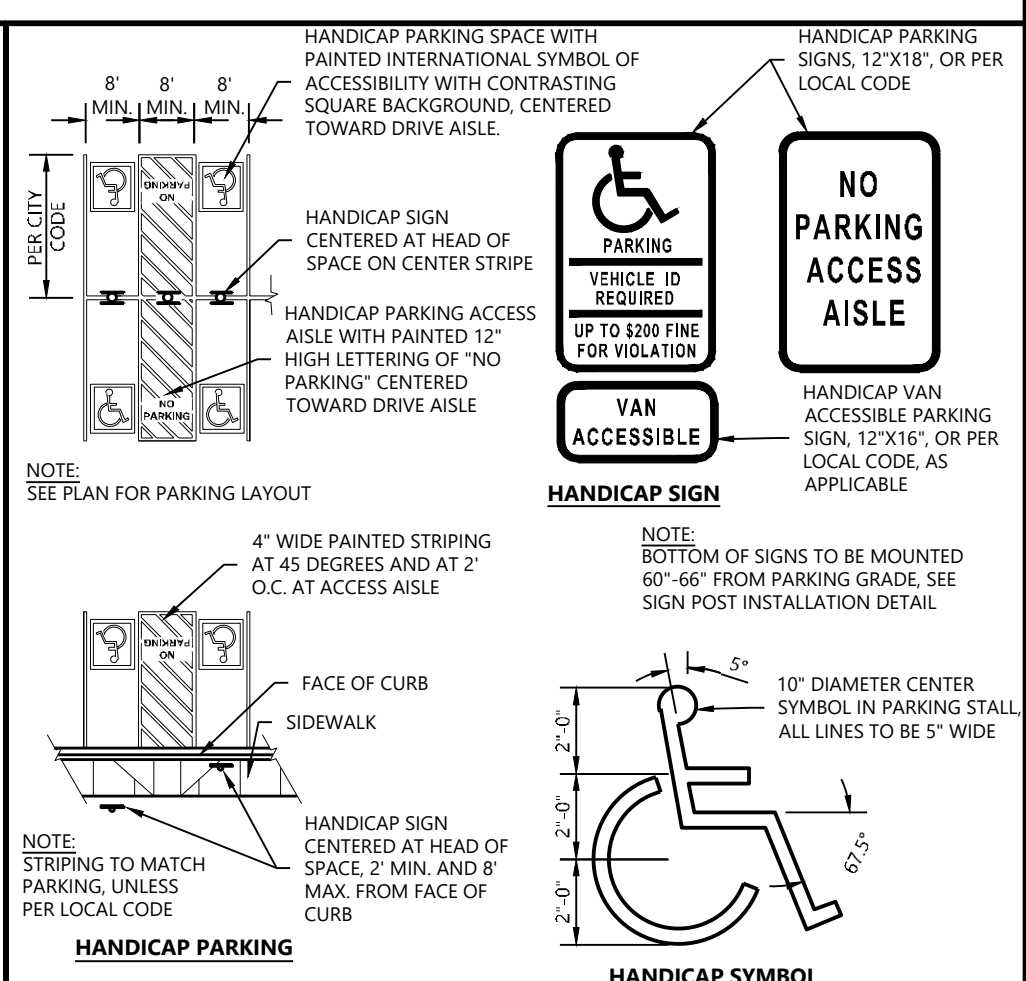
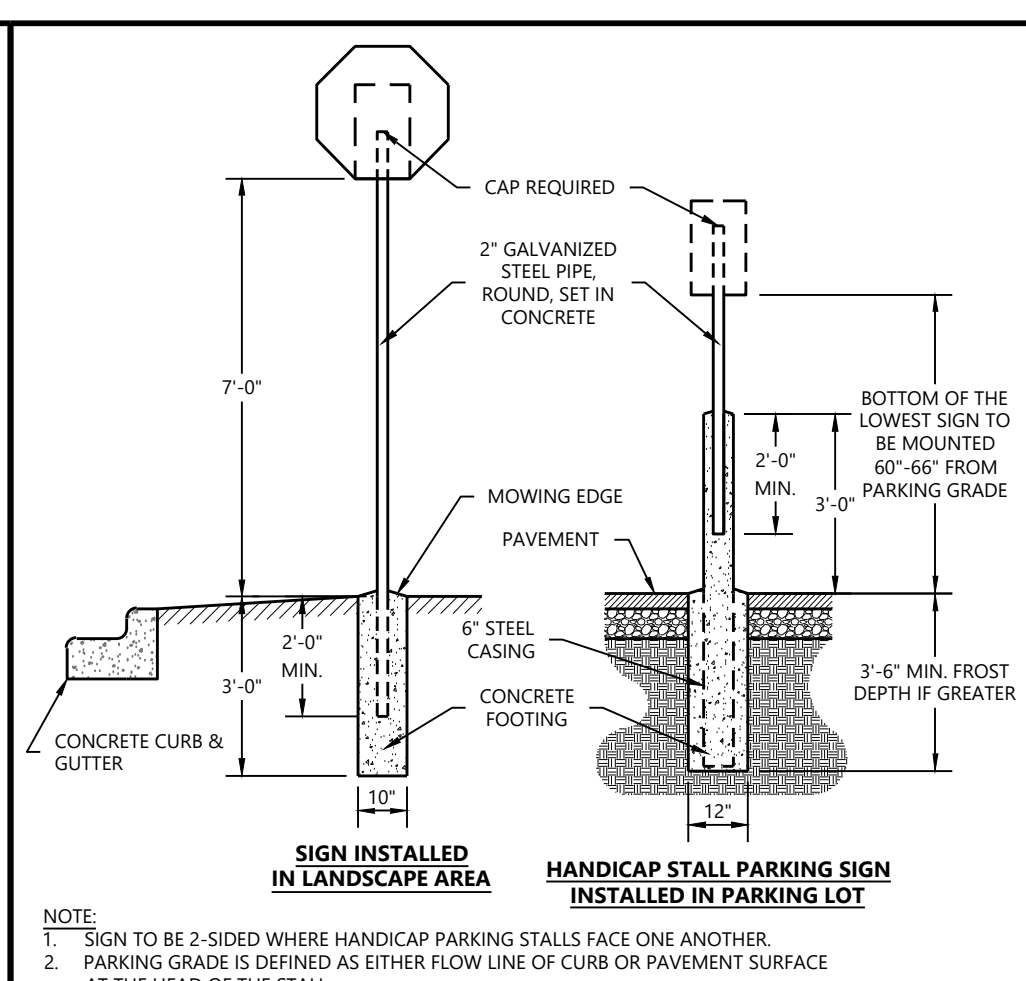
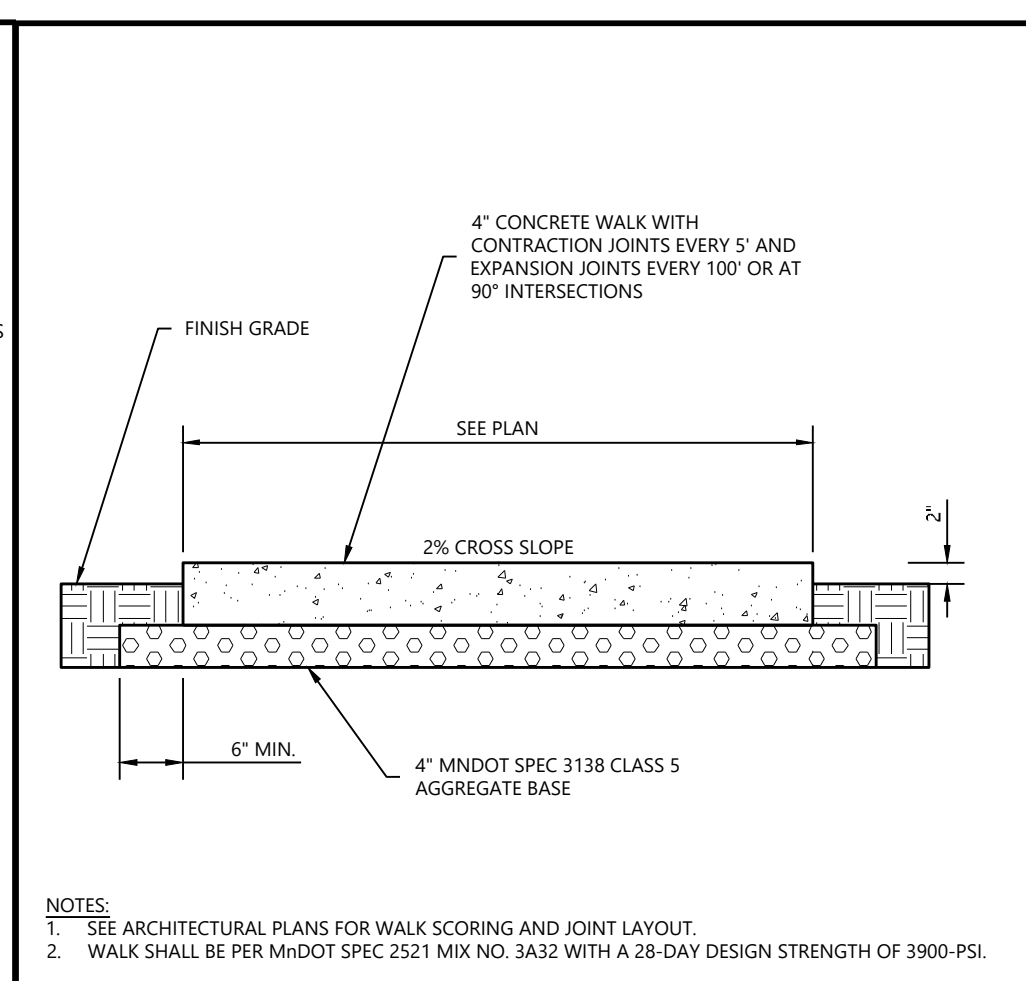
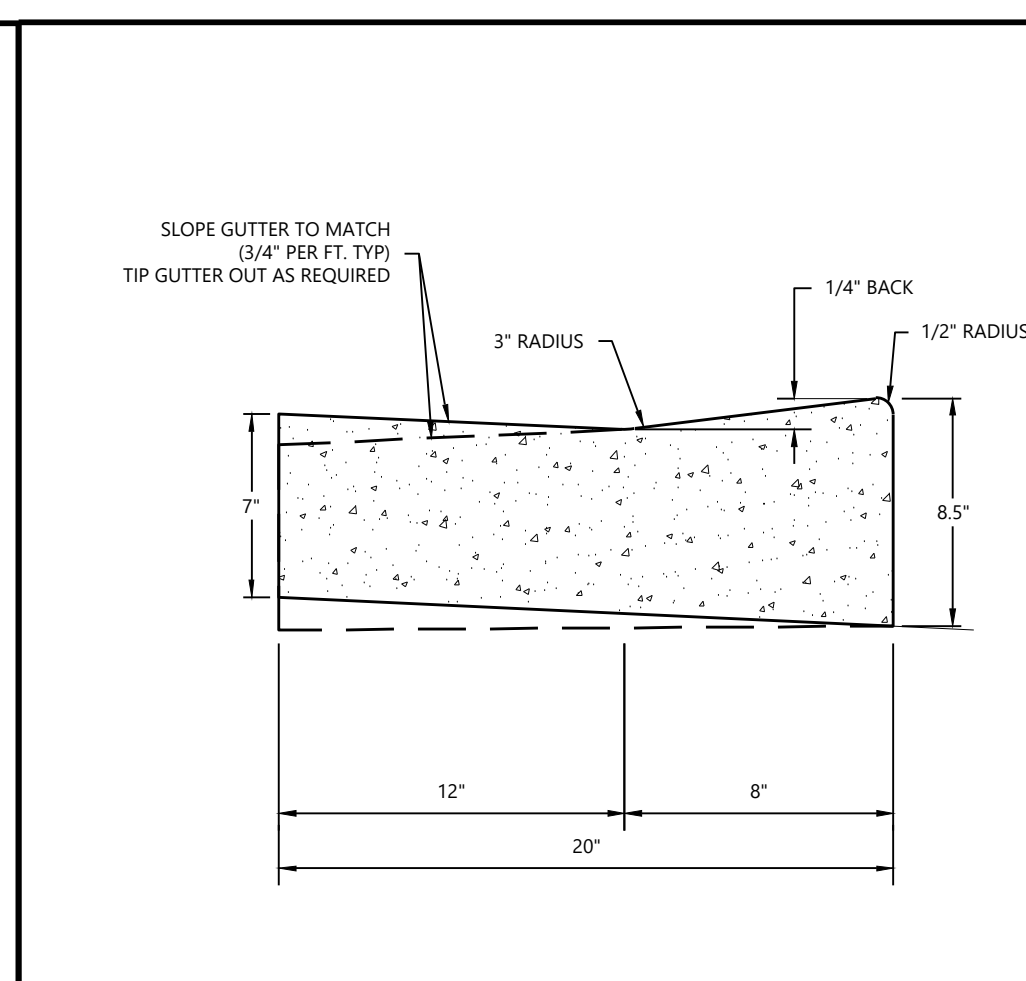
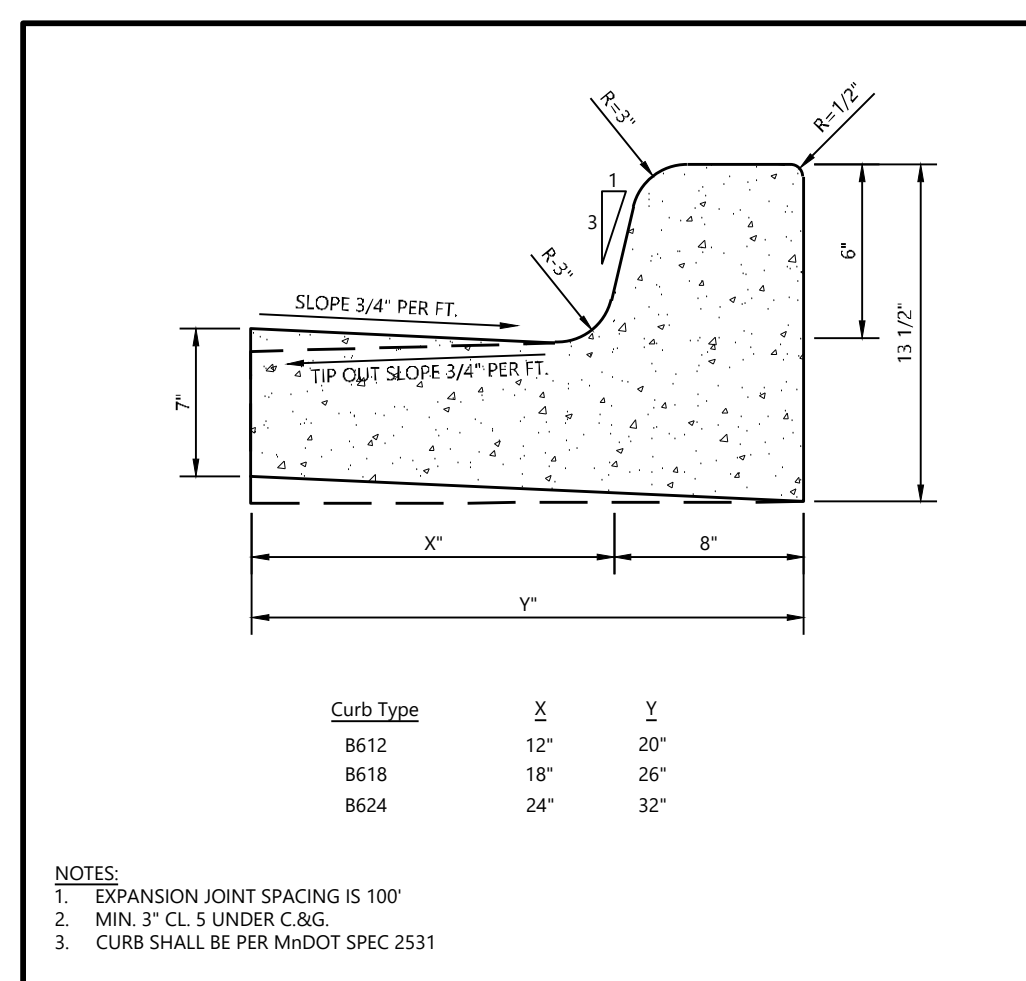
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SHEET NUMBER:
08 OF **16**

UTILITY PLAN

PROJECT NUMBER: 0032305.00 DATE: 01/18/24



Westwood B6 STYLE CURB AND GUTTER LAST REVISED 01/09/20

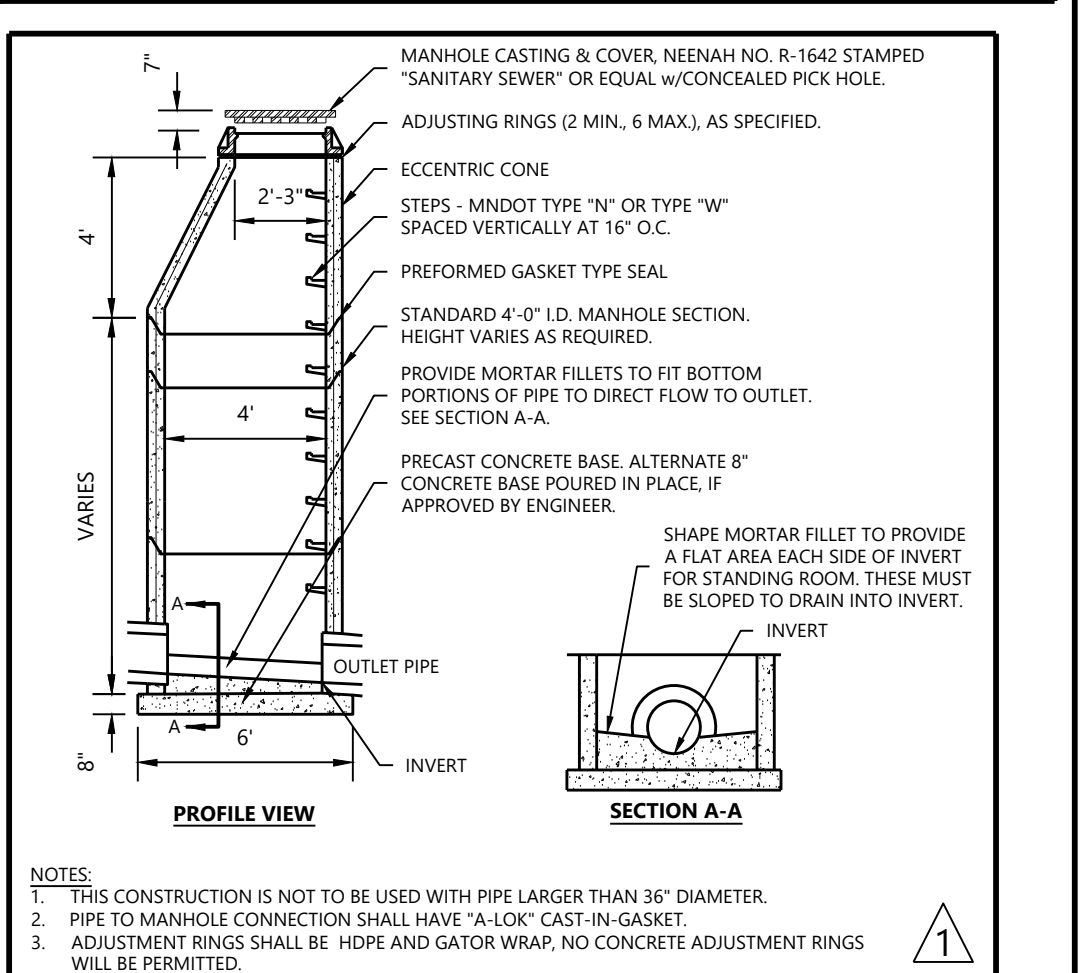
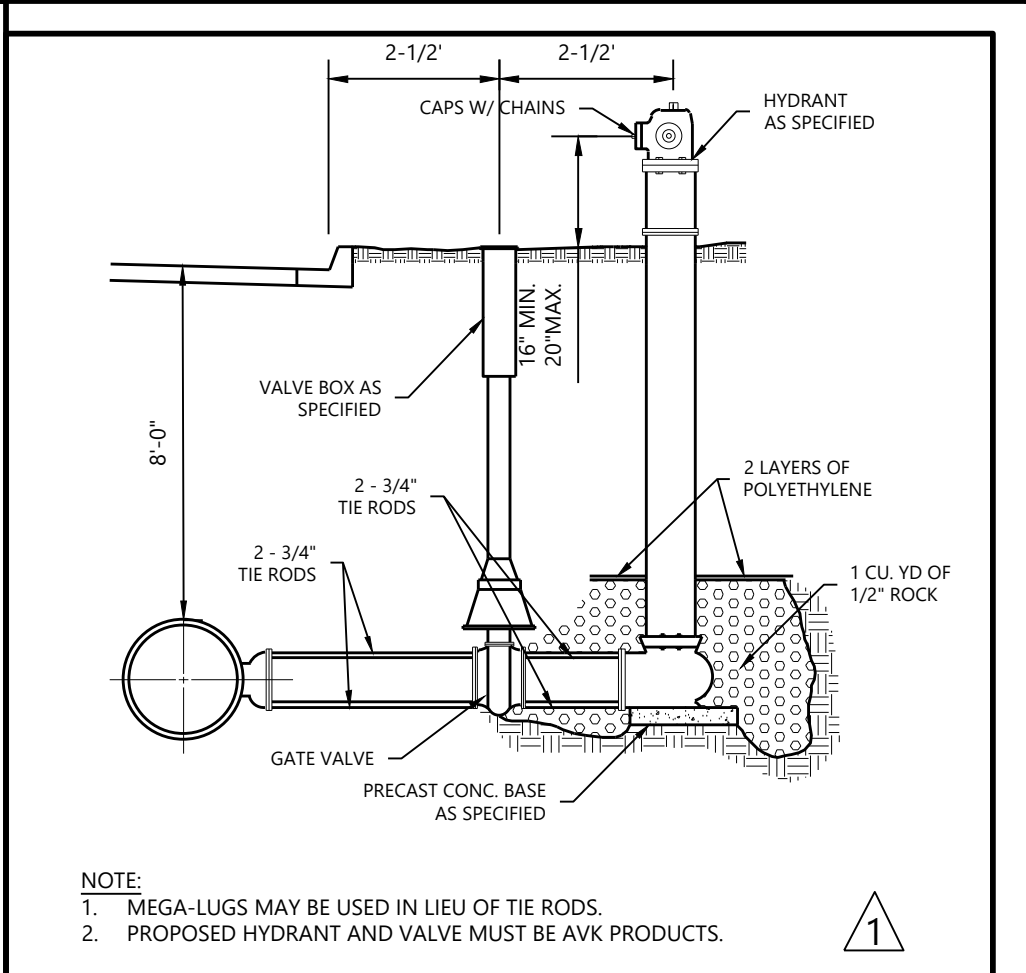
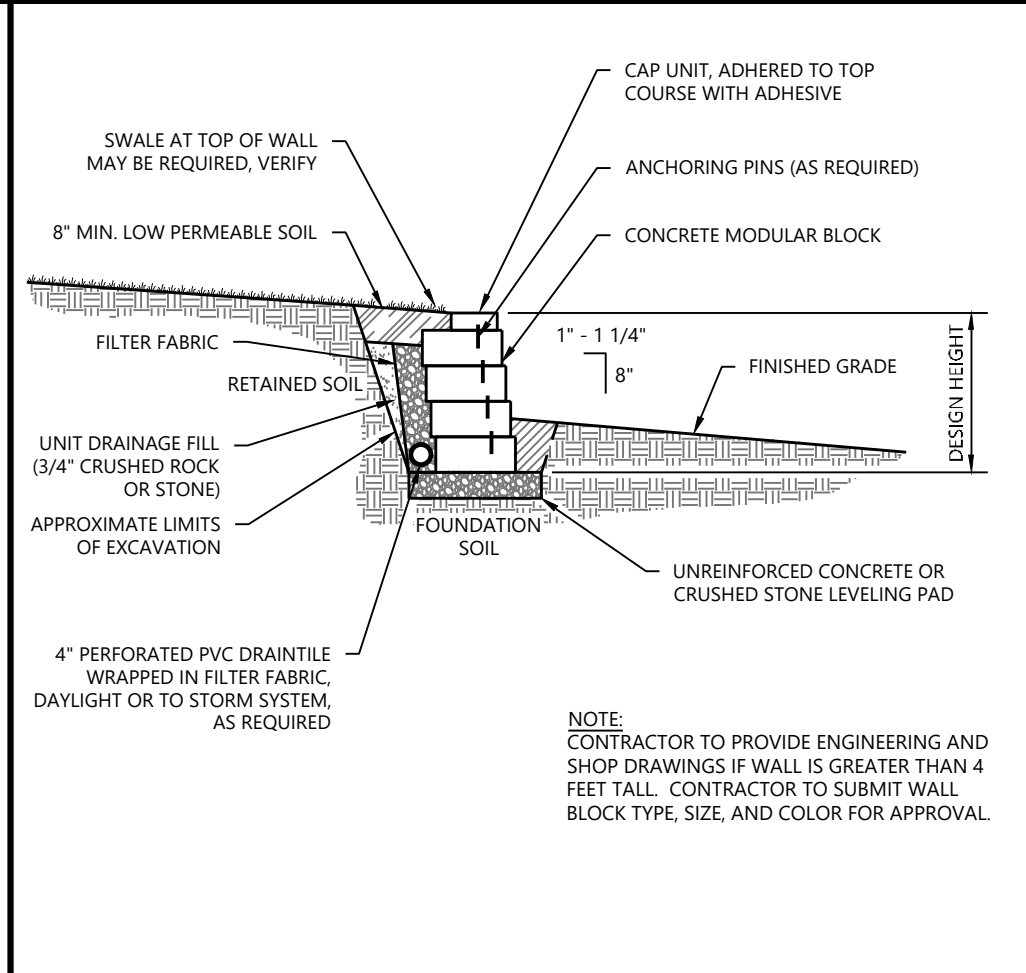
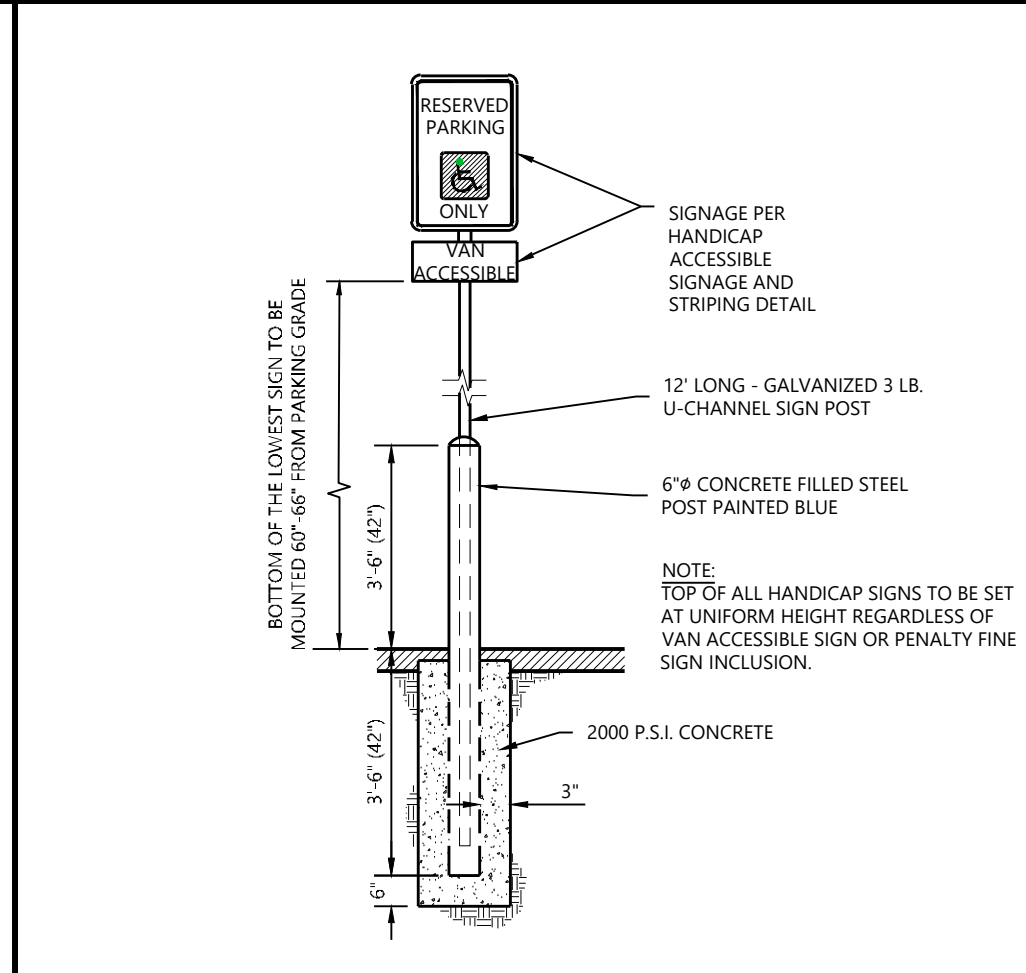
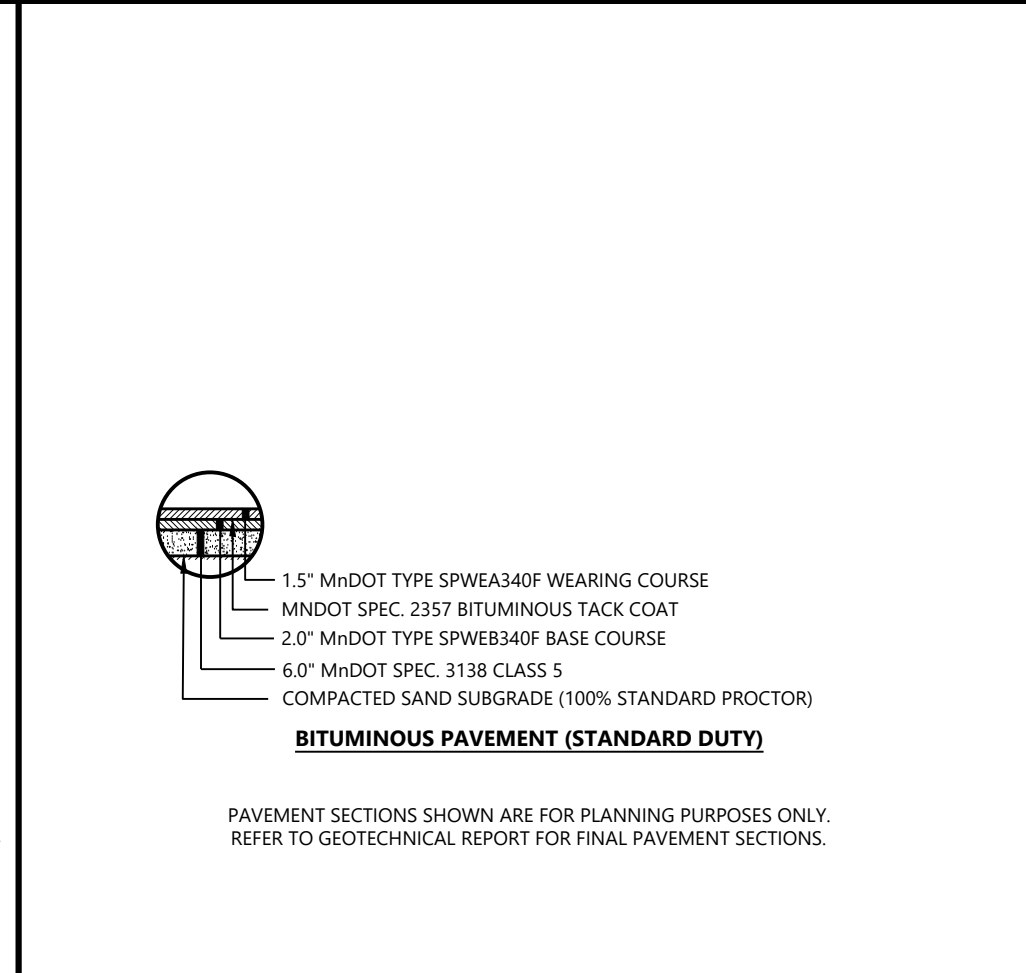
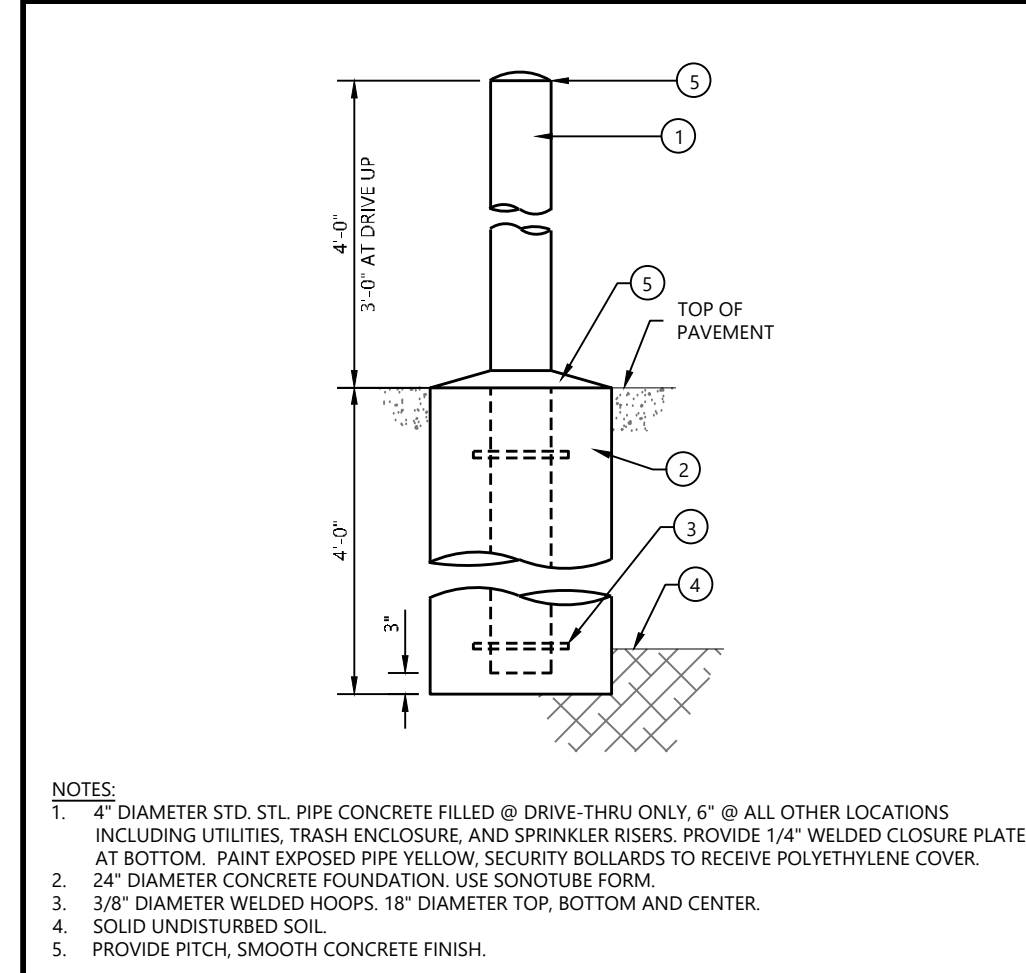
Westwood FLUSH CURB AND GUTTER LAST REVISED 11/29/18

Westwood PRIVATE CONCRETE SIDEWALK LAST REVISED 08/15/17

Westwood SIGN POST INSTALLATION LAST REVISED 08/15/17

Westwood HANDICAP ACCESSIBLE SIGNAGE AND STRIPING LAST REVISED 08/15/17

Westwood CATCH BASIN (SUMP) LAST REVISED 08/15/17



Westwood BOLLARD LAST REVISED 08/15/17

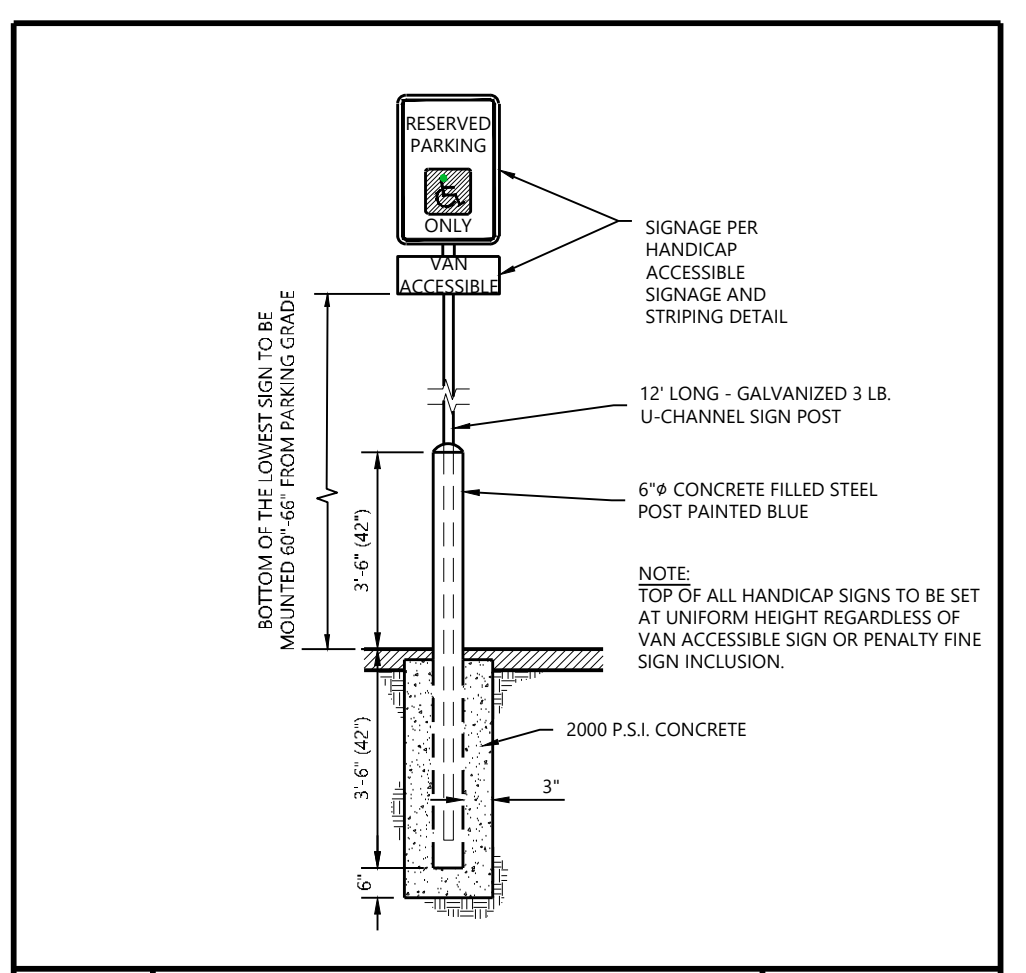
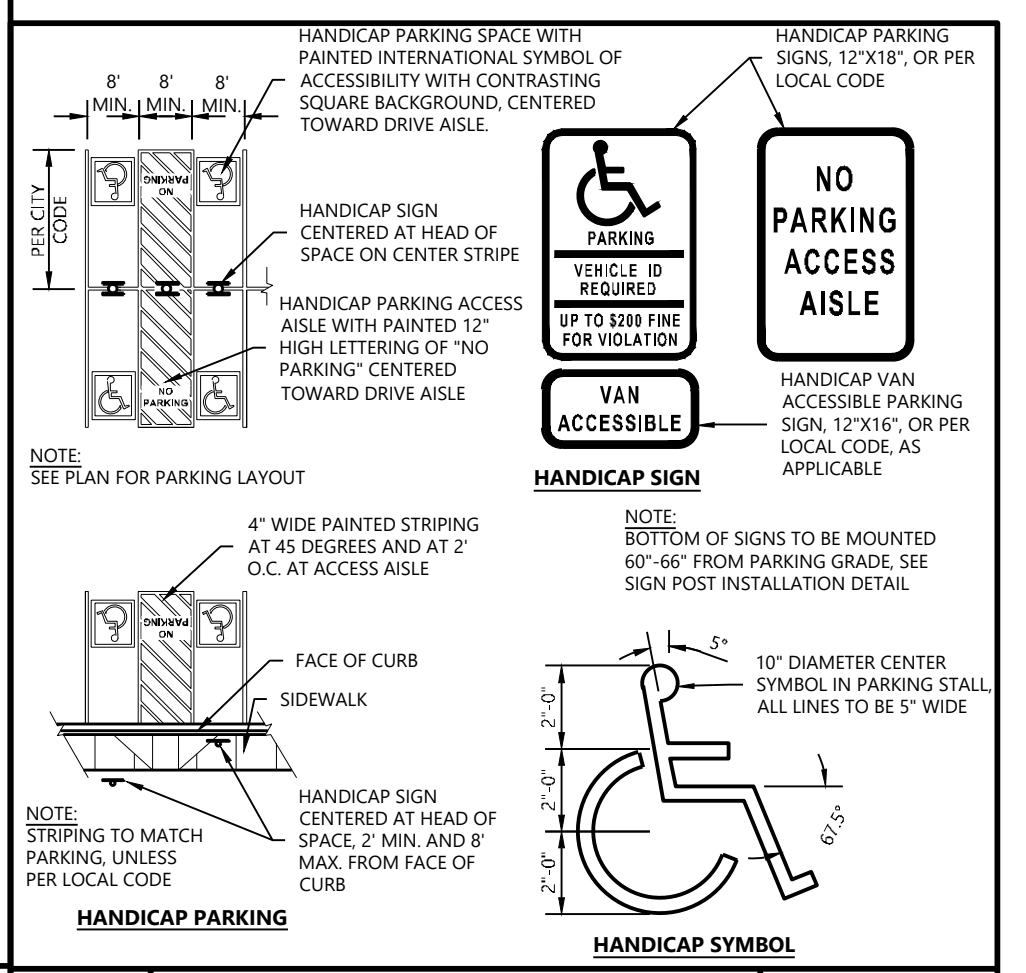
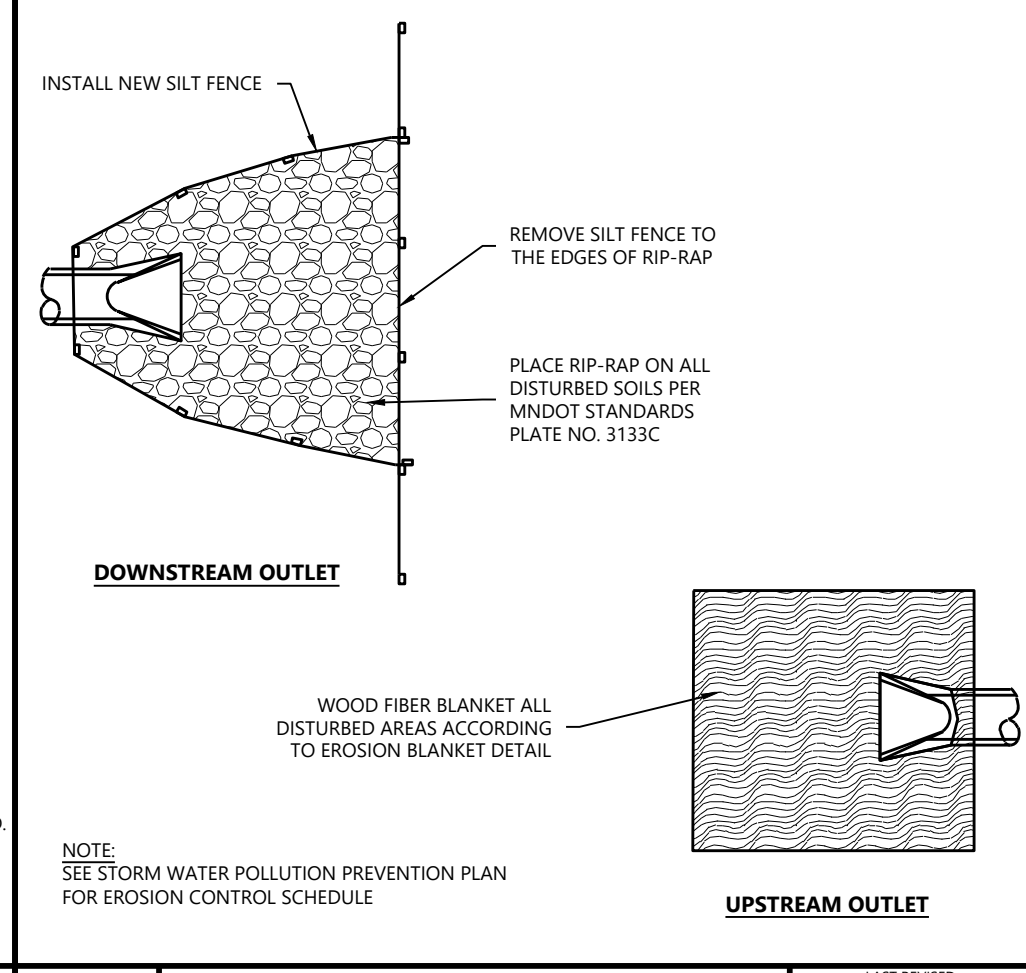
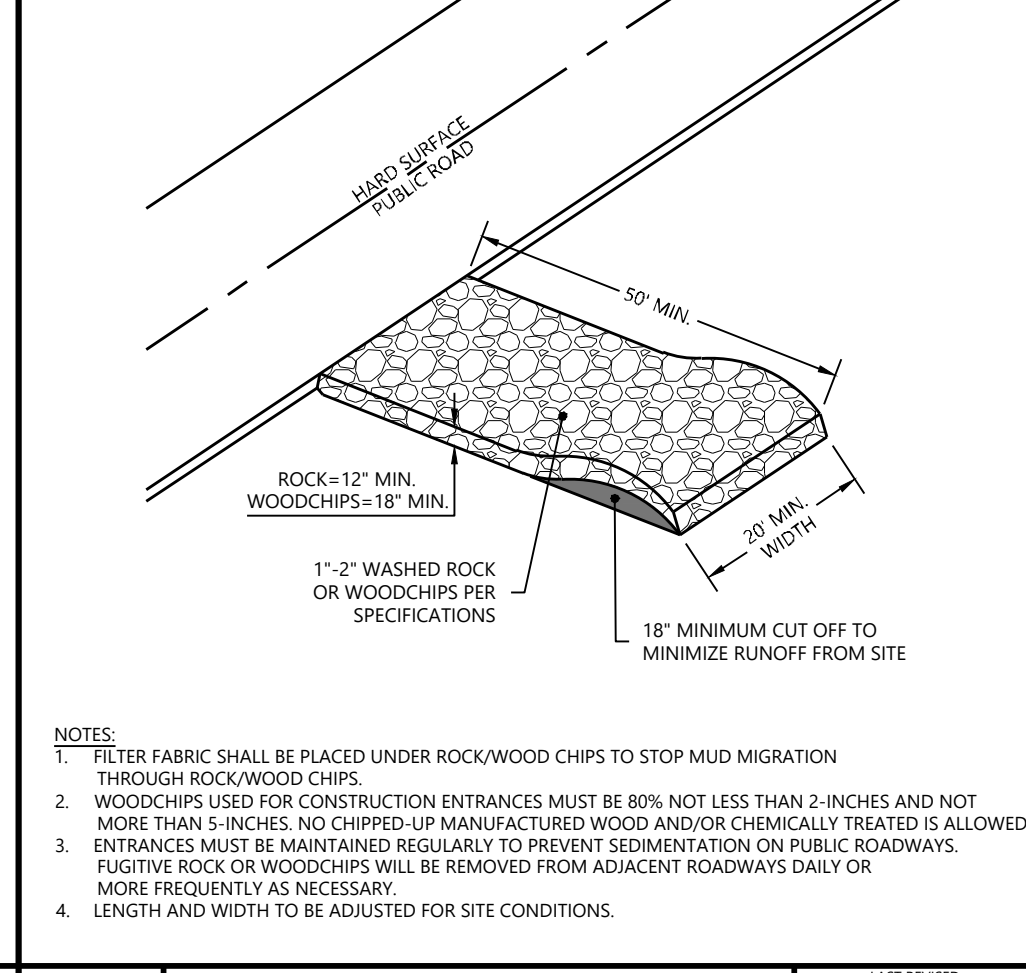
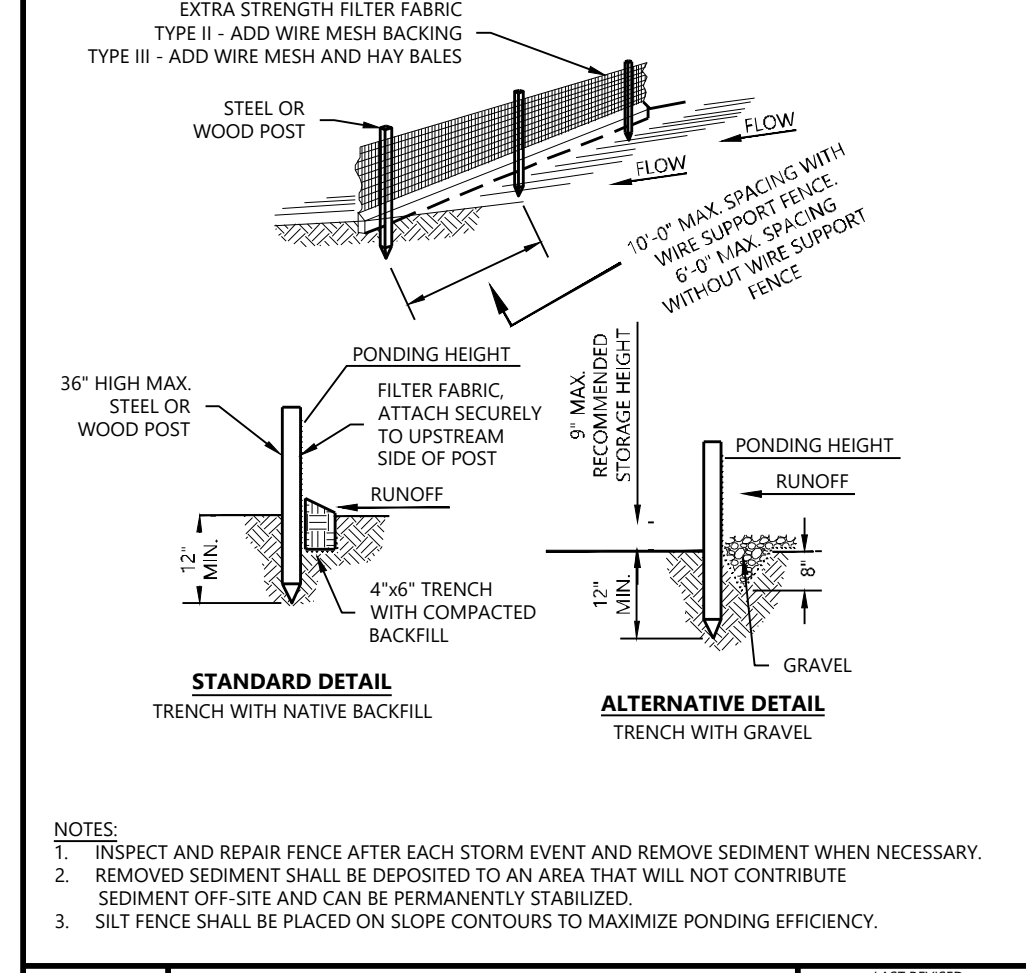
Westwood PAVEMENT SECTIONS LAST REVISED 08/15/17

Westwood SIGN POST WITH BOLLARD LAST REVISED 08/15/17

Westwood MODULAR BLOCK RETAINING WALL LAST REVISED 08/15/17

Westwood FIRE HYDRANT LAST REVISED 04/15/17

Westwood SANITARY MANHOLE PRECAST MANHOLE WITH ADJUSTABLE RINGS LAST REVISED 08/15/17



Westwood SILT FENCE LAST REVISED 08/15/17

Westwood CONSTRUCTION ENTRANCE LAST REVISED 08/15/17

Westwood EROSION CONTROL AT FLARED END SECTIONS LAST REVISED 08/15/17

Westwood HANDICAP ACCESSIBLE SIGNAGE AND STRIPING LAST REVISED 08/15/17

Westwood SIGN POST WITH BOLLARD LAST REVISED 08/15/17

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 VERTICAL SCALE: ## or ##

INITIAL ISSUE: 01/18/24
 REVISIONS:

PREPARED FOR:
LAKE WEST DEVELOPMENT, LLC
 14525 HIGHWAY 7, SUITE 265
 MINNETONKA, MN 55345

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

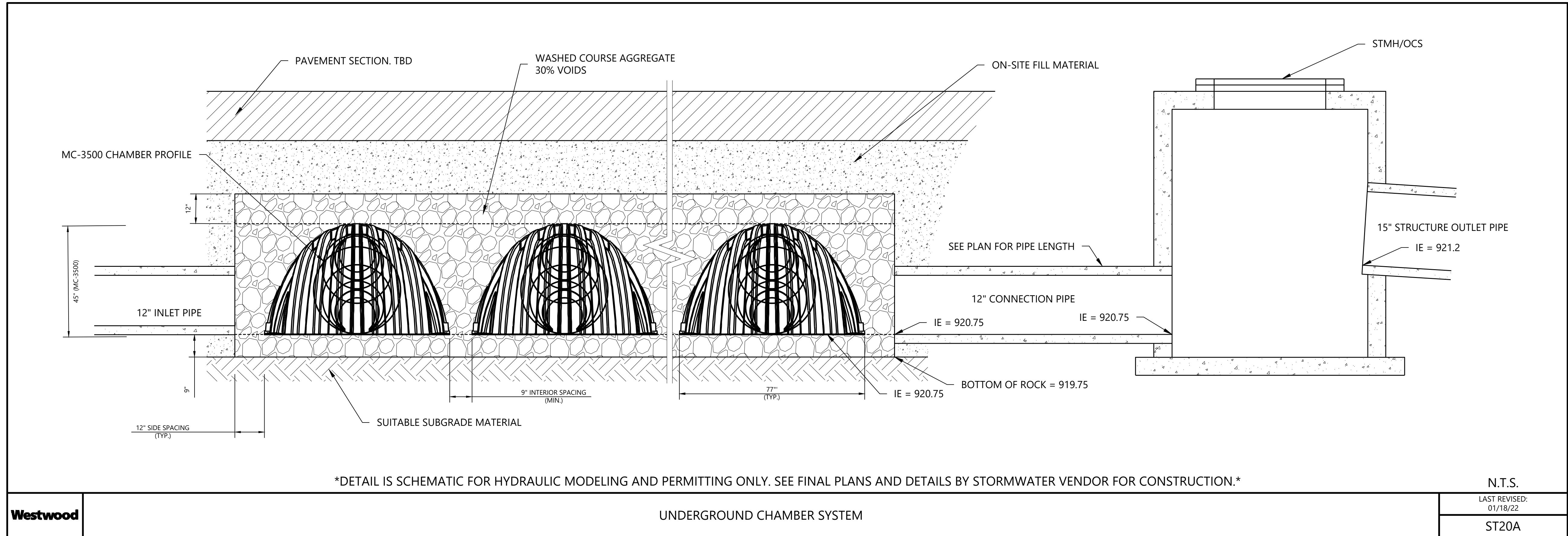
CHRISTIAN FROEMKE
 DATE: 01/18/24 LICENSE NO. 56208

MINNETONKA FLATS
 MINNETONKA, MN

Westwood
 Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
 Fax (952) 937-5822 Minnetonka, MN 55343
 Toll Free (888) 937-5150 westwoods.com
 Westwood Professional Services, Inc.

SHEET NUMBER: **09** OF **16**
 DETAILS
 PROJECT NUMBER: 0032305.00 DATE: 01/18/24

NOT FOR CONSTRUCTION



SEE SHOP DRAWINGS FOR UNDERGROUND STORAGE SYSTEM WITH INTEGRATED WATER REUSE IRRIGATION SYSTEM IN CISTERN. CONTRACTORS TO COORDINATE AND SUBMIT SHOP DRAWINGS FOR REVIEW. FINAL PLANS MAY REQUIRE ADJUSTMENTS BASED UPON FINAL DESIGNS.

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DETAILS
 PROJECT NUMBER: 0032305.00
 SHEET NUMBER:
 10 OF 16
 DATE: 01/18/24

TREE PRESERVATION REQUIREMENTS

BASIC TREE REMOVAL AREA: CONSISTS OF THE FOLLOWING -

- A) WITHIN THE AREAS IMPROVED FOR REASONABLY-SIZED DRIVEWAYS, PARKING AREAS AND STRUCTURES WITHOUT THE FROST FOOTINGS AND WITHIN TEN FEET AROUND THOSE IMPROVEMENTS;
- B) WITHIN THE FOOTPRINTS OF, AND 20 FEET AROUND, BUILDINGS WITH FROST FOOTINGS;
- C) WITHIN THE FOOTINGS OF, AND 10 FEET AROUND, STRUCTURES WITH POST FOOTINGS SUCH AS DECKS OR PORCHES, IF THE STRUCTURE IS LOCATED AT OR OUTSIDE OF THE AREA ALLOWED BY ITEM 1)b; AND
- D) IN AREAS WHERE TREES ARE BEING REMOVED FOR ECOLOGICAL RESTORATION IN ACCORDANCE WITH A CITY-APPROVED RESTORATION PLAN.

HIGH PRIORITY TREE: A TREE THAT IS NOT IN A WOODLAND PRESERVATION AREA BUT IS STILL IMPORTANT TO THE SITE AND THE NEIGHBORHOOD CHARACTER, THAT IS STRUCTURALLY SOUND AND HEALTHY, AND THAT MEETS AT LEAST ONE OF THE FOLLOWING STANDARDS:

- A) A DECIDUOUS TREE THAT IS AT LEAST 10 INCHES DBH,
- B) A CONIFEROUS TREE THAT IS AT LEAST 15 FEET IN HEIGHT, OR
- C) A TREE THAT IS IN A GROUP OF DECIDUOUS TREES THAT ARE AT LEAST 8 INCHES DBH OR CONIFEROUS TREES THAT ARE AT LEAST 15 FEET IN HEIGHT, THAT PROVIDE A BUFFER OR SCREENING ALONG AN ADJACENT PUBLIC STREET, AND THAT ARE WITHIN 50 FEET OF AN ARTERIAL ROAD AND 35 FEET OF A MINOR COLLECTOR, LOCAL, OR PRIVATE STREET AND A TRAIL. THIS DISTANCE WILL BE MEASURED FROM THE EDGE OF THE PAVEMENT OR CURB OF THE ROAD, STREET OR TRAIL.

SIGNIFICANT TREE: A TREE THAT IS STRUCTURALLY SOUND AND HEALTHY AND THAT IS EITHER A DECIDUOUS TREE AT LEAST 4 INCHES DBH OR A CONIFEROUS TREE AT LEAST 10 FEET IN HEIGHT.

ALLOWABLE TREE REMOVAL:

- A) FOR THE CONSTRUCTION / REDEVELOPMENT OF A SINGLE-FAMILY PROPERTY OR NON-SINGLE FAMILY PROPERTY:
HIGH PRIORITY TREES: 35% OF TREES ON SITE
SIGNIFICANT TREES: 50% OF TREES ON SITE

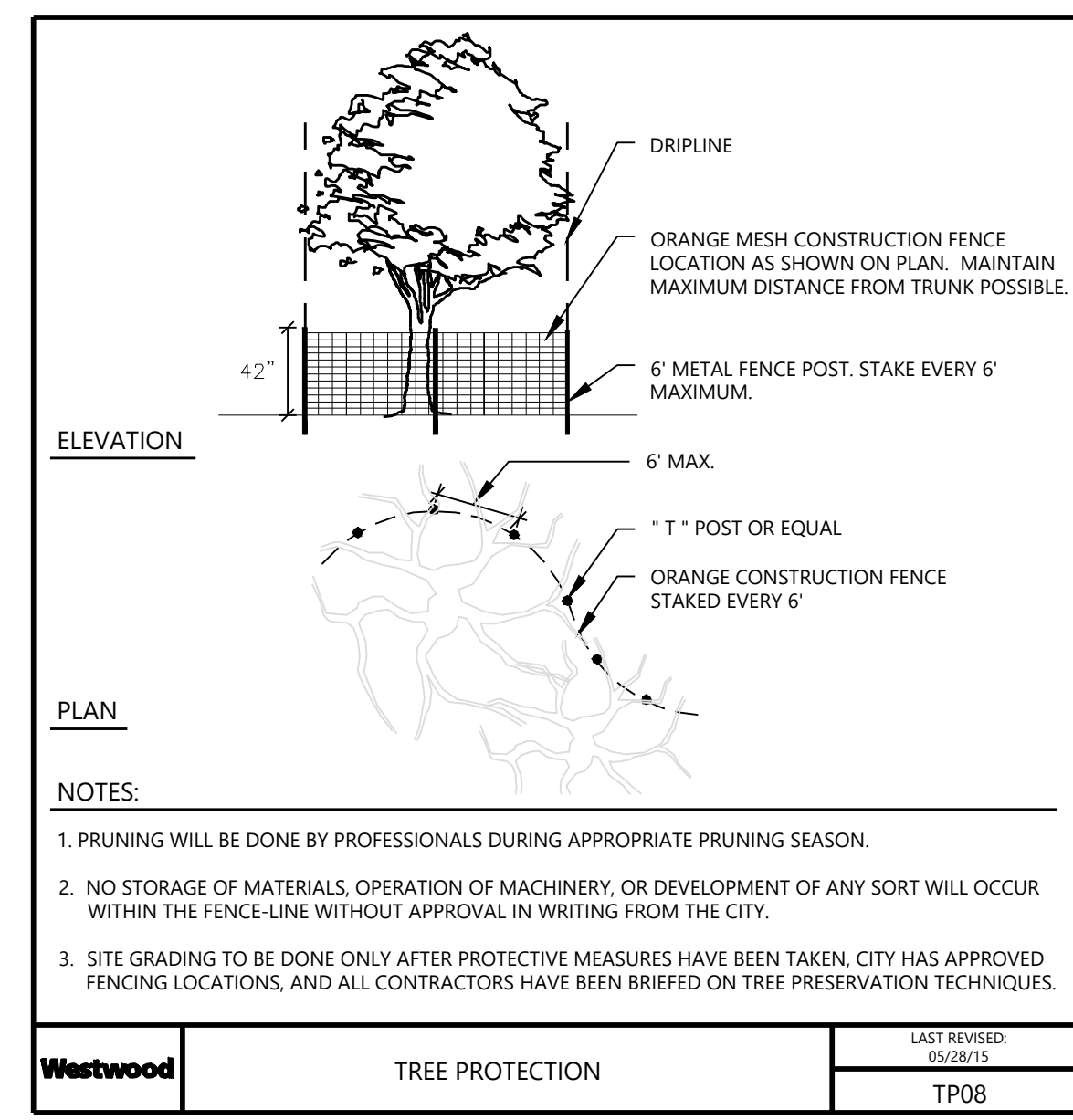
MITIGATION RATE:

- A) FOR WHEN TREE REMOVAL EXCEEDS THE ALLOWABLE TREE REMOVAL, HIGH PRIORITY TREES, SIGNIFICANT TREES, AND TREES WITHIN WOODLAND PRESERVATION REMOVED OUTSIDE OF: (1) THE BASIC TREE REMOVAL AREA; AND (2) THE WIDTH OF REQUIRED EASEMENTS FOR PUBLIC AND PRIVATE STREETS AND UTILITIES.

MITIGATION RATE:

- 1) A TREE OR LARGE SHRUB THAT IS IN A WOODLAND PRESERVATION AREA OR IS A HIGH PRIORITY TREE MUST BE REPLACED AT THE RATE OF ONE INCH FOR EACH INCH IN DIAMETER OF A DECIDUOUS TREE THAT WAS REMOVED AND AT THE RATE OF ONE FOOT FOR EACH FOOT IN HEIGHT OF A CONIFEROUS TREE THAT WAS REMOVED; AND
- 2) A SIGNIFICANT TREE MUST BE REPLACED WITH ONE TWO-INCH TREE.

TREE PROTECTION DETAIL

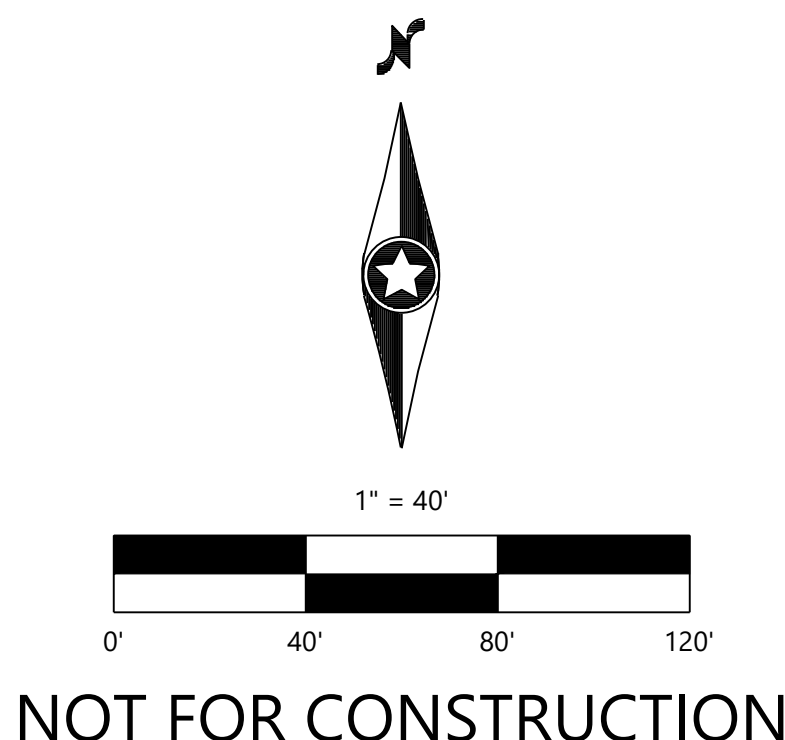


LEGEND

- EXISTING DECIDUOUS TREE TO REMAIN
- EXISTING DECIDUOUS TREE TO BE REMOVED
- EXISTING CONIFEROUS TREE TO REMAIN
- EXISTING CONIFEROUS TREE TO BE REMOVED
- TREE PROTECTION FENCE
- BASIC TREE REMOVAL AREA
- HIGH PRIORITY TREE - BUFFER SCREENING SETBACK

TREE PRESERVATION CALCULATIONS

TREE REPLACEMENT CALCULATIONS	
TOTAL INVENTORIED TREES ON SITE	285.0 TREES
TOTAL HEALTHY INVENTORIED TREES ON SITE	108.0 TREES
TOTAL HEALTHY SIGNIFICANT TREES ONSITE	28.0 TREES
TOTAL HEALTHY SIGNIFICANT TREES SAVED	22.0 TREES
TOTAL NON-EXEMPT HEALTHY SIGNIFICANT TREES REMOVED	6.0 TREES
ALLOWABLE TREE REMOVAL - 50%	14.0 TREES
EXCESS TREE REMOVAL	-8.0 TREES
TREE MITIGATION REQUIRED - SIGNIFICANT RATE: 2" / EXCESS TREE REMOVED TREES REMOVED OUTSIDE OF BTRA	0.0 TREES
TOTAL HEALTHY HIGH PRIORITY TREES ONSITE	80.0 TREES
TOTAL HEALTHY HIGH PRIORITY TREES SAVED	47.0 TREES
TOTAL NON-EXEMPT HEALTHY HIGH PRIORITY TREES REMOVED	33.0 TREES
ALLOWABLE TREE REMOVAL - 35%	28.0 TREES
EXCESS TREE REMOVAL	5.0 TREES
TREE MITIGATION REQUIRED - HIGH PRIORITY RATE: 1" / 1" EXCESS REMOVAL TREES REMOVED OUTSIDE OF BTRA	5.0 TREES
TOTAL TREE REPLACEMENT REQUIRED	28.4 TREES
REPLACEMENT TREES: 2.5 CAL. IN. (71" Cal./2.5" Cal. = 28.4)	



DESIGNED:
CHECKED:
DRAWN:
HORIZONTAL SCALE: 40'
VERTICAL SCALE: 8' OR 4'

INITIAL ISSUE: 01/18/24
REVISIONS:
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▲
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PREPARED FOR:
LAKE WEST DEVELOPMENT, LLC
14525 HIGHWAY 7, SUITE 265
MINNETONKA, MN 55345

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA
NICHOLAS T. MEYER
DATE: 01/18/24 LICENSE NO. 53774

MINNETONKA FLATS
MINNETONKA, MN

Westwood
Phone (952) 937-5150 12701 Whiteswater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoods.com
Westwood Professional Services, Inc.

TREE PRESERVATION PLAN

SHEET NUMBER:
11 OF 16
DATE: 01/18/24

PROJECT NUMBER: 0032305.00

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MINNETONKA FLATS

Table with columns: TREE TAG, SPECIES, SIZE (DBH), MULTI STEM, CONDITION, UNHEALTHY EXEMPT, TREE TYPE, SIGNIFICANT, HIGH PRIORITY, BASIC TREE REMOVAL AREA, STATUS. Contains 500 rows of tree data.

Table with columns: TREE TAG, SPECIES, SIZE (DBH), MULTI STEM, CONDITION, UNHEALTHY EXEMPT, TREE TYPE, SIGNIFICANT, HIGH PRIORITY, BASIC TREE REMOVAL AREA, STATUS. Contains 500 rows of tree data.

Table with columns: TREE TAG, SPECIES, SIZE (DBH), MULTI STEM, CONDITION, UNHEALTHY EXEMPT, TREE TYPE, SIGNIFICANT, HIGH PRIORITY, BASIC TREE REMOVAL AREA, STATUS. Contains 500 rows of tree data.

NOTES: * Tree Survey performed Spring 2021 based on City Code. **Suggested removal for existing tree and site conditions. Subject to change upon proposed site alterations. MINNETONKA CITY CODE: High Priority Trees: Deciduous Trees > 10" DBH, Coniferous Trees 15' height, etc.

Call 48 Hours before digging: 811 or call 811.com Common Ground Alliance

DESIGNED: [] CHECKED: [] DRAWN: [] HORIZONTAL SCALE: [] VERTICAL SCALE: [] INITIAL ISSUE: 01/18/24 REVISIONS: []

PREPARED FOR: LAKE WEST DEVELOPMENT, LLC 14525 HIGHWAY 7, SUITE 265 MINNETONKA, MN 55345

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA. NICHOLAS T. MEYER DATE: 01/18/24 LICENSE NO. 53774 MINNETONKA, MN

Westwood logo and contact information: Phone (952) 937-5150, Fax (952) 937-5822, Toll Free (888) 937-5150, westwoods.com

SHEET NUMBER: 12 OF 16 TREE PRESERVATION DATA PROJECT NUMBER: 0032305.00 DATE: 01/18/24

NOT FOR CONSTRUCTION

PRELIMINARY PLANT SCHEDULE

	COMMON / BOTANICAL NAME	SIZE	ROOT	SPACING O.C.	MATURE SIZE	
DECIDUOUS TREES - 40						
DECIDUOUS TREES	ACCOLADE™ ELM / ULMUS X 'MORTON'	2.5" CAL	B&B	AS SHOWN	H 70' W 40'-50'	
	BOULEVARD AMERICAN LINDEN / TILIA AMERICANA 'BOULEVARD'	2.5" CAL	B&B	AS SHOWN	H 50'-60' W 25'-30'	
	BURR OAK / QUERCUS MACROCARPA	2.5" CAL	B&B	AS SHOWN	H 60'-80' W 60'-80'	
	EXCLAMATION SYCAMORE / PLATANUS X ACERIFLORA 'MORTON CIRCLE'	2.5" CAL	B&B	AS SHOWN	H 50' W 40'	
	FALL FIESTA® SUGAR MAPLE / ACER SACCHARUM 'BALISTA'	2.5" CAL	B&B	AS SHOWN	H 60'-75' W 50'	
DECIDUOUS TREES (TREE MITIGATION)	HACKBERRY / CELTIS OCCIDENTALIS	2.5" CAL	B&B	AS SHOWN	H 40'-60' W 40'	
	RIVER BIRCH / BETULA NIGRA	6' HT., CLUMP	B&B	AS SHOWN	H 40'-60' W 30'-40'	
	SIENNA GLEN® MAPLE / ACER X FREEMANII 'SIENNA'	2.5" CAL	B&B	AS SHOWN	H 50'-60' W 40'	
	WHITE OAK / QUERCUS ALBA	2.5" CAL	B&B	AS SHOWN	H 60'-80' W 60'-80'	
	EVERGREEN TREES - 60					
EVERGREEN TREES	BLACK HILLS SPRUCE / PICEA GLAUCA DENSATA	6' HT.	B&B	AS SHOWN	H 30'-40' W 20'-30'	
	BLUE TOTEM COLORADO SPRUCE / PICEA PUNGENS 'BLUE TOTEM'	6' HT.	B&B	AS SHOWN	H 15'-18' W 3'-4'	
	CONCOLOR FIR / ABIES CONCOLOR	6' HT.	B&B	AS SHOWN	H 30'-50' W 25'-30'	
	NORWAY PINE / PINUS RESINOSA	6' HT.	B&B	AS SHOWN	H 50'-80' W 30'-40'	
	NORWAY SPRUCE / PICEA ABIES	6' HT.	B&B	AS SHOWN	H 60'-80' W 25'-30'	
EVERGREEN TREES (TREE MITIGATION)	PONDEROSA PINE / PINUS PONDEROSA	6' HT.	B&B	AS SHOWN	H 60'-80' W 25'-30'	
	WHITE PINE / PINUS STROBUS	6' HT.	B&B	AS SHOWN	H 50'-80' W 30'-40'	
	ORNAMENTAL TREES - 55					
	ORNAMENTAL TREES	AUTUMN BRILLIANCE APPLE SERVICEBERRY / AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	6' HT., CLUMP	B&B	AS SHOWN	H 15'-20' W 15'-20'
		PARKLAND PILLAR® ASIAN WHITE BIRCH / BETULA PLATYPHYLLA 'JEFFPARK'	1.5" CAL	B&B	AS SHOWN	H 40' W 6'-7'
PRAIRIE GOLD® QUAKING ASPEN / POPULUS TREMULOIDES 'NE ARB'		1.5" CAL	B&B	AS SHOWN	H 30' W 15'	
PRAIRIFIRE CRABAPPLE / MALUS X 'PRAIRIFIRE'		1.5" CAL	B&B	AS SHOWN	H 15'-20' W 20'	
QUAKING ASPEN / POPULUS TREMULOIDES		1.5" CAL	B&B	AS SHOWN	H 40'-60' W 20'-30'	
THORNLESS COCKSPUR HAWTHORN / CRATAEGUS CRUS-GALLI INERMIS		6' HT., CLUMP	B&B	AS SHOWN	H 15'-20' W 15'-20'	
NORTHERN STRAIN REDBUD / CERCIS CANADENSIS 'NORTHERN STRAIN'		1.5" CAL	B&B	AS SHOWN	H 25' W 30'	
AMERICAN HOPHORNBEAM / OSTRYA VIRGINIANA		1.5" CAL	B&B	AS SHOWN	H 25'-40' W 20'-30'	
PAGODA DOGWOOD / CORNUS ALTERNIFOLIA		1.5" CAL	B&B	AS SHOWN	H 15'-20' W 20'-32'	
ABBREVIATIONS: B&B = BALLED AND BURLAPPED CAL. = CALIPER HT. = HEIGHT MIN. = MINIMUM O.C. = ON CENTER SP. = SPREAD QTY. = QUANTITY CONT. = CONTAINER NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.						

MULTI FAMILY LANDSCAPE REQUIREMENTS

LANDSCAPING REQUIRED:	
* MINIMUM LANDSCAPE VALUE:	
* BELOW \$1,000,000 = 2%	* \$1,000,001-\$2,000,000 = \$20,000 + 1% OF PROJECT VALUE IN EXCESS OF \$1,000,000
* \$2,000,001-\$3,000,000 = \$30,000 + 0.75% OF PROJECT VALUE IN EXCESS OF \$2,000,000	* \$3,000,001-\$4,000,000 = \$37,500 + 0.25% OF PROJECT VALUE IN EXCESS OF \$3,000,000
* OVER \$4,000,000 = 1%	
* AT LEAST 25% OF PROPOSED NEW PLANTINGS MUST BE SPECIES BENEFICIAL TO POLLINATORS DERIVED FROM THE CITY'S NATIVE OR NATIVE CULTIVAR PLANT LIST, UNLESS APPROVED BY THE CITY. THE CITY MAY ALLOW CREDIT FOR EXISTING, NATIVE AND/OR SIGNIFICANT PLANT MATERIALS BENEFICIAL TO POLLINATORS THAT ARE PRESERVED AS PART OF THE LANDSCAPE PLAN.	
* PARKING LOT REQUIREMENTS: 1 TREE	
* PARKING LOT LANDSCAPE TREES SHALL BE PROVIDED AT THE RATE OF ONE TREE FOR EACH 15 SURFACE PARKING SPACES PROVIDED, OR MAJOR FRACTION THEREOF.	
* TREE REPLACEMENT REQUIREMENTS: 29 TREES	
(SEE CALCULATIONS ON TREE PRESERVATION TABLE SHEET)	


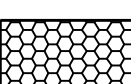


LANDSCAPE PROVISIONS

TOTAL LANDSCAPING PROVIDED:	155 TREES
* DECIDUOUS TREES	18 TREES
* EVERGREEN TREES	53 TREES
* ORNAMENTAL TREES	55 TREES
* TREE MITIGATION - DECIDUOUS TREES	22 TREES
* TREE MITIGATION - EVERGREEN TREES	7 TREES



GENERAL NOTES

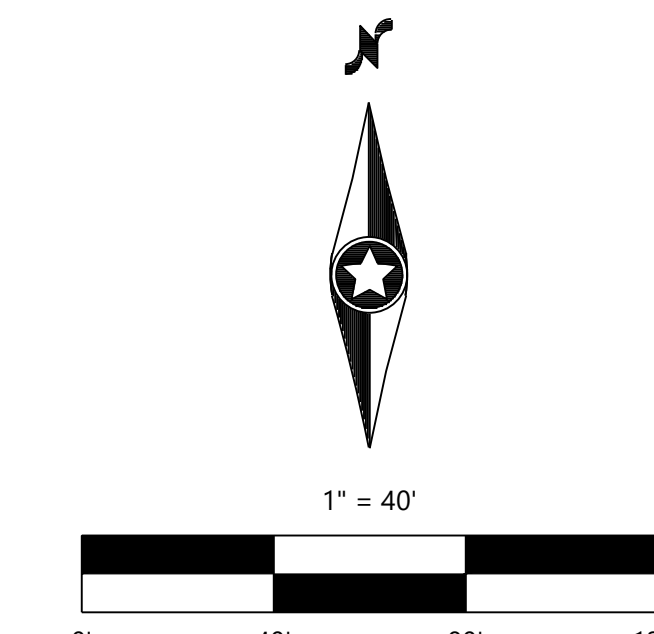
- TREE LOCATIONS AND SPACING ARE SUBJECT TO CHANGE BASED ON CONSTRUCTED PARKING LOT, SIDEWALK, AND UTILITY LOCATIONS.
- PARKING LOT TREES SHALL BE PLANTED 5' FROM BACK OF CURB IN A LOCATION THAT DOES NOT INTERFERE WITH CURBSTOPS OR INDIVIDUAL SEWER & WATER CONNECTIONS.
- STREET TREES SHALL BE PLANTED 7' FROM BACK OF SIDEWALK IN A LOCATION THAT DOES NOT INTERFERE WITH INDIVIDUAL SEWER, WATER CONNECTIONS, AND EASEMENTS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- DECIDUOUS TREES SHOULD BE LOCATED A MINIMUM OF 5' OFF ANY UTILITY PIPE AND CONIFEROUS TREES SHOULD BE LOCATED A MINIMUM OF 15' OFF ANY UTILITY PIPE.
- NO TREE SHOULD BE LOCATED WITHIN 10' OF A HYDRANT OR 15' FROM A STREETLIGHT.
- NO DECIDUOUS TREE WITHIN 5' OF A SIDEWALK OR TRAIL AND NO CONIFEROUS TREES WITHIN 20' OF A PROPOSED SIDEWALK OR TRAIL.
- ALL LANDSCAPED AREAS SHALL BE IRRIGATED WITH A DRIP LINE OR SPRAY SYSTEM AS APPROPRIATE FOR THE PROPOSED PLANTINGS IN THE SPECIFIC AREA. LANDSCAPED BOULEVARD ALONG BROADWAY AVENUE TO BE INCLUDED IN THE IRRIGATION SYSTEM.
- MECHANICALS TO BE SCREENED WITH ADEQUATE VEGETATION.

GROUNDCOVER SCHEDULE

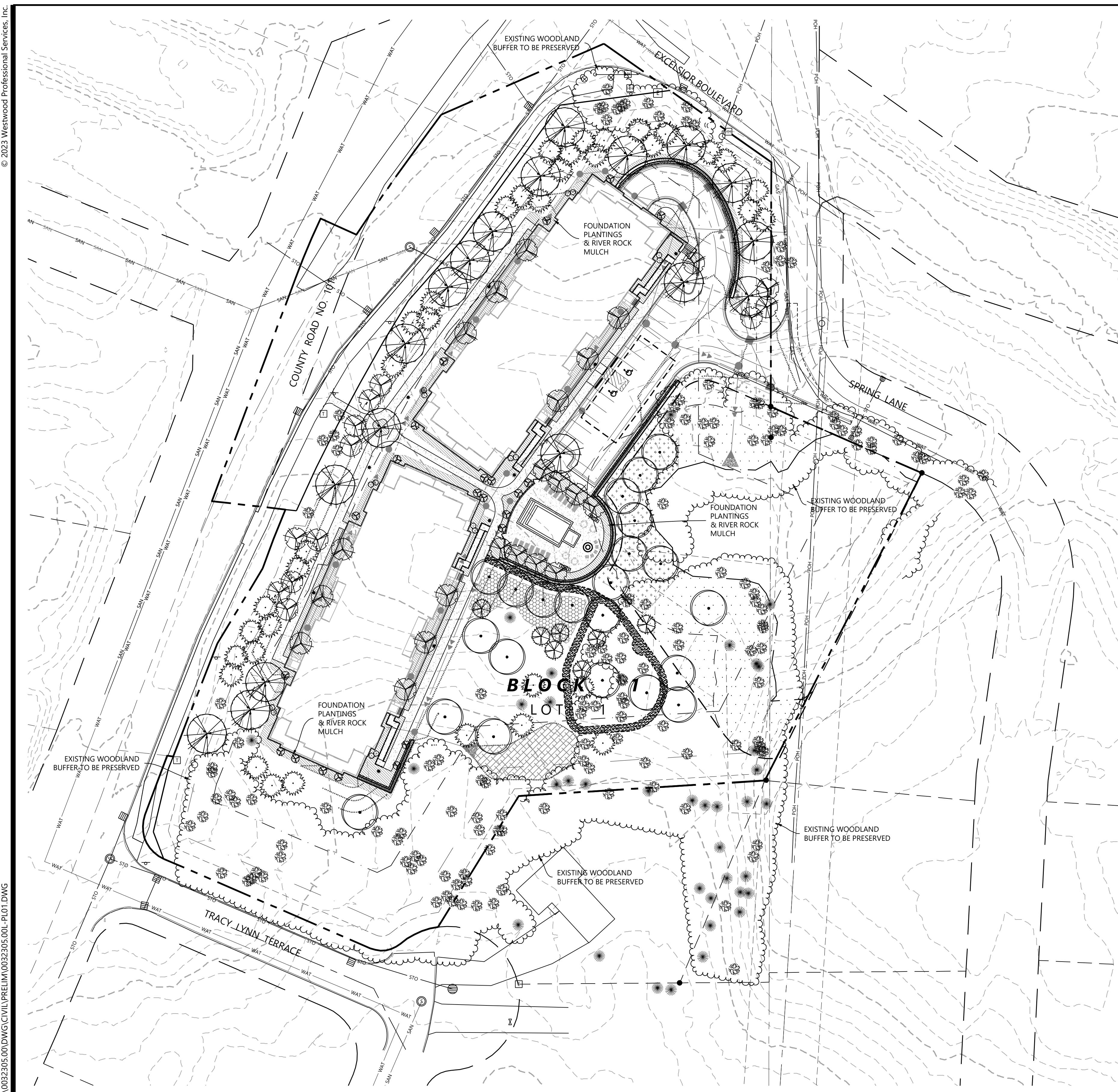
	3"-6" RIVER ROCK MULCH (ALL PLANTING BEDS)
	MESIC PRAIRIE GENERAL SEED MIX (35-241) TOTAL AREA (0.04 AC)
	DENOTES STORMWATER NATIVE SEED MIX (33-261) TOTAL AREA (0.04 AC)
	DENOTES WET MEADOWS & W SEED MIX (34-271) TOTAL AREA (0.12 AC)
* ALL DISTURBED AREAS TO BE SODDED UNLESS NOTED OTHERWISE.	

LEGEND

-  EXISTING DECIDUOUS TREE TO REMAIN
-  EXISTING CONIFEROUS TREE TO REMAIN



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DESIGNED:	01/18/24
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	3/8" = 1'-0"
VERTICAL SCALE:	8" = 4'

PREPARED FOR:
LAKE WEST DEVELOPMENT, LLC
14525 HIGHWAY 7, SUITE 265
MINNETONKA, MN 55345

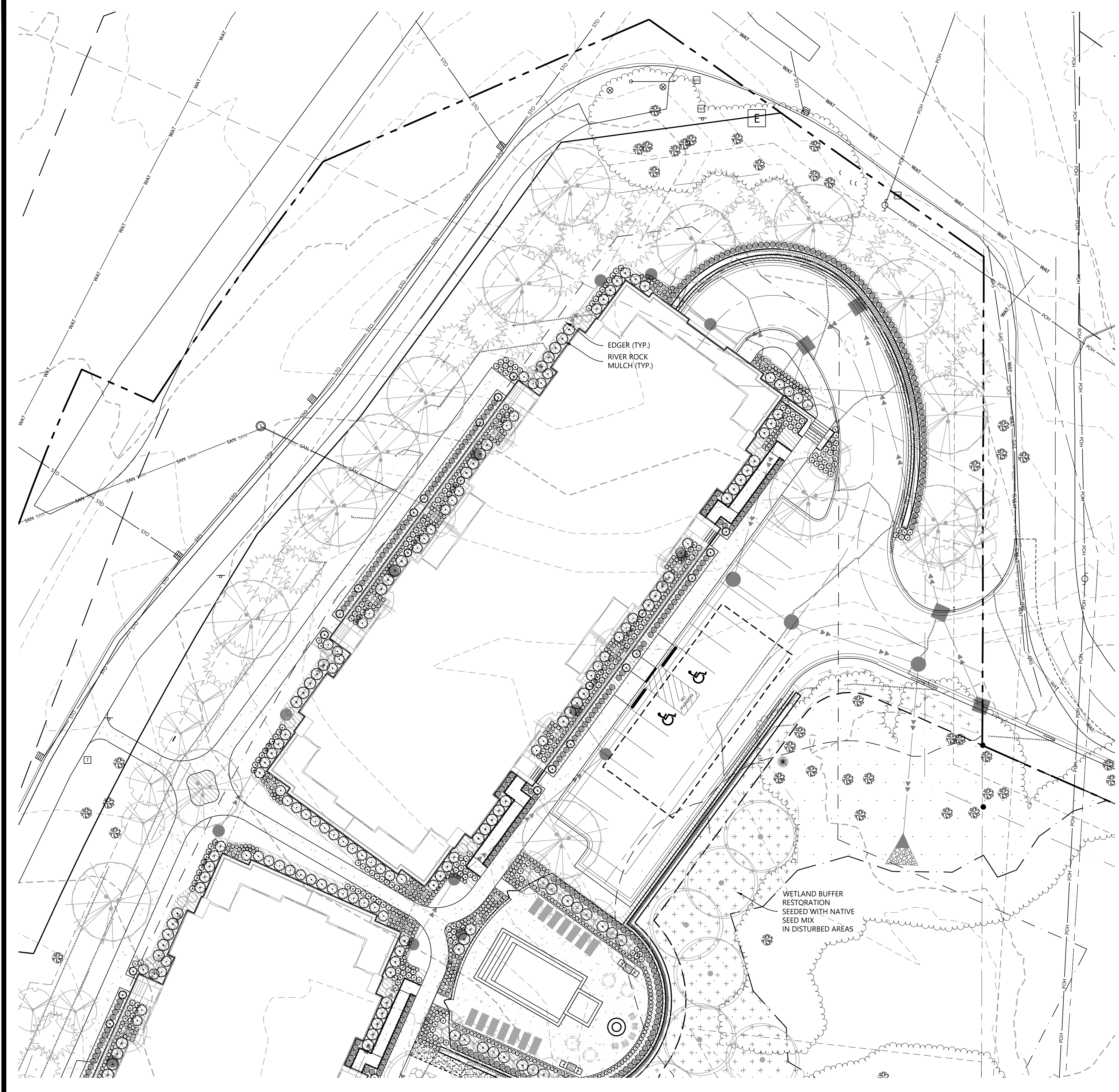
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NICHOLAS T. MEYER
DATE: 01/18/24 LICENSE NO. 53774

MINNETONKA FLATS
MINNETONKA, MN


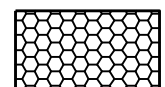

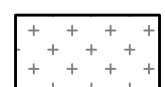
Westwood
Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

PRELIMINARY LANDSCAPE PLAN
PROJECT NUMBER: 0032305.00
SHEET NUMBER: 13 OF 16
DATE: 01/18/24



MINNETONKA FLATS

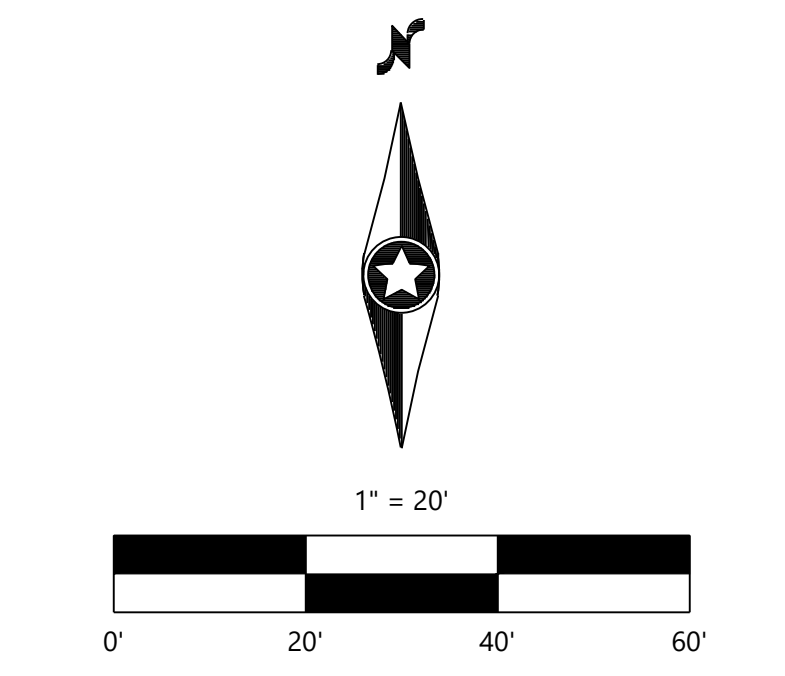


GROUNDCOVER SCHEDULE

-  3"-6" RIVER ROCK MULCH (ALL PLANTING BEDS)
 -  MESIC PRAIRIE GENERAL SEED MIX (35-241) TOTAL AREA (0.04 AC)
 -  DENOTES STORMWATER NATIVE SEED MIX (33-261) TOTAL AREA (0.04 AC)
 -  DENOTES WET MEADOW S & W SEED MIX (34-271) TOTAL AREA (0.12 AC)
- * ALL DISTURBED AREAS TO BE SODDED UNLESS NOTED OTHERWISE.

LEGEND

-  EXISTING DECIDUOUS TREE TO REMAIN
-  EXISTING CONIFEROUS TREE TO REMAIN



NOT FOR CONSTRUCTION

DESIGNED: _____
 CHECKED: _____
 DRAWN: _____
 HORIZONTAL SCALE: 20.000012"
 VERTICAL SCALE: 4' OR 2'

INITIAL ISSUE: 01/18/24
 REVISIONS:
 ▲ _____
 ▲ _____
 ▲ _____
 ▲ _____
 ▲ _____

PREPARED FOR:
LAKE WEST DEVELOPMENT, LLC
 14525 HIGHWAY 7, SUITE 265
 MINNETONKA, MN 55345

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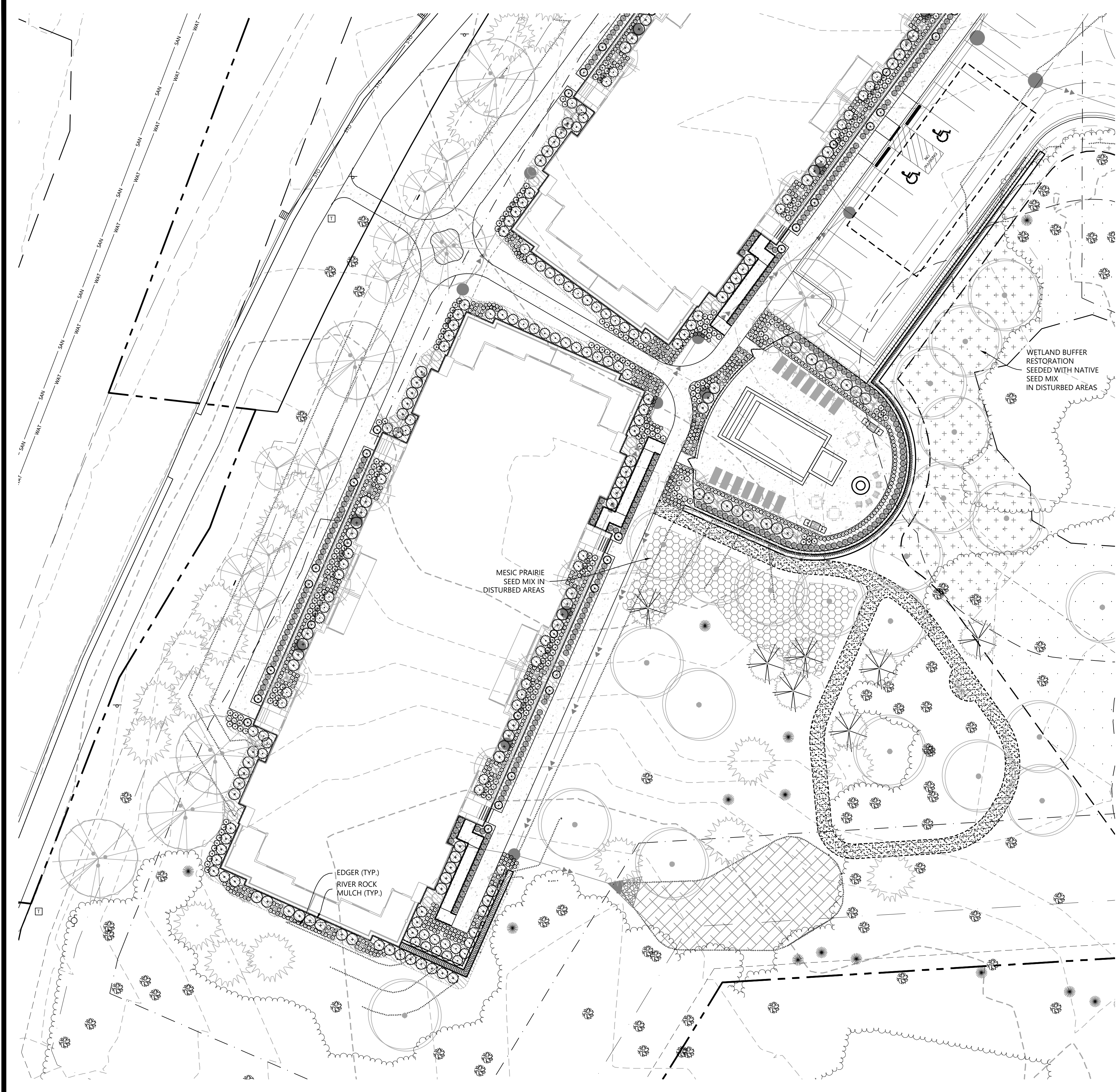
MINNETONKA FLATS
 MINNETONKA, MN

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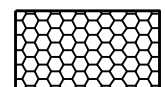

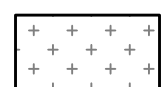
PRELIMINARY FOUNDATION
 PLANTINGS

SHEET NUMBER:
14 OF **16**
 DATE: 01/18/24



PROJECT NUMBER: 0032305.00

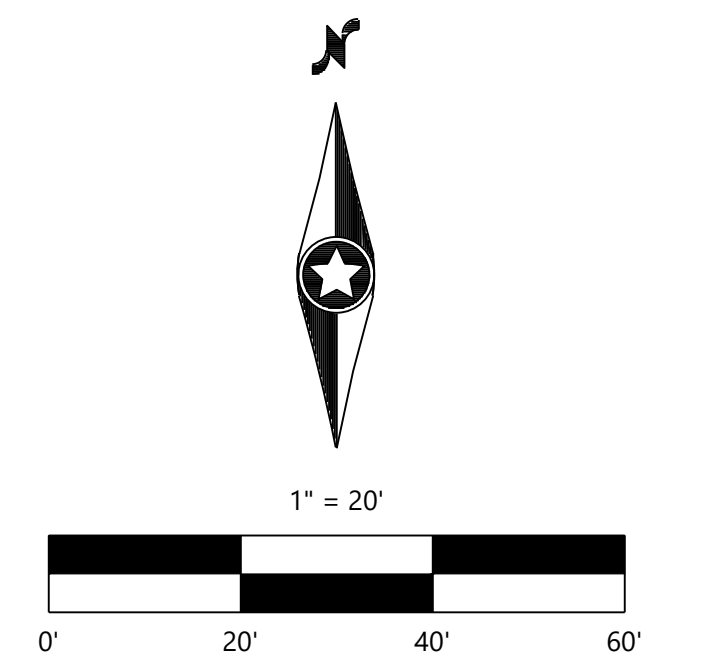


GROUNDCOVER SCHEDULE

-  3"-6" RIVER ROCK MULCH (ALL PLANTING BEDS)
 -  MESIC PRAIRIE GENERAL SEED MIX (35-241) TOTAL AREA (0.04 AC)
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- * ALL DISTURBED AREAS TO BE SODDED UNLESS NOTED OTHERWISE.

LEGEND

-  EXISTING DECIDUOUS TREE TO REMAIN
-  EXISTING CONIFEROUS TREE TO REMAIN



NOT FOR CONSTRUCTION

DESIGNED:	
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	20.000012'
VERTICAL SCALE:	4' OR 2'

INITIAL ISSUE:	01/18/24
REVISIONS:	
▲	
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PREPARED FOR:
LAKE WEST DEVELOPMENT, LLC
14525 HIGHWAY 7, SUITE 265
MINNETONKA, MN 55345

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA

NICHOLAS T. MEYER
DATE: 01/18/24 LICENSE NO. 53774

MINNETONKA FLATS
MINNETONKA, MN

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PRELIMINARY FOUNDATION
PLANTINGS

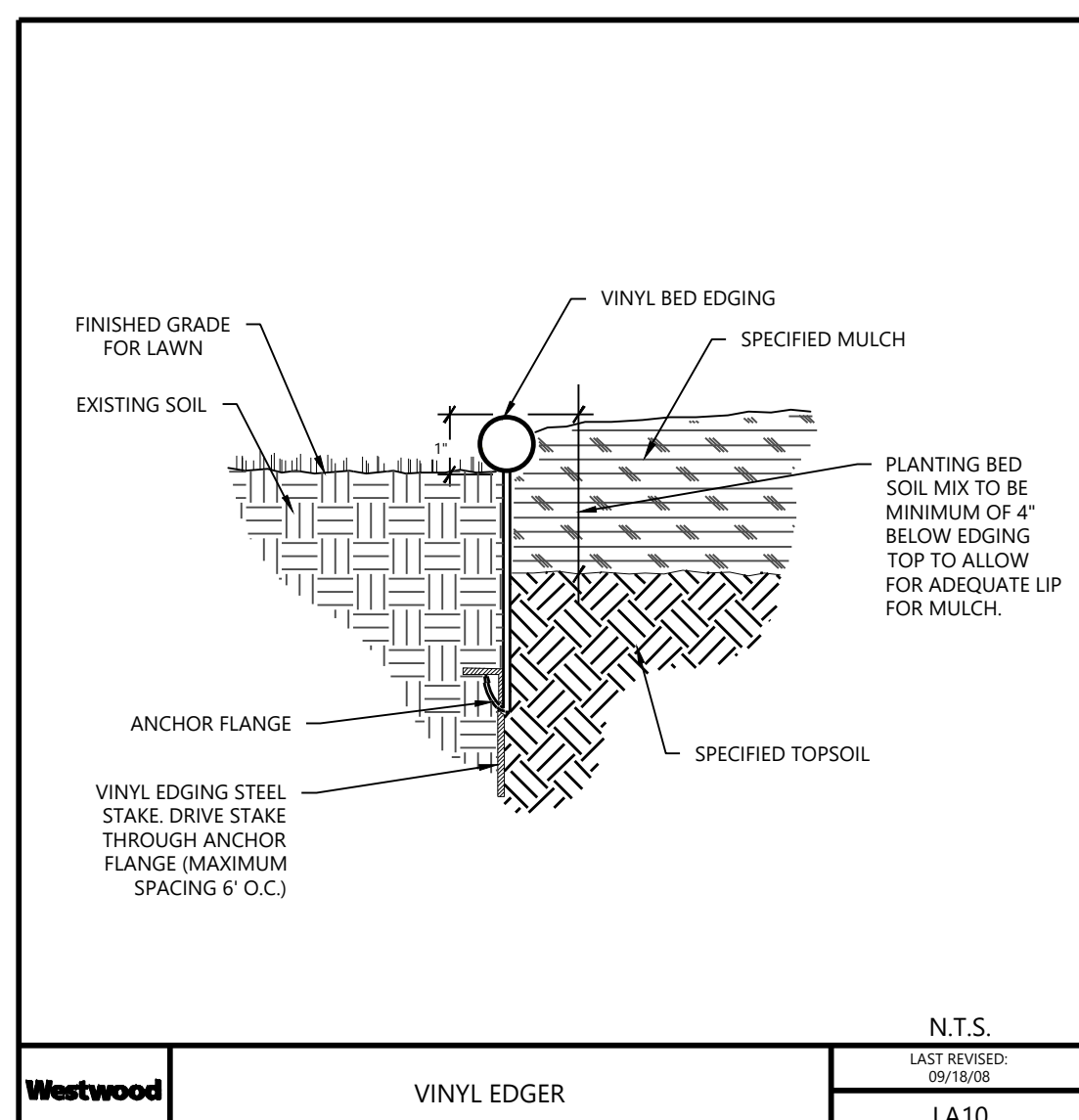
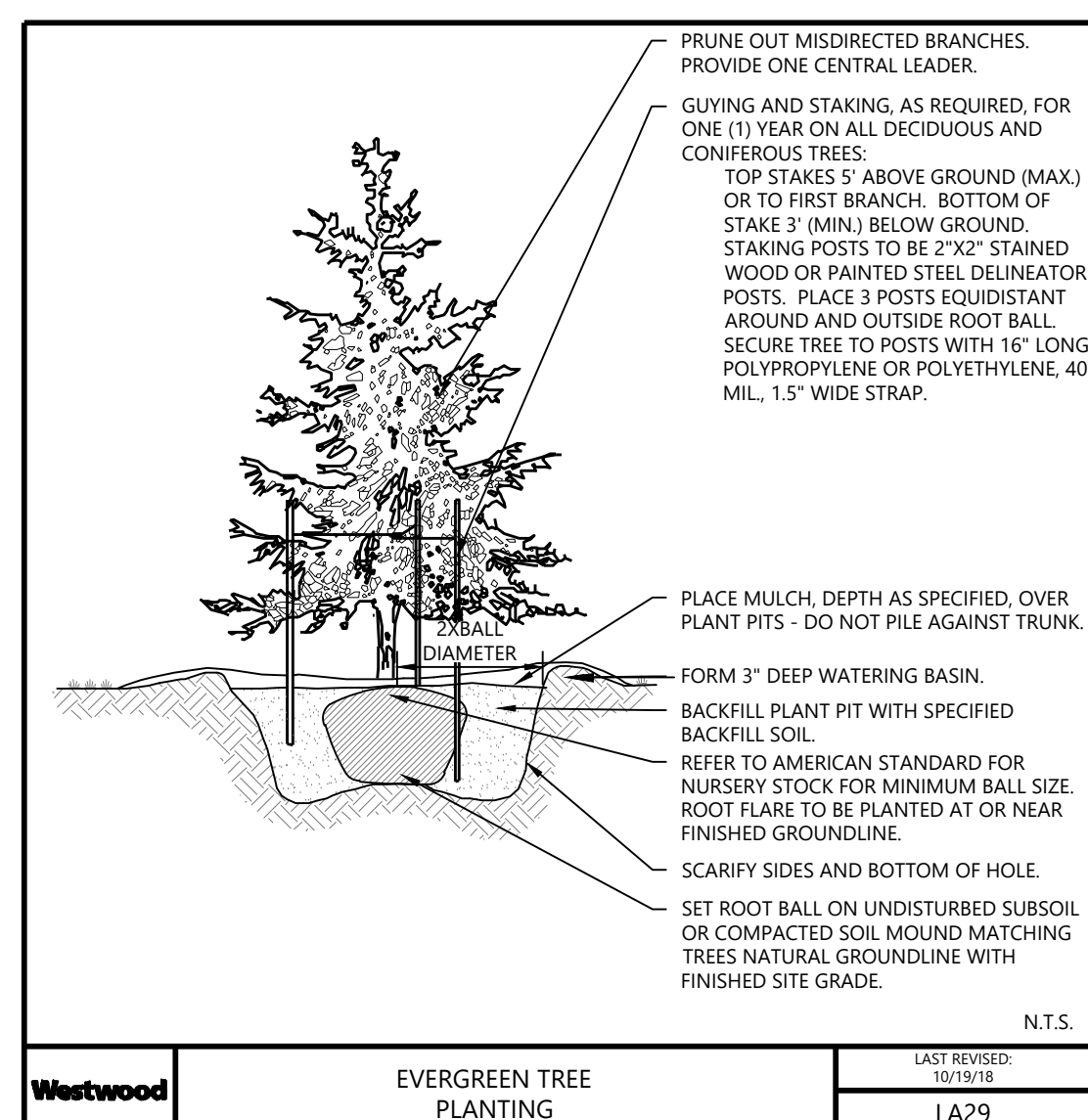
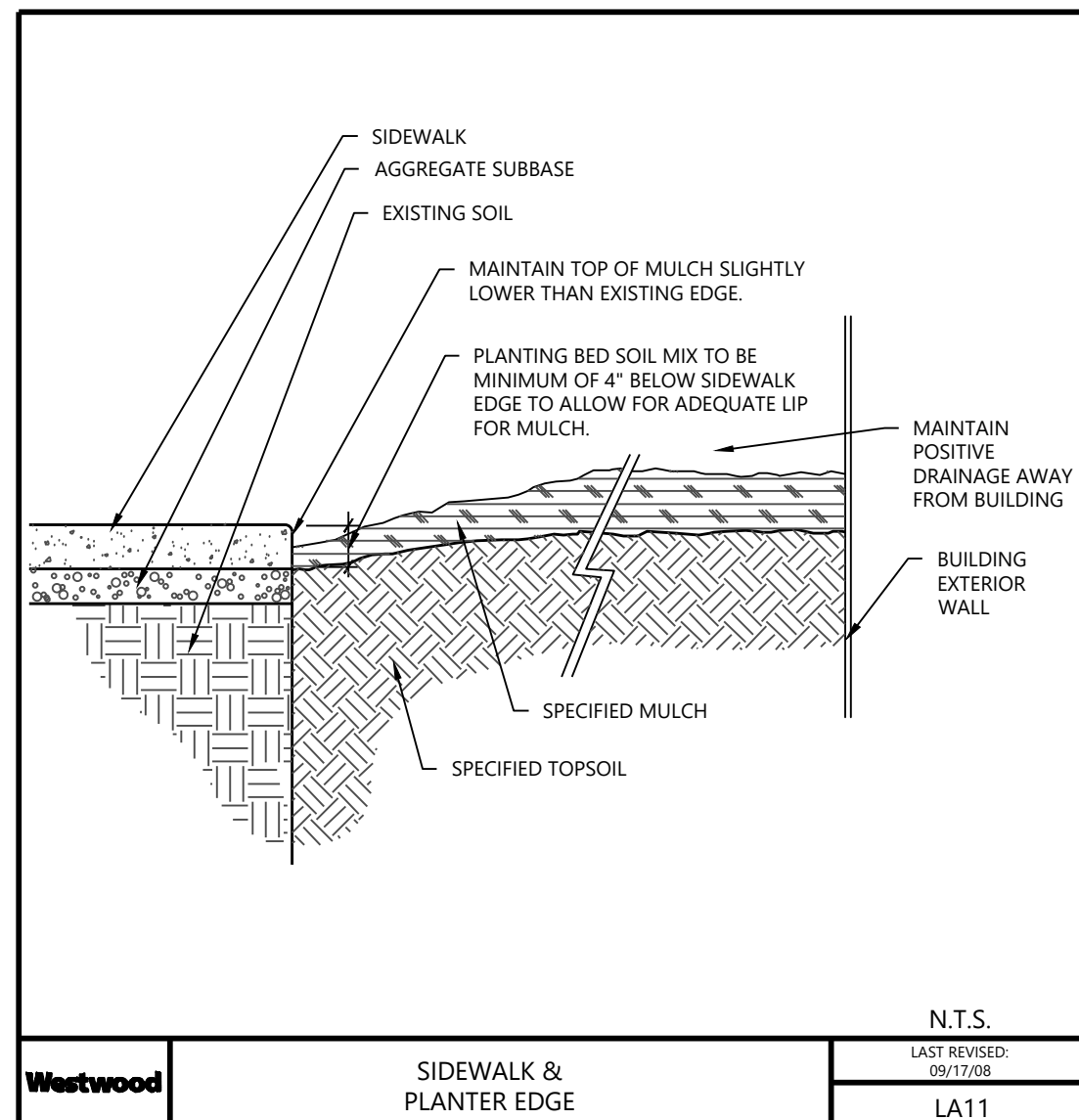
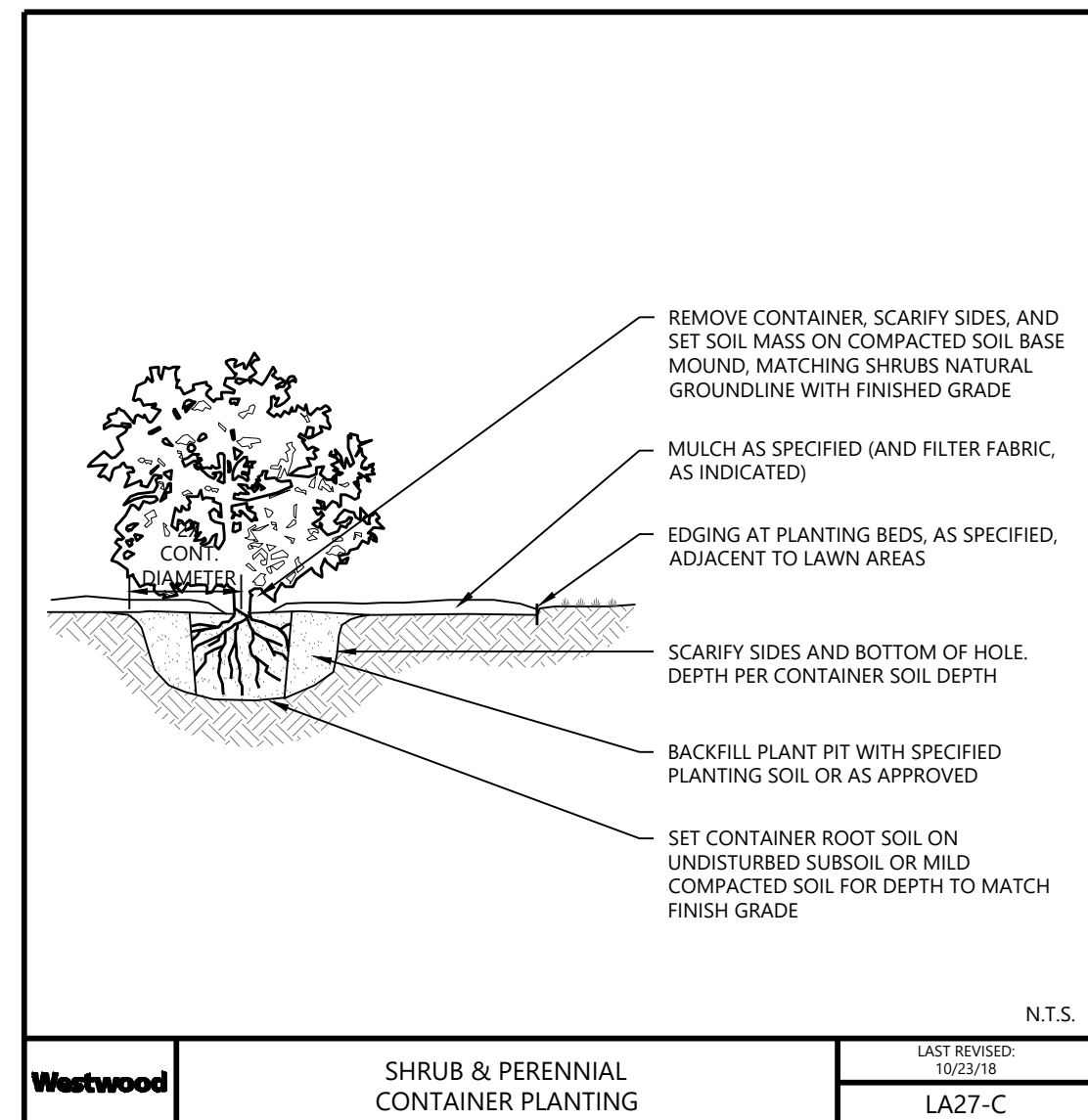
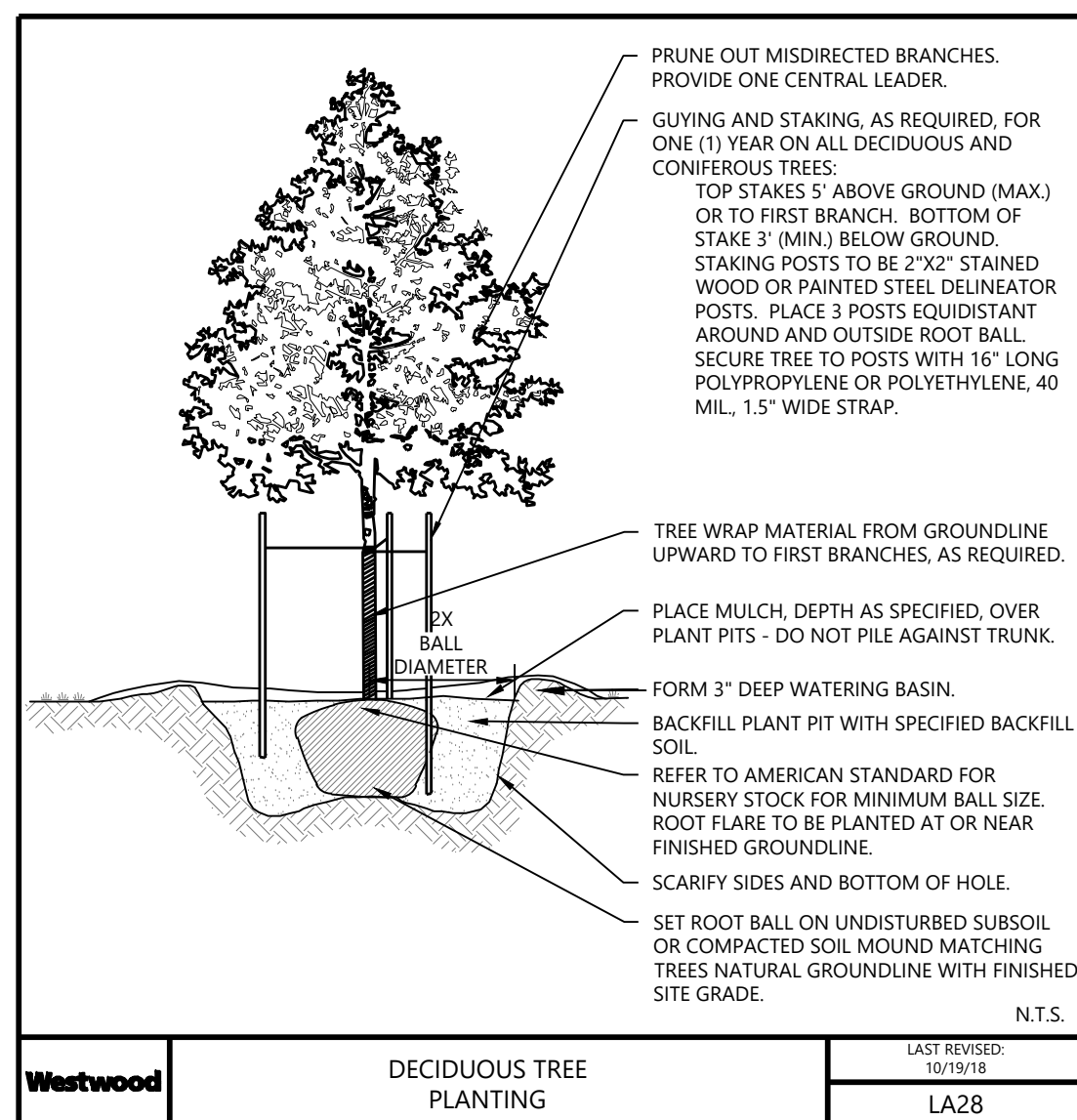
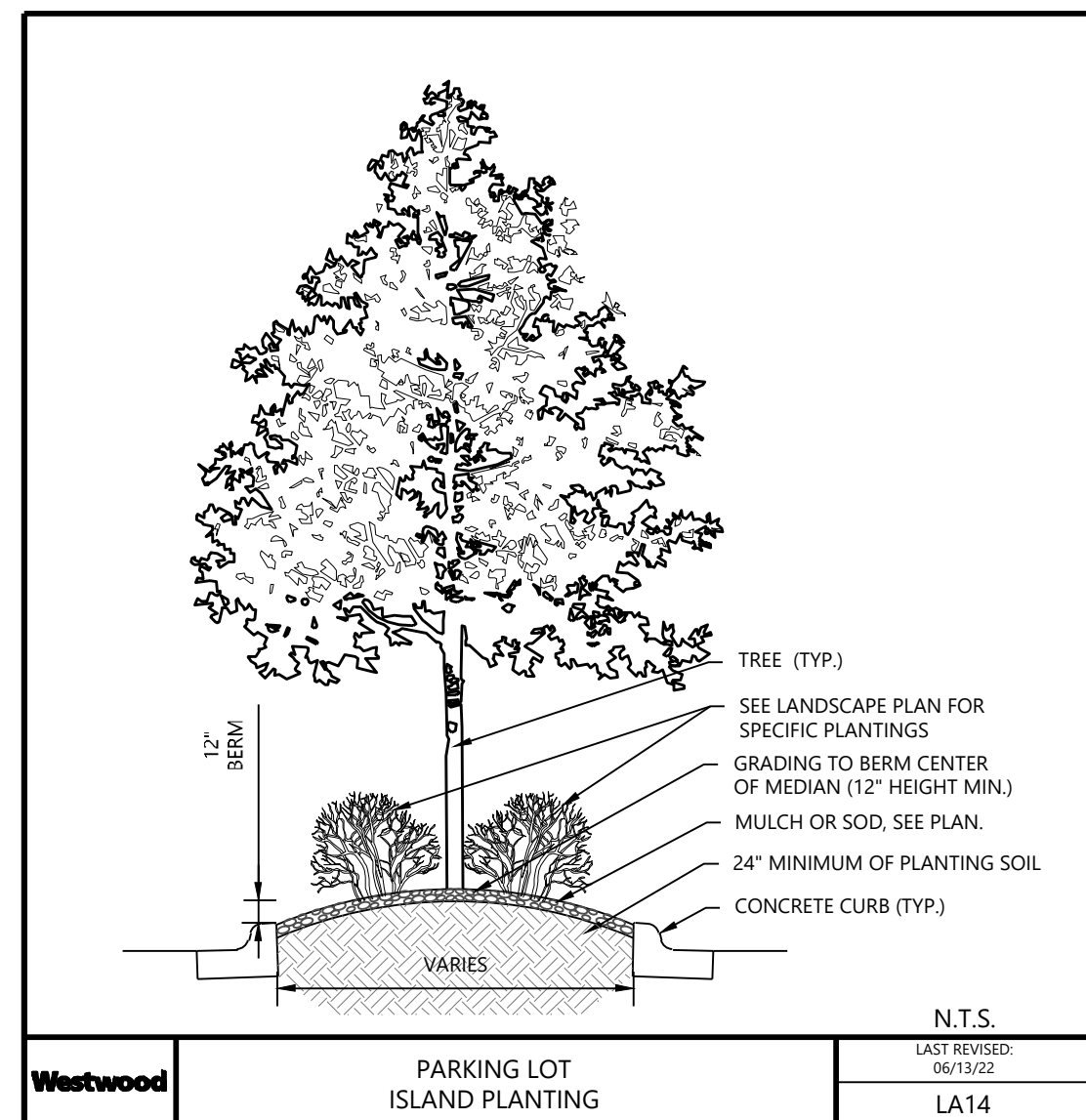
SHEET NUMBER:
15 OF **16**
DATE: 01/18/24

PROJECT NUMBER: 0032305.00

PLANTING NOTES

- CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
- ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.
ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.
CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PLANTS TO BE INSTALLED AS PER MNLA & ANSI STANDARD PLANTING PRACTICES.
- PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
- PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
- OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
- PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
- STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
- THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
- BACKFILL SOIL AND TOPSOIL TO ADHERE TO MN/DOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
- MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF SHREDDED HARDWOOD MULCH. SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND COLORED RED, OR APPROVED EQUAL. ROCK MULCH TO BE BLUFF LIMESTONE, 1 1/2" TO 3" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPAR, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- EDGING TO BE COMMERCIAL GRADE VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING OR SPADED EDGE, AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE. FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. PARKING LOT ISLANDS TO BE SODDED WITH SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MN/DOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
- PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
- CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
- REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
- RAIN GARDEN NOTE: PROVIDE AND INSTALL EROSION CONTROL BLANKET AT RAIN GARDEN AREA SIDE SLOPES AFTER ALL PLANTING HAVE BEEN INSTALLED. BLANKET TO BE ONE SEASON GEOJUTE, MN/DOT CATEGORY 2 (STRAW 1S, WOOD FIBER 1S), OR APPROVED EQUAL. BLANKET TO BE OVERLAPPED BY 4" AND ANCHORED BY SOD STAPLES. PLACE BLANKET PERPENDICULAR TO THE SLOPE. TRENCH IN EDGES OF BLANKET AREA TO PREVENT UNDER MINING. PROVIDE SILT FENCE AT TOP OF SLOPE AS NEEDED. SHREDDED HARDWOOD MULCH TO MATCH OTHER PROJECT PLANTING MULCH. PLACE 4" DEPTH OF MULCH AT ALL PLANTING AND EROSION CONTROL BLANKET AREA (NO FILTER FABRIC). SEE RAIN GARDEN DETAIL FOR FURTHER INFORMATION. RAIN GARDEN TO PROVIDE PROPER INFILTRATION AND DRAINAGE REQUIREMENTS PER ENGINEERS APPROVAL.

PLANTING DETAILS



DESIGNED:	INITIAL ISSUE: 01/18/24
CHECKED:	REVISIONS:
DRAWN:	
HORIZONTAL SCALE: ###	
VERTICAL SCALE: ### OR ##	

PREPARED FOR:
LAKE WEST DEVELOPMENT, LLC
14525 HIGHWAY 7, SUITE 265
MINNETONKA, MN 55345

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA
NICHOLAS T. MEYER
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PRELIMINARY LANDSCAPE
NOTES & DETAILS

SHEET NUMBER:
16 OF **16**
DATE: 01/18/24

NOT FOR CONSTRUCTION