FOR

PRELIMINARY PLAT, GRADING, UTILITIES, LANDSCAPE, AND TREE PRESERVATION PLAN

FOR

MINNETONKA FLATS

MINNETONKA, MN

PREPARED FOR:

LAKE WEST DEVELOPMENT, LLC

14525 HIGHWAY 7, SUITE 265 MINNETONKA, MN 55345

CONTACT: CURT FRETHAM

PHONE: 952-653-1346

EMAIL: CURTF@LWESTDEV.COM

PREPARED BY:

Westwood Professional Services, Inc.

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300 ax (952) 937-5822 Minnetonka, MN 55343 westwoodps.com

PROJECT NUMBER: 0032305.00 CONTACT: NICHOLAS T. MEYER

SHEET INDEX

	Sheet List Table			
SHEET NUMBER	SHEET TITLE			
01	COVER			
02	ALTA SURVEY			
03	EXISTING CONDITIONS & REMOVALS			
04	PRELIMINARY PLAT			
05	SITE PLAN			
06	GRADING PLAN			
07	EROSION CONTROL PLAN			
08	UTILITY PLAN			
09	DETAILS			
10	DETAILS			
11	TREE PRESERVATION PLAN			
12	TREE PRESERVATION DATA			
13	PRELIMINARY LANDSCAPE PLAN			
14	PRELIMINARY FOUNDATION PLANTING			
15	PRELIMINARY FOUNDATION PLANTINGS			
16	PRELIMINARY LANDSCAPE NOTES & DETAILS			

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PRELIMINARY PLANS

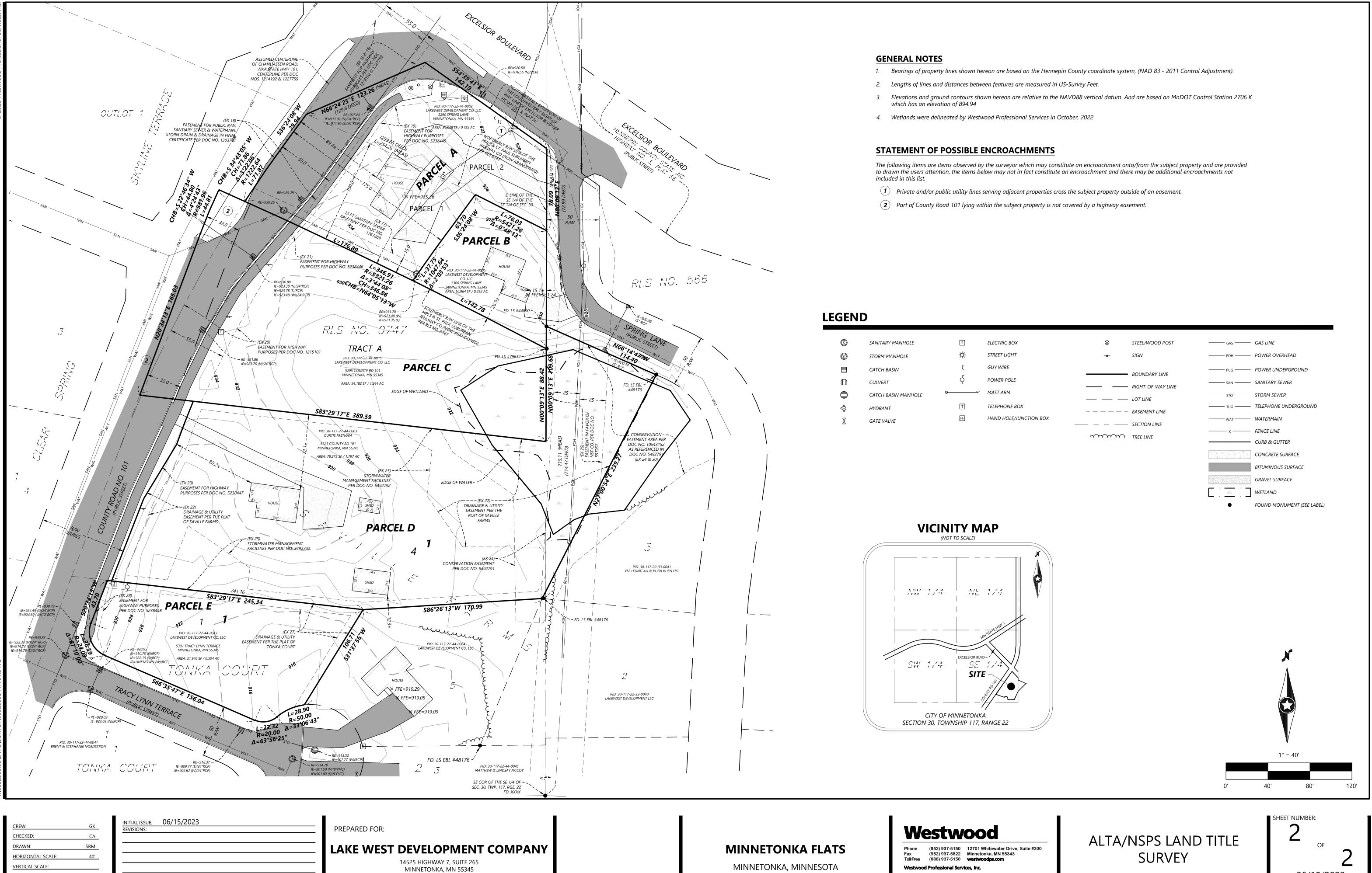
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PRELIMINARY PLAT, GRADING, UTILITIES, LANDSCAPE, AND TREE PRESERVATION PLAN

FOR

MINNETONKA FLATS
MINNETONKA, MN

INITIAL SUBMITTAL DATE: 01/18/24 SHEET: 01 OF 16



PROJECT NUMBER: 0032305.00 DATE: 06/15/2023

LEGAL DESCRIPTION

The following information was provided in CHB Title, LLC, Issuing Agent for Old Republic National Title Insurance Company File Number 59034, which has an effective date of June 1, 2023 at 7:00 AM:

Parcel A:

Par 1: The West 175 feet of the following described tract:

That part of the Southeast quarter of the Southeast quarter of Section 30, Township 117, Range 22, lying between the East line of said Section 30 and the Chanhassen Road, now known as State Highway 101, said land being a 100 foot strip of land which was formerly the right of way of The Minneapolis & St. Paul Suburban Railroad Company and which is accordingly bounded by the Northerly and Southerly lines of said right of way, Hennepin County, Minnesota.

Par 2: That part of the Southeast Quarter of Section 30, Township 117, Range 22 described as follows:

Commencing at a point on East line of said Section 30, 714.43 feet North of Southeast corner of said Section, thence North along said line 72.89 feet to Southwesterly line of Excelsior Boulevard, thence North 53 degree 29 minutes West along said Southwesterly line of Excelsior Boulevard 141.58, thence South, 57 degrees 29 minutes West along the Southeast line of Chanhassen Road 129.8 feet to North line of Minneapolis and St. Paul Suburban Railway Company's right of way; thence Southeasterly along the North line of said right of way 259.65 feet to place of beginning, Hennepin County, Minnesota.

Torrens Property

Torrens Certificate No. 1401308.

Parcel B:

That part of the Southeast Quarter of the Southeast Quarter of Section 30, Township 117, Range 22, lying between the East line of said Section 30 and the Chanhassen Road, now known as State Highway No. 101, said land being a 100 foot strip of land which was formerly the right of way of The Minneapolis & St. Paul Suburban Railroad Company and which is accordingly bounded by the Northerly and Southerly lines of said right of way, except the West 175 feet thereof, Hennepin County, Minnesota.

Torrens Property

Torrens Certificate No. 1401309.

Parcel C:

Tract A, Registered Land Survey No. 747, Hennepin County, Minnesota.

Torrens Property

Torrens Certificate No. 1401310.

Parcel D:

Lot 4, Block 1, Saville Farms, Hennepin County, Minnesota.

Torrens Property

Torrens Certificate No. 1540584.

Parcel E:

Lot 1, Block 2, Tonka Court, Hennepin County, Minnesota.

Torrens Property

Torrens Certificate No. 1401312.

Parcel F: (NOT INCLUDED IN ALTA SURVEY)

Lot 5, Block 1, Saville Farms, Hennepin County, Minnesota.

Torrens Property

Torrens Certificate No. 1454960.

1" = 40'

NOT FOR CONSTRUCTION

LEGEND SANITARY MANHOLE BOUNDARY LINE STORM MANHOLI CATCH BASIN EASEMENT LINE CULVERT —— — SECTION LINE CATCH BASIN MANHOLE HYDRANT ——— GAS LINE GATE VALVE POH POWER OVERHEAD ELECTRIC BOX PUG PUG POWER UNDERGROUND STREET LIGHT ——— SAN ———— SANITARY SEWER **GUY WIRE** ——— STO ——— STORM SEWER POWER POLE TUG TUG TELEPHONE UNDERGROUND ----- WATERMAIN TELEPHONE BOX FENCE LINE HAND HOLE/JUNCTION BOX CURB & GUTTER STEEL/WOOD POST CONCRETE SURFACE **BITUMINOUS SURFACE** GRAVEL SURFACE **WETLAND** FOUND MONUMENT (SEE LABEL) **GENERAL NOTES** Bearings of property lines shown hereon are based on the Hennepin County coordinate system, (NAD 83 - 2011 Control Adjustment). Lengths of lines and distances between features are measured in US-Survey Feet. *Elevations and ground contours shown hereon are relative to the NAVD88 vertical datum.* And are based on MnDOT Control Station 2706 K which has an elevation of 894.94

Wetlands were delineated by Westwood Professional Services in October, 2022

REMOVAL LEGEND

.566

ONSERVATION - -

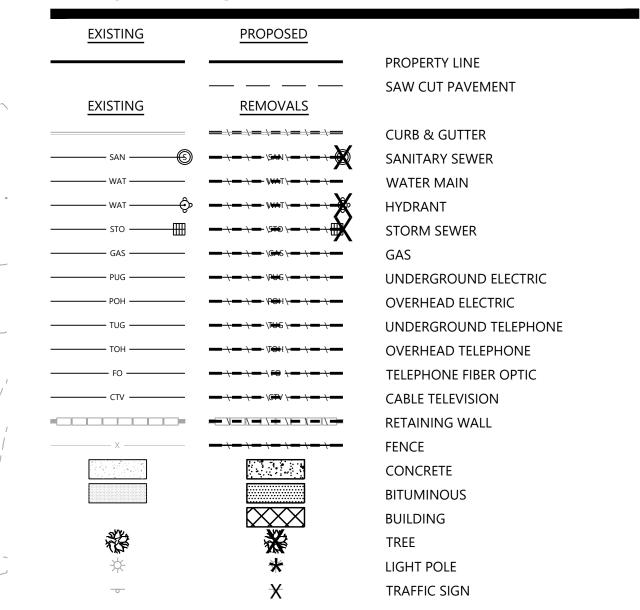
YEE LEUNG AU & KUEN KUEN HO

PID: 30-117-22-33-0040

SEMENT AREA PER

DOC NO. T0543152

DOC NO. 549279



REMOVAL NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTOR SHALL COORDINATE LIMITS OF REMOVALS WITH PROPOSED IMPROVEMENTS AND FIELD VERIFY CONDITION OF EXISTING APPURTENANCES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING OR REPLACING MISCELLANEOUS ITEMS (SUCH AS FENCES, SIGNS, IRRIGATION HEADS, ETC.) THAT MAY BE DAMAGED BY CONSTRUCTION.
- CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY PROVIDERS FOR REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES AFFECTED BY SITE DEVELOPMENT ALL PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

CHECKED **HORIZONTAL SCALE:** ### or ## VERTICAL SCALE:

PID: 30-117-22-44-0041 BRENT & STEPHANIE NORDSTROM

101111/7 000111

INITIAL ISSUE: 01/18/24 REVISIONS:

ASSUMED CENTERLINE -OF CHANHASSEN ROAD;

NKA STATE HWY 101:

CENTERLINE PER DOC

FASEMENT FOR HIGHWAY

FACILITIES PER DOC NO. 5492792

DRAINAGE & UTILITY

IE=901.50 (N)(8"PVC) IE=901.80 (S)(8"PVC)

EASEMENT PER THE PLAT OF

PURPOSES PER DOC NO. 1215101

IE=911.91 (N)(24"RCP) IE=911.96 (S)(36"RCP)

EASEMENT FOR HIGHWAY PURPOSES PER DOC NO. 52384

TRACT A

PID: 30-117-22-44-0015 LAKEWEST DEVELOPMENT CO. LL

5295 COUNTY RD 101 MINNETONKA, MN 55345

AREA: 54,182 SF / 1.244 AC

S83°29'17"E 389.59

PID: 30-117-22-44-0063

5325 COUNTY RD 101

AREA: 78,273 SF / 1.797 AC

NOS. 1214192 & 1227759

EASEMENT FOR PUBLIC R/W, -/

SANITARY SEWER & WATERMAIN, STORM DRAIN & DRAINAGE IN FINAL,

CERTIFICATE PER DOC NO. 130370

~ EASEMENT FOR HIGHWAY

EASEMENT PER THE PLAT

OF SAVILLE FARMS

PID: 30-117-22-44-0043

5301 TRACY LYNN TERRACI

AREA: 21,946 SF / 0,504 AC

E=909.77 (E)(24"RCP)

1 W/1/1/1 1 U U U / 1 / 1

LAKEWEST DEVELOPMENT CO. LLC

HIGHWAY PURPOSES

E=UNKNOWN (W)(RCP)

PER DOC NO. 5238448 PARCEL E

PURPOSES PER DOC NO. 5238447

GUTLOT

PREPARED FOR: LAKE WEST DEVELOPMENT, LLC

14525 HIGHWAY 7, SUITE 265

MINNETONKA, MN 55345

X FFE=919.29

★ FFE=919.05

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A OF THE STATE OF MINNESOTA CHRISTIAN FROEMKE

DATE: 01/18/24 LICENSE NO. 56208

5 - FD. LS EBL #48176

- RE=920.50 IE=916.55 (N)(FCP

E. LINE OF TH

ॐ PARCEL B

L=142.78

SE 1/4 OF THE

PID: 30-117-22-44-0052

KEWEST DEVELOPMENT C 5290 SPRING LANE

SÉMENT FOR SHWAY PURPOSES

PARCEL C

EDGE OF WATER -

PLAT OF SAVILLE

FARMS

CONSERVATION EASEMENT -PER DOC NO. 5492791

PID: 30-117-22-44-0064

EDGE OF WETLAND -

STORMWATER - = - - - - -

PARCEL D

PER DOC NO. 5492792

MINNETONKA FLATS MINNETONKA, MN

Westwood (952) 937-5150 12701 Whitewater Drive, Suite #300 (952) 937-5822 Minnetonka, MN 55343 (888) 937-5150 westwoodps.com

EXISTING CONDITIONS & REMOVALS

SHEET NUMBER

LEGAL DESCRIPTION

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Torrens Certificate No. 1401312.

Parcel F: (NOT INCLUDED IN ALTA SURVEY) Lot 5, Block 1, Saville Farms, Hennepin County, Minnesota.

Torrens Property

Torrens Certificate No. 1454960.

SITE DEVELOPMENT DATA

• EXISTING ZONING: PROPOSED ZONING:

R-1, LOW DENSITY RESIDENTIAL R-4, MEDIUM DENSITY RESIDENTIAL

Call 48 Hours before digging:

811 or call811.com

Common Ground Alliance

• GROSS SITE AREA: 4.58 AC

> LOT 1, BLOCK 1: 4.01 AC

> > NOT FOR CONSTRUCTION

HORIZONTAL SCALE:

INITIAL ISSUE: 01/18/24

PREPARED FOR:

LAKE WEST DEVELOPMENT, LLC 14525 HIGHWAY 7, SUITE 265

MINNETONKA, MN 55345

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF TH CHRIS AMBOURN

DATE: 01/18/24 LICENSE NO. 43055

MINNETONKA FLATS MINNETONKA, MN

Westwood (952) 937-5150 12701 Whitewater Drive, Suite #300 (952) 937-5822 Minnetonka, MN 55343

PRELIMINARY PLAT

Common Ground Alliance

SITE DEVELOPMENT SUMMARY

CURRENT ZONING:PROPOSED ZONING:	R-1 R-4
GROSS SITE AREA:	4.00 AC. / 174,518.36 SF.
LOT 1	
BUILDINGS:	40 UNITS
CONDO FLATS:	
2 BEDROOM	36 UNITS
1 BEDROOM	4 UNITS
	3 LEVELS LIVING SPACE 1 LEVEL UNDERGROUND PARKING
	I LEVEL UNDERGROUND PARKING
DENSITY:	<i>10.0</i> UNITS/AC.

50' SIDE/REAR FROM LOW DENSITY RES. 7 PROPOSED BUILDING SETBACKS: 35' FRONT ONE SIDE 50' OTHER SIDE 50' SIDE/REAR FROM LOW DENSITY RES. REAR 20' BOC; SIDE 20' BOC PARKING SETBACKS

50' FRONT FROM COLLECTOR R.O.W.

<u>PROPOSED</u> 131,241 SF

49,222 SF

13,939 SF

 PARKING REQUIRED 84 SPACES RESIDENT PARKING 76 SPACES 1 SPACE / BEDROOM 7.6 SPACES **GUEST PARKING** 10% OF REQUIRED STALLS PARKING PROVIDED **84 SPACES** SURFACE PARKING TYPICAL SPACES 13 SPACES 2 SPACES ADA SPACES UNDERGROUND GARAGE 71 SPACES

2.1 SPACES/UNIT RATIO: PARKING SPACE / DRIVE AISLE: 9' WIDE X 18' LONG, 24' AISLE

IMPERVIOUS SURFACE: 27.3% EXISTING 166,524 SF

 PERVIOUS SURFACE: IMPERVIOUS SURFACE:

GENERAL SITE NOTES

1. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.

2. REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.

3. ALL DIMENSIONS ARE TO BACK OF CURB FOR RESIDENTIAL OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.

4. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.

5. ALL CURB RADII SHALL BE 5.0 FEET (TO BACK OF CURB) UNLESS OTHERWISE NOTED.

6. ALL CURB AND GUTTER SHALL BE **B612** UNLESS OTHERWISE NOTED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.

8. BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.

9. CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.

■ SITE NOTES

B612 CURB AND GUTTER

PEDESTRIAN CURB RAMP W/ TRUNCATED DOMES

FLUSH CURB

HANDICAP ACCESSIBLE SIGNAGE AND STRIPPING

BIKE RACK

GRILL STATION, AND OUTDOOR DINING AREA FIRE PIT

SITE LIGHTING (SEE LIGHTING PLANS) PRIVATE CONCRETE SIDEWALK

10 ELECTRIC CAR CHARGING STATION

11 TRASH PICK-UP PAD

12 FENCE

13 RETAINING WALL 14 HANDRAILS

SURMOUNTABLE CURB AND GUTTER

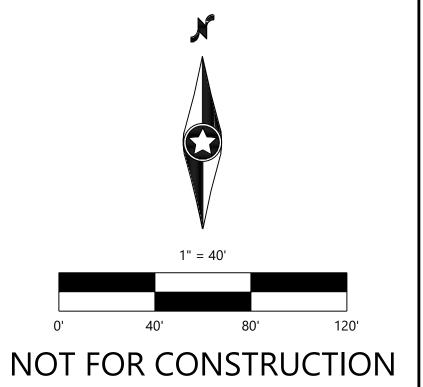
16 ADA RAMP

17 POOL 18 MULCH NATURE TRAIL

SITE LEGEND

BUILDING SETBACKS:

	EXISTING	PROPOSED	
			PROPERTY LINE
			LOT LINE
		·	SETBACK LINE
_			EASEMENT LINE
_			CURB AND GUTTER
			TIP-OUT CURB AND GUTTER
		· · · ·	POND NORMAL WATER LEVEL
=			RETAINING WALL
	X	x	FENCE
		Д	CONCRETE PAVEMENT
			CONCRETE SIDEWALK
			COLORED CONCRETE PAVEMENT
			HEAVY DUTY BITUMINOUS PAVEMENT
			NORMAL DUTY BITUMINOUS PAVEMENT
		(5)	NUMBER OF PARKING STALLS
		Т	TRANSFORMER
	*		SITE LIGHTING (SEE LIGHTING PLANS)
	-	•	TRAFFIC SIGN
		└● ¬	POWER POLE
	\otimes	•	BOLLARD / POST
		* * *	SNOW STORAGE AREA



HORIZONTAL SCALE VERTICAL SCALE: 8' or 4'

INITIAL ISSUE: 01/18/24

PREPARED FOR:

FFE: 936.0 GFE: 925.0

174,518 S.F

BLOCK

FFE: 936.0 GFE: 925.0

LAKE WEST DEVELOPMENT, LLC 14525 HIGHWAY 7, SUITE 265 MINNETONKA, MN 55345

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAV OF THE STATE OF MINNESOTA CHRISTIAN FROEMKE DATE: 01/18/24 LICENSE NO. ___56208

MINNETONKA FLATS MINNETONKA, MN

Westwood (952) 937-5150 12701 Whitewater Drive, Suite #300 (952) 937-5822 Minnetonka, MN 55343

SITE PLAN

GRADING & DRAINAGE NOTES

- 1. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE
- 2. CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.
- 9. SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- 10. CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- 11. CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- 12. ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- 13. PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
- 14. EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- 15. EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
- 16. ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.

FILTRATION/INFILTRATION BASIN NOTES

- BASIN EXCAVATION AND PIPE INSTALLATION MAY TAKE PLACE BEFORE CURB INSTALLATION. ALL OTHER BASIN CONSTRUCTION MUST WAIT UNTIL FINAL SITE LANDSCAPING. REMOVE SEDIMENT FROM EXCAVATED BASIN PRIOR TO PLACEMENT OF FILTER MEDIA. PLACE SAND BAGS OR SIMILAR ITEM IN CURB CUTS TO PRE-FILTER STORM WATER UNTIL PLANTS ARE ESTABLISHED IN BASINS. MAINTAIN INLET PROTECTION ON DOWN STREAM INLETS UNTIL BASINS ARE ON-LINE.
- BASIN EXCAVATION SHALL BE WITH TOOTHED-BUCKETS TO SCARIFY THE BOTTOM.
- 3. PLACE SILT FENCE AROUND BASINS AS SHOWN IMMEDIATELY AFTER BASIN CONSTRUCTION.
- BASINS MUST BE TESTED FOR INFILTRATION RATE AFTER TOTAL SITE STABILIZATION. A DUAL RING INFILTROMETER SHALL BE USED FOR TESTING. MINIMUM INFILTRATION RATE IS 1-INCH PER HOUR. IF BASIN DOES NOT MEET INFILTRATION RATE, CONTRACTOR MUST TAKE CORRECTIVE ACTION UNTIL MINIMUM INFILTRATION RATE IS MET. CORRECTIVE ACTION MAY INCLUDE REMOVING PLUG IN DRAIN TILE. ALL TESTING AND CORRECTIVE ACTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE INCIDENTAL TO THE CONTRACT, WITH NO DIRECT COMPENSATION MADE.
- NO EQUIPMENT OR MATERIAL STORAGE, OTHER THAN CHAMBERS, WILL OCCUR IN THE INFILTRATION AREA.

GRADING LEGEND

<u>EXISTING</u>	PROPOSED	
		PROPERTY LINE
980		INDEX CONTOUR
982	982	INTERVAL CONTOUR
		CURB AND GUTTER
	· · ·	POND NORMAL WATER LEVEL
STO -		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
WAT	ı	WATER MAIN
SAN		SANITARY SEWER
		RETAINING WALL
-		DRAIN TILE
-		RIDGE LINE
-	GL	GRADING LIMITS
* 900.00	× 900.00	SPOT ELEVATION
	0.00%	FLOW DIRECTION
	$\frac{TW = XXX.XX}{BW = XXX.XX}$	TOP AND BOTTOM OF RETAINING WALL
	E.O.F.—× ■	EMERGENCY OVERFLOW
⊕ SB-19	⊕ SB-19	SOIL BORING LOCATION

NOT FOR CONSTRUCTION

HORIZONTAL SCALE: VERTICAL SCALE: 8' or 4'

INITIAL ISSUE: 01/18/24

PREPARED FOR:

FFE: 936.0 GFE: 925.0

174,518 S.F.

BLOCK

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MINNETONKA FLATS

MINNETONKA, MN

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GRADING PLAN

SHEET NUMBER

GENERAL EROSION CONTROL NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF

- 2. ALL SILT FENCE AND OTHER EROSION CONTROL FEATURES SHALL BE IN-PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED. EXISTING SILT FENCE ON-SITE SHALL BE MAINTAINED AND OR REMOVED AND SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONTRACT. IT IS OF EXTREME IMPORTANCE TO BE AWARE OF CURRENT FIELD CONDITIONS WITH RESPECT TO EROSION CONTROL. TEMPORARY PONDING, DIKES, HAYBALES, ETC., REQUIRED BY THE CITY SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- EROSION AND SILTATION CONTROL (ESC): THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL THE EROSION AND SILTATION INCLUDING BUT NOT LIMITED TO: CATCH BASIN INSERTS, CONSTRUCTION ENTRANCES, EROSION CONTROL BLANKET, AND SILT FENCE. ESC SHALL COMMENCE WITH GRADING AND CONTINUE THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER. THE CONTRACTOR'S RESPONSIBILITY INCLUDES ALL IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER MAY DIRECT THE CONTRACTOR'S METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITION OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR IN EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN EVENT. AFFECTED AREAS SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER, ALL AT THE EXPENSE OF THE CONTRACTOR. ALL TEMPORARY EROSION CONTROL SHALL BE REMOVED BY THE CONTRACTOR AFTER THE TURF IS ESTABLISHED.
- 4. ALL STREETS DISTURBED DURING WORKING HOURS MUST BE CLEANED AT THE END OF EACH WORKING DAY. A CONSTRUCTION ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO DETAILS TO REDUCE TRACKING OF DIRT ONTO PUBLIC STREETS.
- 5. WHEN INSTALLING END-OF-LINE FLARED END SECTIONS, BRING THE SILT FENCE UP & OVER THE FLARED END SECTIONS & COVER DISTURBED AREAS WITH RIP RAP. THE UPSTREAM FLARED END SECTIONS SHALL HAVE WOOD FIBER BLANKET INSTALLED ON THE DISTURBED SOILS.
- 6. ALL UNPAVED AREAS ALTERED DUE TO CONSTRUCTION ACTIVITIES MUST BE RESTORED WITH SEED AND MULCH, SOD, EROSION CONTROL BLANKET OR BE HARD SURFACE WITHIN 2 WEEKS OF COMPLETION OF CONSTRUCTION.
- 7. THE SITE MUST BE STABILIZED PER THE REQUIREMENTS OF THE MPCA, NPDES, MNDOT, AND
- TEMPORARY (GREATER THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX 22-111 AT 30.5-POUNDS PER ACRE.
- TEMPORARY (LESS THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX 21-112 (FALL) OR 21-111 (SPRING/SUMMER) AT 100-POUNDS PER ACRE
- INFILTRATION/FILTRATION BASIN SHALL BE MNDOT SEED MIX 34-262 AT 14.5-POUNDS PER
- POND SLOPES SHALL BE MNDOT SEED MIX 33-261 AT 35-POUNDS PER ACRE.
- GENERAL SEEDING SHALL BE MNDOT SEED MIX 25-151 AT 70-POUNDS PER ACRE.
- MULCH SHALL BE MNDOT TYPE 1 APPLIED AT 2-TONS PER ACRE.
- 9. FOR AREAS WITH SLOPE OF 3:1 OR GREATER, RESTORATION WITH SOD OR EROSION CONTROL BLANKET IS REQUIRED.
- 10. ALL TEMPORARY STOCKPILES MUST HAVE SILT FENCE INSTALLED AROUND THEM TO TRAP SEDIMENT.
- 11. ALL PERMANENT PONDS USED AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION SHALL BE DREDGED AFTER THE SITE HAS BEEN STABILIZED TO RESTORE THE POND TO THE PROPOSED BOTTOM ELEVATION.
- 12. ALL CONSTRUCTION SHALL CONFORM TO LOCAL AND STATE RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- 13. THE SITE MUST BE KEPT IN A WELL-DRAINED CONDITION AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DITCHES, PIPING OR OTHER MEANS REQUIRED TO INSURE PROPER DRAINAGE DURING CONSTRUCTION. LOW POINTS IN ROADWAYS OR BUILDING PADS MUST BE PROVIDED WITH A POSITIVE OUTFLOW.
- 14. PUBLIC STREETS USED FOR HAULING SHALL BE KEPT FREE OF SOIL AND DEBRIS. STREET SWEEPING SHALL BE CONCURRENT WITH SITE WORK.

EROSION CONTROL LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
980—	<u> </u>	INDEX CONTOUR
982	982	INTERVAL CONTOUR
		CURB AND GUTTER
	 · · · 	POND NORMAL WATER LEVEL
	SF	SILT FENCE
	HDSF	HEAVY DUTY SILT FENCE
	RSC	REDUNDANT SILT CONTROL
STO		STORM SEWER
		FLARED END SECTION (WITH RIPRAI
——— WAT ———	<u> </u>	WATER MAIN
SAN		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		GRADING LIMITS
		ROCK CONSTRUCTION ENTRANCE
	(////) XXX/XXX	EROSION CONTROL BLANKET
		TURF REINFORCEMENT MAT
	E.O.F.→× →	EMERGENCY OVERFLOW
⊕ SB-19	⊕ SB-19	SOIL BORING LOCATION
		INLET PROTECTION

NOT FOR CONSTRUCTION

CHECKED: **HORIZONTAL SCALE:** VERTICAL SCALE: 8' or 4'

INITIAL ISSUE: 01/18/24 REVISIONS:

TRACY LYNN TERRACE

PREPARED FOR:

FFE: 936.0

GFE: 925.0

174,518 S.F.

BLOCK

BOTTOM: 925.75

FFE: 936.0 GFE: 925.0

LAKE WEST DEVELOPMENT, LLC

CHRISTIAN FROEMKE 14525 HIGHWAY 7, SUITE 265 DATE: 01/18/24 LICENSE NO. 56208 MINNETONKA, MN 55345

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAW OF THE STATE OF MINNESOTA

MINNETONKA FLATS MINNETONKA, MN

Westwood

(952) 937-5150 12701 Whitewater Drive, Suite #300 (952) 937-5822 Minnetonka, MN 55343

EROSION CONTROL PLAN

GENERAL UTILITY NOTES

- 1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- 2. ALL SANITARY SEWER, STORM SEWER AND WATER MAIN MATERIAL AND INSTALLATIONS SHALL BE PER CITY REQUIREMENTS, MINNESOTA PLUMBING CODE, AND IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- 3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
- 4. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
- 5. ALL PRIVATE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES. OVERHEAD UTILITY LINES AND POLES ARE NOT PERMITTED BY CITY CODE, ANY EXISTING LINES AND POLES SHALL BE REMOVED.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 6.1. ALL NECESSARY COUNTY PERMITS FOR WEST BROADWAY SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
- 7. WATER MAIN LENGTHS AS SHOWN ARE APPROXIMATE HORIZONTAL LENGTHS. ALLOW FOR ADDITIONAL PIPE WHEN INSTALLING ON SLOPES OR WHEN DEFLECTIONS ARE REQUIRED. THE JOINT DEFLECTIONS SHALL NOT EXCEED THE MAXIMUM RECOMMENDED BY THE PIPE MANUFACTURER OR BY LOCAL GOVERNING SPECIFICATIONS. FITTINGS REQUIRED TO CONSTRUCT WATER MAIN SHALL BE INCLUDED IN WATER MAIN CONSTRUCTION.
- 8. PROVIDE WATER MAIN THRUST RESTRAINTS PER CITY STANDARD REQUIREMENTS.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER LINE CROSSINGS WITH SANITARY SEWER OR STORM SEWER. THE WATER LINE SHALL NOT HAVE JOINTS OR CONNECTION WITHIN 10-FEET OF THE CROSSING. INSULATE CROSSINGS WITH STORM SEWER.
- 10. UTILITY SERVICES TYPICALLY TERMINATE 5' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
- 11. DUCTILE IRON WATER LINES SHALL BE CLASS 52, PER AWWA C115 OR C151. COPPER WATER LINES SHALL BE TYPE K PER ASTM B88.
- 12. ALL WATER LINES SHALL HAVE 8.0' MINIMUM COVER. INSULATE WATER MAIN IF LESS THAN 8' OF COVER. INSULATION SHALL BE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, WITH 4 INCHES OF THICKNESS.
- 13. SANITARY SEWER PIPE OUTSIDE THE BUILDING ENVELOPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 OR 26. SDR 26 IS REQUIRED FOR DEPTHS GREATER THAN 15 FEET. SANITARY SEWER PIPE WITHIN 5 FEET OF THE BUILDING AND UNDER FOOTINGS SHALL BE SCHEDULE 40 PER ASTM D2665. ALL PLASTIC SANITARY SEWER SHALL BE INSTALLED PER D2321. SOLVENT WELD JOINTS MUST INCLUDE USE OF A PRIMER WHICH IS OF A CONTRASTING COLOR TO THE PIPE AND CEMENT. ALL SANITARY SEWER SHALL BE TESTED ACCORDING TO MINNESOTA PLUMBING CODE, PART 712.0.

14. STORM SEWER PIPE:

PROPERTY LINE

EASEMENT LINE

CURB AND GUTTER

SANITARY SEWER

FORCE MAIN

WATER MAIN

GATE VALVE

(WITH RIPRAP)

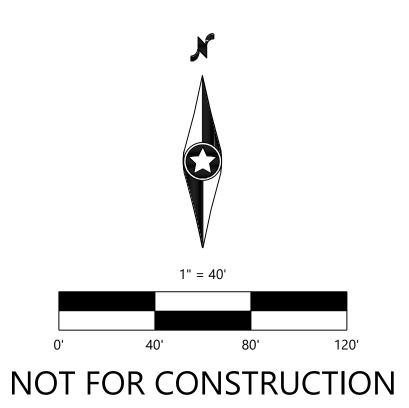
LIGHT POLE

FLARED END SECTION

HYDRANT

─■ STORM SEWER

- RCP AND HDPE PIPE MAY BE INSTALLED WITH APPROVAL OF LOCAL GOVERNING AGENCY.
- B. REINFORCED CONCRETE PIPE SHALL BE CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED, PER ASTM C76 WITH R-4 GASKETS.
- C. HDPE STORM PIPE 4-INCHES TO 10-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF AASHTO M252. HDPE STORM PIPE 12-INCHES TO 60-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF ASTM F2306. FITTINGS SHALL BE PER ASTM D3212 AND INSTALLED PER ASTM D2321.
- D. PVC STORM SEWER PIPE AND FITTINGS SHALL BE SCHEDULE 40 PIPE PER ASTM D2665 AND INSTALLED PER ASTM D2321.
- E. CORRUGATED METAL PIPE (CMP) IS NOT PERMITTED BY THE CITY.
- F. ALL STORM SEWER JOINTS AND STRUCTURE CONNECTIONS SHALL BE GASTIGHT OR WATERTIGHT AS REQUIRED BY MINNESOTA PLUMBING CODE, PART 707.3. STORM SEWER LOCATED WITHIN 10-FEET OF A BUILDING AND/OR WATER LINE SHALL BE TESTED PER MINNESOTA PLUMBING CODE, PART 712.
- 15. ALL NONCONDUCTIVE PIPE SHALL BE INSTALLED WITH A LOCATE (TRACER) WIRE PER MINNESOTA RULES, PART 7560.0150.
- 16. POST INDICATOR VALVES SHALL BE AVK (OR EQUIVALENT) MEETING AWWA STANDARD C509 AND CITY STANDARDS. VALVE TO BE MECHANICAL JOINT RESILIENT WEDGE GATE VALVE. POST TO BE ADJUSTABLE FOR 8 FEET WATER MAIN DEPTH. THE ELECTRICAL ALARM SWITCH SHALL BE PART NO. PCVS2 (OR EQUIVALENT).
- 17. AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.
- 18. ALL MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.
- 19. ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.15 FEET AND MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED
- 20. ALL EXISTING WATER AND SANITARY SERVICES SHALL BE DISCONNECTED AT THE MAIN.
- 21. (3) 4" CONDUIT TO BE PROVIDED. ROUTE FROM PROPERTY LINE FOR TV, DATA, AND PHONE UTILITIES. COORDINATE LOCATION SITE/CIVIL CONTRACTOR. TERMINATE CONDUIT IN LOW VOLTAGE ROOM.



CHECKED DRAWN: HORIZONTAL SCALE: VERTICAL SCALE: 8' or 4'

INITIAL ISSUE: 01/18/24 **REVISIONS:**

PREPARED FOR:

LAKE WEST DEVELOPMENT, LLC 14525 HIGHWAY 7, SUITE 265

MINNETONKA, MN 55345

TRENCH DRAIN-300

.× 85 LF-12" STM SWR @ 0.49%

/₆" CO-310

/IE=930.43 (6" SW)

/IE=931.90 (6"/NW)

//RE=933.15

. D=2.9

68 LF-6" PVC @ 0.50%

6" CO-312

RE=936.00

IE=933.00 (6" SW)

STMH-200)=3.5

D = 11.1

6" CO-321

RE=933.72

D = 3.0

└─173 LF-8" STM SWR @ 0.50%

-39 LF-8" STM SWR @ 9.87%

12" FES-326

IE=926.00

IE=930.70 (8"

RE=933.15

IE=922.10 (12" N)

6" CO-311

RE=936.00

IE=932.58 (6" NE) IE=932.58 (6" SE)

18 LF-6" PVC @ 3

27 LF-6" PVC @ 18.69% --

6" CO-301

RE=928.77 IE=928.25 (6" W)-

6°/CO-302

RE=931.35

D = 3.5

IE=928.00 (6" SE)

IE=928.34/(6" SW)-

/6" CO-303

RE=936.00

D=6.32

√930,20 (6" SW) **–**

//E¥930.20 (6" NE)

6" CO-313

RE=933.92

'IE=930.77 (6" SW)

IE=930.77 (6" NE)

≥27 LF-6" PVC @ 0.50% 🖺

D = 3.4

6" CO-322 RE=932.58 IE=929.83 (8" N)

D = 2.8

IE=929.80 (8" W)

IE=929.83 (8" E)

6" CO-314

RE=933.89

IE=930.90 (6" SW) -

IE=930.90 (6" NE)

79 LF-6" PVC @ 2.15%-

6" CO-315

RE=936.00

IE=932.59 (6" SW) -

IE=932.60 (6" NE)

50 LF-6" PVC @ 0.81% **—**

6" CO-316

RE=936.00

D = 3.5

IE=933.00 (6" NE)

20 LF-8" STM SWR @ 0.99%-

6" CO-304

RE=936.00

IE=930.45 (6"/SW)-

IE=930.45 (6" NE)

6"*C*O-305/

₽E=933.91

IE=930.77 (6" SW)-

IE#930.76 (6"/NE)

NE=928.34 (6" E)

18 LF-6" PVC @/0.50%

±65 LF EXISTING 8"

BE REMOVED

END INVERT: ±921.13

EXISTING PIPE WITHIN

SANITARY SEWER @ 0.5%

BUILDING/FOOTPRINT/TO

RE: 930,25

INV: 920.8(VERIFY IN FIELD)

EX MH WITHIN BUILDING

FOOTPRINT TO BE REMOVED

//6" ¢O-306

RE=934.00

D = 3.5

E=931.00 (6" SW) -

IE/≠931.00 (6" NE)

6/ CO-308

RE=936.00

D=3/.7

6" CO-309

RE=936.00

D = 3.5

NE=933.00 (6" NE)

48 LF-6" PVC/@ Ø.50%-

IE=932.76 (6" SW)/7

IE=932.76 (6" NE)

RE=925.17

IE=923.00 (6" NW) IE=923.00 (12" E)

34 LF-12 STM SWR @ 1.42%

CBMH-201

RE=927.52

D=5.0

IE=922.52 (12" NE)

-23 LF-12" STM SWR @ 0.50%

CBMH-202

-IE=92274 (12",S) IE=922.63 (12" SW)

-96 LF - 6" WATER MAIN

-110 LF-12" STM SWR @ 2.17%

-35 LF-12" STM SWR @ 0.51%

UTILITY LEGEND

CBMH-203

RE=930.00

CBMH-204

RE=928.76

D = 3.5

64 LF-12" STM SWR @ 0.32%

►4.4 CU YD CLASS III RIPRAP

STMH-101

₩IE=920.96 (12" W)、

IE=920.96 (12" S)

12" FES-100

IE = 920.75

RE=929.94

D=9.0

└-46 LF-12" STM SWR @ 0.52%

OCS-102

RE=931.95

- D=10.7

IE=921.20 (12" E)

D=4.9

E=925.12 (12" SE)

E=925.12 (12" N)

IE=925.30 (12" NW)

RE=928.79

D = 6.2

IE=922.52 (12" W)

IE=922,52 (12" S)

HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAW OF THE STATE OF MINNESOTA CHRISTIAN FROEMKE DATE: 01/18/24 LICENSE NO. 56208

MINNETONKA FLATS

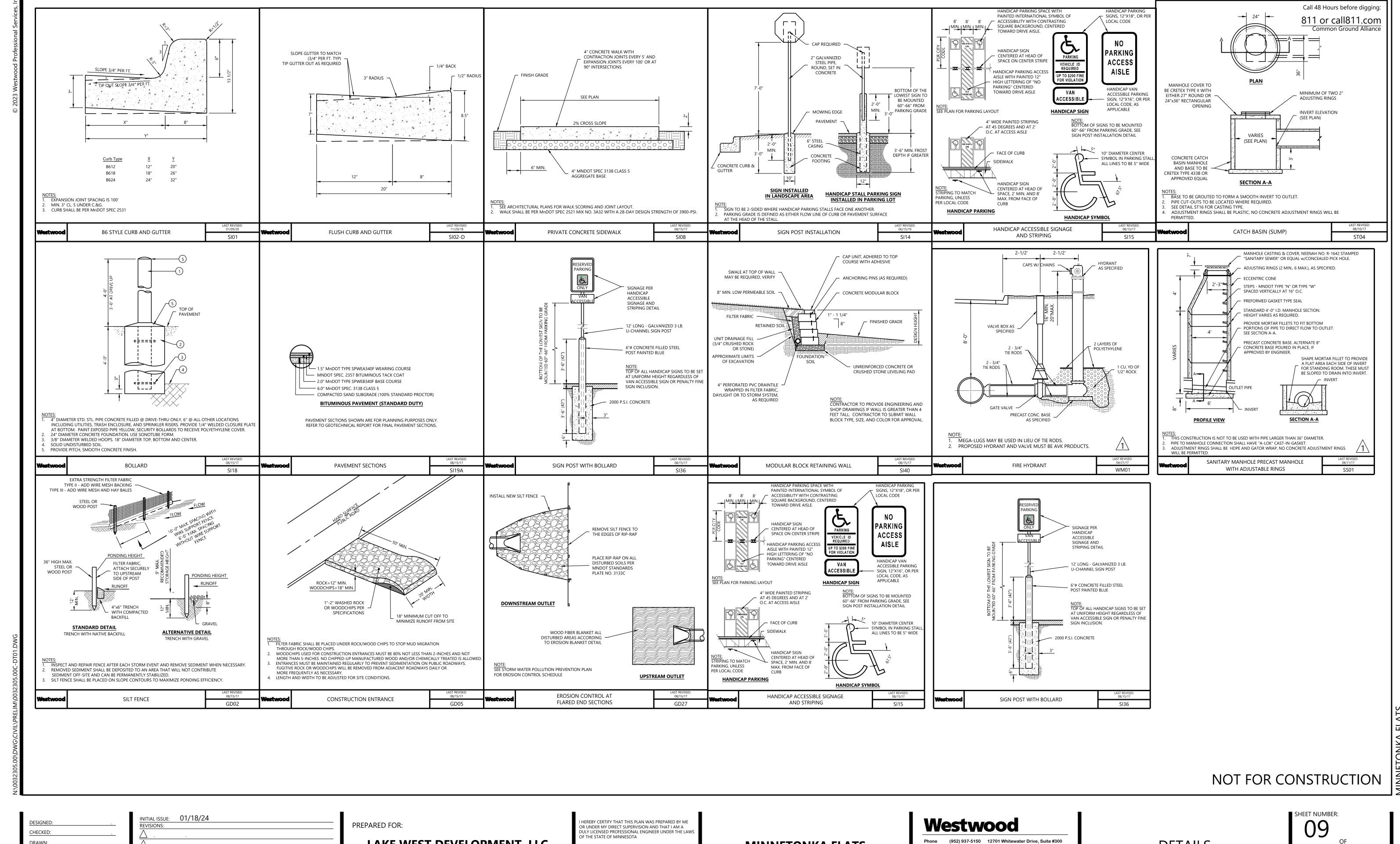
MINNETONKA, MN

Westwood (952) 937-5150 12701 Whitewater Drive, Suite #300

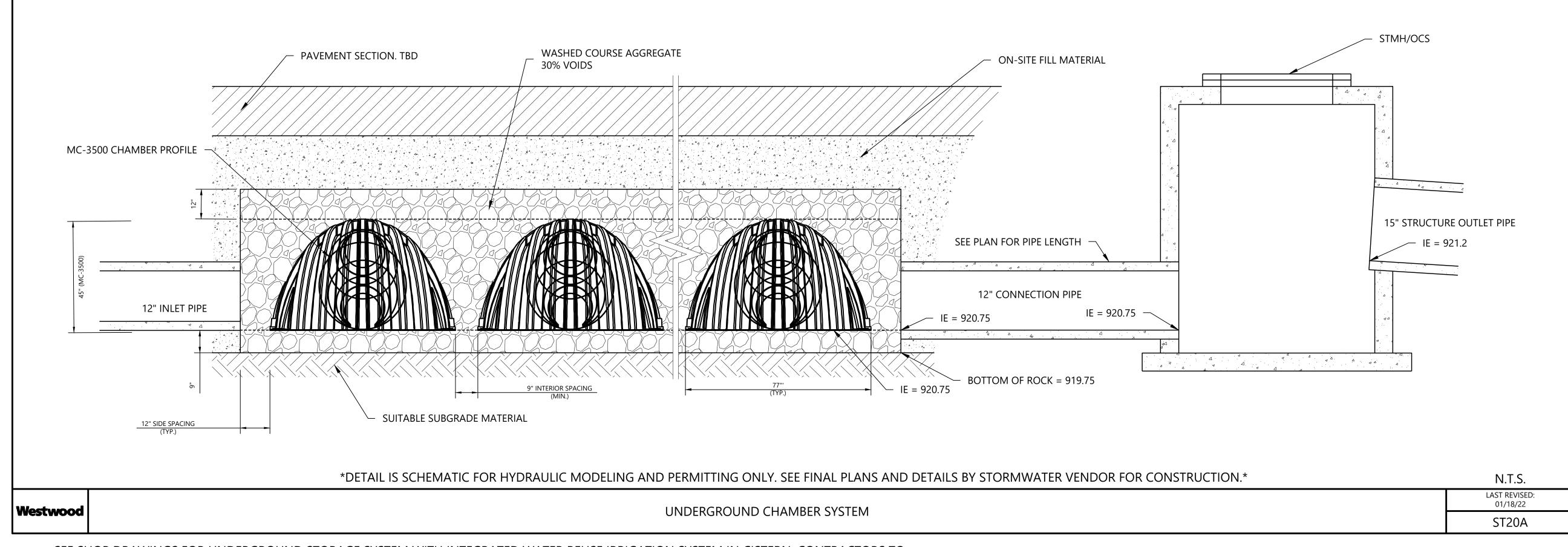
(952) 937-5822 Minnetonka, MN 55343 (888) 937-5150 westwoodps.com

UTILITY PLAN

SHEET NUMBER:



DESIGNED:
CHECKED:
DRAWN:
HORIZONTAL SCALE: ### OF FIX.
VERTICAL SCALE: ### OF FIX.
VE



SEE SHOP DRAWINGS FOR UNDERGROUND STORAGE SYSTEM WITH INTEGRATED WATER REUSE IRRIGATION SYSTEM IN CISTERN. CONTRACTORS TO COORDINATE AND SUBMIT SHOP DRAWINGS FOR REVIEW. FINAL PLANS MAY REQUIRE ADJUSTMENTS BASED UPON FINAL DESIGNS.

NOT FOR CONSTRUCTION

 PREPARED FOR:

LAKE WEST DEVELOPMENT, LLC

14525 HIGHWAY 7, SUITE 265
MINNETONKA, MN 55345

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

CHRISTIAN FROEMKE

DATE: 01/18/24 LICENSE NO. ___56208

MINNETONKA FLATS
MINNETONKA, MN



DETAILS

SHEET NUMBER:

10

OF

PROJECT NUMBER: 0032305.00 DATE: 01/18/24

BASIC TREE REMOVAL AREA: CONSISTS OF THE FOLLOWING -

- A) WITHIN THE AREAS IMPROVED FOR REASONABLY-SIZED DRIVEWAYS, PARKING AREAS AND STRUCTURES WITHOUT THE FROST FOOTINGS AND WITHIN TEN FEET AROUND THOSE
- WITHIN THE FOOTPRINTS OF, AND 20 FEET AROUND, BUILDINGS WITH FROST FOOTINGS;
- C) WITHIN THE FOOTINGS OF, AND 10 FEET AROUND, STRUCTURES WITH POST FOOTINGS SUCH AS DECKS OR PORCHES, IF THE STRUCTURE IS LOCATED AT OR OUTSIDE OF THE
- D) IN AREAS WHERE TREES ARE BEING REMOVED FOR ECOLOGICAL RESTORATION IN ACCORDANCE WITH A CITY-APPROVED RESTORATION PLAN.

HIGH PRIORITY TREE: A TREE THAT IS NOT IN A WOODLAND PRESERVATION AREA BUT IS STILL IMPORTANT TO THE SITE AND THE NEIGHBORHOOD CHARACTER, THAT IS STRUCTURALLY SOUND AND HEALTHY, AND THAT MEETS AT LEAST ONE OF THE FOLLOWING STANDARDS:

- A) A DECIDUOUS TREE THAT IS AT LEAST 10 INCHES DBH, B) A CONIFEROUS TREE THAT IS AT LEAST 15 FEET IN HEIGHT, OR
- C) A TREE THAT IS IN A GROUP OF DECIDUOUS TREES THAT ARE AT LEAST 8 INCHES DBH OR CONIFEROUS TREES THAT ARE AT LEAST 15 FEET IN HEIGHT, THAT PROVIDE A BUFFER OR SCREENING ALONG AN ADJACENT PUBLIC STREET, AND THAT ARE WITHIN 50 FEET OF AN ARTERIAL ROAD AND 35 FEET OF A MINOR COLLECTOR, LOCAL, OR PRIVATE STREET AND A TRAIL. THIS DISTANCE WILL BE MEASURED FROM THE EDGE OF THE PAVEMENT OR CURB OF THE ROAD, STREET OR TRAIL.

SIGNIFICANT TREE: A TREE THAT IS STRUCTURALLY SOUND AND HEALTHY AND THAT IS EITHER A DECIDUOUS TREE AT LEAST 4 INCHES DBH OR A CONIFEROUS TREE AT LEAST 10 FEET IN HEIGHT.

ALLOWABLE TREE REMOVAL

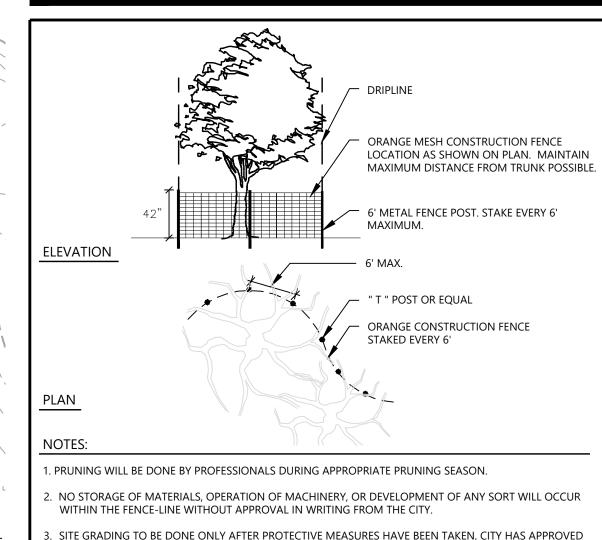
A) FOR THE CONSTRUCTION / REDEVELOPMENT OF A SINGLE-FAMILY PROPERTY OR NON-SINGLE FAMILY PROPERTY: HIGH PRIORITY TREES: 35% OF TREES ON SITE

SIGNIFICANT TREES: 50% OF TREES ON SITE

A) FOR WHEN TREE REMOVAL EXCEEDS THE ALLOWABLE TREE REMOVAL, HIGH PRIORITY TREES, SIGNIFICANT TREES, AND TREES WITHIN WOODLAND PRESERVATION REMOVED OUTSIDE OF: (1) THE BASIC TREE REMOVAL AREA: AND (2) THE WIDTH OF REQUIRED EASEMENTS FOR PUBLIC AND PRIVATE STREETS AND UTILITIES.

1) A TREE OR LARGE SHRUB THAT IS IN A WOODLAND PRESERVATION AREA OR IS A HIGH PRIORITY TREE MUST BE REPLACED AT THE RATE OF ONE INCH FOR EACH INCH IN DIAMETER OF A DECIDUOUS TREE THAT WAS REMOVED AND AT THE RATE OF ONE FOOT FOR EACH FOOT IN HEIGHT OF A CONIFEROUS TREE THAT WAS REMOVED; AND 2) A SIGNIFICANT TREE MUST BE REPLACED WITH ONE TWO-INCH TREE.

TREE PROTECTION DETAIL



. SITE GRADING TO BE DONE ONLY AFTER PROTECTIVE MEASURES HAVE BEEN TAKEN, CITY HAS APPROVED

Mochand	TREE PROTECTION	LAST REVISED: 05/28/15
Westwood	TREE PROTECTION	TP08

LEGEND

EXISTING DECIDUOUS TREE TO REMAIN

EXISTING DECIDUOUS TREE TO BE REMOVED

EXISTING CONIFEROUS TREE TO BE REMOVED

EXISTING CONIFEROUS TREE TO REMAIN

TREE PROTECTION FENCE BASIC TREE REMOVAL AREA

HIGH PRIORITY TREE - BUFFER SCREENING SETBACK

TREE PRESERVATION CALCULATIONS

TREE REPLACEMENT CALCULATIONS		
TOTAL INVENTORIED TREES ON SITE	285.0	TREES
TOTAL HEALTHY INVENTORIED TREES ON SITE	108.0	TREES
TOTAL HEALTHY SIGNIFCANT TREES ONSITE	28.0	TREES
TOTAL HEALTHY SIGNIFCANT TREES SAVED	22.0	TREES
TOTAL NON-EXEMPT HEALTHY SIGNIFCANT TREES REMOVED	6.0	TREES
ALLOWABLE TREE REMOVAL - 50%	14.0	TREES
EXCESS TREE REMOVAL	-8.0	TREES
TREE MITIGATION REQUIRED - SIGNIFICANT	0.0	TREES
RATE: 2" / EXCESS TREE REMOVED		
TREES REMOVED OUTSIDE OF BTRA	0.0	TREES
TOTAL HEALTHY HIGH PRIORITY TREES ONSITE	80.0	TREES
TOTAL HEALTHY HIGH PRIORITY TREES SAVED	47.0	TREES
TOTAL NON-EXEMPT HEALTHY HIGH PRIORITY TREES REMOVED	33.0	TREES
ALLOWABLE TREE REMOVAL - 35%	28.0	TREES
EXCESS TREE REMOVAL	5.0	TREES
TREE MITIGATION REQUIRED - HIGH PRIORITY	5.0	TREES
RATE: 1"/1" EXCESS REMOVAL		
TREES REMOVED OUTSIDE OF BTRA	5.0	TREES
TOTAL TREE REPLACEMENT REQUIRED	28.4	TREES
REPLACEMENT TREES: 2.5 CAL.IN. (71" Cal./2.5" Cal. = 28.4)		

NOT FOR CONSTRUCTION

INITIAL ISSUE: 01/18/24 **HORIZONTAL SCALE:** VERTICAL SCALE:

PREPARED FOR:

LAKE WEST DEVELOPMENT, LLC

14525 HIGHWAY 7, SUITE 265 MINNETONKA, MN 55345

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA

NICHOLAS T. MEYER DATE: 01/18/24 LICENSE NO. 53774 MINNETONKA FLATS

MINNETONKA, MN

Westwood (952) 937-5150 12701 Whitewater Drive, Suite #300 (952) 937-5822 Minnetonka, MN 55343

TREE PRESERVATION PLAN

AG SPECIES SIZE	(DBH) MULTI CONDITION	UNHEALTHY TREE TYPE SIGNIFICANT HIGH EXEMPT PRIORITY	BASIC TREE REMOVAL STATUS	TREE TAG SPECIES SIZE (DBH) MULTI	CONDITION UNHEALTHY TREE TYPE SIGNIFICANT	HIGH BASIC TREE PRIORITY REMOVAL STATUS		GH REMOVAL STATUS	Call 48 Hours bet
060 Siberian Elm 2 061 Bur Oak 1	21	Deciduous Significant Invasive Deciduous Significant High Priority	NO OFFSITE NO OFFSITE	5185 Colorado Spruce 17 5186 Colorado Spruce 7	BD 10% Coniferous Significant Hi, BD 80%; Bent Trunk EXEMPT Coniferous Significant Hi,	gh Priority YES REMOVED	5310 Colorado Spruce 9 BD 40% EXEMPT Coniferous Significant High F 5311 Green and White Ash 15 Deciduous Significant High F	riority NO OFFSITE	811 or call8 Common Gro
062 Bur Oak 2 063 Siberian Elm 2	25	Deciduous Significant High Priority Deciduous Significant Invasive	NO OFFSITE NO SAVED	5187 White Cedar 12 x 5188 Eastern Red Cedar 32	Coniferous Significant Hi BD 25%; 25L EXEMPT Coniferous Significant Hi	gh Priority YES REMOVED	5312 Siberian Elm 11 BD 30% EXEMPT Deciduous Significant Invi 5313 Fruit Tree 8 BD; 25L Deciduous Significant		Common dro
4 Colorado Spruce 1	11 15 PD 409/	Coniferous Significant High Priority	YES REMOVED	5189 Colorado Spruce 16 5190 Colorado Spruce 18	BD 50%; 25L EXEMPT Coniferous Significant Hi BD 30%; 25L EXEMPT Coniferous Significant Hi	gh Priority YES REMOVED	5314 Eastern Red Cedar 6 BD 60% EXEMPT Coniferous Significant	NO OFFSITE NO SAVED	
Colorado Spruce	16 BD 40% 7 BD 30%	EXEMPT Coniferous Significant High Priority	YES REMOVED YES REMOVED	5191 Green and White Ash 11	BD 30% EXEMPT Deciduous Significant Hi	gh Priority NO REMOVED	5316 Black Cherry 11 x BD 15%; 25L EXEMPT Deciduous Significant High F	riority NO OFFSITE	
Green and White Ash 1 Red Oak 2	10 22	Deciduous Significant High Priority Deciduous Significant High Priority	YES REMOVED YES REMOVED	5192 Eastern Red Cedar 12 5193 Eastern Red Cedar 13 x	BD 60% EXEMPT Coniferous Significant Hi BD 70% EXEMPT Coniferous Significant Hi		5317 Green and White Ash 8 Deciduous Significant 5318 Eastern Red Cedar 11 BD 60% EXEMPT Coniferous Significant High R		
Basswood 2 Basswood 2	24 BD 50% 20 BD; 45L	EXEMPT Deciduous Significant High Priority EXEMPT Deciduous Significant High Priority	YES REMOVED YES REMOVED	5194 Eastern Red Cedar 10 5195 Eastern Red Cedar 7 x	BD 50% EXEMPT Coniferous Significant Hi BD 50% EXEMPT Coniferous Significant Hi	The same on the same of the sa	5319 Red (Norway) Pine 9 BD 20% Coniferous Significant High F 5320 Siberian Elm 13 x BD 70% EXEMPT Deciduous Significant Invi		
Basswood 2 Basswood Green and White Ash	8 BD 30%; 25L 9 BD 40%	EXEMPT Deciduous Significant EXEMPT Deciduous Significant	YES REMOVED YES REMOVED	5196 Eastern Red Cedar 8 5197 Eastern Red Cedar 11 x	BD 40%; Bent Trunk EXEMPT Coniferous Significant Hi BD 40% EXEMPT Coniferous Significant Hi	gh Priority NO REMOVED	5321 Green and White Ash 8 BD; 35L EXEMPT Deciduous Significant 5322 Boxelder 17 BD; Bent Trunk Deciduous Significant High R	NO SAVED	
Cottonwood 2	20	Deciduous Significant High Priority	YES REMOVED	5198 Eastern Red Cedar 6 5199 Eastern Red Cedar 8 x	BD 30%; 25L EXEMPT Coniferous Significant	YES REMOVED	5323 Green and White Ash 9 BD 20% Deciduous Significant	NO SAVED NO SAVED	
Cottonwood 2 Cottonwood 2	23 BD 70% 20 BD 40%	EXEMPT Deciduous Significant High Priority	YES REMOVED YES REMOVED	5200 Eastern Red Cedar 10	BD 80% EXEMPT Coniferous Significant Hi	gh Priority YES REMOVED	5325 Green and White Ash 8 BD 20% Deciduous Significant	NO SAVED	
Green and White Ash Green and White Ash 1	20 16 BD; Bent Trunk	Deciduous Significant High Priority Deciduous Significant High Priority	YES REMOVED NO SAVED	5201 Eastern Red Cedar 12 x 5202 Eastern Red Cedar 10 x	BD 50% EXEMPT Coniferous Significant Hi BD 30% EXEMPT Coniferous Significant Hi	TANK WILLIAM CONTROL OF THE CONTROL	5326 Green and White Ash 8 BD 20%, Damaged Bark EXEMPT Deciduous Significant 5327 Green and White Ash 8 BD 15% Deciduous Significant	NO SAVED NO SAVED	
American Elm American Elm 1	8 10	Deciduous Significant HP-Buffer Deciduous Significant High Priority	NO SAVED NO SAVED	5203 Eastern Red Cedar 9 x 5204 Eastern Red Cedar 11 x	BD 40%; 25L EXEMPT Coniferous Significant Hi, BD 60%; 30L EXEMPT Coniferous Significant Hi,	The same in the first contract the same same same same same same same sam	5328 Boxelder 8 BD; 45L EXEMPT Deciduous Significant 5329 Boxelder 8 Deciduous Significant	NO SAVED NO SAVED	
Green and White Ash 1 Red Oak 1	11 x BD 60% 19 BD 30%; Damaged Trui	EXEMPT Deciduous Significant High Priority	NO SAVED NO REMOVED	5205 Eastern Red Cedar 8 x 5206 Eastern Red Cedar 16	BD 10% EXEMPT Coniferous Significant Hi BD; Severly Damaged Trun EXEMPT Coniferous Significant Hi	gh Priority YES REMOVED	5330 Green and White Ash 11 BD 20% Deciduous Significant High F 5331 Green and White Ash 8 BD 20% Deciduous Significant		
American Elm 1	10	Deciduous Significant High Priority	NO SAVED	5207 Eastern Red Cedar 8	BD; Severly Damaged Trun EXEMPT Coniferous Significant Hi	gh Priority YES REMOVED	5332 Green and White Ash 10 Deciduous Significant High F	riority NO SAVED	
Green and White Ash Green and White Ash	10 BD 50%; 25L 9 x BD 40%; Bent Trunk	EXEMPT Deciduous Significant High Priority EXEMPT Deciduous Significant	NO SAVED NO SAVED	5208 Eastern Red Cedar 8 x 5209 Eastern Red Cedar 8 x	BD 50%; 25L EXEMPT Coniferous Significant Hi BD 50% EXEMPT Coniferous Significant Hi	gh Priority YES REMOVED	5333 Green and White Ash 8 BD 20%; 25L EXEMPT Deciduous Significant 5334 Siberian Elm 9 BD 30%; 25L EXEMPT Deciduous Significant Invi		
Cottonwood 3 Boxelder 1	30 BD 10% 11 BD; 45L	Deciduous Significant High Priority EXEMPT Deciduous Significant High Priority	NO SAVED NO OFFSITE	5210 Eastern Red Cedar 8 5211 Eastern Red Cedar 7	BD; 35L EXEMPT Coniferous Significant Hi, BD; 35L EXEMPT Coniferous Significant Hi,		5335 Red Oak 8 BD; Dead EXEMPT Deciduous Significant 5336 Red Oak 9 Deciduous Significant	NO SAVED NO SAVED	
Green and White Ash Green and White Ash	8 10 BD40%; 35L	Deciduous Significant HP-Buffer EXEMPT Deciduous Significant High Priority	NO SAVED	5212 Eastern Red Cedar 10 x 5213 Eastern Red Cedar 16	BD; 30L EXEMPT Coniferous Significant Hi, BD; 35L EXEMPT Coniferous Significant Hi,		5337 Green and White Ash 17 BD; 45L EXEMPT Deciduous Significant High F 5338 Green and White Ash 11 Deciduous Significant High F		
Green and White Ash 1 Green and White Ash 1	12 BD; Bent Crown 10 BD; 45L	Deciduous Significant High Priority	NO SAVED YES REMOVED	5214 Green and White Ash 9 5215 Green and White Ash 8	BD 70%; 35L EXEMPT Deciduous Significant BD; Severly Bent Trunk EXEMPT Deciduous Significant	YES REMOVED YES REMOVED	5339 Eastern Red Cedar 10 BD 60% EXEMPT Coniferous Significant High F 5340 Eastern Red Cedar 8 BD 50% EXEMPT Coniferous Significant High F	riority NO SAVED	
Boxelder 1	10 x BD; 75L	EXEMPT Deciduous Significant High Priority	YES REMOVED	5216 Green and White Ash 10	BD 10%; 25L EXEMPT Deciduous Significant Hi	gh Priority YES REMOVED	5341 Green and White Ash 13 BD 45% EXEMPT Deciduous Significant High R	riority NO SAVED	
Cottonwood 3 Cottonwood 1 Cottonwood 1	35 19 BD; Severly Bent Trun		YES REMOVED YES REMOVED	5217 Green and White Ash 19 5218 Black Walnut 11	BD 20% Deciduous Significant Hi BD 20% Deciduous Significant Hi	gh Priority NO SAVED	5342 Green and White Ash 10 BD 20%; 25L EXEMPT Deciduous Significant High F 5343 Eastern Red Cedar 4 x BD 50% EXEMPT Coniferous Significant	NO SAVED	
Cottonwood 1 Cottonwood 2	19 BD; Severly Bent Trun 22	k EXEMPT Deciduous Significant High Priority Deciduous Significant High Priority	YES REMOVED YES REMOVED	5219 Green and White Ash 11 5220 American Elm 13	BD 40% EXEMPT Deciduous Significant Hi BD; Dying Leaves EXEMPT Deciduous Significant Hi	gh Priority YES REMOVED	5344 Green and White Ash 14 BD 15% Deciduous Significant High F 5345 Green and White Ash 14 Deciduous Significant High F	riority NO SAVED	
Cottonwood 3 Eastern Red Cedar	7 BD 40%	Deciduous Significant High Priority EXEMPT Coniferous Significant High Priority	YES REMOVED YES REMOVED	5221 American Elm 8 5222 Black Walnut 21	BD; Dying Leaves EXEMPT Deciduous Significant BD; 25L Deciduous Significant Hi	YES REMOVED	5346 Green and White Ash 13 BD; Bent Trunk Deciduous Significant High F 5347 Eastern Red Cedar 7 BD 80% EXEMPT Coniferous Significant High F	riority NO SAVED	
Eastern Red Cedar	9 BD40% 8 BD70%	EXEMPT Coniferous Significant High Priority	YES REMOVED YES REMOVED	5223 Green and White Ash 10 5224 American Elm 10	Deciduous Significant Hi Deciduous Significant Hi	gh Priority YES REMOVED	5348 Green and White Ash 8 BD; 45L EXEMPT Deciduous Significant 5349 Boxelder 11 x BD30% EXEMPT Deciduous Significant High F	NO SAVED	
Eastern Red Cedar	9 BD 40%	EXEMPT Coniferous Significant High Priority	YES REMOVED	5225 Fruit Tree 8 x	BD 50% EXEMPT Deciduous Significant	NO REMOVED	5350 Green and White Ash 9 BD; 25L Deciduous Significant	NO SAVED	
Cottonwood 2 American Elm 2	25 20 BD 50%; 45L	Deciduous Significant High Priority EXEMPT Deciduous Significant High Priority	YES REMOVED YES REMOVED	5226 Green and White Ash 10 5227 American Elm 8	Deciduous Significant Hi BD; Dying Leaves EXEMPT Deciduous Significant	YES REMOVED	5351 Green and White Ash 16 Deciduous Significant High F 5352 Green and White Ash 9 Deciduous Significant	YES REMOVED	
Green and White Ash Red (Norway) Pine	22 BD 50% 6 BD 80%	EXEMPT Deciduous Significant High Priority EXEMPT Coniferous Significant	YES REMOVED YES REMOVED	5228 American Elm 9 5229 Si berian Elm 26	Deciduous Significant H Deciduous Significant	HP-Buffer NO SAVED Invasive NO OFFSITE	5353 Green and White Ash 12 BD; 45L EXEMPT Deciduous Significant High R 5354 Green and White Ash 8 BD; 75L EXEMPT Deciduous Significant	NO REMOVED	
Colorado Spruce Colorado Spruce 1	7 BD 80% 18 BD 20%	EXEMPT Coniferous Significant High Priority Coniferous Significant High Priority	YES REMOVED YES REMOVED	5230 Green and White Ash 11 5231 Green and White Ash 8	Deciduous Significant Hi		5355 Colorado Spruce 12 BD 30% EXEMPT Coniferous Significant High F 5356 Colorado Spruce 8 BD 50% EXEMPT Coniferous Significant High F	riority YES REMOVED	
Colorado Spruce 1	12 BD 70%	EXEMPT Coniferous Significant High Priority	YES REMOVED	5232 Boxelder 10 2533 Black Walnut 18	BD 20%; Damaged Trunk EXEMPT Deciduous Significant Hi	gh Priority NO REMOVED	5357 Red (Norway) Pine 6 BD 70% EXEMPT Coniferous Significant 5358 Red (Norway) Pine 5 BD 80% EXEMPT Coniferous Significant	YES REMOVED YES REMOVED	
Boxelder 1 Boxelder 1	12 BD; 65L	EXEMPT Deciduous Significant High Priority Deciduous Significant High Priority	NO OFFSITE NO OFFSITE	5234 Green and White Ash 14	Deciduous Significant Hi	gh Priority YES REMOVED	5359 Green and White Ash 13 x BD; 35L EXEMPT Deciduous Significant High F	riority YES REMOVED	
Boxelder 1 Boxelder	14 BD 15%; 65L 8 BD; 55L	EXEMPT Deciduous Significant High Priority EXEMPT Deciduous Significant	NO OFFSITE NO OFFSITE	5235 Green and White Ash 16 5236 Fruit Tree 8	BD 20% Deciduous Significant Hi Deciduous Significant H	HP-Buffer YES REMOVED	5360 Colorado Spruce 7 BD 50% EXEMPT Coniferous Significant High F 5361 Colorado Spruce 7 BD 50% EXEMPT Coniferous Significant High F	riority YES REMOVED	
Boxelder 1 Boxelder	16 BD; 45L 8 BD; 25L	EXEMPT Deciduous Significant High Priority Deciduous Significant HP-Buffer	NO SAVED NO SAVED	5237 Siberian Elm 10 x 5238 Siberian Elm 11 x	Deciduous Significant Deciduous Significant	Invasive NO REMOVED Invasive YES REMOVED	5362 Boxelder 8 x BD; 65L EXEMPT Deciduous Significant 5363 Colorado Spruce 5 BD 20% Coniferous Significant	NO SAVED NO SAVED	
Boxelder 1 Boxelder	12 BD; 75L 9 BD; 25L	EXEMPT Deciduous Significant High Priority Deciduous Significant	NO SAVED NO SAVED	5239 American Elm 10 5240 Siberian Elm 8	BD; Damaged Trunk EXEMPT Deciduous Significant Hi BD 40% EXEMPT Deciduous Significant	gh Priority YES REMOVED Invasive YES REMOVED	5364 Boxelder 8 BD; 80L EXEMPT Deciduous Significant 5365 Boxelder 9 BD; 45L; Bent Trunk EXEMPT Deciduous Significant	YES REMOVED NO SAVED	
Boxelder 1	11 x BD 20% 10 BD; 25L	Deciduous Significant High Priority	NO SAVED	5241 Siberian Elm 15 5242 Siberian Elm 10	Deciduous Significant BD; Bent Trunk Deciduous Significant	Invasive YES REMOVED	5366 Cottonwood 28 x BD; 25L Deciduous Significant High F 5367 Cottonwood 28 x BD; 25L Deciduous Significant High F	riority NO SAVED	
Boxelder 1	13 BD; 45L	Deciduous Significant High Priority EXEMPT Deciduous Significant High Priority	NO OFFSITE NO SAVED	5243 Siberian Elm 10	BD 70% EXEMPT Deciduous Significant	Invasive YES REMOVED	5368 Green and White Ash 8 BD 80% EXEMPT Deciduous Significant	NO REMOVED	
Box elder 1 American Elm 1	 BD; 75L; Severly Bent Tr BD 10% 	unl EXEMPT Deciduous Significant High Priority Deciduous Significant High Priority	NO SAVED NO SAVED	5245 Siberian Elm 15	BD; 25L Deciduous Significant	Invasive YES REMOVED	5370 Green and White Ash 22 Deciduous Significant High F	riority NO SAVED	
Boxelder 1 Boxelder 1	12 BD; 45L 13 BD; 25L; Bent Trunk	EXEMPT Deciduous Significant High Priority EXEMPT Deciduous Significant High Priority	NO SAVED	5246 Si berian Elm 8 5247 Green and White Ash 9	Deciduous Significant BD; 25L Deciduous Significant H		5371 Boxelder 8 BD; Bent Trunk Deciduous Significant 5372 Green and White Ash 11 BD; 25L; Bent Trunk EXEMPT Deciduous Significant High R		
Boxelder 1 Boxelder Boxelder	8 BD; 35L 9 BD40%; 75L	EXEMPT Deciduous Significant EXEMPT Deciduous Significant	NO SAVED NO SAVED	5248 Si berian Elm 11 5249 Si berian Elm 8	BD 20% Deciduous Significant Deciduous Significant	Invasive YES REMOVED	5373 Green and White Ash 9 BD; 45L EXEMPT Deciduous Significant 5374 Cottonwood 44 Deciduous Significant High R	NO SAVED	
Boxelder 2 Black Walnut 1	27 BD; 25L 13 BD 10%	Deciduous Significant High Priority	NO SAVED	5250 Siberian Elm 9 5251 Colorado Spruce 15	Deciduous Significant BD 80% EXEMPT Coniferous Significant Hi	Invasive YES REMOVED	5375 Boxelder 10 BD; 25L Deciduous Significant High F 5376 Green and White Ash 19 x BD; 45L; Bent Trunk EXEMPT Deciduous Significant High F	riority NO SAVED	
Green and White Ash	8 BD; 25L	Deciduous Significant High Priority Deciduous Significant Deciduous Significant High Priority	NO SAVED	5252 Red (Norway) Pine 13	BD 40% EXEMPT Coniferous Significant Hi	gh Priority YES REMOVED	5377 Boxelder 8 Deciduous Significant	NO SAVED YES REMOVED	
Green and White Ash 2 Siberian Elm 1	21 18 x BD 20%	Deciduous Significant High Priority Deciduous Significant Invasive	NO SAVED NO SAVED	5254 Red (Norway) Pine 6	BD 50% EXEMPT Coniferous Significant	YES REMOVED	5379 Cottonwood 36 Deciduous Significant High R	riority YES REMOVED	
Siberian Elm 1 Siberian Elm	14 BD 10% 9	Deciduous Significant Invasive Deciduous Significant Invasive	NO SAVED NO SAVED	5255 Red (Norway) Pine 8 5256 Red (Norway) Pine 7 x	BD 30% EXEMPT Coniferous Significant Hi BD 40% EXEMPT Coniferous Significant Hi	gh Priority YES REMOVED	5380 Boxelder 8 BD; 45L EXEMPT Deciduous Significant 5381 Green and White Ash 14 Deciduous Significant High F		
Siberian Elm 1 Boxelder 1	17 x BD 20% 10 x BD 40%	Deciduous Significant Invasive EXEMPT Deciduous Significant High Priority	NO SAVED NO SAVED	5257 Red (Norway) Pine 7 5258 Red (Norway) Pine 12	BD 30% EXEMPT Coniferous Significant Hi BD 60% EXEMPT Coniferous Significant Hi	gh Priority YES REMOVED	5382 Green and White Ash 12 BD; 35L EXEMPT Deciduous Significant High F 5383 American Elm 9 Deciduous Significant	YES REMOVED	
Siberian Elm 1	13 BD15%	Deciduous Significant Invasive Deciduous Significant Invasive	NO SAVED NO SAVED	5259 Red (Norway) Pine 9 5260 Red (Norway) Pine 6	BD 30% EXEMPT Coniferous Significant Hi BD 20% Coniferous Significant		5384 Green and White Ash 8 Deciduous Significant 5385 Green and White Ash 11 BD; 25L Deciduous Significant High F	NO SAVED riority NO OFFSITE	
Green and White Ash 1	14 x	Deciduous Significant High Priority	NO SAVED	5261 Red (Norway) Pine 12 5262 Red (Norway) Pine 10	BD 80% EXEMPT Coniferous Significant Hi BD 30% EXEMPT Coniferous Significant Hi	gh Priority YES REMOVED	5386 Boxelder 8 BD; 45L EXEMPT Deciduous Significant 5387 Green and White Ash 17 BD; 25L Deciduous Significant High F	NO OFFSITE	
American Elm 1 Siberian Elm 1 Siberian Elm 1	13 14 x BD15%	Deciduous Significant High Priority Deciduous Significant Invasive	NO SAVED NO SAVED	5263 Colorado Spruce 11	BD 40% EXEMPT Coniferous Significant Hi	gh Priority YES REMOVED	5388 Green and White Ash 16 Deciduous Significant High F	riority NO OFFSITE	
Siberian Elm 1 Siberian Elm 2	14 BD 30% 20	EXEMPT Deciduous Significant Invasive Deciduous Significant Invasive	NO SAVED NO SAVED	5264 Colorado Spruce 10 5265 Colorado Spruce 11	BD 70% EXEMPT Coniferous Significant Hi BD 60% EXEMPT Coniferous Significant Hi	gh Priority YES REMOVED	5390 Green and White Ash 11 Deciduous Significant High F	riority NO OFFSITE	
American Elm Red (Norway) Pine	9 6 BD50%	Deciduous Significant HP-Buffer EXEMPT Coniferous Significant	NO SAVED YES SAVED	5266 Colorado Spruce 6 5267 Colorado Spruce 6	BD 40% EXEMPT Coniferous Significant BD 80% EXEMPT Coniferous Significant	YES REMOVED YES REMOVED	5391 Green and White Ash 10 Deciduous Significant High R 5392 Green and White Ash 8 x Deciduous Significant	riority NO OFFSITE NO OFFSITE	
American Elm Red (Norway) Pine	9 8 BD50%	Deciduous Significant HP-Buffer EXEMPT Coniferous Significant High Priority		5268 Green and White Ash 15 5269 Boxelder 16	BD 70%; 25L EXEMPT Deciduous Significant Hi, BD; 65L EXEMPT Deciduous Significant Hi,		5393 Green and White Ash 9 Deciduous Significant 5394 Green and White Ash 12 Deciduous Significant High R	NO OFFSITE riority NO OFFSITE	
Red (Norway) Pine	6 BD 80%	EXEMPT Coniferous Significant	YES REMOVED	5270 Green and White Ash 8 5271 Boxelder 9	BD; 45L; Bent Trunk EXEMPT Deciduous Significant BD; 15L Deciduous Significant	NO REMOVED NO REMOVED	5395 Green and White Ash 8 BD; 25L Deciduous Significant 5396 American Elm 14 Deciduous Significant High F	NO OFFSITE	
Red (Norway) Pine Red (Norway) Pine	6 BD90% 7 BD85%	EXEMPT Coniferous Significant EXEMPT Coniferous Significant High Priority	YES REMOVED YES REMOVED	5272 Fruit Tree 8	BD 60% EXEMPT Deciduous Significant	NO REMOVED	5397 Basswood 17 Deciduous Significant High F	riority NO OFFSITE	
White Pine Green and White Ash	9 BD 60% 9 BD 20%	EXEMPT Coniferous Significant High Priority Deciduous Significant	YES REMOVED YES REMOVED	5273 Green and White Ash 11 5274 Green and White Ash 12	BD; 25L Deciduous Significant Hi BD 10%; 15L Deciduous Significant Hi	gh Priority NO REMOVED	5398 Basswood 8 BD; 25L Deciduous Significant	NO OFFSITE	
White Pine	8 BD 60% 7 BD 70%	EXEMPT Coniferous Significant High Priority EXEMPT Coniferous Significant High Priority	YES REMOVED YES REMOVED	5275 Green and White Ash 9 5276 Green and White Ash 10	BD; 25L Deciduous Significant BD 30% EXEMPT Deciduous Significant Hi	NO REMOVED gh Priority NO SAVED			
Red (Norway) Pine Black Walnut Red Oak 4	8 BD30% 45 DEAD	EXEMPT Deciduous Significant EXEMPT Deciduous Significant High Priority	NO SAVED YES REMOVED	5277 Green and White Ash 12 5278 Si berian Elm 13 x	Deciduous Significant Hi		NOTES:		
Sugar Maple 2	27	Deciduous Significant High Priority	YES REMOVED	5279 Boxelder 14 5280 Siberian Elm 13	Deciduous Significant Hi BD 20%; 25L EXEMPT Deciduous Significant		NOTES: * Tree Survey performed Spring 2021 based on City Code		
Hackberry 1 Bur Oak 3	14 34 BD 5%	Deciduous Significant High Priority Deciduous Significant High Priority	YES REMOVED NO SAVED	5281 Green and White Ash 9	BD 20%; 25L EXEMPT Deciduous Significant	NO SAVED	*Suggested removal for existing tree and site conditions. Subject to change upon proposed site alterations. Conifer DBHto Height Multiplier: 2.4		
White Pine 1 White Pine	15 BD 30% 9 BD 50%	EXEMPT Coniferous Significant High Priority EXEMPT Coniferous Significant High Priority	YES REMOVED NO REMOVED	5282 Green and White Ash 9 5283 Green and White Ash 11	Deciduous Significant BD 20% Deciduous Significant Hi		contret portro neight Multiplier, 2.4		
White Pine Boxelder 2 Boxelder	26 BD; 65L; Bent Trunk	Deciduous Significant High Priority EXEMPT Deciduous Significant	NO REMOVED NO REMOVED	5284 Green and White Ash 17 5285 Eastern Red Cedar 6 x	BD 10%; 15L EXEMPT Deciduous Significant Hi Coniferous Significant		MINNETONKA CITY CODE High Priority Trees		
Boxelder 1	12 BD; 25L	Deciduous Significant High Priority	NO REMOVED	5286 Colorado Spruce 14 5287 Colorado Spruce 9	Coniferous Significant Hi Coniferous Significant Hi	gh Priority NO OFFSITE	High Priority Trees Deciduous Trees +10" DBH		
Eastern Red Cedar 1 White Pine 1	13 BD25% 17 BD20%	Coniferous Significant High Priority Coniferous Significant High Priority	YES REMOVED NO SAVED	5288 Colorado Spruce 9 5289 Siberian Elm 19 x	Coniferous Significant Hi		Coniferous Trees 15' height		
Box elder Fruit Tree	8 BD; 75L 9 BD; 25L	EXEMPT Deciduous Significant Deciduous Significant	NO SAVED NO SAVED	5290 Colorado Spruce 9	BD 30% EXEMPT Coniferous Significant Hi	gh Priority NO OFFSITE	Significant Trees (must be healthy to qualify)		
Boxelder 1	8 12	Deciduous Significant Deciduous Significant High Priority	NO SAVED NO SAVED	5291 Colorado Spruce 12 5292 Si berian Elm 8		Invasive NO OFFSITE	DeciduousTrees 4" - 9" DBH Coniferous Trees 10' height		
Green and White Ash 1 Black Walnut	16 8	Deciduous Significant High Priority Deciduous Significant	NO SAVED NO SAVED	5293 Colorado Spruce 7 5294 Colorado Spruce 4	BD 30% EXEMPT Coniferous Significant Hi BD 30% EXEMPT Coniferous Significant	NO			
Boxelder 1	BD; 25L BD: 30L	Deciduous Significant High Priority	NO SAVED	5295 Eastern Red Cedar 8 5296 Colorado Spruce 9	BD 40% EXEMPT Coniferous Significant Hi BD 60% EXEMPT Coniferous Significant Hi	gh Priority NO OFFSITE	BD: Biological Damage		
Boxelder 1 Boxelder	16 BD; 30L 8 BD; 45L	EXEMPT Deciduous Significant High Priority EXEMPT Deciduous Significant	NO OFFSITE NO OFFSITE	5297 Eastern Red Cedar 7	BD 40% EXEMPT Coniferous Significant Hi	gh Priority NO OFFSITE	PD: Physical Damage		
Boxelder 1 Boxelder 1 Boxelder 1	12 x BD 10%; 45L 10 BD; 45L	EXEMPT Deciduous Significant High Priority EXEMPT Deciduous Significant High Priority	NO SAVED NO OFFSITE	5299 Red (Norway) Pine 13	BD 30%; Damaged Bark EXEMPT Coniferous Significant Hi		X: Multi-trunk SR-E: Suggested Removal - Exempt		
Boxelder 1 Red (Norway) Pine 1	19 10 BD 5%	Deciduous Significant High Priority Coniferous Significant High Priority	NO OFFSITE NO SAVED	5300 Red Oak 13 5301 Red Oak 10	BD 15%; 25L Deciduous Significant Hi BD 30% EXEMPT Deciduous Significant Hi	gh Priority NO OFFSITE	#L: Degree of Tree Trunk Lean		
White Pine 2	22 BD 5% 14 BD 10%; 25L	Coniferous Significant High Priority EXEMPT Coniferous Significant High Priority	NO SAVED NO SAVED	5302 White Pine 19 5303 White Pine 12	BD 50% EXEMPT Coniferous Significant Hi BD 50% EXEMPT Coniferous Significant Hi	gh Priority NO OFFSITE	SUGGESTED UNHEALTHY		
Colorado Spruce 1 White Pine 1	18	Coniferous Significant High Priority	NO SAVED	5304 Red Oak 22 5305 White Pine 5	BD 30% EXEMPT Deciduous Significant Hi BD 5% Coniferous Significant		30% or more missing crown, 30% dead branches, 30 degree lean or more should be		
Siberian Elm 1 Box elder 1	11 BD40% 13 BD; 90L	EXEMPT Deciduous Significant Invasive EXEMPT Deciduous Significant High Priority	NO REMOVED NO REMOVED	5306 White Pine 22	BD 40% EXEMPT Coniferous Significant Hi	gh Priority NO OFFSITE	*If multiple issues present, removal is suggested (even if under specified threshold)		
White Pine 2 Colorado Spruce 1	28 BD 5% 16	Coniferous Significant High Priority Coniferous Significant High Priority	NO SAVED YES REMOVED	5308 Eastern Red Cedar 5	BD 60% EXEMPT Coniferous Significant	NO OFFSITE	"Existing tree tag" references 2013 tree survey (by others), refer to that tree tag number if present		
Colorado Spruce 1	17 BD 10%	Coniferous Significant High Priority	YES REMOVED	5309 Eastern Red Cedar 6	BD 60%; 25L EXEMPT Coniferous Significant	NO OFFSITE			NOT FOR CONSTRUC
									INOT FOR CONSTRUC
1	INITIAL ICCUS 01/10/04		I						SHEET NUMBER:
·	INITIAL ISSUE: 01/18/24 REVISIONS:		PREPARED FOR:		I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A		I Westwood		1 1 2
<u> </u>	<u> </u>		LAIZENA		DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA	B # 1	Ph (050) 007 5450 40704 White work or Point 4000	TREE PRESER\	/ATION
· ·	I /\		■ IAKFW	EST DEVELOPMENT, LLC		MINNETC	Phone (952) 937-5150 12701 Whitewater Drive, Suite #300 Fax (952) 937-5822 Minnetonka, MN 55343		. ,

MINNETONKA FLATS

MINNETONKA, MN

LAKE WEST DEVELOPMENT, LLC

14525 HIGHWAY 7, SUITE 265 MINNETONKA, MN 55345

NICHOLAS T. MEYER

DATE: 01/18/24 LICENSE NO. 53774

HORIZONTAL SCALE:

OR

PROJECT NUMBER: 0032305.00 DATE: 01/18/24

DATA

(952) 937-5150 12701 Whitewater Drive, Suite #300 (952) 937-5822 Minnetonka, MN 55343 westwoodps.com

Common Ground Alliance

PRELIMINARY PLANT SCHEDULE

COMMON / BOTANICAL NAME ROOT SPACING O.C. MATURE SIZE **DECIDUOUS TREES - 40** ACCOLADE™ ELM / ULMUS X 'MORTON' 2.5" CAL. AS SHOWN H 70` W 40`-50` BOULEVARD AMERICAN LINDEN / TILIA AMERICANA 'BOULEVARD' H 50`-60` W 25`-30` 2.5" CAL. **AS SHOWN** DECIDUOUS BURR OAK / QUERCUS MACROCARPA 2.5" CAL. **AS SHOWN** H 60`-80` W 60`-80` EXCLMATION SYCAMORE / PLATANUS X ACERIFLORA 'MORTON CIRCLE' 2.5" CAL. **AS SHOWN** H 50` W 40` FALL FIESTA® SUGAR MAPLE / ACER SACCHARUM 'BAILSTA' 2.5" CAL. **AS SHOWN** H 60`-75` W 50` HACKBERRY / CELTIS OCCIDENTALIS 2.5" CAL. H 40`-60` W 40` AS SHOWN DECIDUOUS RIVER BIRCH / BETULA NIGRA 6` HT., CLUMP B&B AS SHOWN H 40`-60` W 30`-40` TREES SIENNA GLEN® MAPLE / ACER X FREEMANII 'SIENNA 2.5" CAL. H 50`-60` W 40` AS SHOWN (TREE MITIGATION) WHITE OAK / QUERCUS ALBA 2.5" CAL. B&B **AS SHOWN** H 60`-80` W 60`-80` EVERGREEN TREES - 60 BLACK HILLS SPRUCE / PICEA GLAUCA DENSATA 6` HT. AS SHOWN H 30`-40` W 20`-30` BLUE TOTEM COLORADO SPRUCE / PICEA PUNGENS 'BLUE TOTEM' 6` HT. AS SHOWN H 15`-18` W 3`-4` **EVERGREEN** TREES CONCOLOR FIR / ABIES CONCOLOR H 30`-50` W 25`-30` 6` HT. AS SHOWN NORWAY PINE / PINUS RESINOSA 6` HT. **AS SHOWN** H 50`-80` W 30`-40` **EVERGREEN** NORWAY SPRUCE / PICEA ABIES 6` HT. **AS SHOWN** H 60`-80` W 25`-30` PONDEROSA PINE / PINUS PONDEROSA 6` HT. H 60`-80` W 25`-30` AS SHOWN (TREE MITIGATION) WHITE PINE / PINUS STROBUS 6` HT. AS SHOWN H 50`-80` W 30`-40` ORNAMENTAL TREES - 55 AUTUMN BRILLIANCE APPLE SERVICEBERRY / AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' 6` HT., CLUMP B&B AS SHOWN H 15`-20` W 15`-20` PARKLAND PILLAR® ASIAN WHITE BIRCH / BETULA PLATYPHYLLA 'JEFPARK' 1.5" CAL. H 40` W 6`-7` **AS SHOWN** PRAIRIE GOLD® QUAKING ASPEN / POPULUS TREMULOIDES 'NE ARB' 1.5" CAL. AS SHOWN H 30` W 15` PRAIRIFIRE CRABAPPLE / MALUS X 'PRAIRIFIRE' 1.5" CAL. **AS SHOWN** H 15`-20` W 20` QUAKING ASPEN / POPULUS TREMULOIDES 1.5" CAL. **AS SHOWN** H 40`-60` W 20`-30` THORNLESS COCKSPUR HAWTHORN / CRATAEGUS CRUS-GALLI INERMIS 6` HT., CLUMP B&B **AS SHOWN** H 15`-20` W 15`-20` NORTHERN STRAIN REDBUD / CERCIS CANADENSIS 'NORTHERN STRAIN' 1.5" CAL. **AS SHOWN** H 25` W 30` AMERICAN HOPHORNBEAM / OSTRYA VIRGINIANA 1.5" CAL. AS SHOWN H 25`-40` W 20`-30` PAGODA DOGWOOD / CORNUS ALTERNIFOLIA AS SHOWN H 15`-20` W 20`-32` 1.5" CAL.

> ABBREVIATIONS: B&B = BALLED AND BURLAPPED CAL. = CALIPER HT. = HEIGHT MIN. =MINIMUM O.C. = ON CENTER SP. = SPREAD QTY .= QUANTITY CONT. = CONTAINER

NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

MULTI FAMILY LANDSCAPE REQUIREMENTS

LANDSCAPING REQUIRED: * \$1,000,001-\$2,000,000 = \$20,000 + 1% OF PROJECT VALUE IN EXCESS OF \$1,000,000

* \$2,000,001-\$3,000,000 = \$30,000 + 0.75% OF PROJECT VALUE IN EXCESS OF \$2,000,000 * \$3,000,001-\$4,000,000 = \$37,500 + 0.25% OF PROJECT VALUE IN EXCESS OF \$3,000,000 * OVER \$4,000,000 = 1%

* AT LEAST 25% OF PROPOSED NEW PLANTINGS MUST BE SPECIES BENEFICIAL TO POLLINATORS DERIVED FROM THE CITY'S NATIVE OR NATIVE CULTIVAR PLANT LIST, UNLESS APPROVED BY THE CITY THE CITY MAY ALLOW CREDIT FOR EXISTING, NATIVE AND/OR SIGNIFICANT PLANT MATERIALS

PARKING LOT LANDSCAPE TREES SHALL BE PROVIDED AT THE RATE OF ONE TREE FOR EACH 15 SURFACE PARKING SPACES PROVIDED, OR MAJOR FRACTION THEREOF.

*TREE REPLACEMENT REQUIREMENTS: (SEE CALCULATIONS ON TREE PRESERVATION TABLE SHEET)

LANDSCAPE PROVISIONS

TOTAL LANDSCAPING PROVIDED:	155 TRE
* DECIDUOUS TREES	18 TRE
* EVERGREEN TREES	53 TRE
* ORNAMENTAL TREES	55 TRE
* TREE MITIGATION - DECIDUOUS TREES	22 TRE
* TREE MITIGATION - EVERGREEN TREES	7 TRE

GENERAL NOTES

- 1. TREE LOCATIONS AND SPACING ARE SUBJECT TO CHANGE BASED ON CONSTRUCTED PARKING LOT, SIDEWALK, AND UTILITY LOCATIONS.
- 2. PARKING LOT TREES SHALL BE PLANTED 5' FROM BACK OF CURB IN A LOCATION THAT DOES NOT INTERFERE WITH CURBSTOPS OR INDIVIDUAL SEWER & WATER CONNECTIONS.
- WITH INDIVIDUAL SEWER, WATER CONNECTIONS, AND EASEMENTS.

3. STREET TREES SHALL BE PLANTED 7' FROM BACK OF SIDEWALK IN A LOCATION THAT DOES NOT INTERFERE

- 4. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- 5. DECIDUOUS TREES SHOULD BE LOCATED A MINIMUM OF 5' OFF ANY UTILITY PIPE AND CONIFEROUS TREES TREES SHOULD BE LOCATED A MINIMUM OF 15' OFF ANY UTILITY PIPE.
- 6. NO TREE SHOULD BE LOCATED WITHIN 10' OF A HYDRANT OR 15' FROM A STREETLIGHT.
- 7. NO DECIDUOUS TREE WITHIN 5' OF A SIDEWALK OR TRAIL AND NO CONIFEROUS TREES WITHIN 20' OF A PROPOSED SIDEWALK OR TRAIL.
- 8. ALL LANDSCAPED AREAS SHALL BE IRRIGATED WITH A DRIP LINE OR SPRAY SYSTEM AS APPROPRIATE FOR THE PROPOSED PLANTINGS IN THE SPECIFIC AREA. LANDSCAPED BOULEVARD ALONG BROADWAY AVENUE TO BE INCLUDED IN THE IRRIGATION SYSTEM.
- 9. MECHANICALS TO BE SCREENED WITH ADEQUATE VEGETATION.

GROUNDCOVER SCHEDULE



3"-6" RIVER ROCK MULCH (ALL PLANTING BEDS)

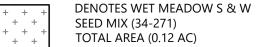


SEED MIX (35-241) TOTAL AREA (0.04 AC)

MESIC PRAIRIE GENERAL



NATIVE SEED MIX (33-261) TOTAL AREA (0.04 AC)

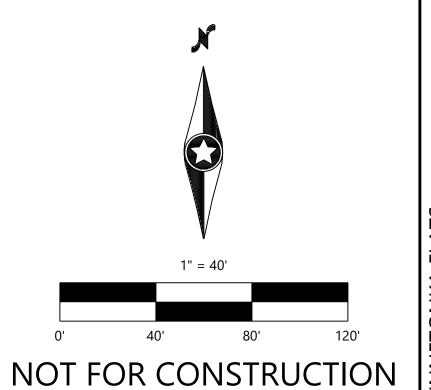


* ALL DISTURBED AREAS TO BE SODDED UNLESS NOTED

LEGEND

EXISTING DECIDUOUS TREE TO REMAIN

EXISTING CONIFEROUS TREE TO REMAIN



CHECKED: HORIZONTAL SCALE: 39.999976' VERTICAL SCALE:

EXISTING WOODLAND

INITIAL ISSUE: 01/18/24 **REVISIONS:**

FOUNDATION -PLANTINGS & RIVER ROCK

PREPARED FOR:

LAKE WEST DEVELOPMENT, LLC

EXISTING WOODLAND

BUFFER TO BE PRESERVED

FOUNDATION

& RIVER ROCK

PLANTINGS

OF THE STATE OF MINNESOTA NICHOLAS T. MEYER 14525 HIGHWAY 7, SUITE 265 DATE: 01/18/24 LICENSE NO. 53774 MINNETONKA, MN 55345

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS

∉XISTING WΦODLAND →

EXISTING WOODLAND BUFFER TO BE PRESERVED

FOUNDATION PLANTINGS & RIVER ROCK

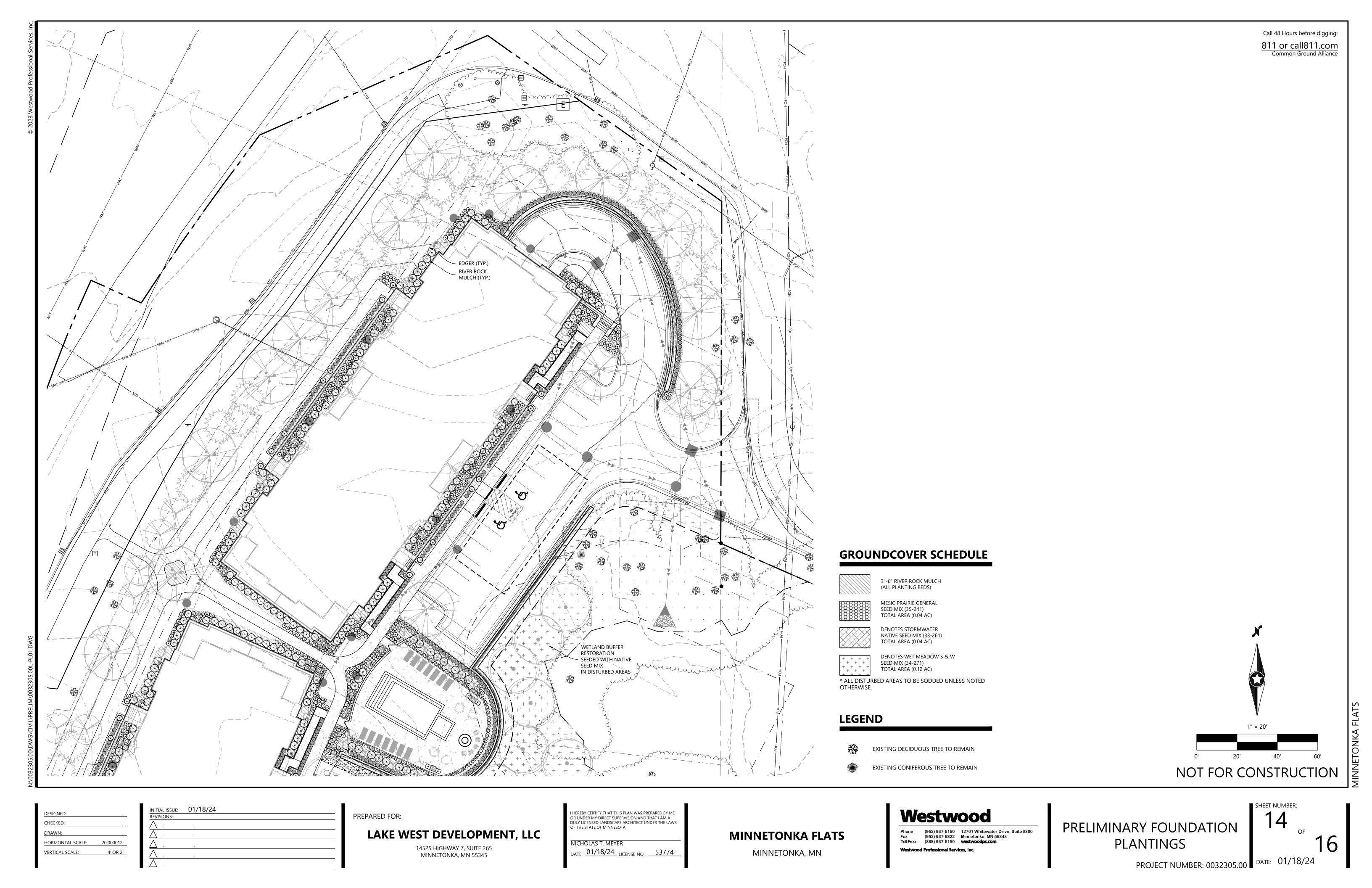
Westwood MINNETONKA FLATS

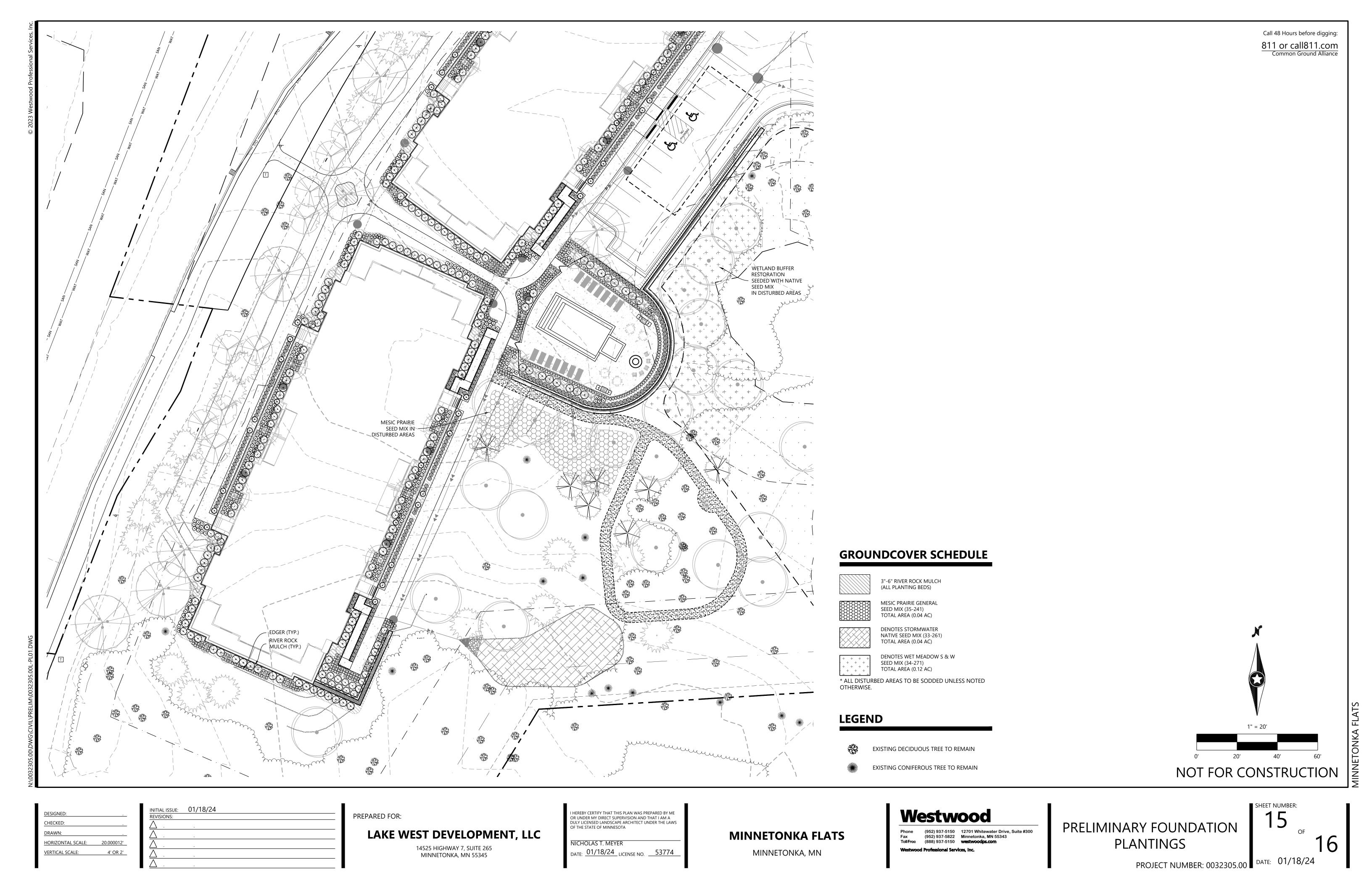
MINNETONKA, MN

(952) 937-5150 12701 Whitewater Drive, Suite #300 (952) 937-5822 Minnetonka, MN 55343

PRELIMINARY LANDSCAPE **PLAN**

SHEET NUMBER:

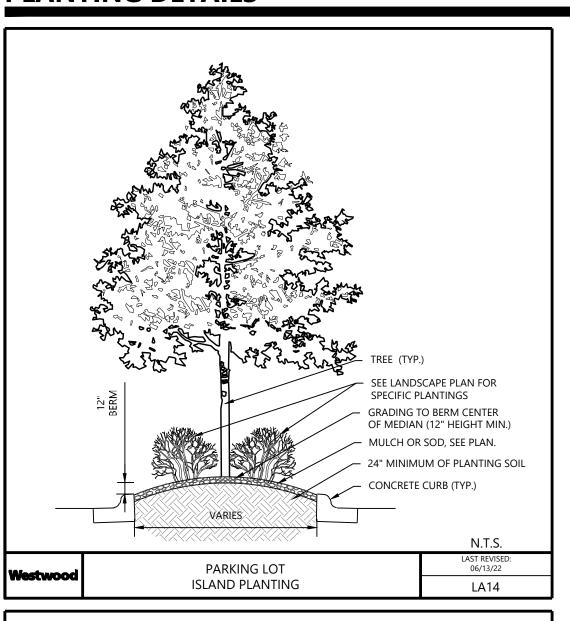


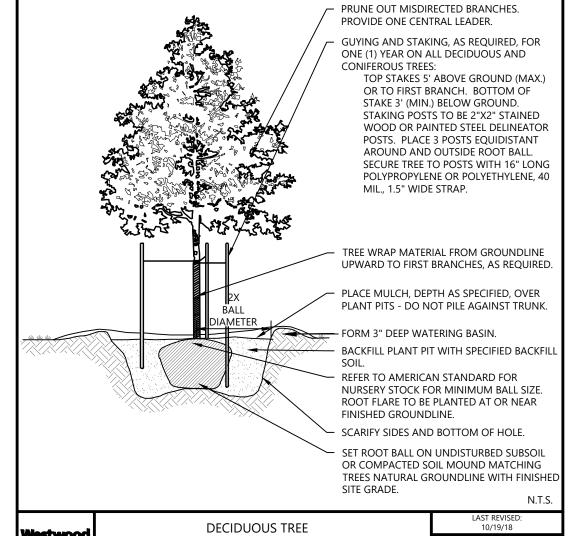


PLANTING NOTES

- CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR
- 2. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- 4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
- 5. CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- 6. ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS: ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC. ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES. ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES. ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING. CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
- 7. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- 8. PLANTS TO BE INSTALLED AS PER MNLA & ANSI STANDARD PLANTING PRACTICES.
- 9. PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
- 10. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
- 11. OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
- 12. PRUNE PLANTS AS NECESSARY PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- 13. WRAP ALL SMOOTH-BARKED TREES FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
- 14. STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE
- 15. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
- 16. BACKFILL SOIL AND TOPSOIL TO ADHERE TO MN/DOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
- 17. MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF SHREDDED HARDWOOD MULCH. SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND COLORED RED, OR APPROVED EQUAL. ROCK MULCH TO BE BUFF LIMESTONE, 1 1/2" TO 3" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPAR, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- 18. EDGING TO BE COMMERCIAL GRADE VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING OR SPADED EDGE, AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE, FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- 19. ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. PARKING LOT ISLANDS TO BE SODDED WITH SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MN/DOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
- 20. PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
- 21. CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER
- 22. REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
- 23. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
- 24. RAIN GARDEN NOTE: PROVIDE AND INSTALL EROSION CONTROL BLANKET AT RAIN GARDEN AREA SIDE SLOPES AFTER ALL PLANTING HAVE BEEN INSTALLED. BLANKET TO BE ONE SEASON GEOJUTE, MN/DOT CATEGORY 2 (STRAW 1S, WOOD FIBER 1S), OR APPROVED EQUAL. BLANKET TO BE OVERLAPPED BY 4" AND ANCHORED BY SOD STAPLES. PLACE BLANKET PERPENDICULAR TO THE SLOPE. TRENCH IN EDGES OF BLANKET AREA TO PREVENT UNDER MINING. PROVIDE SILT FENCE AT TOP OF SLOPE AS NEEDED. SHREDDED HARDWOOD MULCH TO MATCH OTHER PROJECT PLANTING MULCH. PLACE 4" DEPTH OF MULCH AT ALL PLANTING AND EROSION CONTROL BLANKET AREA (NO FILTER FABRIC). SEE RAIN GARDEN DETAIL FOR FURTHER INFORMATION. RAIN GARDEN TO PROVIDE PROPER INFILTRATION AND DRAINAGE REQUIREMENTS PER ENGINEERS

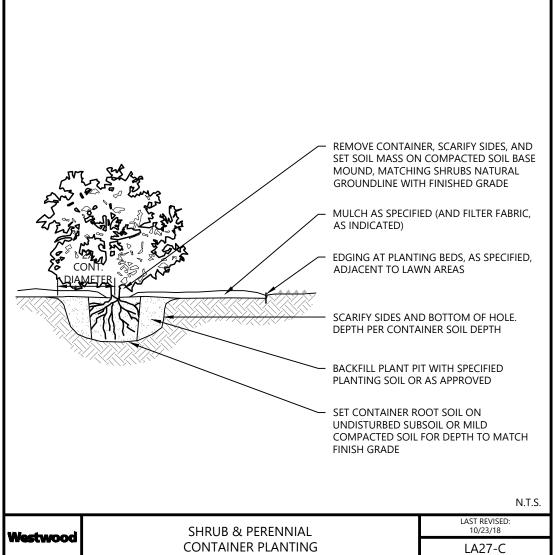
PLANTING DETAILS

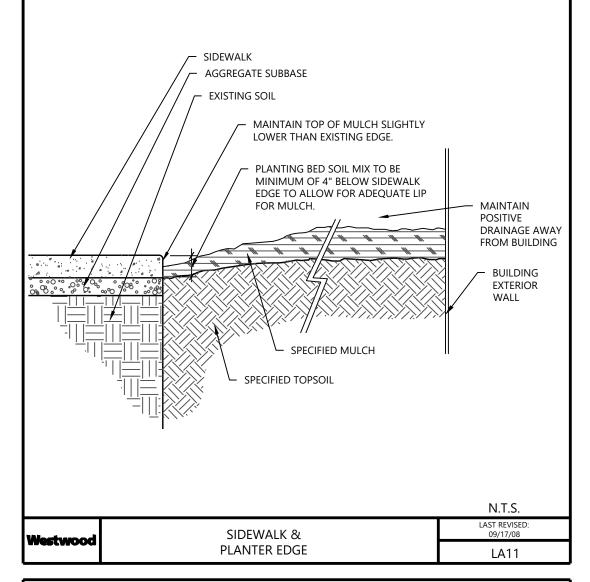


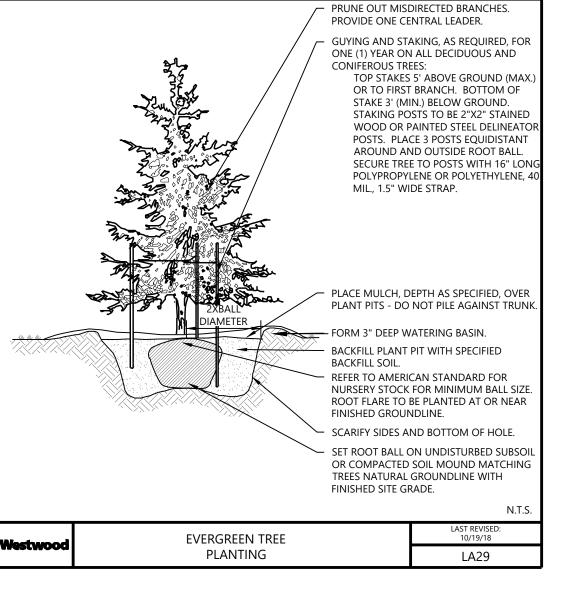


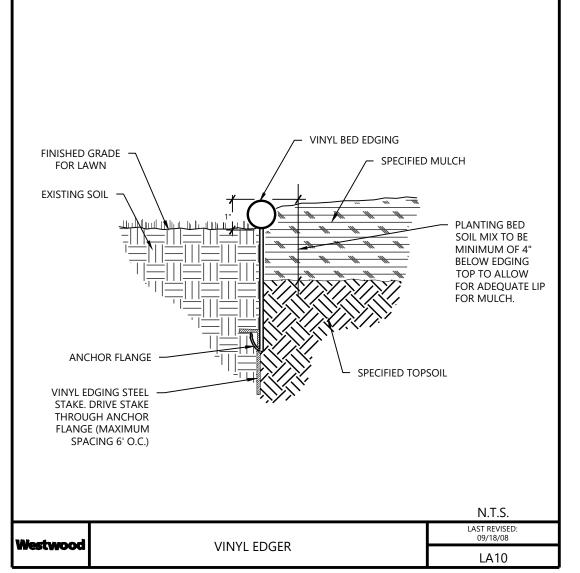
PLANTING

LA28









NOT FOR CONSTRUCTION

INITIAL ISSUE: 01/18/24 **REVISIONS** CHECKED: DRAWN: **HORIZONTAL SCALE:** ### OR ## VERTICAL SCALE:

PREPARED FOR: LAKE WEST DEVELOPMENT, LLC 14525 HIGHWAY 7, SUITE 265 MINNETONKA, MN 55345

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA NICHOLAS T. MEYER DATE: 01/18/24 LICENSE NO. ___53774

MINNETONKA FLATS MINNETONKA, MN



PRELIMINARY LANDSCAPE

Call 48 Hours before digging:

811 or call811.com Common Ground Alliance

PROJECT NUMBER: 0032305.00

NOTES & DETAILS