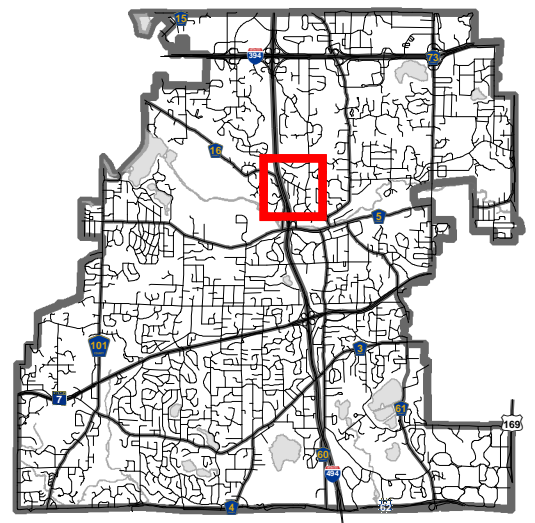
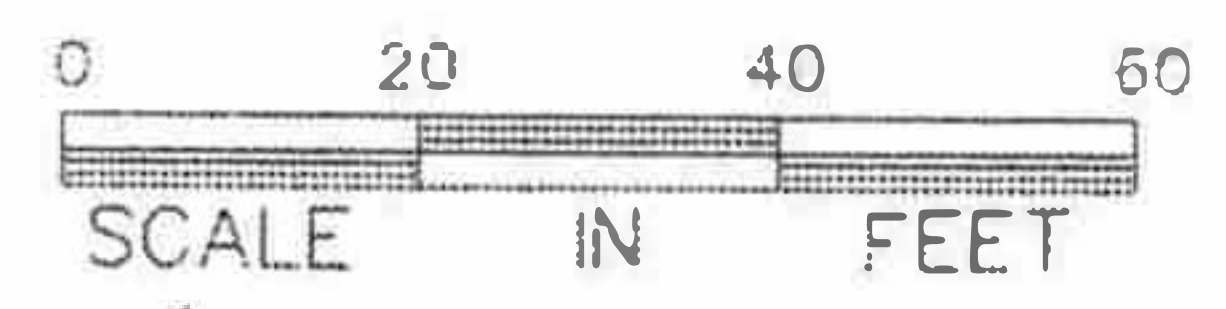
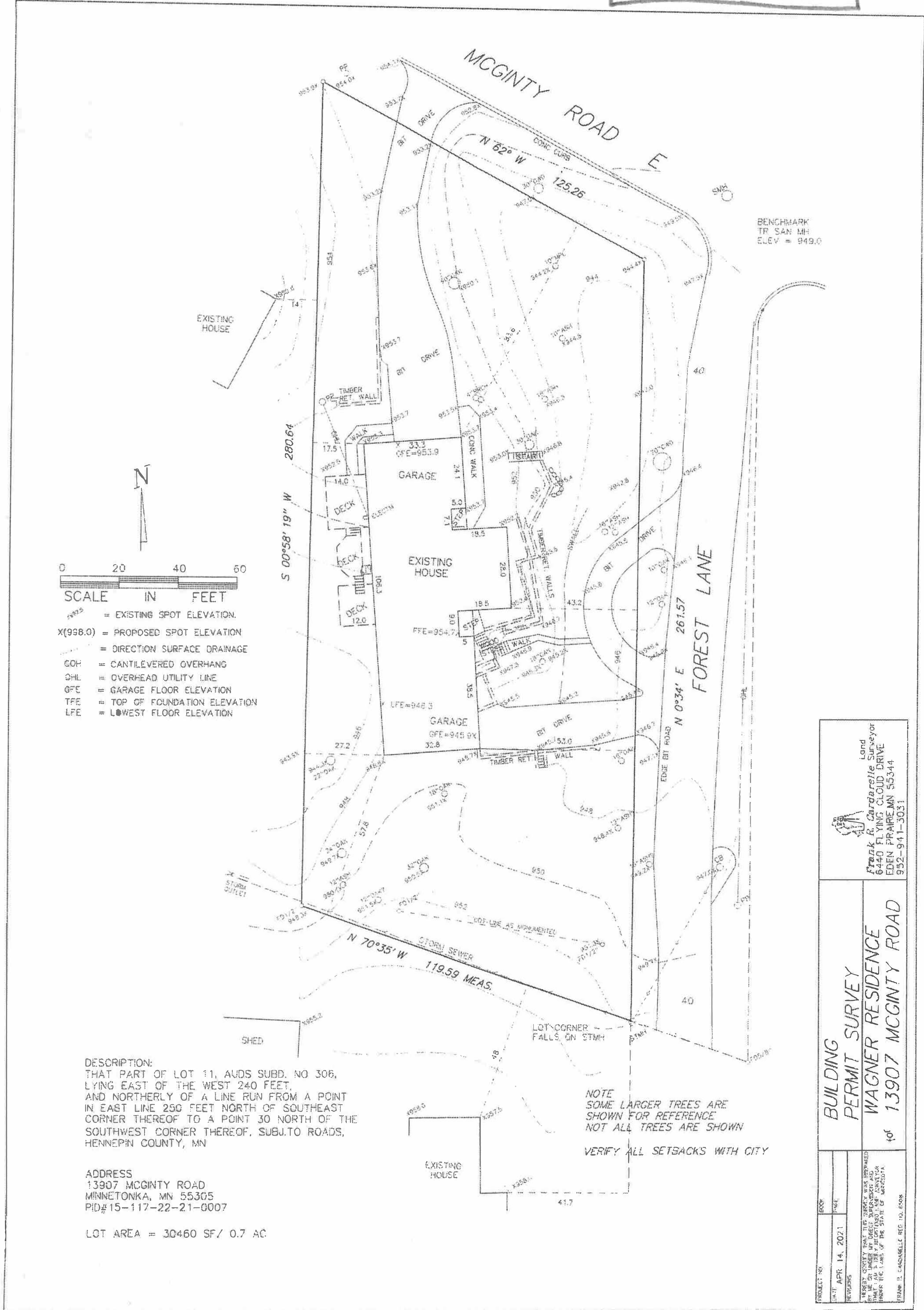


Location Map

Project: Baldwin Residence
 Address: 13907 McGinty Road East





- = EXISTING SPOT ELEVATION.
- X(998.0) = PROPOSED SPOT ELEVATION
- = DIRECTION SURFACE DRAINAGE
- COH = CANTILEVERED OVERHANG
- OHL = OVERHEAD UTILITY LINE
- GFE = GARAGE FLOOR ELEVATION
- TFE = TOP OF FOUNDATION ELEVATION
- LFE = LOWEST FLOOR ELEVATION

DESCRIPTION:
 THAT PART OF LOT 11, AUCS SUBD. NO 306,
 LYING EAST OF THE WEST 240 FEET,
 AND NORTHERLY OF A LINE RUN FROM A POINT
 IN EAST LINE 250 FEET NORTH OF SOUTHEAST
 CORNER THEREOF TO A POINT 30 NORTH OF THE
 SOUTHWEST CORNER THEREOF. SUBJ. TO ROADS,
 HENNEPIN COUNTY, MN

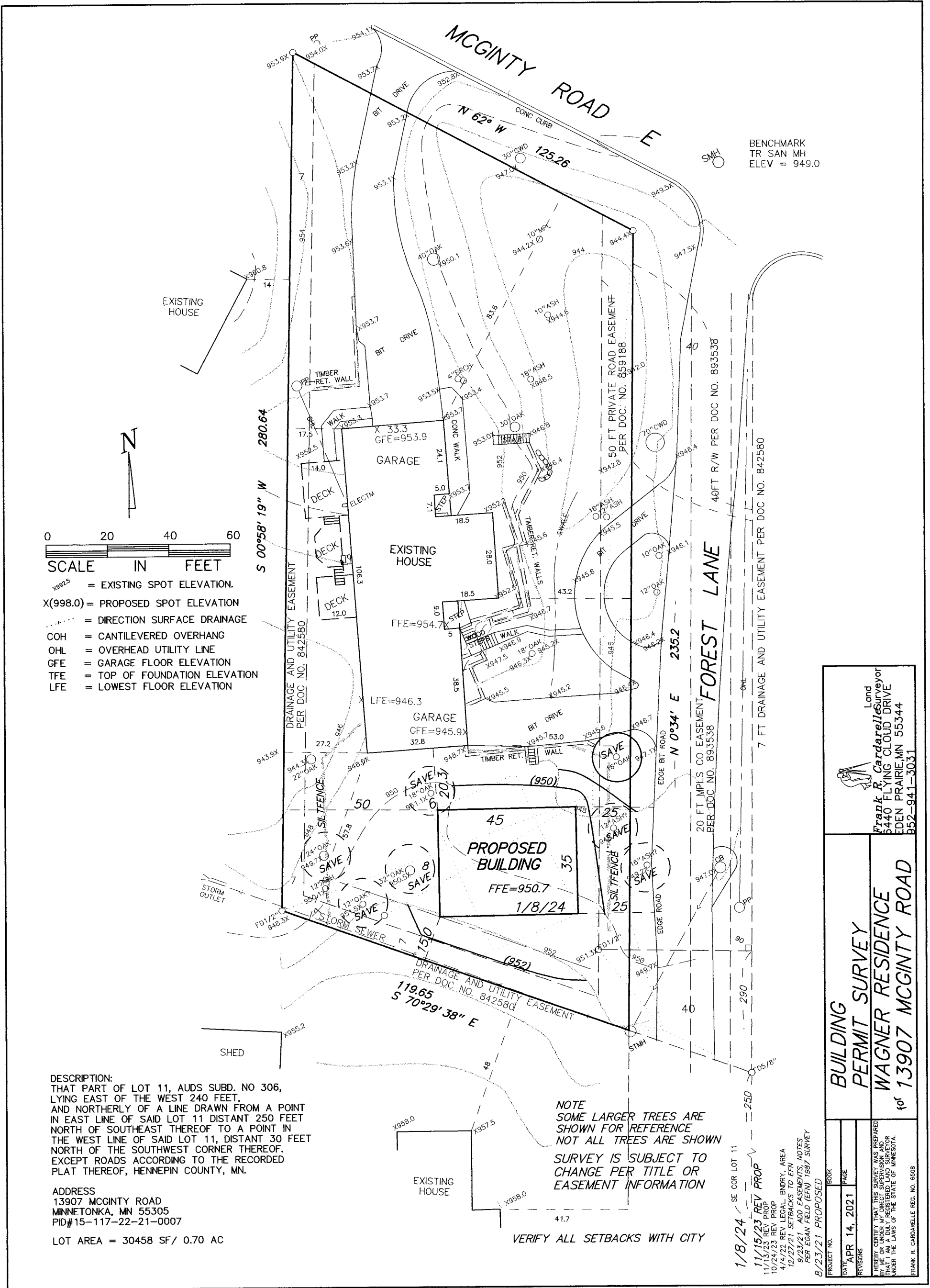
ADDRESS
 13907 MCGINTY ROAD
 MINNETONKA, MN 55305
 PID# 15-117-22-21-0007

LOT AREA = 30460 SF/ 0.7 AC

NOTE
 SOME LARGER TREES ARE
 SHOWN FOR REFERENCE
 NOT ALL TREES ARE SHOWN
 VERIFY ALL SETBACKS WITH CITY

<p>Land Frank R. Cardarelli Surveyor 6440 FLYING CLOUD DRIVE EDEN PRARIE MN 55344 952-941-3031</p>	
BUILDING PERMIT SURVEY WAGNER RESIDENCE 13907 MCGINTY ROAD	
PROJECT NO. SHEET REVISIONS	BOOK PAGE APR 14, 2021 1 1
I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED SURVEYOR OF THE STATE OF MINNESOTA	
FRANK R. CARDARELLI REG. NO. 6308	

Current Proposal - Jan. 2024



0 20 40 60
SCALE IN FEET

Y992.5 = EXISTING SPOT ELEVATION.
X(998.0) = PROPOSED SPOT ELEVATION
--- = DIRECTION SURFACE DRAINAGE
COH = CANTILEVERED OVERHANG
OHL = OVERHEAD UTILITY LINE
GFE = GARAGE FLOOR ELEVATION
TFE = TOP OF FOUNDATION ELEVATION
LFE = LOWEST FLOOR ELEVATION

DESCRIPTION:
THAT PART OF LOT 11, AUDS SUBD. NO 306,
LYING EAST OF THE WEST 240 FEET,
AND NORTHERLY OF A LINE DRAWN FROM A POINT
IN EAST LINE OF SAID LOT 11 DISTANT 250 FEET
NORTH OF SOUTHEAST THEREOF TO A POINT IN
THE WEST LINE OF SAID LOT 11, DISTANT 30 FEET
NORTH OF THE SOUTHWEST CORNER THEREOF.
EXCEPT ROADS ACCORDING TO THE RECORDED
PLAT THEREOF, HENNEPIN COUNTY, MN.

ADDRESS
13907 MCGINTY ROAD
MINNETONKA, MN 55305
PID# 15-117-22-21-0007

LOT AREA = 30458 SF/ 0.70 AC

NOTE
SOME LARGER TREES ARE
SHOWN FOR REFERENCE
NOT ALL TREES ARE SHOWN

SURVEY IS SUBJECT TO
CHANGE PER TITLE OR
EASEMENT INFORMATION

VERIFY ALL SETBACKS WITH CITY

Land Surveyor Frank R. Cardarelli 5440 FLYING CLOUD DRIVE EDEN PRAIRIE, MN 55344 952-941-3031	
BUILDING PERMIT SURVEY WAGNER RESIDENCE 13907 MCGINTY ROAD	
PROJECT NO. DATE: APR 14, 2021 REVISIONS	BOOK PAGE 11/15/23 REV PROP 11/13/23 REV PROP 10/24/23 REV PROP 4/4/22 REV LEGAL BNDRY AREA 12/27/21 SETBACKS TO EFN 9/23/21 ADD EASEMENTS, NOTES PER EGAN FIELD (EFN) 1987 SURVEY 8/23/21 PROPOSED
I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.	
FRANK R. CARDARELLI REG. NO. 8508	

13907 McGinty Road East
Minnetonka, MN 55305

August 24, 2021

Ms. Ashley Cauley, Senior Planner, and
Mr. Kevin McDermott, Building Inspector
City of Minnetonka
14600 Minnetonka Blvd.
Minnetonka, MN 55345

Re: Conditional Use Permit for 13907 McGinty Road East, Application # 255181

Dear Ms. Cauley and Mr. McDermott:

We are writing this letter to provide additional information for the Conditional Use Permit we are currently applying for through the City of Minnetonka. This is to build a workshop for my son-in-law's woodworking hobby and to store a vehicle, boat and assorted belongings. In Ms. Cauley's Email of Monday, August 9, 2021, she pointed out several issues that needed to be addressed in the permit application process.

The following information responds to the Condition Use Permit bullets. Specifically:

- **The side and rear setbacks** are 16.2 feet and 28 feet (south and west respectively) from the nearest property lines. For height, the building per the building height definition used by the City, will be 12 feet (see Page 5) On the east, the proposed building would be 32.8 feet from Forest Lane and approximately 15.3 feet from the existing home to the north. We understand this all to be within the City's acceptable distances. Please see the new Survey Document, Page 4, dated 8/24/2021 submitted with this application process for more details.
- There are **no additional curb cuts** needed or required for the workshop proposed.
- We understand this building **cannot be used for commercial purposes** and will not do so. This was never part of the purpose of building the workshop; it's just for personal use and enjoyment.
- **We don't think the structure will be highly visible from adjoining properties.** Roger Walker has talked to all neighbors on Forest Lane and the neighbor whose backyard faces the front of the house and proposed structure. They have not indicated any concerns to us about the structure or landscaping. **If you all determine it is or if a neighbor does express concerns, we are more than willing to add landscaping to buffer views for neighbors and pledge to work with the City to ensure appropriateness.**
- We understand the site and building plan will be **subject to review per City Ordinance 300.27** and believe we would be in compliance with such for the Conditional Use Permit process.

Survey: Our resubmitted information includes a copy of the survey with the proposed building structure on it to allow staff to ensure proper set backs are met. See the first bullet above for more information and the referenced new attachment, Page 4.

Building Height: Thank-you for answering our questions on building height by the email and through the phone call yesterday, Monday, August 23, 2021. We understand the height limits/requirements and believe we are in compliance with those planning for 12 feet. See page 5.

Plan: We believe the application package additions – page 4: Proposed building location on surveyed site; and page 5, building height indication inclusion – respond to your notes there.

Table of Contents for the Application Package included in Project Docx:

1. **Page 1 and 2:** Original two page Residential Building Permit Application with notes on updates submitted 8/6/2021 and now 8/24/2021
2. **Page 3:** Original survey submitted without proposed building
3. **Page 4: New submission,** original survey with proposed building located on it. Indicates set backs and other dimensions.
4. **Page 5:** Basic structure of Workshop Building not drawn to scale but including dimensions for the new proposed structure. Specifically note **NEW** 12 foot high building height, see A on the attachment. Overall building dimensions, windows, transit windows and entry passage doors dimensions are listed as well as garage door opening with directional views.
5. **Page 6:** No new updates on this view. Showing walls, siding, engineered trusses and flooring summary plans with relevant dimensions.
6. **Page 7:** Foundation plan. No new updates. Shows freeze wall and footings cross section dimensions as well as noting rebar, anchor bolts and spacing plans.

Thank-you again for all your help and from that of other staff members at the City. We hope third try on the submission will meet the needs. However, if there are additional questions please let us know. We understand time is of the essence to fit into earliest available fall committee meeting.

Yours truly,

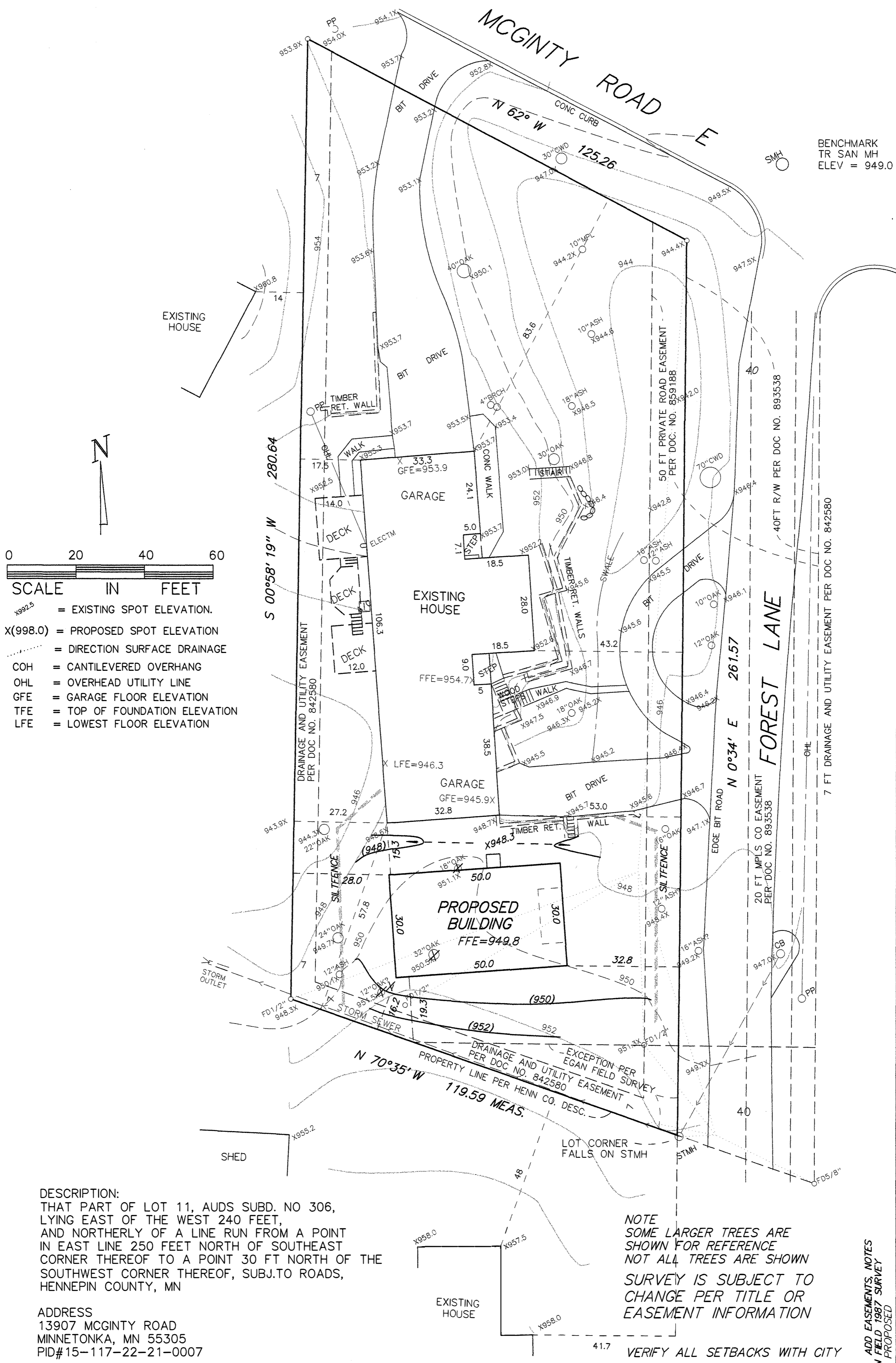


Roger Walker



Marlo Baldwin

Proposal #1 - August 2021



0 20 40 60
SCALE IN FEET

X(992.5) = EXISTING SPOT ELEVATION.
X(998.0) = PROPOSED SPOT ELEVATION
--- = DIRECTION SURFACE DRAINAGE
COH = CANTILEVERED OVERHANG
OHL = OVERHEAD UTILITY LINE
GFE = GARAGE FLOOR ELEVATION
TFE = TOP OF FOUNDATION ELEVATION
LFE = LOWEST FLOOR ELEVATION

DESCRIPTION:
THAT PART OF LOT 11, AUDS SUBD. NO 306,
LYING EAST OF THE WEST 240 FEET,
AND NORTHERLY OF A LINE RUN FROM A POINT
IN EAST LINE 250 FEET NORTH OF SOUTHEAST
CORNER THEREOF TO A POINT 30 FT NORTH OF THE
SOUTHWEST CORNER THEREOF, SUBJ. TO ROADS,
HENNEPIN COUNTY, MN

ADDRESS
13907 MCGINTY ROAD
MINNETONKA, MN 55305
PID# 15-117-22-21-0007

LOT AREA = 30460 SF/ 0.7 AC

NOTE
SOME LARGER TREES ARE
SHOWN FOR REFERENCE
NOT ALL TREES ARE SHOWN
SURVEY IS SUBJECT TO
CHANGE PER TITLE OR
EASEMENT INFORMATION

VERIFY ALL SETBACKS WITH CITY

BENCHMARK
TR SAN MH
ELEV = 949.0

Land Surveyor Frank R. Cardarelle 6440 FLYING CLOUD DRIVE EDEN PRAIRIE, MN 55344 952-941-3031	
BUILDING PERMIT SURVEY WAGNER RESIDENCE 13907 MCGINTY ROAD	
PROJECT NO.	BOOK
DATE APR 14, 2021	PAGE
REVISIONS	
I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.	
FRANK R. CARDARELLE REG. NO. 6508	

9/23/21 ADD EASEMENTS, NOTES PER EGAN FIELD 1987 SURVEY 8/23/21 PROPOSED

Updated 8/6/2021

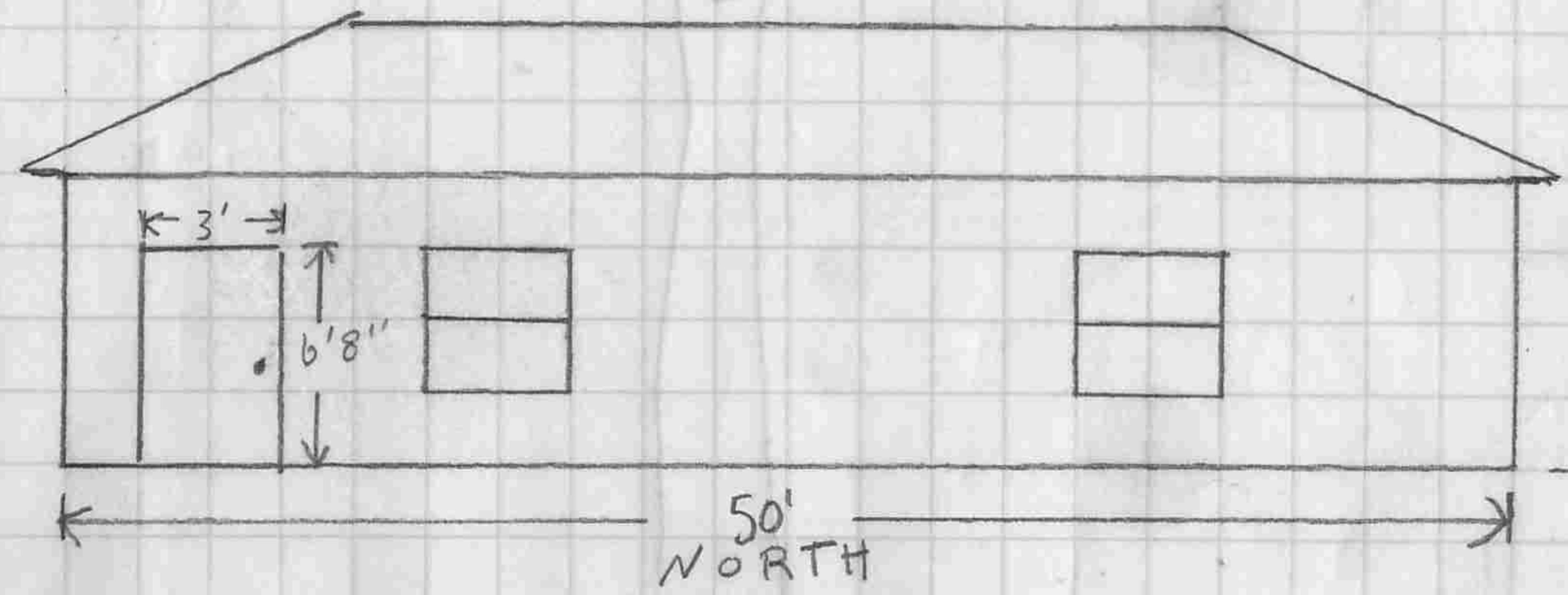
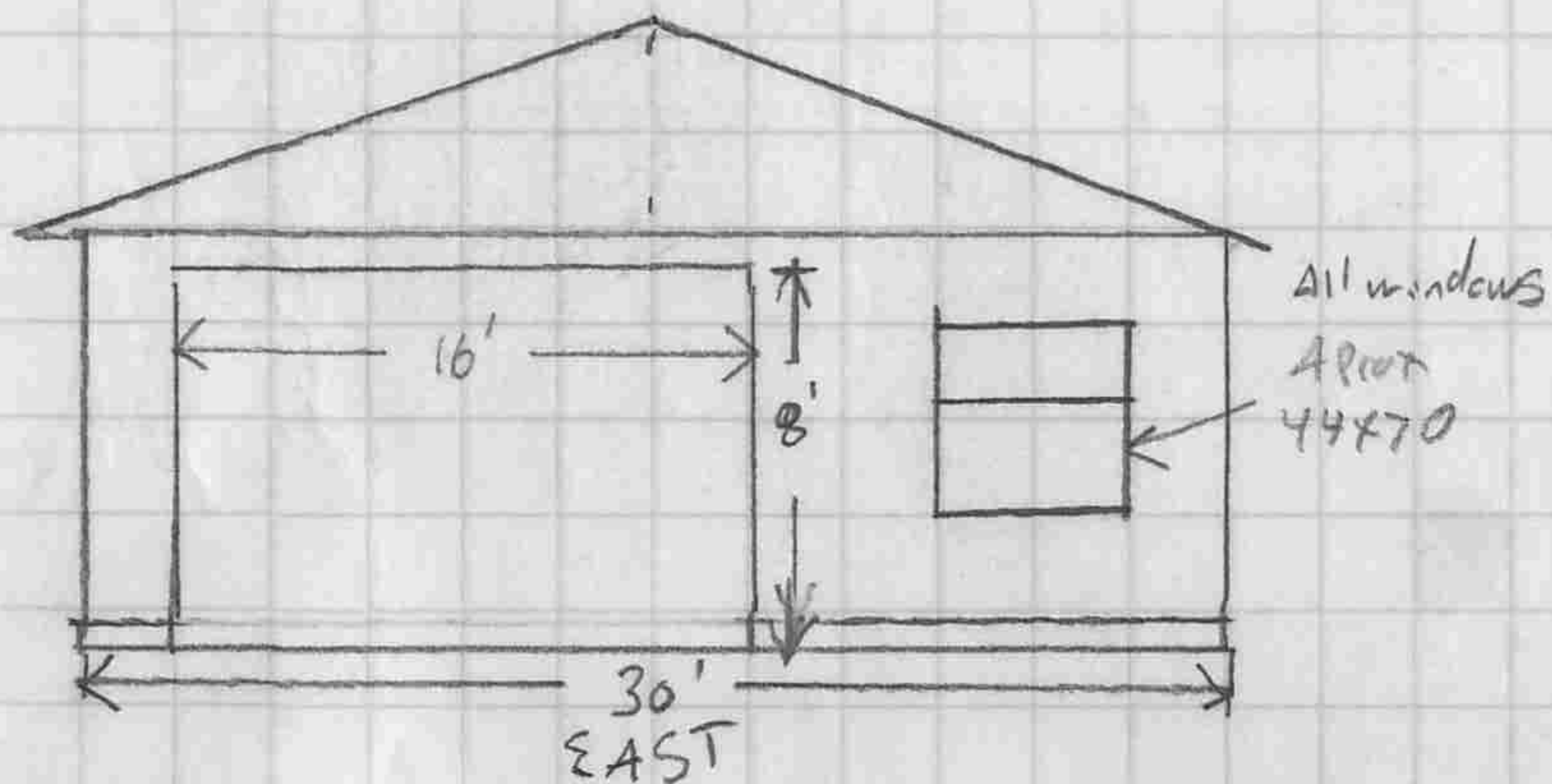
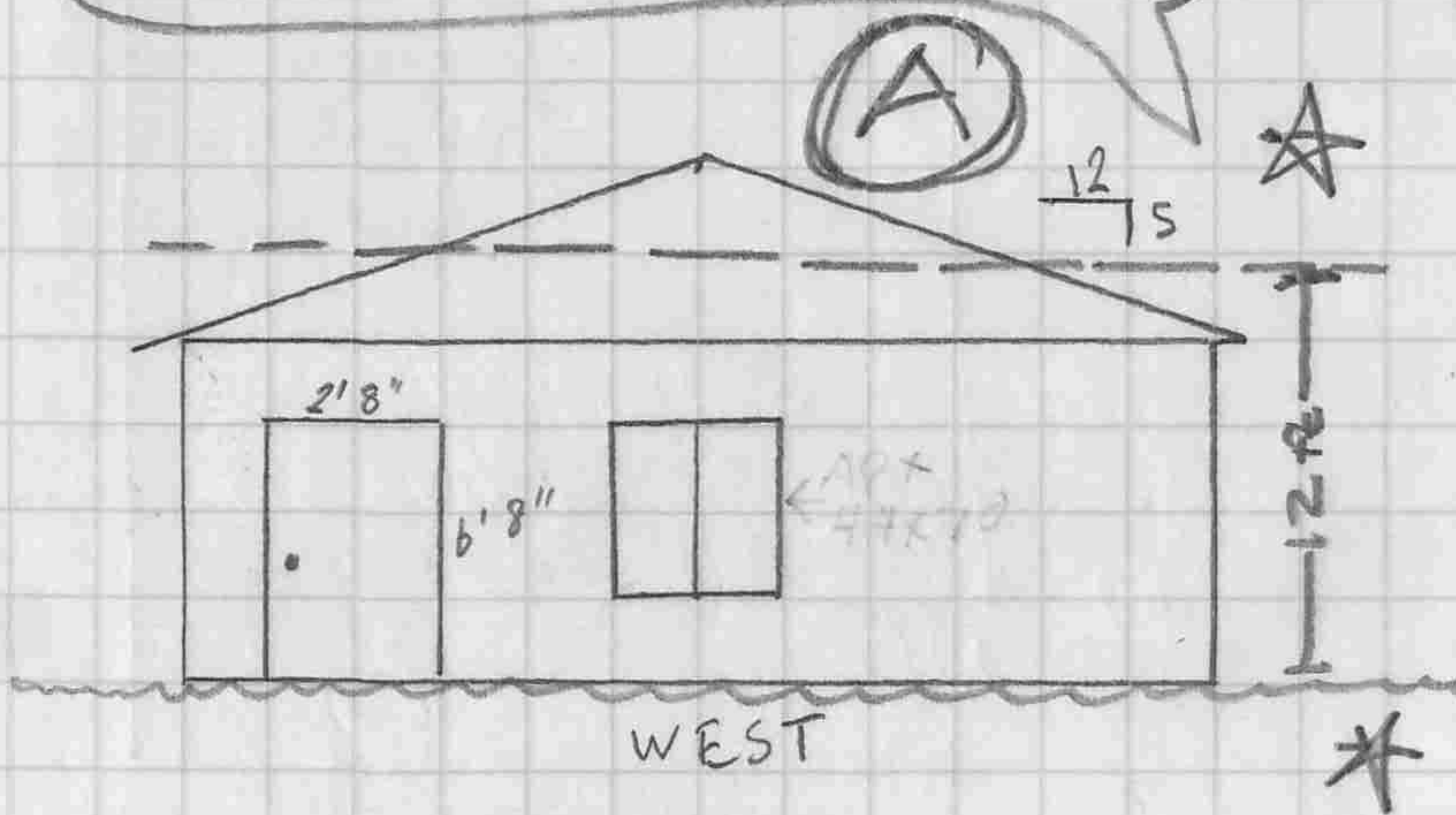
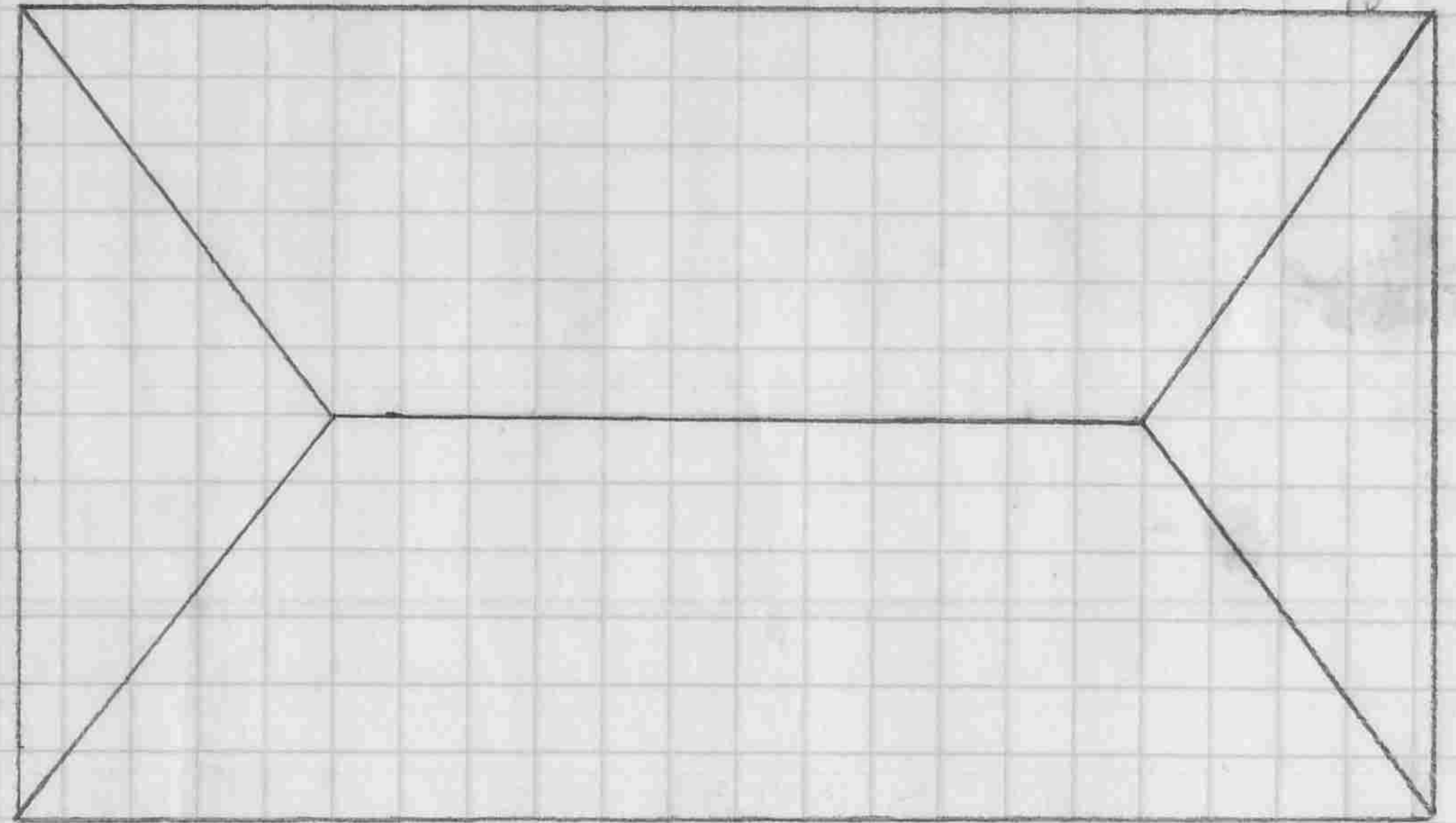
for Headers:

- Windows & Transit windows & Entry Passage doors double 2" x 10"

- Garage door opening double 12" microlam

Updated 8/18/2021

* Bldg Height 12 ft



Not to Scale

UPDATE: 8/6/2021

• Anchor BOLTS concrete to wood installed 1/2" anchor bolts imbedded

7" into the foundation spaced 6ft. max. apart.

Roofing to match existing house Roof
Asfalt shingles
Felt.

12
5

Enganered trusses to span the entire 30' span 2" o/c

Ty8 2" soffit

Walls to be 2x6 16" o/c Insulated with faced bats.

Siding Plywood 7/16" min Vertical battens To match existing house

PAGE 6

FLOOR

2" Foam Insulation / 6x6 wire mesh / 3"-4" Concrete With in floor radiant hot water heat.