

CITY ENTITLEMENT PLANS

FOR

WALSER KIA MINNETONKA

MINNETONKA, MN

PREPARED FOR:

WALSER REAL ESTATE, LLC

7700 FRANCE AVENUE SOUTH, SUITE 41N

EDINA, MN 55435

CONTACT: JOHN BRENNAN

PHONE: 952-653-3575

EMAIL: JBRENNAN@WALSER.COM

PREPARED BY:

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
 Fax (952) 937-5822 Minnetonka, MN 55343
 TollFree (888) 937-5150 westwoodps.com

Westwood Professional Services, Inc.

PROJECT NUMBER: 0036502.00

CONTACT: DAVID T. BADE



Vicinity Map
(NOT TO SCALE)

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NO.	DATE	REVISION	SHEETS
	08/01/2023	CITY RESUBMITTAL	
	09/28/2023	MCWD SUBMITTAL	
	01/17/2024	CITY RESUBMITTAL	
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CITY ENTITLEMENT PLANS

FOR

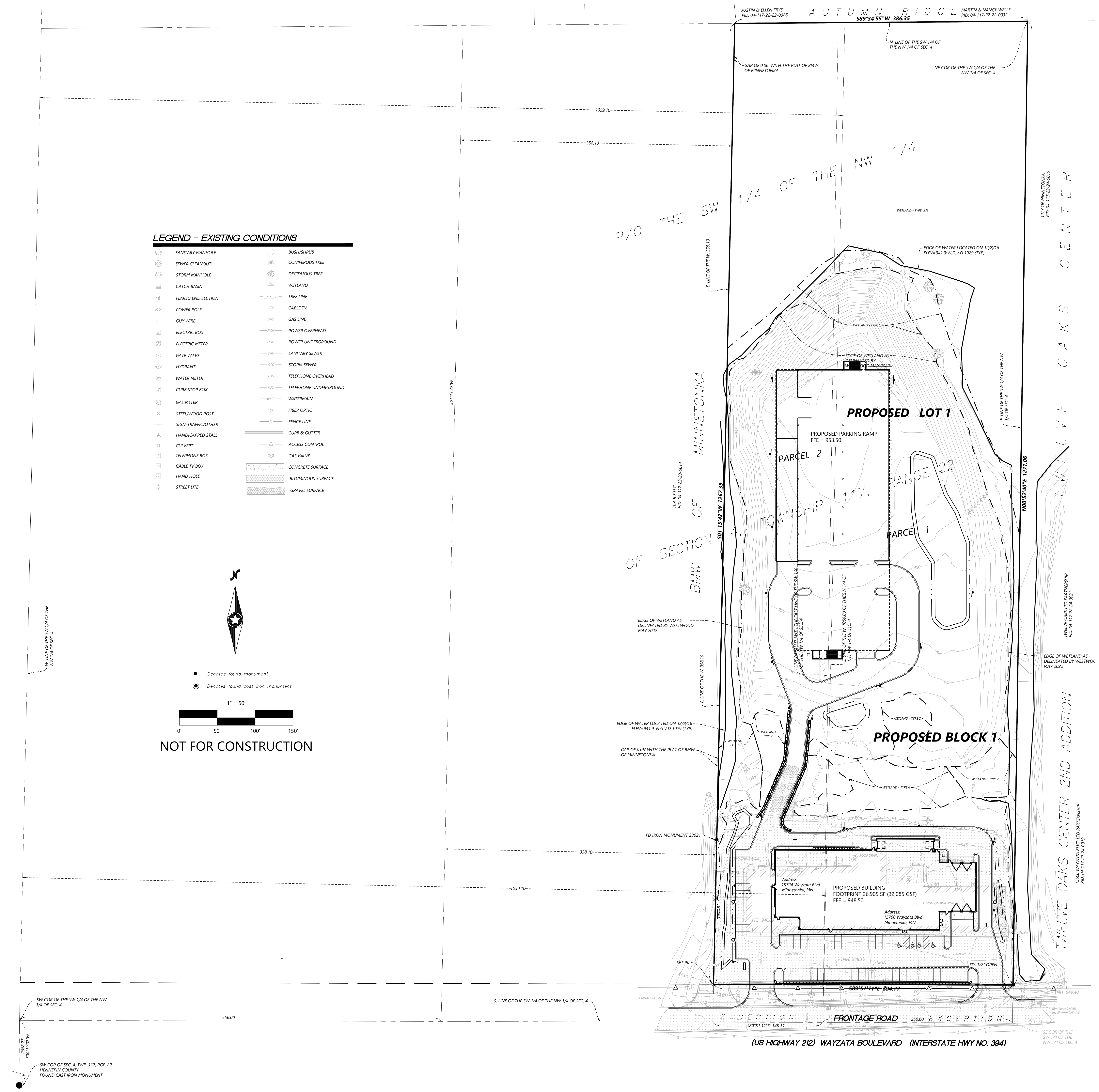
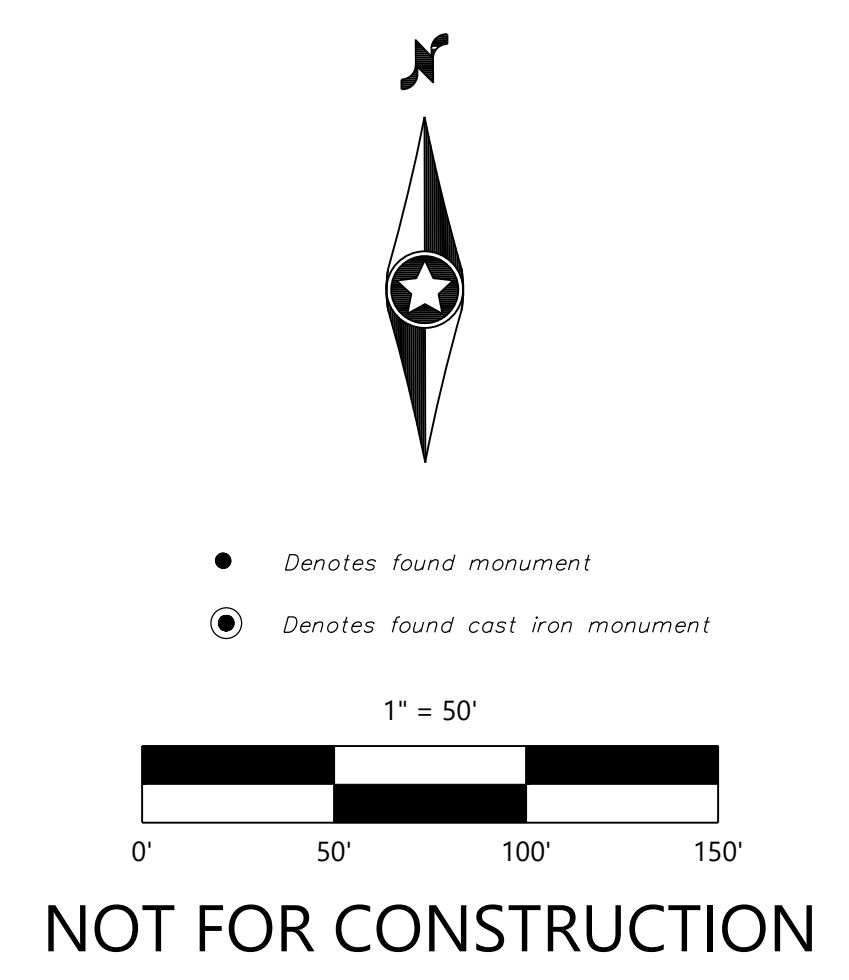
WALSER KIA MINNETONKA

MINNETONKA, MN

INITIAL SUBMITTAL DATE: 03/06/2023 SHEET: C001

LEGEND - EXISTING CONDITIONS

●	SANITARY MANHOLE	○	BUSH/SHRUB
⊙	SEWER CLEANOUT	⊙	CONIFEROUS TREE
⊙	STORM MANHOLE	⊙	DECIDUOUS TREE
⊙	CATCH BASIN	⊙	WETLAND
⊙	FLARED END SECTION	—	TREE LINE
⊙	POWER POLE	—	CABLE TV
⊙	GLY WIRE	—	GAS LINE
⊙	ELECTRIC BOX	—	POWER OVERHEAD
⊙	ELECTRIC METER	—	POWER UNDERGROUND
⊙	GATE VALVE	—	SANITARY SEWER
⊙	HYDRANT	—	STORM SEWER
⊙	WATER METER	—	TELEPHONE OVERHEAD
⊙	CURB STOP BOX	—	TELEPHONE UNDERGROUND
⊙	GAS METER	—	WATERMAIN
⊙	STEELWOOD POST	—	FIBER OPTIC
⊙	SIGN TRAFFIC/OTHER	—	FENCE LINE
⊙	HANDICAPPED STALL	—	CURB & GUTTER
⊙	CULVERT	—	ACCESS CONTROL
⊙	TELEPHONE BOX	—	GAS VALVE
⊙	CABLE TV BOX	▨	CONCRETE SURFACE
⊙	HAND HOLE	▨	BITUMINOUS SURFACE
⊙	STREET LITE	▨	GRAVEL SURFACE



LEGAL DESCRIPTION (Commitment No. CP70464)

Parcel 1:
That part of the Southwest Quarter of the Northwest Quarter of Section 4, Township 117 North, Range 22 West, lying Easterly of the West 1059.1 feet, except the South 50 feet thereof.

Parcel 2:
That part of the Southwest Quarter of the Northwest Quarter of Section 4, Township 117 North, Range 22 West, lying Easterly of the West 1059.1 feet, except the South 50 feet thereof.

Parcel 3:
That part of the Southwest Quarter of the Northwest Quarter of Section 4, Township 117 North, Range 22 West, lying West of the Easterly line of the Westway 1059.10 feet of the said Southwest Quarter of the Northwest Quarter described as commencing at a point on the South line of said Southwest Quarter of the Northwest Quarter 156 feet East of the Southwest corner thereof; thence North parallel with the West line of said Southwest Quarter of the Northwest Quarter to the North line thereof; thence East to the Northeast corner thereof; thence South to the Southeast corner thereof; thence West to the point of beginning; thence South along the East line of said West 358.1 feet to the South line of said Southwest Quarter of the Northwest Quarter; thence East to the point of beginning, except the South 50 feet thereof.

Parcel 4:
That part of the Southwest Quarter of the Northwest Quarter of Section 4, Township 117 North, Range 22 West, lying West of the Easterly line of the Westway 1059.10 feet of the said Southwest Quarter of the Northwest Quarter, Section 4, Township 117 North, Range 22 West, and lying East of a line described as beginning at a point on the South line of said Southwest Quarter of the Northwest Quarter 250 feet West of the Southeast corner thereof; thence North parallel with the East line of said Southwest Quarter of the Northwest Quarter to the North line thereof, and there terminating.

GENERAL NOTES

- This survey was prepared using Commercial Partners Title, LLC as agent for Stewart Title Guaranty Company, Title Commitment Number 52281 having an effective date of November 28, 2016 at 7:00 am.
- Subject property appears to be classified as Zone X when scaled from Flood Insurance Rate Map Community - Parcel Number 27053C0326F dated November 4, 2016.
- Subject property contains 495,675 Sq Ft. or 11,379 acres.
- Vertical Datum is at 1929NGVD in US Survey Feet, used the City of Minnetonka Benchmarks.
- No Zoning information provided by the title company.
- The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does verify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities. (State One Call Ticket No. 221360992).
- This survey is based on Hennepin County coordinate system in US Survey Feet.

AREA TABULATION

PROPOSED LOT 1, BLOCK 1 = 495,675 Square Feet /11.379 Acres

OWNER
Lindahl Properties LP
P.O. Box 32
Wayzata, MN 55391

SUBDIVIDER
Walser Real Estate, LLC
7700 France Avenue South Suite 410
Edina, MN 55435

ENGINEER/SURVEYOR
Westwood Professional Services
12701 Whitewater Drive, Suite 300,
Minnetonka, Minnesota 55343
Phone: 952-937-5150

DESIGNED: 03/06/2023
CHECKED: [Signature]
DRAWN: [Signature]
REVISIONS: [Table]
INITIAL ISSUE: 03/06/2023
CITY RESUBMITTAL
MAY SUBMITTAL
CITY RESUBMITTAL
CITY RESUBMITTAL

PREPARED FOR:
WALSER REAL ESTATE, LLC
7700 FRANCE AVENUE SOUTH, SUITE 410
EDINA, MN 55435

DATE: _____ LICENSE NO: _____

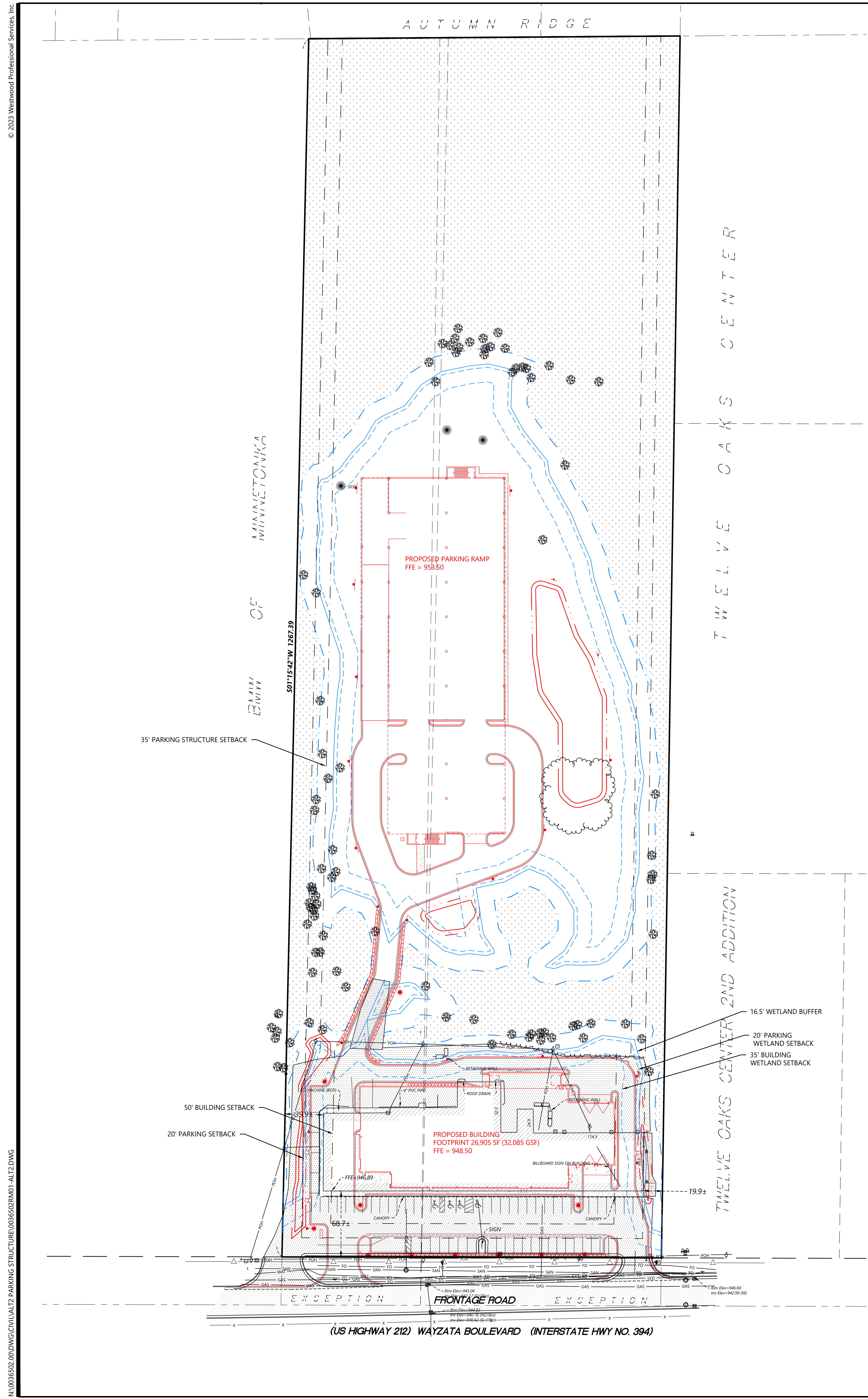
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Westwood Professional Services, Inc.

WALSER KIA MINNETONKA
MINNETONKA, MN

PRELIMINARY PLAT

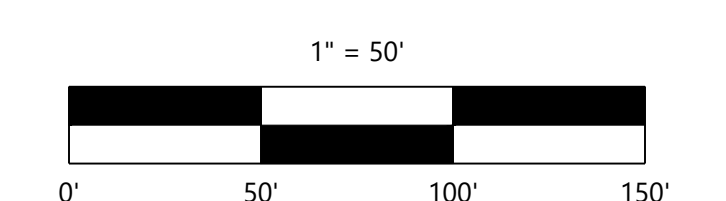
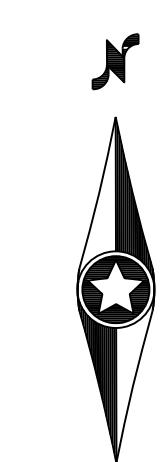
SHEET NUMBER:
C002

DATE: 01/17/2024
PROJECT NUMBER: 0036502.00



LEGEND

○	SANITARY MANHOLE	○	STEEL/WOOD POST
○	SEWER CLEANOUT	+	SIGN
○	SEPTIC COVER	□	MAIL BOX
○	STORM MANHOLE	+	FLAG POLE
⊕	BEEHIVE CATCH BASIN	♿	HANDICAPPED STALL
▭	CATCH BASIN	▭	BENCH
▭	FLARED END SECTION	⊕	IRRIGATION MANHOLE
○	CULVERT	■	IRRIGATION SH
○	CATCH BASIN MANHOLE	○	IRRIGATION SP
○	DOWNSPOUT	○	IRRIGATION VALVE
○	DRYWELL	○	SOIL BORING
○	STORM INTERCEPTOR	○	PERC TEST
○	HYDRANT	○	MONITORING WELL
○	GATE VALVE	○	PIEZOMETER
○	WATER METER	○	BUSH/SHRUB
○	FIRE DEPARTMENT CONNECTION	○	CONIFEROUS TREE
○	CURB STOP BOX	○	DECIDUOUS TREE
○	WATER MANHOLE		
○	WELL		
○	POST INDICATOR VALVE		
○	DOUBLE DETECTOR CHECK VALVE	—	BOUNDARY LINE
○	FARM HYDRANT	—	RIGHT-OF-WAY LINE
○	REDUCE PRESSURE VALVE	—	LOT LINE
○	STOCK TANK	—	EASEMENT LINE
○	WINDMILL	—	SECTION LINE
○	ELECTRIC BOX	—	TREE LINE
○	ELECTRIC METER	—	CABLE TELEVISION LINE
○	ELECTRIC MANHOLE	—	CABLE TELEVISION LINE
○	ELECTRIC TOWER	—	GAS LINE
○	STREET LIGHT	—	POWER OVERHEAD
○	POWER POLE WITH LIGHT	—	POWER UNDERGROUND
○	GUY WIRE	—	SANITARY SEWER
○	POWER POLE	—	STORM SEWER
○	MAST ARM	—	TELEPHONE OVERHEAD
○	MAST ARM W/ LIGHT	—	TELEPHONE UNDERGROUND
○	TRAFFIC SIGNAL	—	WATERMAIN
○	TELEPHONE BOX	—	FIBER OPTIC
○	TELEPHONE MANHOLE	—	FENCE LINE
○	HAND HOLE/JUNCTION BOX	—	CONTROLLED ACCESS
○	CABLE TV BOX	—	CURB & GUTTER
○	CABLE TV MANHOLE	—	CONCRETE SURFACE
○	FIBER OPTIC MANHOLE	—	BITUMINOUS SURFACE
○	FIBER OPTIC PEDESTAL	—	GRAVEL SURFACE
○	NATURAL GAS METER	—	WETLAND
○	NATURAL GAS VALVE	—	WETLAND EDGE
○	NATURAL GAS MANHOLE	—	16.5' WETLAND BUFFER
○	NATURAL GAS RISER/SERVICE	—	WETLAND SETBACKS (20' PARKING, 35' BUILDING)
○	NATURAL GAS VENT PIPE	—	EDGE OF WATER (12/08/16)
○	NATURAL GAS WELL	●	FOUND MONUMENT (SEE LABEL)
○	AIR CONDITIONER	○	SET MONUMENT (SEE LABEL)
○	UNKNOWN MANHOLE		
○	MISCELLANEOUS METER		
○	MISCELLANEOUS PEDESTAL		



NOT FOR CONSTRUCTION

DESIGNED: _____
 CHECKED: _____
 DRAWN: _____
 HORIZONTAL SCALE: _____
 VERTICAL SCALE: _____

INITIAL ISSUE: 03/06/2023
 REVISIONS:
 1 28/07/2023 CITY RESUBMITTAL
 2 29/05/2023 MCOV SUBMITTAL
 3 01/17/2024 CITY RESUBMITTAL

PREPARED FOR:
WALSER REAL ESTATE, LLC
 7700 FRANCE AVENUE SOUTH, SUITE 41N
 EDINA, MN 55435

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA
 DATE: _____ LICENSE NO: _____

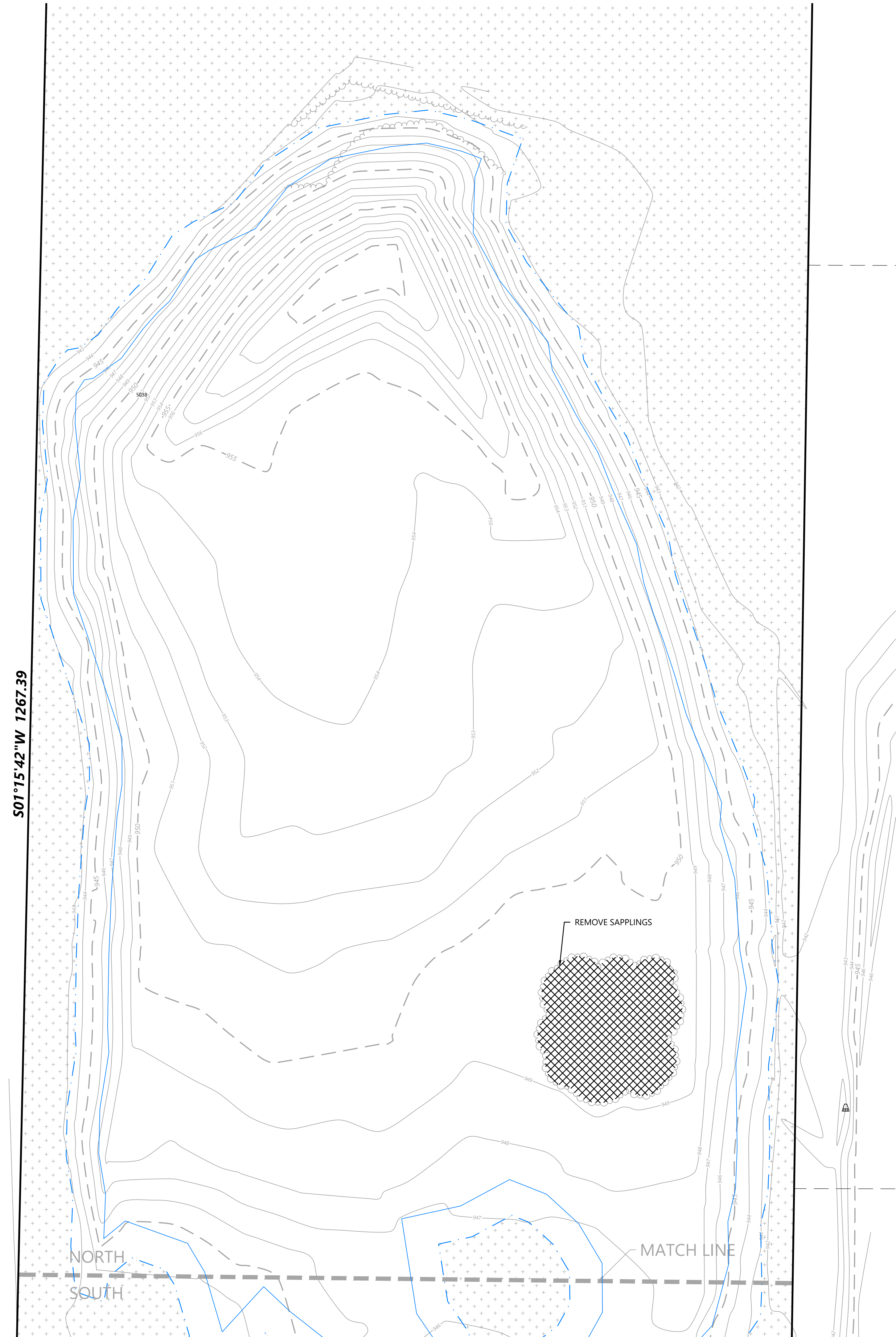
Westwood
 12701 Whitewater Drive, Suite #200
 Minneapolis, MN 55433
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 Fax: (612) 937-5022
 Email: info@westwoodps.com
 Westwood Professional Services, Inc.

WALSER KIA MINNETONKA
 MINNETONKA, MN

EXISTING CONDITIONS WITH PROPOSED SITE OVERLAY

SHEET NUMBER:
C100

DATE: 01/17/2024
 PROJECT NUMBER: 0036502.00



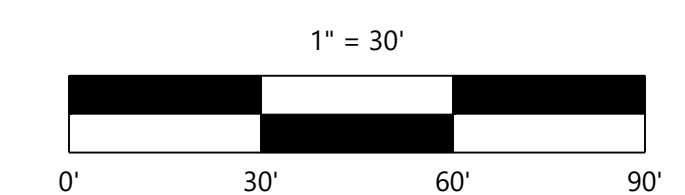
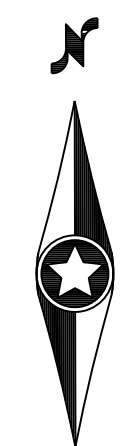
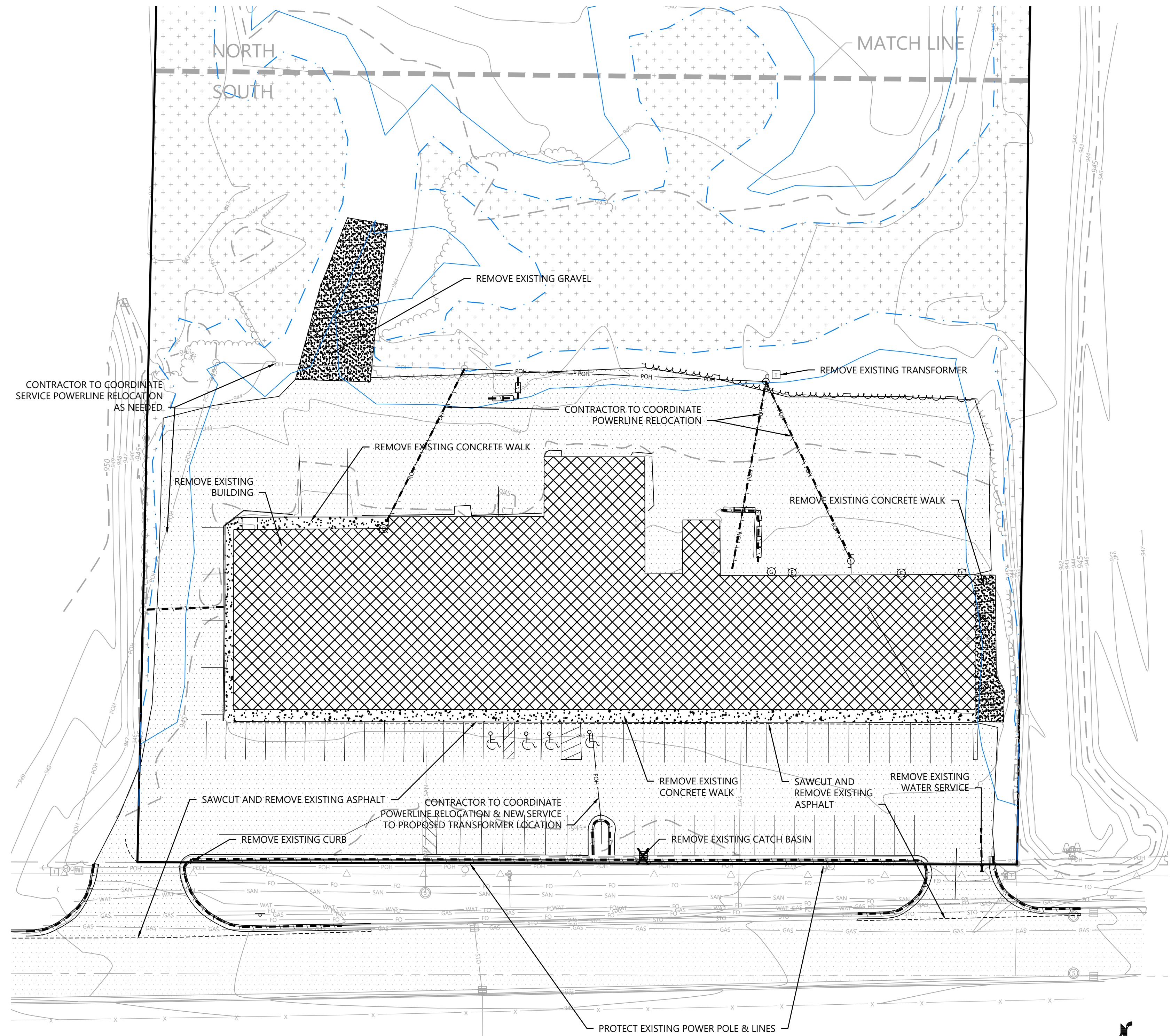
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REMOVAL NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTOR SHALL COORDINATE LIMITS OF REMOVALS WITH PROPOSED IMPROVEMENTS AND FIELD VERIFY CONDITION OF EXISTING APPURTENANCES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING OR REPLACING MISCELLANEOUS ITEMS (SUCH AS FENCES, SIGNS, IRRIGATION HEADS, ETC.) THAT MAY BE DAMAGED BY CONSTRUCTION.
- CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY PROVIDERS FOR REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES AFFECTED BY SITE DEVELOPMENT. ALL PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

REMOVAL LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		SAW CUT PAVEMENT
		DELINEATED WETLAND EDGE
EXISTING		REMOVALS
		CURB & GUTTER
		SANITARY SEWER
		WATER MAIN
		HYDRANT
		STORM SEWER
		GAS
		UNDERGROUND ELECTRIC
		OVERHEAD ELECTRIC
		UNDERGROUND TELEPHONE
		OVERHEAD TELEPHONE
		TELEPHONE FIBER OPTIC
		CABLE TELEVISION
		RETAINING WALL
		FENCE
		CONCRETE
		BITUMINOUS
		BUILDING
		TREE
		LIGHT POLE
		TRAFFIC SIGN
		CONSTRUCTION BARRICADE
		SOIL BORING LOCATION
		TREE LINE



NOT FOR CONSTRUCTION

DESIGNED:	
CHECKED:	
DRAWN:	
APPROVED:	
DATE:	01/17/2024

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DATE: _____ LICENSE NO. _____

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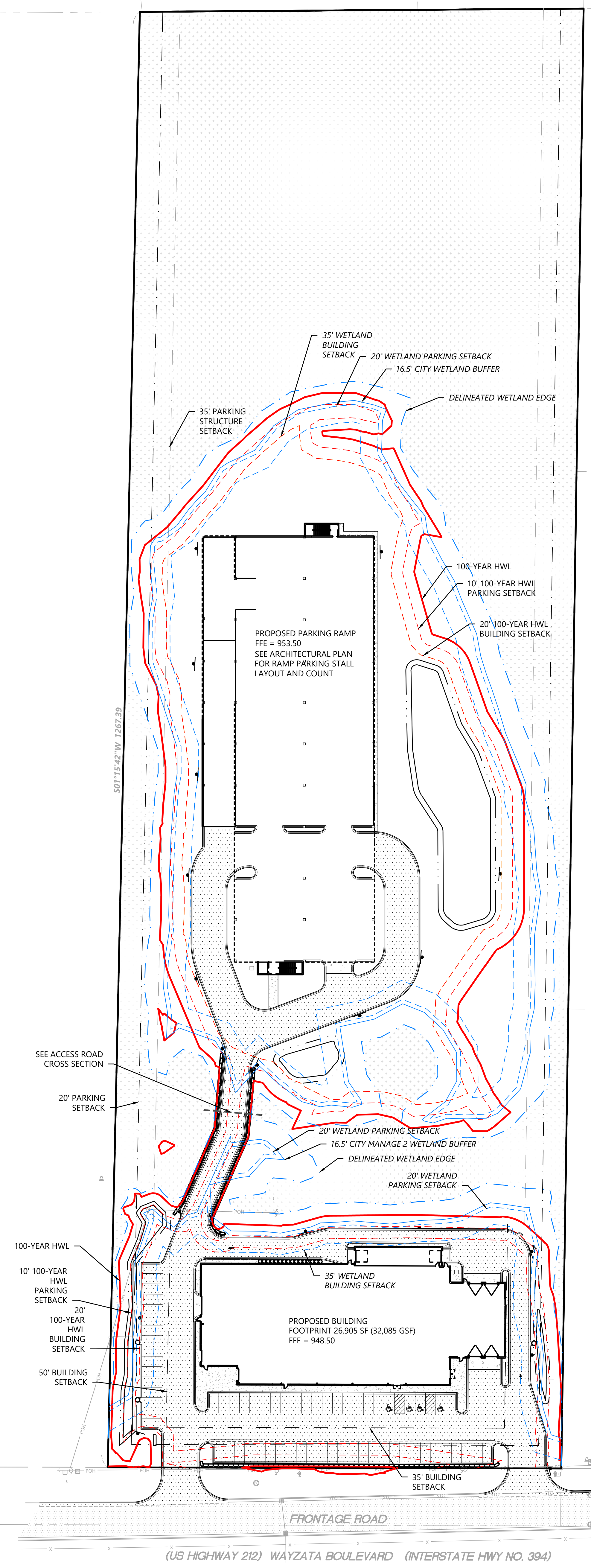
REMOVALS PLAN

SHEET NUMBER:

C101

DATE: 01/17/2024

PROJECT NUMBER: 0036502.00



SITE LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	LOT LINE
---	---	SETBACK LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	TIP-OUT CURB AND GUTTER
---	---	DELINEATED WETLAND EDGE
---	---	16.5' WETLAND BUFFER
---	---	WETLAND SETBACKS (20' PARKING, 35' BUILDING)
---	---	100-YEAR HWL - 945.2
---	---	100-YEAR HWL SETBACKS
---	---	BASIN TREATMENT WATER LEVEL
---	---	RETAINING WALL
---	---	FENCE
---	---	CONCRETE SIDEWALK
---	---	CONCRETE PAVEMENT
---	---	NORMAL DUTY BITUMINOUS PAVEMENT
---	---	NUMBER OF PARKING STALLS
---	---	TRANSFORMER
---	---	SITE LIGHTING
---	---	TRAFFIC SIGN
---	---	POWER POLE
---	---	BOLLARD / POST

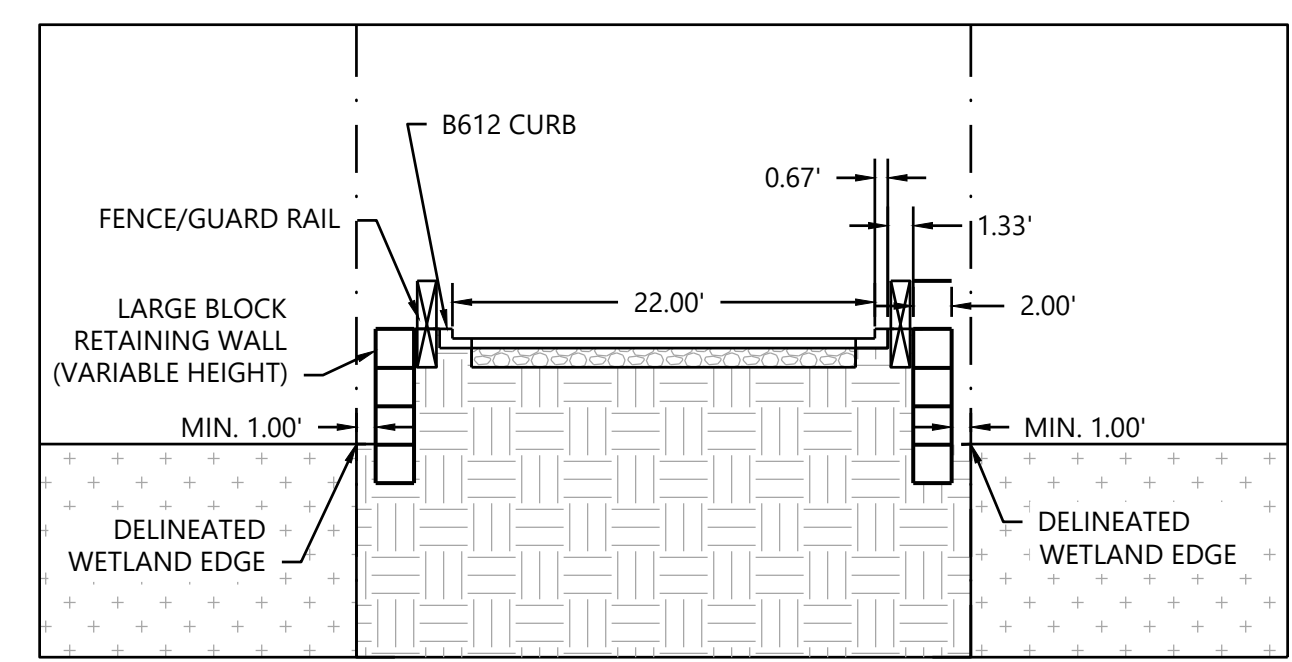
GENERAL SITE NOTES

- BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY WESTWOOD PROFESSIONAL SERVICES, MINNETONKA, MN, MAY 24, 2022.
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- ALL CURB RADII ARE SHALL BE 3.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.

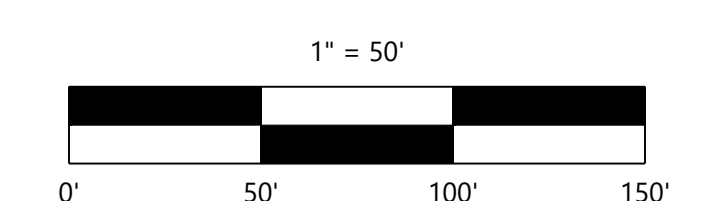
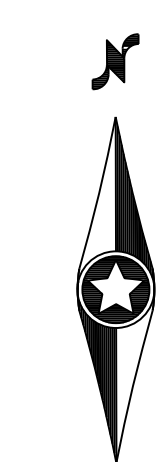
SITE DEVELOPMENT SUMMARY

EXISTING ZONING:	PID, PLANNED I-394 DISTRICT
PROPOSED ZONING:	PID, PLANNED I-394 DISTRICT
PARCEL DESCRIPTION:	KIA OF MINNETONKA, LOT 1, BLOCK 1
PROPERTY AREA:	495,675 SF (11.379 AC)
EXISTING SURFACE:	TOTAL IMPERVIOUS: 81,492 SF (1.871 AC) (22%) TOTAL PERVIOUS: 414,183 SF (9.508 AC) (78%)
PROPOSED SURFACE:	TOTAL IMPERVIOUS: 145,538 SF (3.341 AC) (39.2%) TOTAL PERVIOUS: 350,137 SF (8.038 AC) (60.8%)
BUILDING GROSS SIZE:	32,085 SF
PARKING RAMP GROSS SIZE:	225,100 SF
CITY SETBACKS	ZONING BUILDING: 35' = LOCAL COLLECTOR STREET 50' = EXTERIOR LOT LINE* *OR HEIGHT OF BUILDING IF GREATER THAN 50'
ZONING SURFACE PRKG:	20' = EXTERIOR LOT LINES; ROW
ZONING STRUCTURE PRKG:	35' = EXTERIOR LOT LINES ADJ TO NON-RESIDENTIAL PROPERTIES; LOCAL STREET ROW 50' OR HEIGHT OF STRUCTURE, WHICHEVER GREATER = EXTERIOR LOT LINES ADJ. TO RESIDENTIAL; NON-LOCAL STREET ROW
WETLAND:	16.5' = MANAGE 2 CITY WETLAND BUFFER 20' = PARKING/DRIVE 35' = BUILDING
100-YEAR HWL:	10' = PARKING 20' = BUILDING
PARKING STALL/DRIVE AISLE REQ:	8.5' WIDE X 18' LONG, 24' AISLE

SEE ENLARGED PLANS FOR DETAIL



ACCESS ROAD CROSS SECTION NTS



NOT FOR CONSTRUCTION

DATE	DESCRIPTION
03/06/2023	CITY RESUBMITTAL
09/07/2023	CITY RESUBMITTAL
09/26/2023	MAYOR SUBMITTAL
01/17/2024	CITY RESUBMITTAL

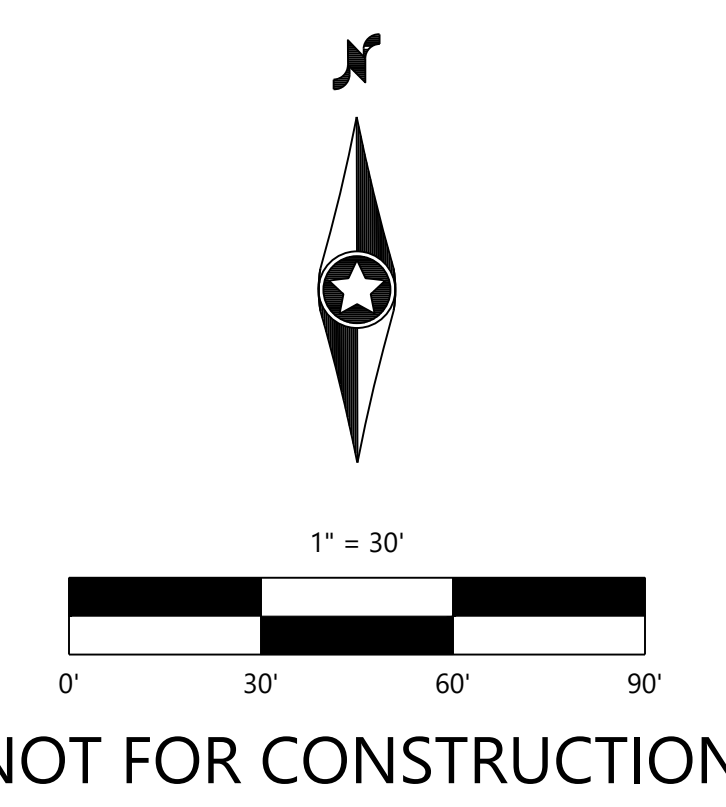
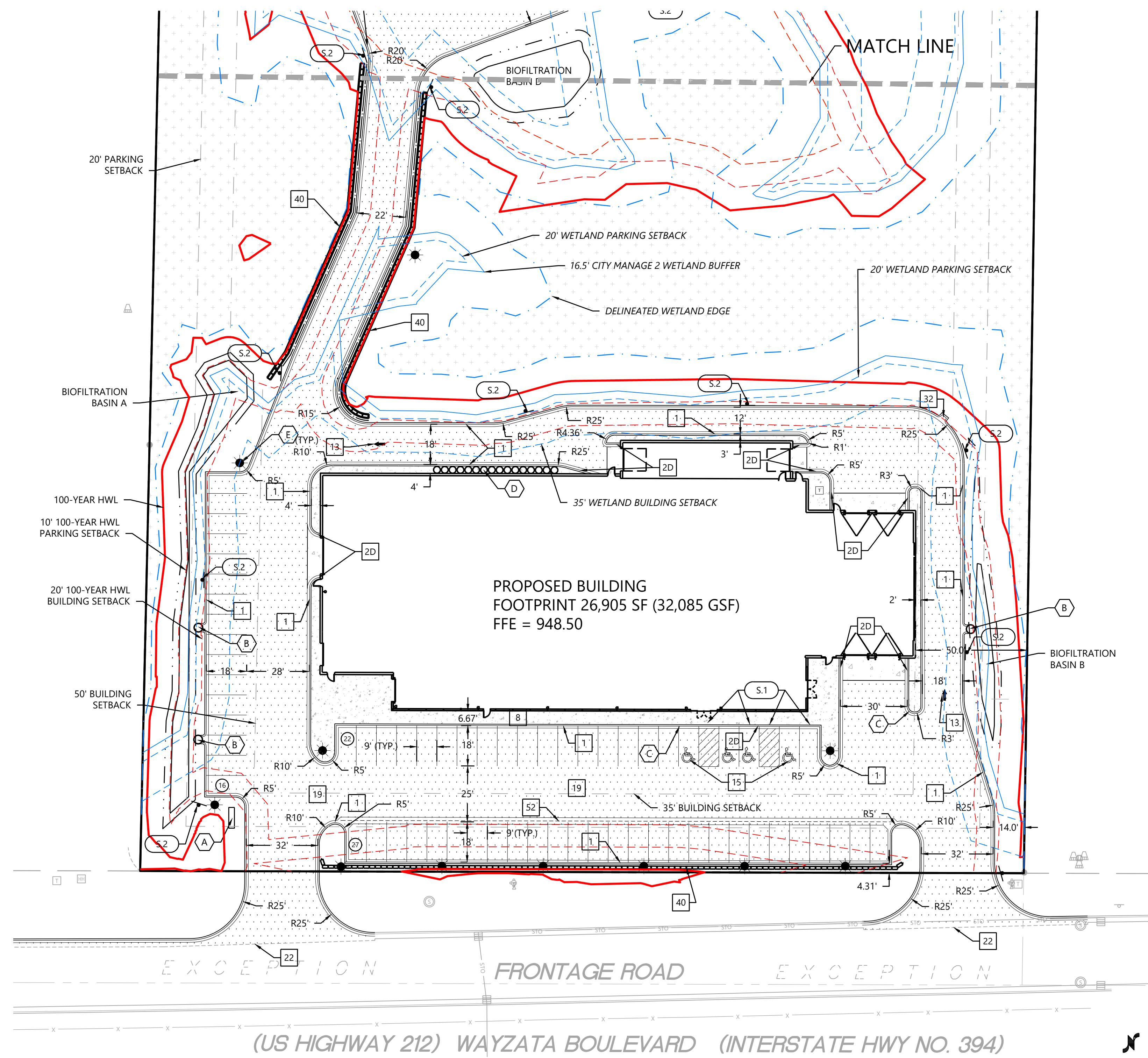
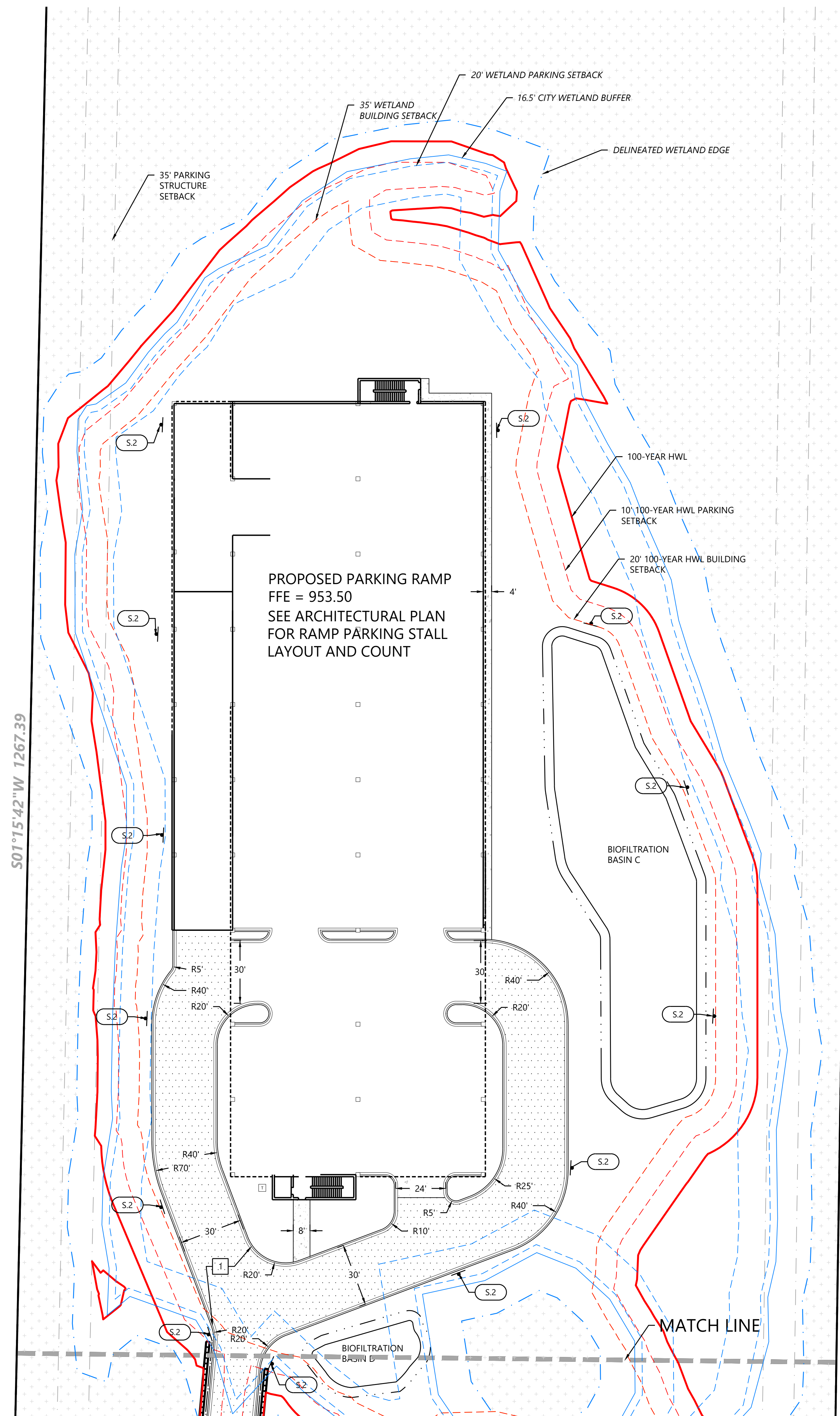
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EDINA, MN 55435

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DATE: 01/17/2024 LICENSE NO. _____

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1 SITE DETAILS (SI-0XX)

- 1 B612 CURB AND GUTTER
- 2D FLUSH CURB AND GUTTER
- 8 PRIVATE CONCRETE SIDEWALK
- 10 PRIVATE PARALLEL PEDESTRIAN CURB RAMP
- 13 TRAFFIC ARROW
- 15 HANDICAP ACCESSIBLE SIGNAGE AND STRIPING
- 18 BOLLARD
- 19 PAVEMENT SECTIONS
- 22 SAW CUT CONTROL JOINT
- 32 CURB CUT
- 40 LARGE BLOCK RETAINING WALL WITH GUARD RAIL (RECON BLOCK OR APPROVED EQUAL)
- 52 CONCRETE VALLEY GUTTER

A KEY NOTES

- A PROPOSED PYLON SIGN (SEE ARCH)
- B RAIN GUARDIAN TURRET OR APPROVED EQUAL
- C TRANSITION CURB AND GUTTER - B612 TO FLUSH
- D WATER REUSE CISTERN
- E LIGHT POLE - SEE ARCH

S.10 SIGN LEGEND

REFERENCE	SIZE	MINDOT DESIGNATION
S.1	HANDICAP ACCESSIBLE	12" X 18" R7-8M
S.2	MCWD WETLAND BUFFER	

PARKING SUMMARY

SOUTH SURFACE LOT 65 STALLS
REFER TO ARCH FOR PARKING RAMP STALL COUNTS

SITE LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	LOT LINE
---	---	SETBACK LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	BASIN TREATMENT WATER LEVEL
---	---	TIP-OUT CURB AND GUTTER
---	---	DELINEATED WETLAND EDGE
---	---	16.5' WETLAND BUFFER
---	---	WETLAND SETBACKS (20' PARKING, 35' BUILDING)
---	---	100-YEAR HWL - 945.2
---	---	100-YEAR HWL SETBACKS
---	---	RETAINING WALL
---	---	FENCE
---	---	CONCRETE SIDEWALK
---	---	CONCRETE PAVEMENT
---	---	NORMAL DUTY BITUMINOUS PAVEMENT
---	---	NUMBER OF PARKING STALLS
---	---	TRANSFORMER
---	---	SITE LIGHTING
---	---	TRAFFIC SIGN
---	---	POWER POLE
---	---	BOLLARD / POST

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

DESIGNED:	03/06/2023
CHECKED:	
IN CHARGE:	
DATE:	

PREPARED FOR:
WALSER REAL ESTATE, LLC
7700 FRANCE AVENUE SOUTH, SUITE 41N
EDINA, MN 55435

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA
DATE: _____ LICENSE NO. _____

Westwood
12700 Whittaker Drive, Suite B200
Minnetonka, MN 55343
Westwood Professional Services, Inc.

WALSER KIA MINNETONKA
MINNETONKA, MN

ENLARGED SITE PLAN

SHEET NUMBER:

C201

DATE: 01/17/2024

PROJECT NUMBER: 0036502.00

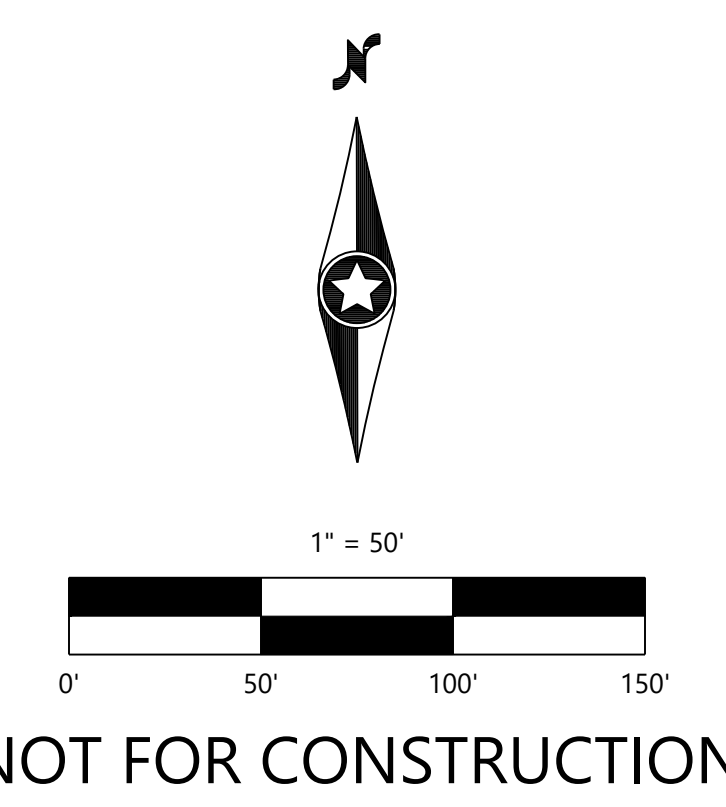
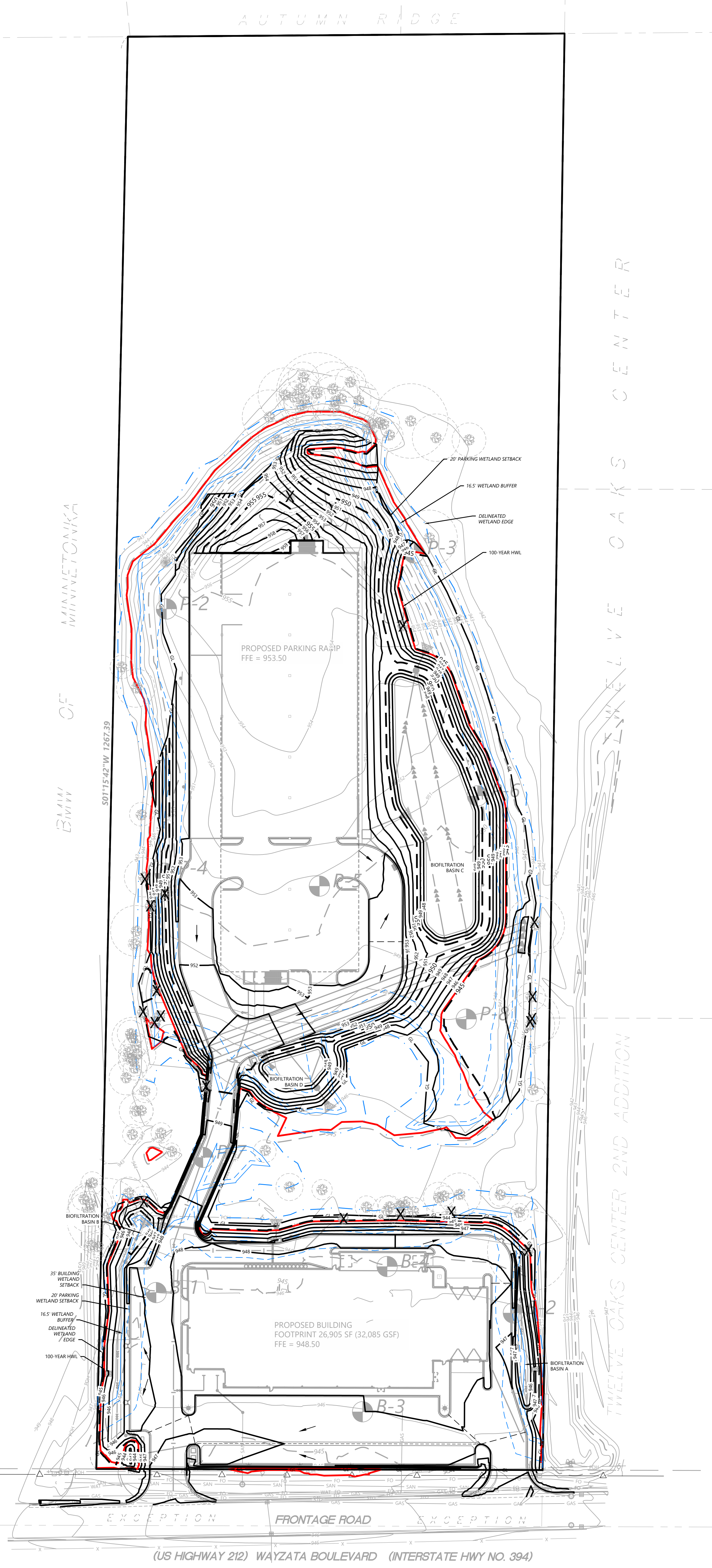
WALSER KIA MINNETONKA

GRADING LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		RIDGE LINE
		GRADING LIMITS
		SPOT ELEVATION
		FLOW DIRECTION
		TOP AND BOTTOM OF RETAINING WALL
		EMERGENCY OVERFLOW
		SOIL BORING LOCATION
		DELINEATED WETLAND EDGE
		16.5' WETLAND BUFFER
		WETLAND SETBACKS (20' PARKING, 35' BUILDING)
		100-YEAR HWL - 945.2

GRADING NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.**
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
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NOT FOR CONSTRUCTION

DESIGNED:	03/06/2023
CHECKED:	
DRAWN:	
APPROVED:	
DATE:	

PREPARED FOR:
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MINNETONKA, MN

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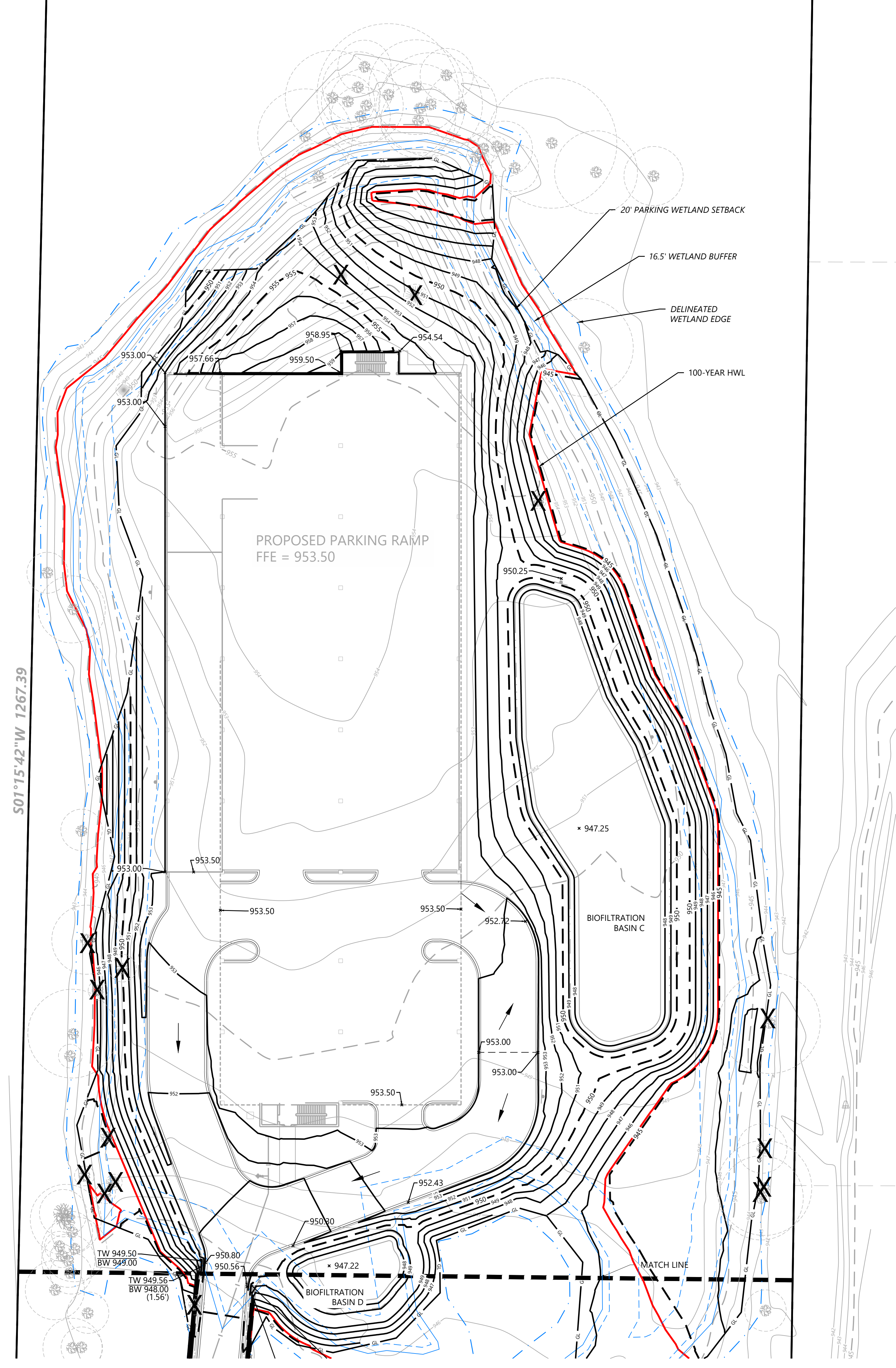
OVERALL GRADING PLAN

SHEET NUMBER:

C300

DATE: 01/17/2024

PROJECT NUMBER: 0036502.00

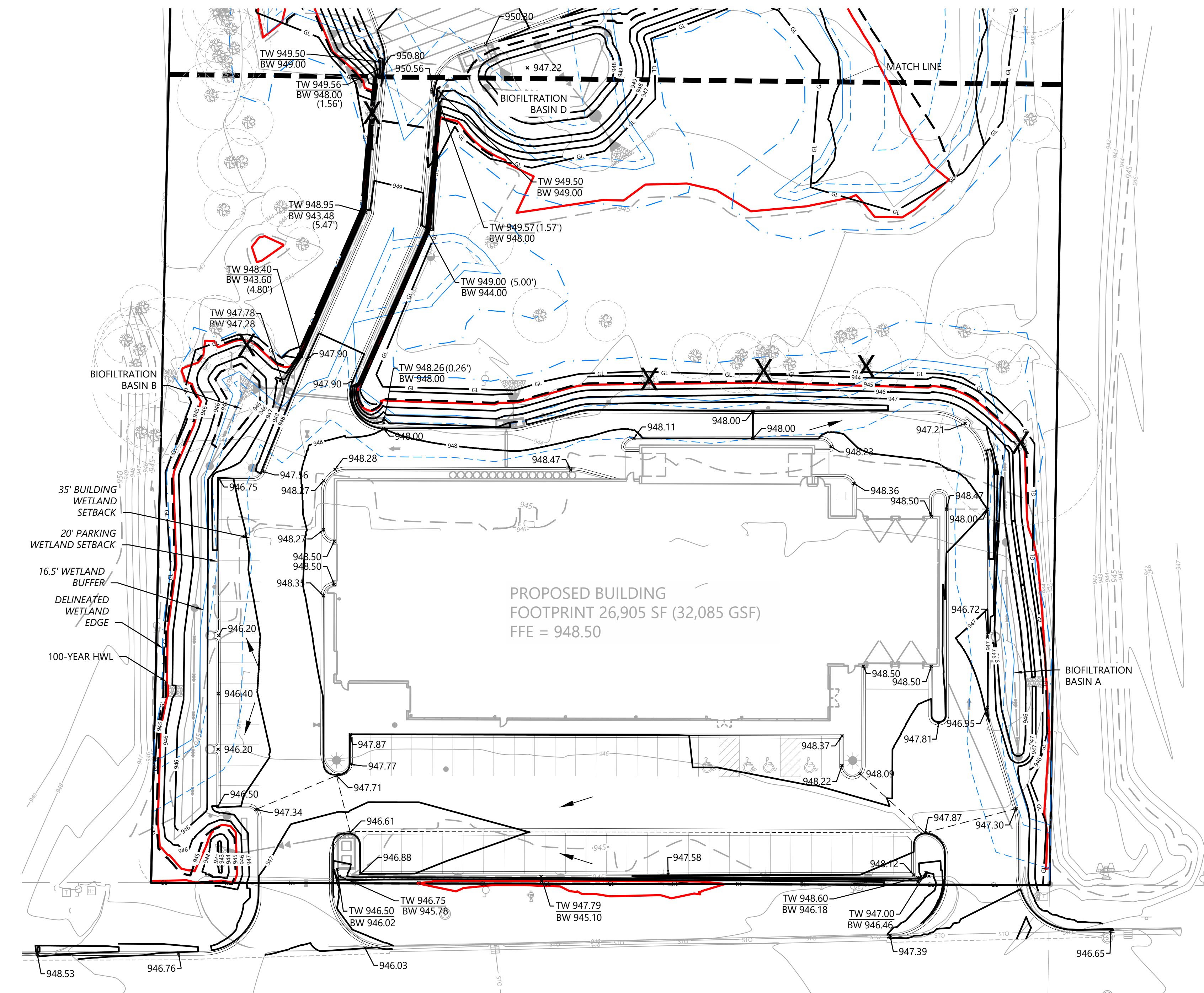


GRADING NOTES

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GRADING LEGEND

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		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		RIDGE LINE
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		16.5' WETLAND BUFFER
		WETLAND SETBACKS (20' PARKING, 35' BUILDING)
		100-YEAR HWL - 945.2



Call 48 Hours before digging:
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Common Ground Alliance

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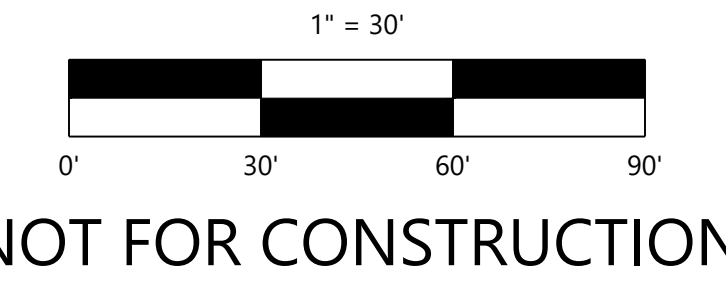
ENLARGED GRADING PLAN

SHEET NUMBER:

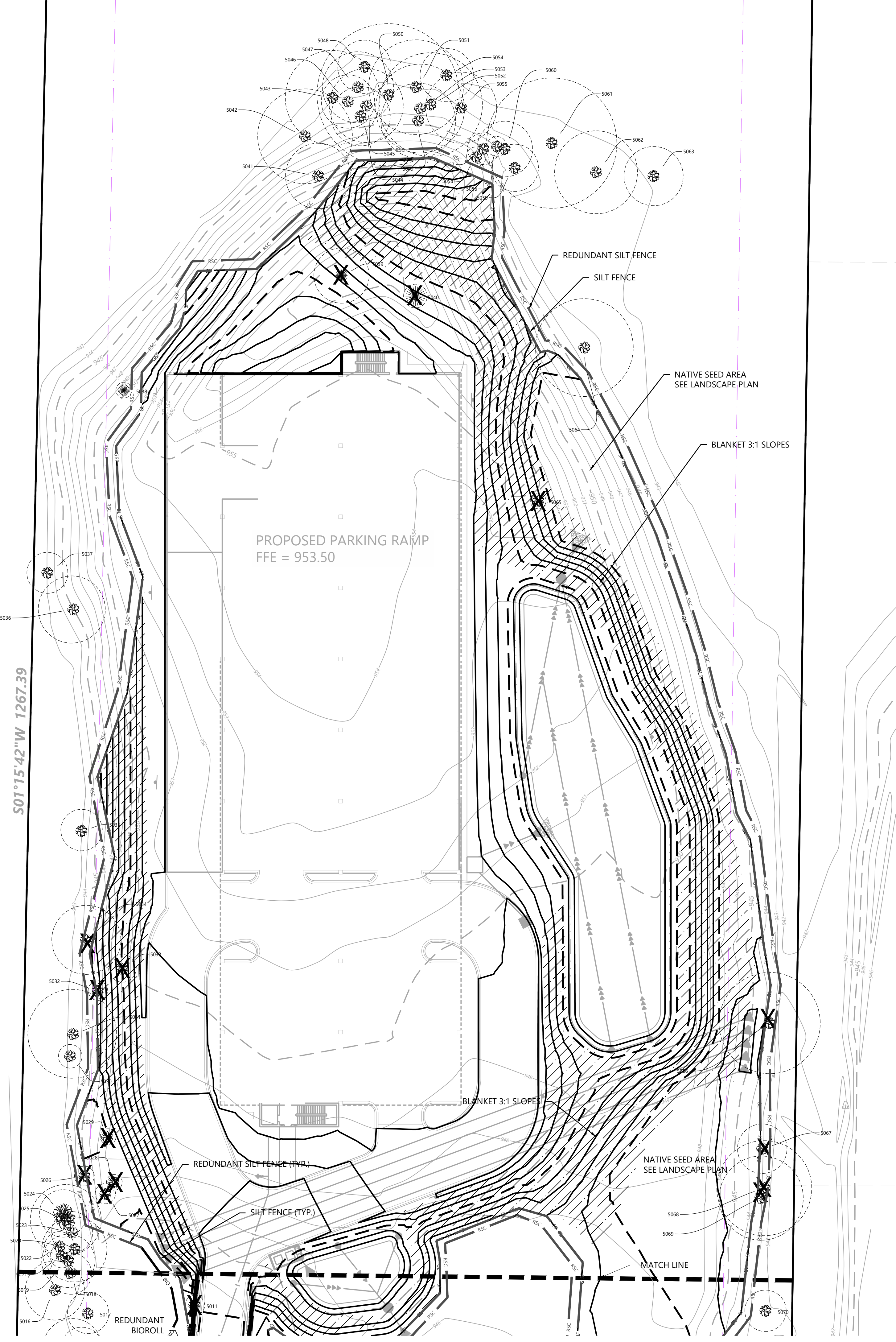
C301

DATE: 01/17/2024

PROJECT NUMBER: 0036502.00



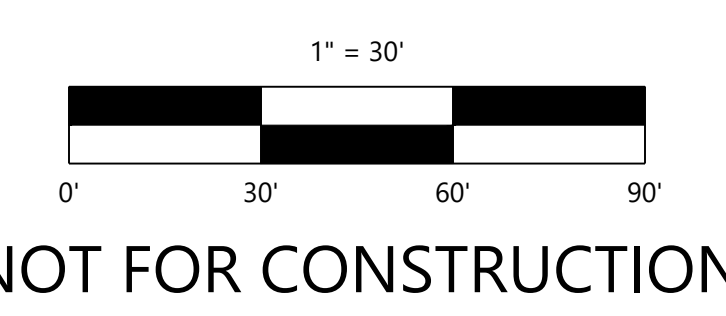
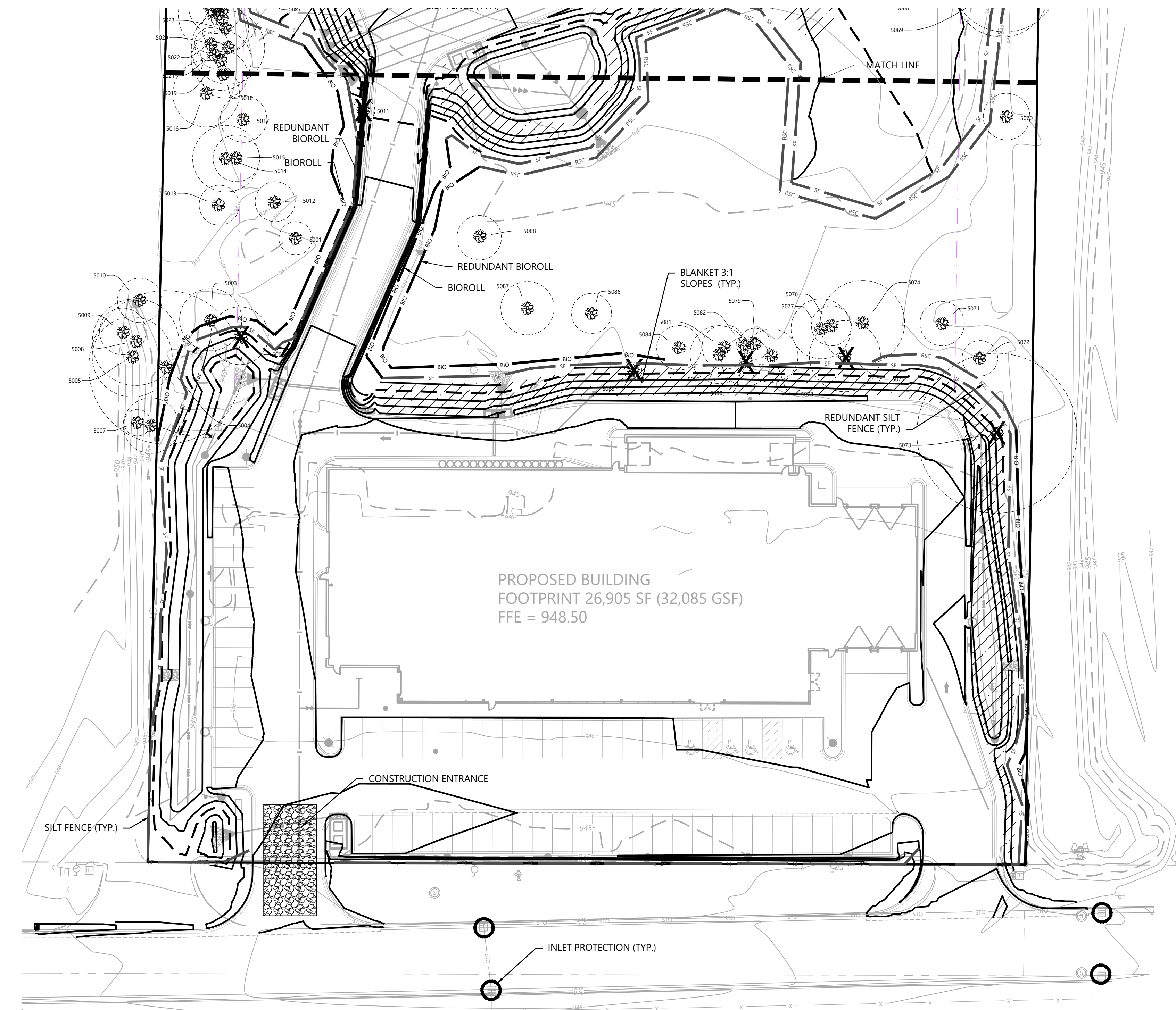
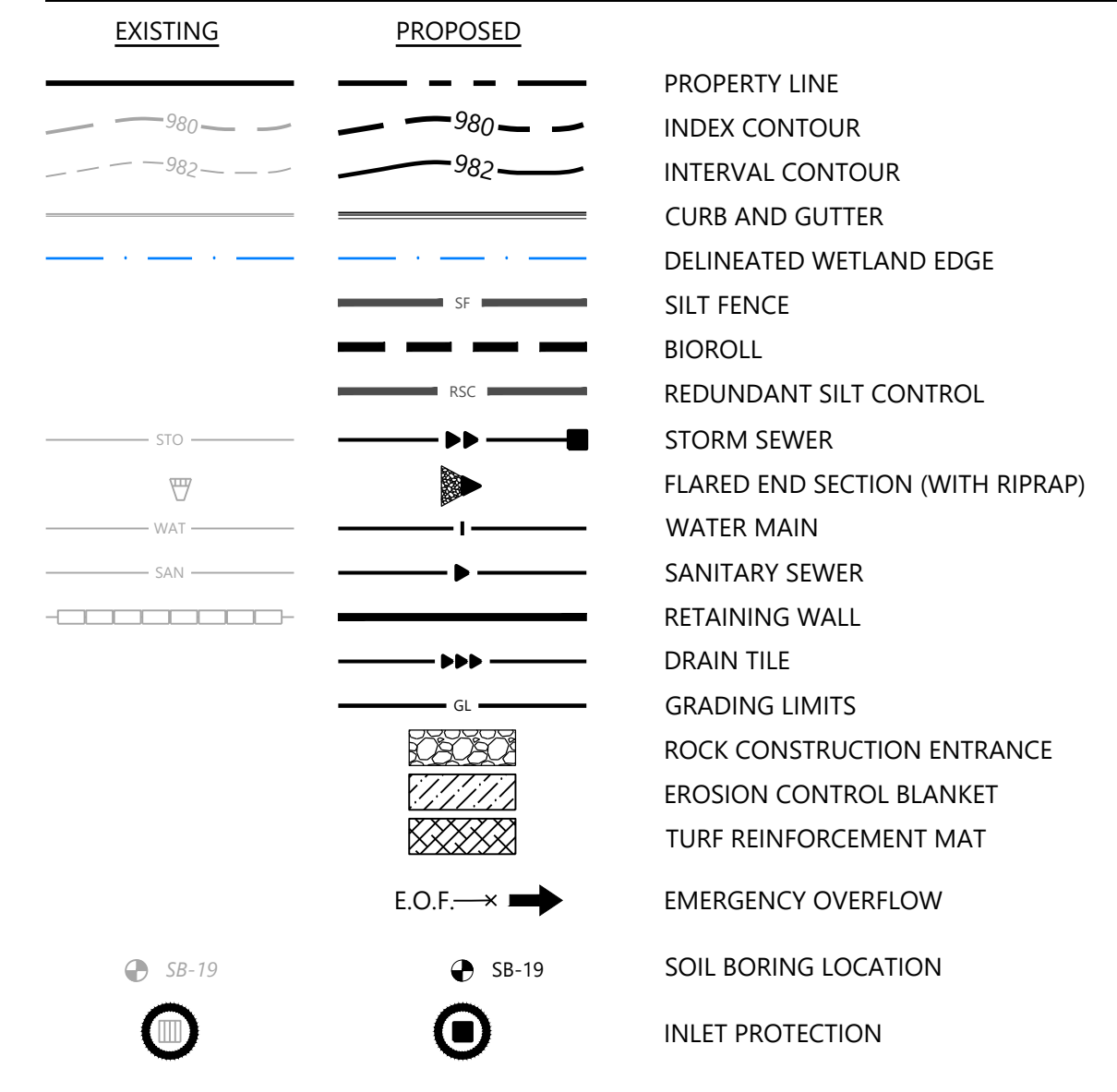
NOT FOR CONSTRUCTION



GENERAL EROSION CONTROL NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SILT FENCE AND OTHER EROSION CONTROL FEATURES SHALL BE IN-PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED. EXISTING SILT FENCE ON-SITE SHALL BE MAINTAINED AND OR REMOVED AND SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONTRACT. IT IS OF EXTREME IMPORTANCE TO BE AWARE OF CURRENT FIELD CONDITIONS WITH RESPECT TO EROSION CONTROL. TEMPORARY PONDING, DIKES, HAYBALES, ETC., REQUIRED BY THE CITY SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- EROSION AND SILTATION CONTROL (ESC): THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL THE EROSION AND SILTATION INCLUDING BUT NOT LIMITED TO: CATCH BASIN INSERTS, CONSTRUCTION ENTRANCES, EROSION CONTROL BLANKET, AND SILT FENCE. ESC SHALL COMMENCE WITH GRADING AND CONTINUE THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER. THE CONTRACTOR'S RESPONSIBILITY INCLUDES ALL IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER MAY DIRECT THE CONTRACTOR'S METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITION OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR IN EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN EVENT. AFFECTED AREAS SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER, ALL AT THE EXPENSE OF THE CONTRACTOR. ALL TEMPORARY EROSION CONTROL SHALL BE REMOVED BY THE CONTRACTOR AFTER THE TURF IS ESTABLISHED.
- ALL STREETS DISTURBED DURING WORKING HOURS MUST BE CLEANED AT THE END OF EACH WORKING DAY. A CONSTRUCTION ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO DETAILS TO REDUCE TRACKING OF DIRT ONTO PUBLIC STREETS.
- ALL UNPAVED AREAS ALTERED DUE TO CONSTRUCTION ACTIVITIES MUST BE RESTORED WITH SEED AND MULCH, SOD, EROSION CONTROL BLANKET OR BE HARD SURFACE WITHIN 2 WEEKS OF COMPLETION OF CONSTRUCTION.
- THE SITE MUST BE STABILIZED PER THE REQUIREMENTS OF THE MPCA, NPDES, MNDOT, AND CITY.
 - TEMPORARY (GREATER THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX
 - TEMPORARY (LESS THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX 21-112 (FALL) OR 21-111 (SPRING/SUMMER) AT 100-POUNDS PER ACRE
 - GENERAL SEEDING SHALL BE MNDOT SEED MIX 25-151 AT 70-POUNDS PER ACRE.
 - MULCH SHALL BE MNDOT TYPE 1 APPLIED AT 2-TONS PER ACRE.
- FOR AREAS WITH SLOPE OF 3:1 OR GREATER, RESTORATION WITH SOD OR EROSION CONTROL BLANKET IS REQUIRED.
- ALL TEMPORARY STOCKPILES MUST HAVE SILT FENCE INSTALLED AROUND THEM TO TRAP SEDIMENT.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL AND STATE RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- THE SITE MUST BE KEPT IN A WELL-DRAINED CONDITION AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DITCHES, PIPING OR OTHER MEANS REQUIRED TO INSURE PROPER DRAINAGE DURING CONSTRUCTION. LOW POINTS IN ROADWAYS OR BUILDING PADS MUST BE PROVIDED WITH A POSITIVE OUTFLOW.
- PUBLIC STREETS USED FOR HAULING SHALL BE KEPT FREE OF SOIL AND DEBRIS. STREET SWEEPING SHALL BE CONCURRENT WITH SITE WORK.

EROSION CONTROL LEGEND



Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

DESIGNED:	03/06/2023
CHECKED:	
DRAWN:	
APPROVED:	
DATE:	01/17/2024
PROJECT:	WALSER REAL ESTATE, LLC
LOCATION:	7700 FRANCE AVENUE SOUTH, SUITE 41N EDINA, MN 55435
SCALE:	

PREPARED FOR:
WALSER REAL ESTATE, LLC
7700 FRANCE AVENUE SOUTH, SUITE 41N
EDINA, MN 55435

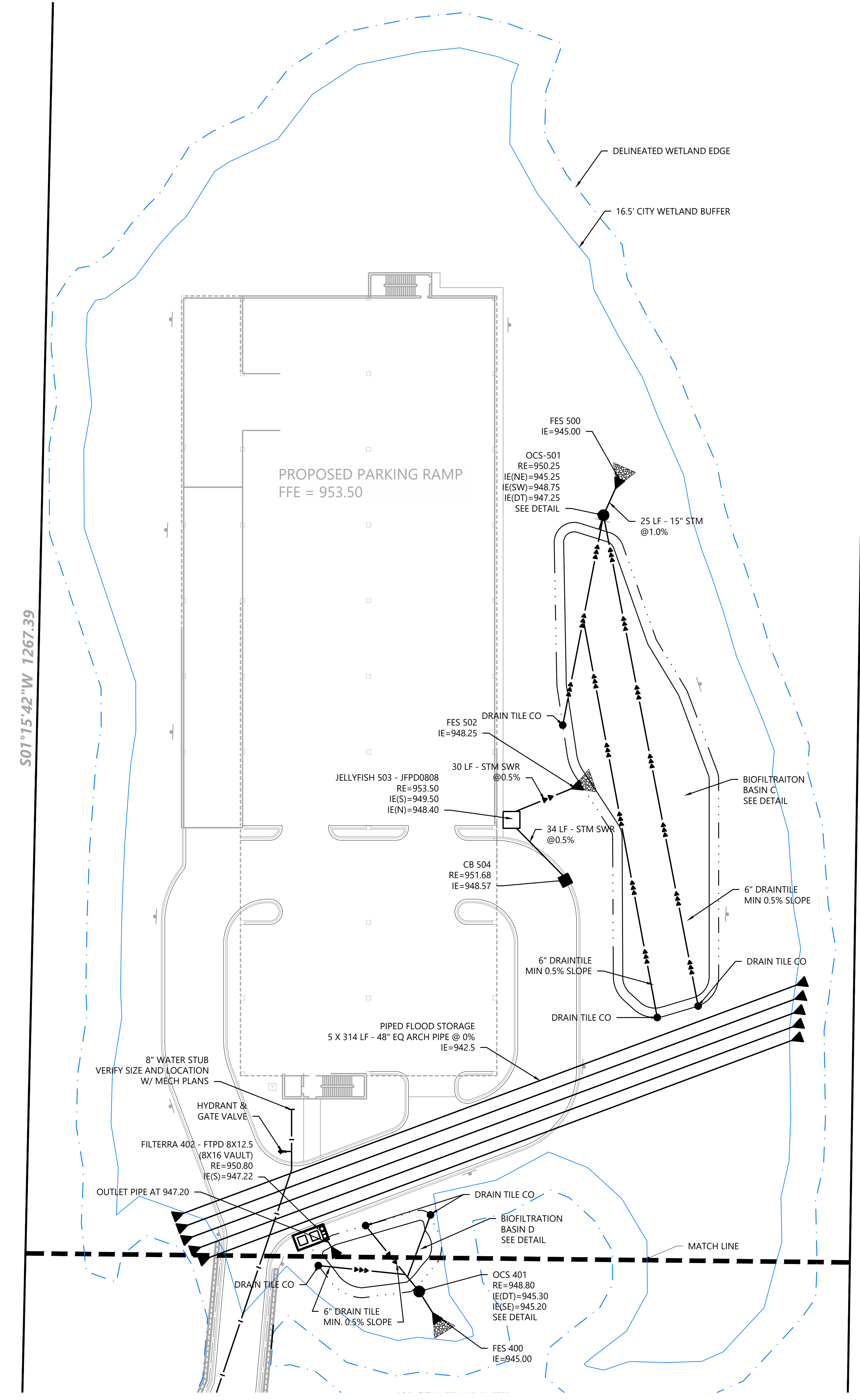
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EROSION CONTROL PLAN

SHEET NUMBER:
C400
DATE: 01/17/2024
PROJECT NUMBER: 0036502.00



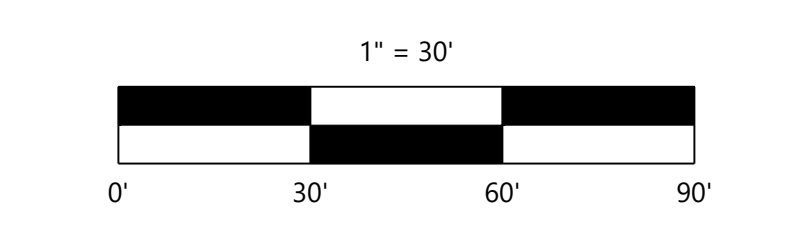
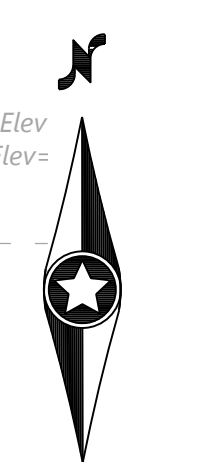
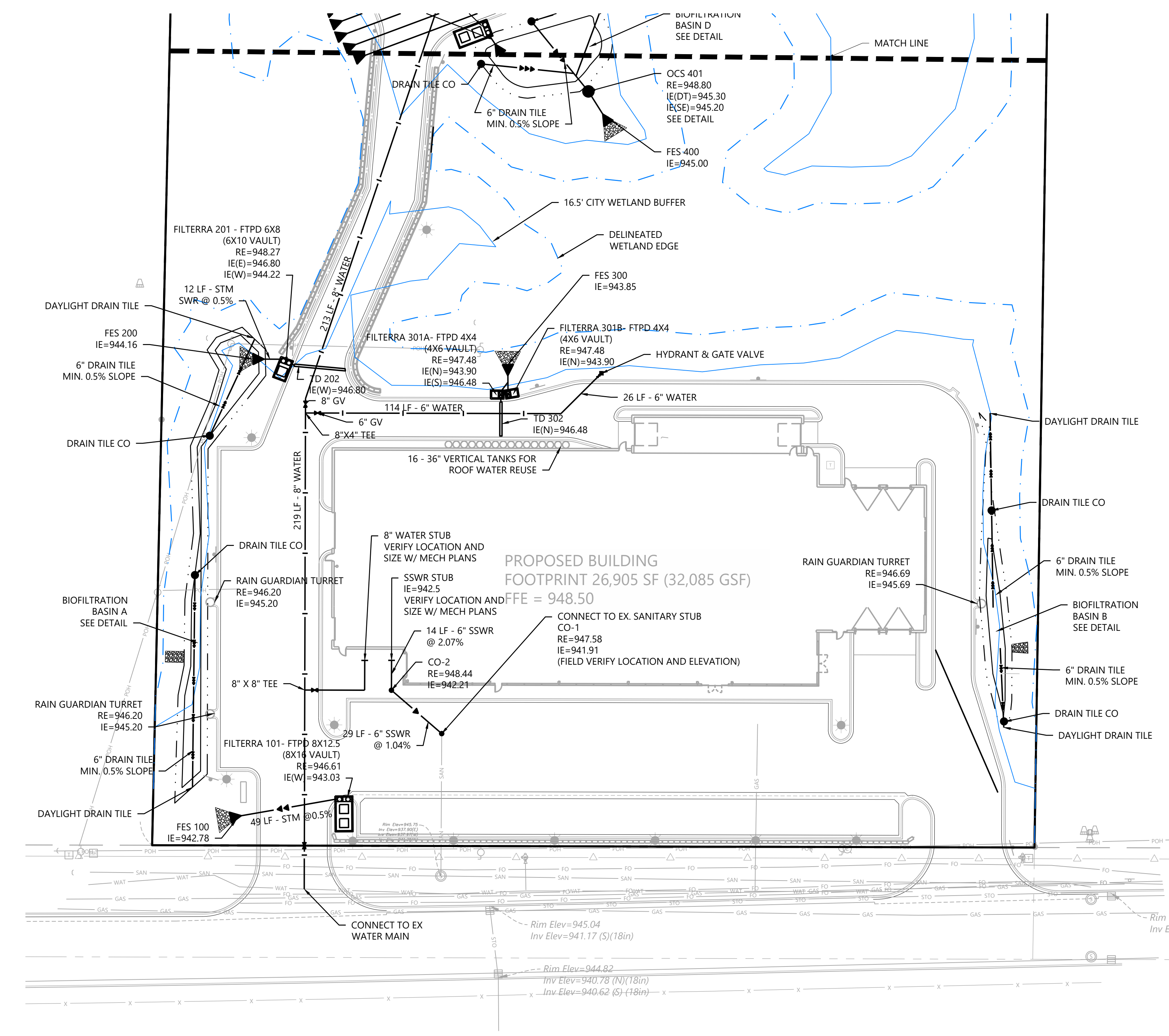
GENERAL UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SANITARY SEWER, STORM SEWER AND WATER MAIN MATERIAL AND INSTALLATIONS SHALL BE PER CITY REQUIREMENTS, MINNESOTA PLUMBING CODE, AND IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMP, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
- ALL PRIVATE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- WATER MAIN LENGTHS AS SHOWN ARE APPROXIMATE HORIZONTAL LENGTHS. ALLOW FOR ADDITIONAL PIPE WHEN INSTALLING ON SLOPES OR WHEN DEFLECTIONS ARE REQUIRED. THE JOINT DEFLECTIONS SHALL NOT EXCEED THE MAXIMUM RECOMMENDED BY THE PIPE MANUFACTURER OR BY LOCAL GOVERNING SPECIFICATIONS. FITTINGS REQUIRED TO CONSTRUCT WATER MAIN SHALL BE INCLUDED IN WATER MAIN CONSTRUCTION.
- PROVIDE WATER MAIN THRUST RESTRAINTS PER CITY STANDARD REQUIREMENTS.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER LINE CROSSINGS WITH SANITARY SEWER OR STORM SEWER. THE WATER LINE SHALL NOT HAVE JOINTS OR CONNECTION WITHIN 10-FEET OF THE CROSSING. INSULATE CROSSINGS WITH STORM SEWER.
- UTILITY SERVICES TYPICALLY TERMINATE 5' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
- DUCTILE IRON WATER LINES SHALL BE CLASS 53 PER AWWA C115 OR C151. COPPER WATER LINES SHALL BE TYPE K PER ASTM 888. PVC WATER LINES SHALL BE PER AWWA C900 AND INSTALLED PER AWWA C605 IF ALLOWED BY CITY.
- ALL WATER LINES SHALL HAVE 7.5' MINIMUM COVER. INSULATE WATER MAIN IF LESS THAN 8' OF COVER. INSULATION SHALL BE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, WITH 4 INCHES OF THICKNESS.
- SANITARY SEWER PIPE OUTSIDE THE BUILDING ENVELOPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 OR 26. SDR 26 IS REQUIRED FOR DEPTHS GREATER THAN 15 FEET. SANITARY SEWER PIPE WITHIN 5 FEET OF THE BUILDING AND UNDER FOOTINGS SHALL BE SCHEDULE 40 PER ASTM D2665. ALL PLASTIC SANITARY SEWER SHALL BE INSTALLED PER D2321. SOLVENT WELD JOINTS MUST INCLUDE USE OF A PRIMER WHICH IS OF A CONTRASTING COLOR TO THE PIPE AND CEMENT. ALL SANITARY SEWER SHALL BE TESTED ACCORDING TO MINNESOTA PLUMBING CODE, PART 712.0.
- STORM SEWER PIPE:
 - RCP AND HDPE PIPE MAY BE INSTALLED WITH APPROVAL OF LOCAL GOVERNING AGENCY.
 - REINFORCED CONCRETE PIPE SHALL BE CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED, PER ASTM C76, WITH GASKETS PER ASTM C443.
 - HDPE STORM PIPE 4- TO 10-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF AASHTO M252. HDPE STORM PIPE 12- TO 60-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF ASTM F2306. FITTINGS SHALL BE PER ASTM D3212 AND INSTALLED PER ASTM D2321.
 - PVC STORM SEWER PIPE AND FITTINGS SHALL BE SCHEDULE 40 PIPE PER ASTM D2665 AND INSTALLED PER ASTM D2321.
 - CORRUGATED METAL PIPE (CMP) FOR SIZES 18- TO 120-INCH AND MUST MEET ASTM A760 OR ASTM A798 AND BE INSTALLED PER ASTM A798. CMP MAY NOT BE INSTALLED WITHIN 10- FEET OF A WATERMAIN, WATER SERVICE, OR A BUILDING.
 - ALL STORM SEWER JOINTS AND STRUCTURE CONNECTIONS SHALL BE GASTIGHT OR WATERTIGHT AS REQUIRED BY MINNESOTA PLUMBING CODE, PART 707.3. STORM SEWER LOCATED WITHIN 10- FEET OF A BUILDING AND/OR WATER LINE SHALL BE TESTED PER MINNESOTA PLUMBING CODE, PART 712.
- ALL NONCONDUCTIVE PIPE SHALL BE INSTALLED WITH A LOCATE (TRACER) WIRE PER MINNESOTA RULES, PART 7560.0150.
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.
- ALL MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.
- ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.15 FEET AND MAN-HOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.

UTILITY LEGEND

EXISTING	PROPOSED	PROPERTY LINE
		EASEMENT LINE
		CURB AND GUTTER
		DELINEATED WETLAND EDGE
		16.5' WETLAND BUFFER
		SANITARY SEWER
		SANITARY SEWER FORCE MAIN
		STORM SEWER
		WATER MAIN
		HYDRANT
		GAS
		UNDERGROUND ELECTRIC
		OVERHEAD ELECTRIC
		UNDERGROUND TELEPHONE
		OVERHEAD TELEPHONE
		TELEPHONE FIBER OPTIC
		CABLE TELEVISION
		DRAIN TILE
		GRATE VALVE
		FLARED END SECTION (WITH RIPRAP)
		LIGHT POLE

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance



NOT FOR CONSTRUCTION

DESIGNED:	03/06/2023
CHECKED:	
DRAWN:	
APPROVED:	
DATE:	

PREPARED FOR:
WALSER REAL ESTATE, LLC
7700 FRANCE AVENUE SOUTH, SUITE 41N
EDINA, MN 55435

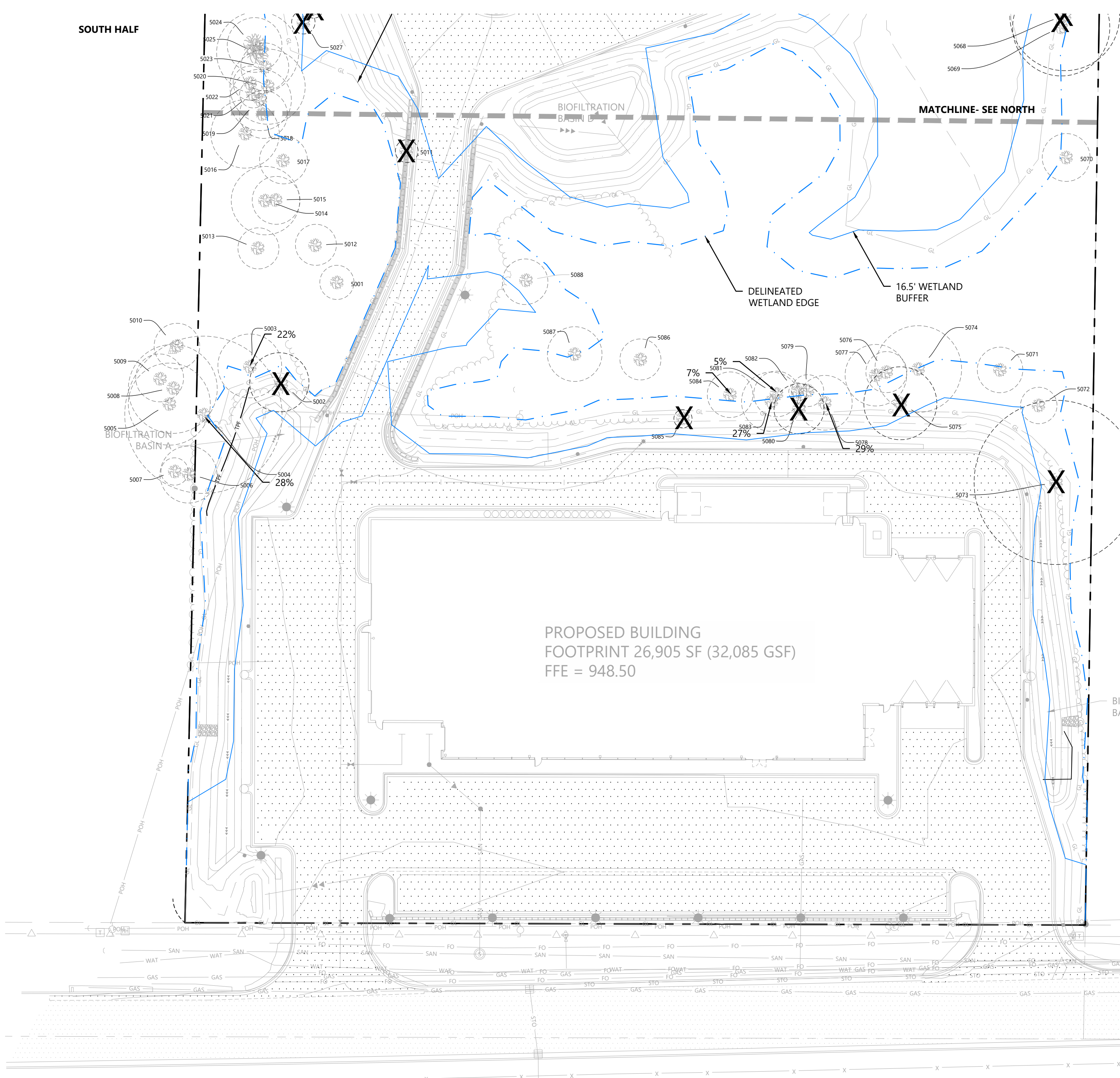
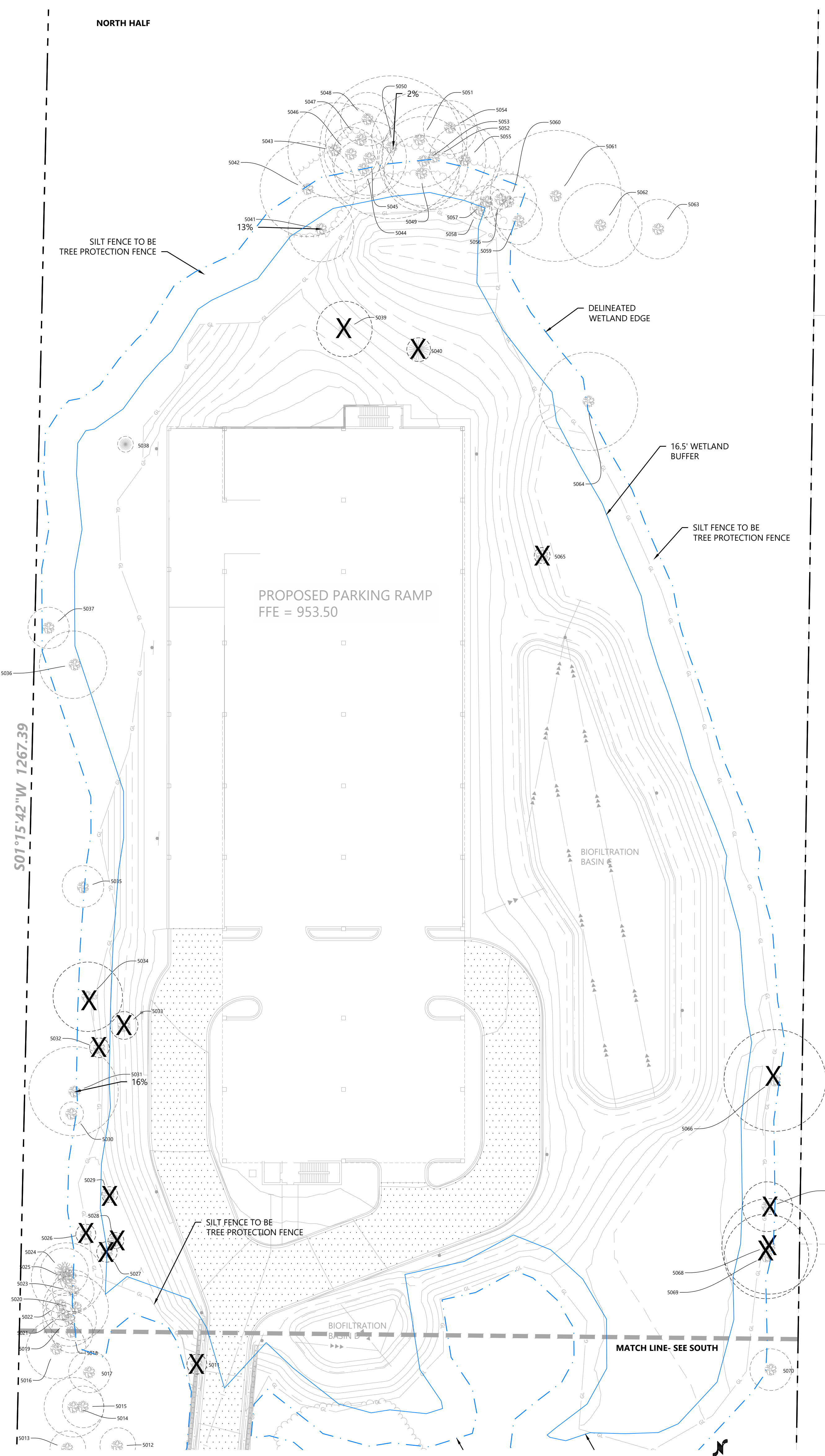
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA.
DATE: 01/17/2024 LICENSE NO. _____

Westwood
12700 Whittaker Drive, Suite B200
Minnetonka, MN 55343
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SHEET NUMBER:
C500
DATE: 01/17/2024
PROJECT NUMBER: 0036502.00



TREE MITIGATION SUMMARY

TREE REMOVALS	
HIGH PRIORITY TREES	
NUMBER OF HIGH PRIORITY TREES=	45
NUMBER EXEMPT***=	10
NUMBER OF TREES EXCLUDING EXEMPT=	35
NUMBER REMOVED=	7
NUMBER EXEMPT REMOVED=	4
DECIDUOUS REMOVED (DBH in)=	109 in
CONIFEROUS REMOVED (ft)=	40 ft
PERCENT OF TREES ON SITE (50% ALLOWED)=	20% (7/35=2)
SIGNIFICANT TREES	
NUMBER OF SIGNIFICANT TREES=	37
NUMBER EXEMPT***=	11
NUMBER OF TREES EXCLUDING EXEMPT=	26
NUMBER REMOVED=	5
NUMBER EXEMPT REMOVED=	4
DECIDUOUS REMOVED (DBH in)=	25 in
CONIFEROUS REMOVED (ft)=	0 ft
PERCENT OF TREES ON SITE (50% ALLOWED)=	19% (5/26=19)
TOTALS	
NUMBER OF TREES ON SITE=	82
NUMBER EXEMPT***=	21
NUMBER OF TREES EXCLUDING EXEMPT=	61
NUMBER REMOVED=	12
NUMBER EXEMPT REMOVED=	8
DECIDUOUS REMOVED (DBH in)=	134 in
CONIFEROUS REMOVED (ft)=	40 ft
PERCENT OF TREES ON SITE=	20% (12/61=19)

***EXEMPT TREES ARE TREES THAT ARE DEAD, DAMAGED BEYOND RECOVERY, INVASIVE, OR ASH TREES.

**FOR ALL TREE SPECIES, A TREE SHALL BE REMOVED ANY TIME COMPACTING, CUTTING, FILLING, OR PAVING 30% OF THE CRITICAL ROOT ZONE. THE CRITICAL ROOT RADIUS IS CALCULATED BY MEASURING THE TREES DBH, FOR EACH INCH IN TREE DIAMETER, 1.5 FT OF ROOT ZONE RADIUS, MUST BE PROTECTED.

*SIGNIFICANT TREE IS A TREE THAT IS STRUCTURALLY SOUND AND HEALTHY AND THAT IS EITHER A DECIDUOUS TREE AT LEAST FOUR INCHES DBH OR A CONIFEROUS TREE AT LEAST 10 FT IN HEIGHT.

**HIGH PRIORITY TREE IS A TREE THAT IS NOT IN A WOODLAND PRESERVATION AREA BUT IS STILL IMPORTANT TO THE SITE, THAT IS STRUCTURALLY SOUND AND HEALTHY THAT IS EITHER A DECIDUOUS TREE THAT IS AT LEAST 10 IN DBH, OR CONIFEROUS TREE THAT IS AT LEAST 15 FT IN HEIGHT.

MITIGATION REQUIRED

NO MITIGATION REQUIRED- TREE REMOVAL RATES FALL WITHIN ALLOWABLE RATES.

REDEVELOPMENT ON A NON-SINGLE FAMILY PROPERTY REQUIRES MITIGATION FOR:

- HIGH PRIORITY TREES, SIGNIFICANT TREES, AND TREES WITHIN WOODLAND PRESERVATION REMOVED OUTSIDE OF: (1) THE BASIC TREE REMOVAL AREA; AND (2) THE WIDTH OF REQUIRED EASEMENTS FOR PUBLIC AND PRIVATE STREETS AND UTILITIES
- HIGH PRIORITY AND SIGNIFICANT TREES REMOVED FOR SURFACE STORMWATER PRACTICES.

TREE INVENTORY

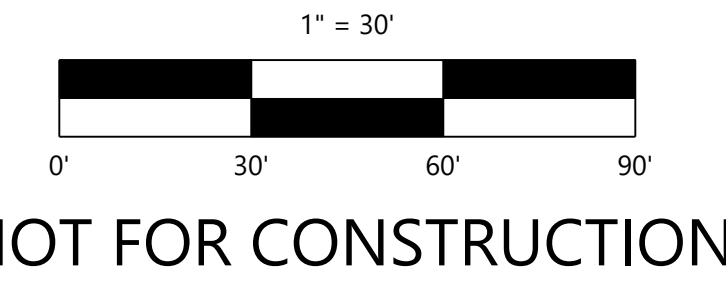
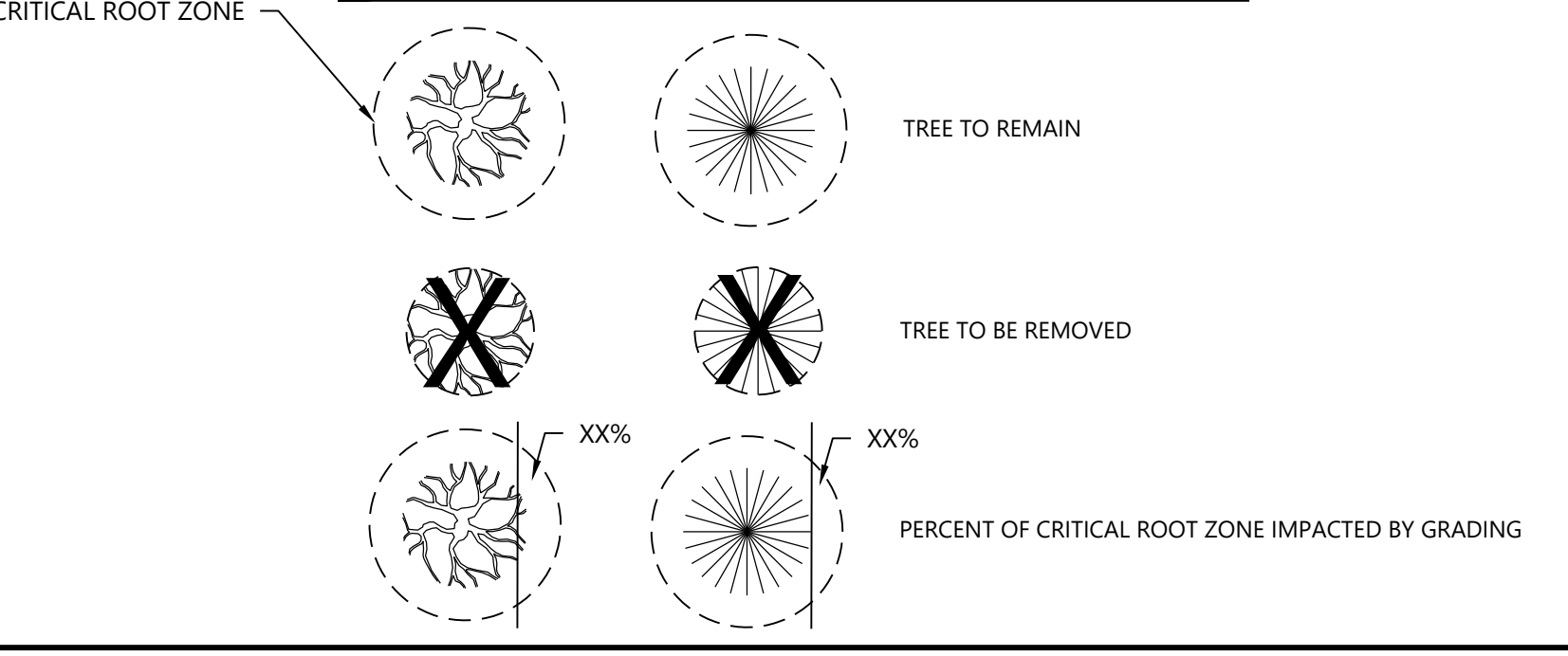
NO.	Species	DBH (in.)	High Priority	Significant	Multistem	Damaged	Removal
5001	Black Willow	10	X		X		
5002	Black Willow	13	X		X	trunk split at base	X
5003	Black Willow	14	X		X	severe lean, 40% crown death	
5004	Cottonwood	23	X				
5005	Cottonwood	12	X		X		
5006	Cottonwood	10	X		X		
5007	Green Ash	4		X			
5008	Black Willow	13	X		X		
5009	Cottonwood	7		X			
5010	Cottonwood	10	X		X		
5011	Cottonwood	5		X	X		X
5012	Black Willow	6		X			
5013	Black Willow	6		X	X		
5014	Black Willow	10	X				
5015	Cottonwood	7		X		30% crown death	
5016	Black Willow	10	X		X		
5017	Black Willow	7		X			
5018	Cottonwood	8		X			
5019	Cottonwood	8		X			
5020	Cottonwood	12	X				
5021	Black Willow	4		X			
5022	Black Willow	5		X			
5023	Black Willow	7		X			
5024	Black Willow	8		X			
5025	Cottonwood	12	X				
5026	Aspen	5		X			X
5027	Aspen	7		X			X
5028	Aspen	4		X			X
5029	Aspen	4		X		2 ft sore on trunk	X
5030	Black Willow	4		X	X		
5031	Black Willow	16	X				
5032	Black Willow	5		X		20% crown death	X
5033	Green Ash	7		X			X
5034	Cottonwood	17	X		X		X
5035	Black Willow	7		X			
5036	Cottonwood	17	X				
5037	Black Willow	10	X		X	large sore + rot at trunk base, severe lean	
5038	Red Cedar	4/15'	X				
5039	White Spruce	14/25'	X				X
5040	White Spruce	6/15'	X				X
5041	Cottonwood	16	X				
5042	Cottonwood	16	X				
5043	Cottonwood	16	X				
5044	Cottonwood	10	X				

NO.	Species	DBH (in.)	High Priority	Significant	Multistem	Damaged	Removal
5045	Cottonwood	12	X				
5046	Cottonwood	9		X	X		
5047	Cottonwood	12	X				
5048	Black Willow	9		X			
5049	Cottonwood	19	X				
5050	Cottonwood	24	X		X		
5051	Cottonwood	16	X				
5052	Black Willow	17	X			25% crown death	
5053	Black Willow	15	X				
5054	Black Willow	9		X		50% crown death	
5055	Cottonwood	12	X				
5056	Cottonwood	5		X			
5057	Cottonwood	8		X			
5058	Cottonwood	5		X			
5059	Cottonwood	8		X			
5060	Cottonwood	14	X				
5061	Cottonwood	22	X				
5062	Black Willow	14	X		X		
5063	Black Willow	10	X		X	large sore + rot at trunk base	
5064	Cottonwood	24	X				
5065	Green Ash	4		X			X
5066	American Elm	26	X			included bark @ crotch, wilt noted on lower branch	X
5067	Boxelder	12	X				X
5068	Cottonwood	24	X		X		X
5069	Cottonwood	21	X		X		X
5070	Green Ash	7		X			
5071	Black Willow	10	X		X	20% crown death	
5072	Black Willow	8		X	X		
5073	Cottonwood	36	X				X
5074	Cottonwood	19	X			15% crown death	
5075	Cottonwood	16	X			25% crown death	X
5076	Black Willow	6	X		X		
5077	Black Willow	9		X	X		
5078	Black Willow	12	X		X		
5079	Black Willow	7		X	X		
5080	Cottonwood	11	X				X
5081	Black Willow	10	X		X		
5082	Green Ash	4		X			
5083	Black Willow	13	X				
5084	Black Willow	10	X		X		
5085	Black Willow	4		X	X		X
5086	Green Ash	6		X			
5087	Boxelder	7		X			
5088	Green Ash	8		X		50% crown death	

TREE INVENTORY LEGEND

Off Property
Exempt- Due to damage, dying, or invasive
Exempt- High Priority
Removed- Significant
To Remain- High Priority
To Remain- Significant

LANDSCAPE LEGEND



DESIGNED: [] CHECKED: [] DRAWN: [] APPROVED: []

INITIAL ISSUE: 03/05/2023

POSITIONS: [] 08/07/2023 CITY RESUBMITTAL [] 09/20/2023 MCD SUBMITTAL [] 07/17/2024 CITY RESUBMITTAL []

PREPARED FOR: **WALSER REAL ESTATE, LLC**
7700 FRANCE AVENUE SOUTH, SUITE 41N
EDINA, MN 55435

PREPARED BY: **WALSER KIA MINNETONKA**
MINNETONKA, MN

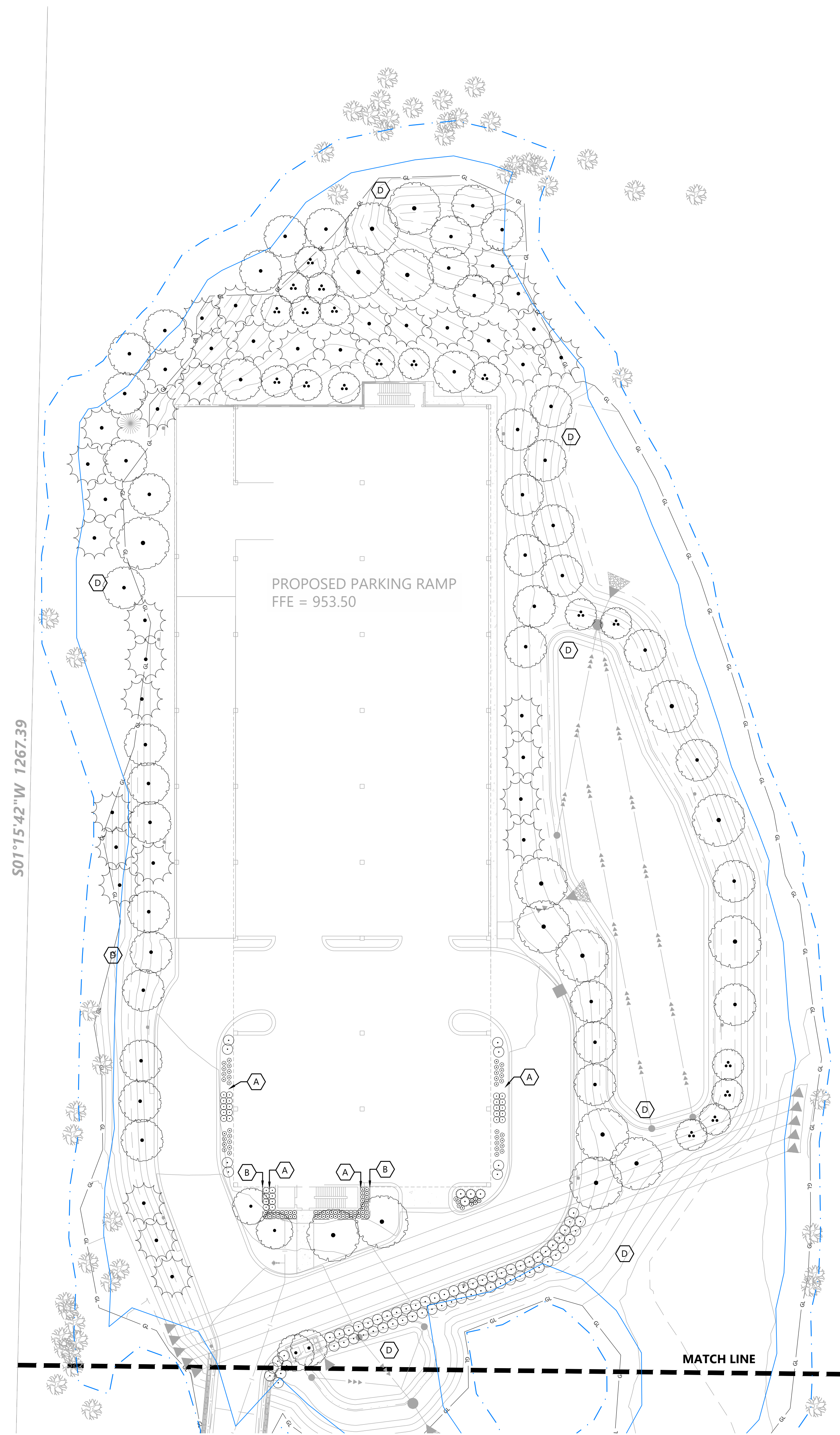
WESTWOOD PROFESSIONAL SERVICES, INC.
12700 Whittaker Drive, Suite B200
Minnetonka, MN 55343
Phone: (952) 937-2555
Fax: (952) 937-2522
www.westwoodps.com

TREE PRESERVATION PLAN

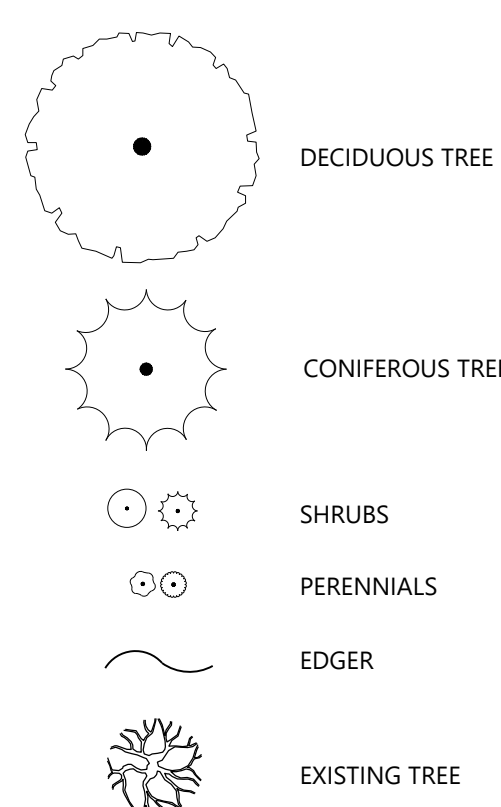
SHEET NUMBER: **L100**

DATE: 01/17/2024

PROJECT NUMBER: 0036502.00



LANDSCAPE LEGEND



LANDSCAPE KEYNOTES

- A SHREDDED HARDWOOD MULCH (TYP.)
- B EDGER (TYP.)
- C SOD (TYP.)
- D NATIVE WETLAND SEED MIX

LANDSCAPE SUMMARY

I-394 DISTRICT LANDSCAPE REQUIREMENTS:

- ALL EFFORTS SHALL BE TAKEN TO PRESERVE EXISTING NATURAL FEATURES.
- A MINIMUM LANDSCAPE PLAN INVESTMENT OF 2 PERCENT OF TOTAL PROJECT VALUE IS REQUIRED.
- DECIDUOUS TREES WILL NOT BE LESS THAN 2 IN BUT NOT MORE THAN 4 IN CALIPER, CONIFEROUS TREES WILL NOT BE LESS THAN 6 FT BUT NOT MORE THAN 8 FT IN HEIGHT.

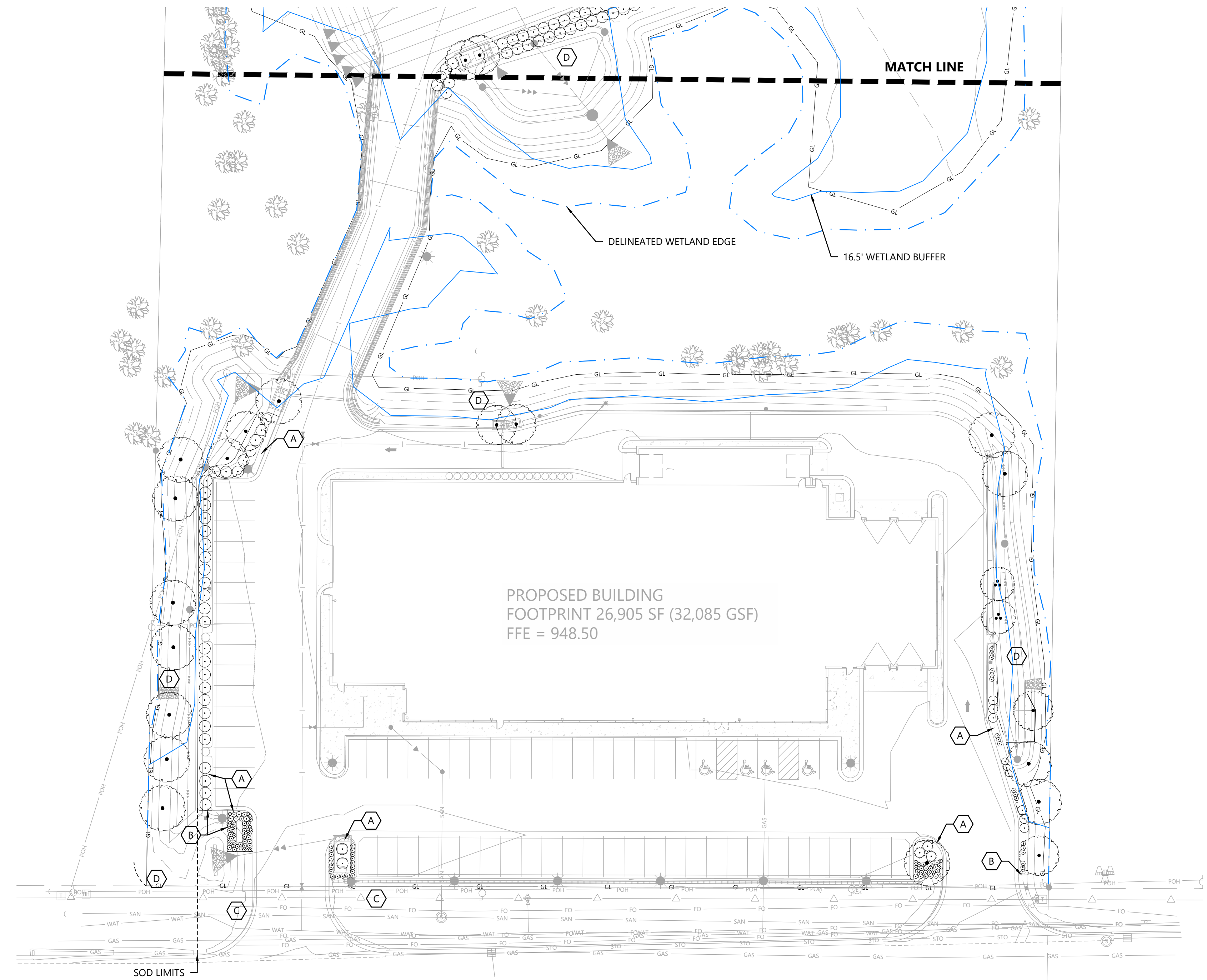
PARKING LOT LANDSCAPE REQUIREMENTS:

- ONE TREE FOR EACH 15 SURFACE PARKING SPACES.

TREES REQUIRED= 5 (65/15=4.33)

TREES PROVIDED= 136
(36 PROPOSED CONIFEROUS TREES + 70 PROPOSED DECIDUOUS TREES + 30 PROPOSED ORNAMENTAL TREES)

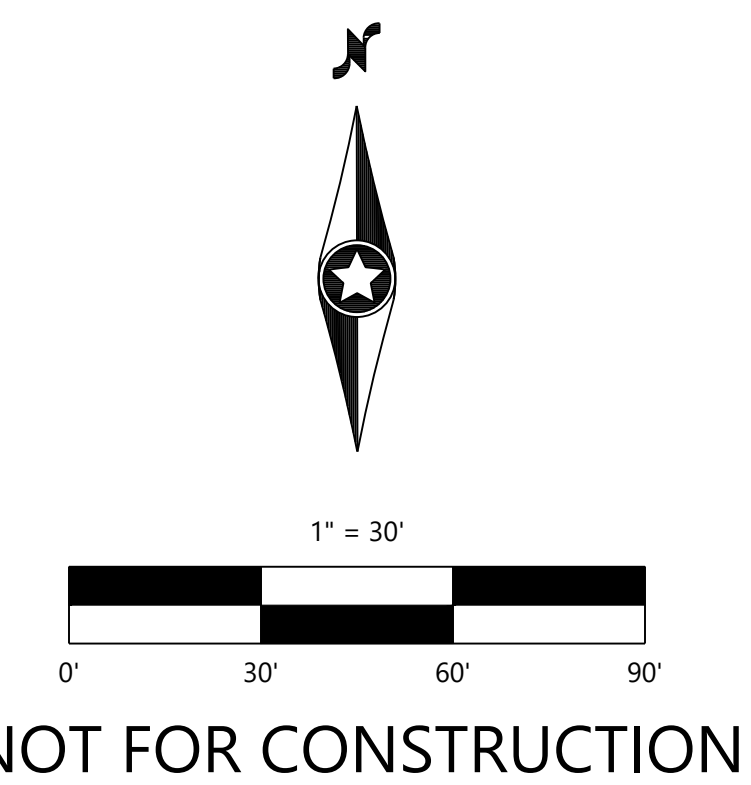
ALL NON-NATIVE SPECIES, OR CULTIVARS OF NATIVE SPECIES, TO BE LOCATED WITHIN THE PARKING LOT AND ALONG THE FRONTAGE RD. NO NON-NATIVES TO BE PLANTED IN WETLAND BUFFER AREA



PLANT SCHEDULE

CONIFEROUS TREES	QTY	36	COMMON / BOTANICAL NAME	SIZE	SPACING O.C.
ERC	17		EASTERN REDCEDAR / JUNIPERUS VIRGINIANA	8' HT B&B	AS SHOWN
TAM	9		TAMARACK / LARIX LARICINA	8' HT B&B	AS SHOWN
BLS	10		BLACK SPRUCE / PICEA MARIANA	8' HT B&B	AS SHOWN
DECIDUOUS TREES	QTY	70	COMMON / BOTANICAL NAME	SIZE	SPACING O.C.
REM	12		RED MAPLE / ACER RUBRUM	2.5' CAL	AS SHOWN
MAM	2		MATADOR™ FREEMAN MAPLE / ACER X FREEMANII 'BAILSTON'	2.5' CAL	AS SHOWN
RIB	14		RIVER BIRCH / BETULA NIGRA	2.5' CAL	AS SHOWN
SKH	6		SKYLINE® HONEY LOCUST / GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	2.5' CAL	AS SHOWN
SIP	8		SIouxLAND POPLAR / POPULUS DELTOIDES 'SIouxLAND'	2.5' CAL	AS SHOWN
SWO	15		SWAMP WHITE OAK / QUERCUS BICOLOR	2.5' CAL	AS SHOWN
BLW	5		BLACK WILLOW / SALIX NIGRA	2.5' CAL	AS SHOWN
PAE	8		PRINCETON AMERICAN ELM / ULMUS AMERICANA 'PRINCETON'	2.5' CAL	AS SHOWN
ORNAMENTAL TREES	QTY	30	COMMON / BOTANICAL NAME	SIZE	SPACING O.C.
ALS	20		ALLEGHENY SERVICEBERRY MULTI-TRUNK	6' HT B&B	AS SHOWN
BBE	10		BLUE BEECH / CARPINUS CAROLINIANA	2.5' CAL	AS SHOWN
CONIFEROUS SHRUBS	QTY	7	COMMON / BOTANICAL NAME	SIZE	SPACING O.C.
CBJ			COMMON BUSH JUNIPER / JUNIPERUS COMMUNIS DEPRESSA	#5 CONT.	4'-0" O.C.
DECIDUOUS SHRUB	QTY	143	COMMON / BOTANICAL NAME	SIZE	SPACING O.C.
RTD			RED TWIG DOGWOOD / CORNUS SERICEA	#5 CONT.	5'-0" O.C.
AFD			ARCTIC FIRE® RED TWIG DOGWOOD / CORNUS SERICEA 'FARROW'	#5 CONT.	4'-0" O.C.
DBH			DWARF BUSH HONEYSUCKLE / DIERVILLA LONICERA	#5 CONT.	3'-0" O.C.
IWIN			WINTERBERRY / ILEX VERTICILLATA	#5 CONT.	5'-0" O.C.
GLS			GRO-LOW FRAGRANT SUMAC / RHUS AROMATICA 'GRO-LOW'	#5 CONT.	5'-0" O.C.
BLS			BAILEY'S COMPACT VIBURNUM / VIBURNUM TRILOBUM 'BAILEY COMPACT'	#5 CONT.	3'-0" O.C.
PERENNIALS	QTY	51	COMMON / BOTANICAL NAME	SIZE	SPACING O.C.
NEA			NEW ENGLAND ASTER / ASTER NOVAE-ANGLIAE	#1 CONT.	18" O.C.
MBC			MOONBEAM TICKSEED / COREOPSIS VERTICILLATA 'MOONBEAM'	#1 CONT.	24" O.C.
PUC			PURPLE CONEFLOWER / ECHINACEA PURPUREA	#1 CONT.	18" O.C.
PBS			PRAIRIE BLAZINGSTAR / LIATRIS Pycnostachya	#1 CONT.	30" O.C.
BES			BLACK-EYED SUSAN / RUDBECKIA HIRTA	#1 CONT.	18" O.C.
GRASSES	QTY	160	COMMON / BOTANICAL NAME	SIZE	SPACING O.C.
KFG			KARL FOERSTER FEATHER REED GRASS / CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	#1 CONT.	24" O.C.
SSG			SHENANDOAH SWITCH GRASS / PANICUM VIRGATUM 'SHENANDOAH'	#1 CONT.	24" O.C.
BLB			BLU LITTLE BLUESTEM / SCHIZACHYRIUM SCOPARIUM 'BLAZE'	#1 CONT.	18" O.C.
PDS			PRAIRIE DROPSSEED / SPOROBOLUS HETEROLEPIS	#1 CONT.	24" O.C.

ALL NON-NATIVE SPECIES, OR CULTIVARS OF NATIVE SPECIES, TO BE LOCATED WITHIN THE PARKING LOT AND ALONG THE FRONTAGE RD. NO NON-NATIVES TO BE PLANTED IN WETLAND BUFFER AREA



DESIGNED:	03/06/2023
CHECKED:	
DRAWN:	
APPROVED:	
DATE:	

PREPARED FOR:
WALSER REAL ESTATE, LLC
7700 FRANCE AVENUE SOUTH, SUITE 41N
EDINA, MN 55435

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA
JEFF WESTERHOFF
DATE: 01/17/2024 LICENSE NO. _____

WALSER KIA MINNETONKA
MINNETONKA, MN

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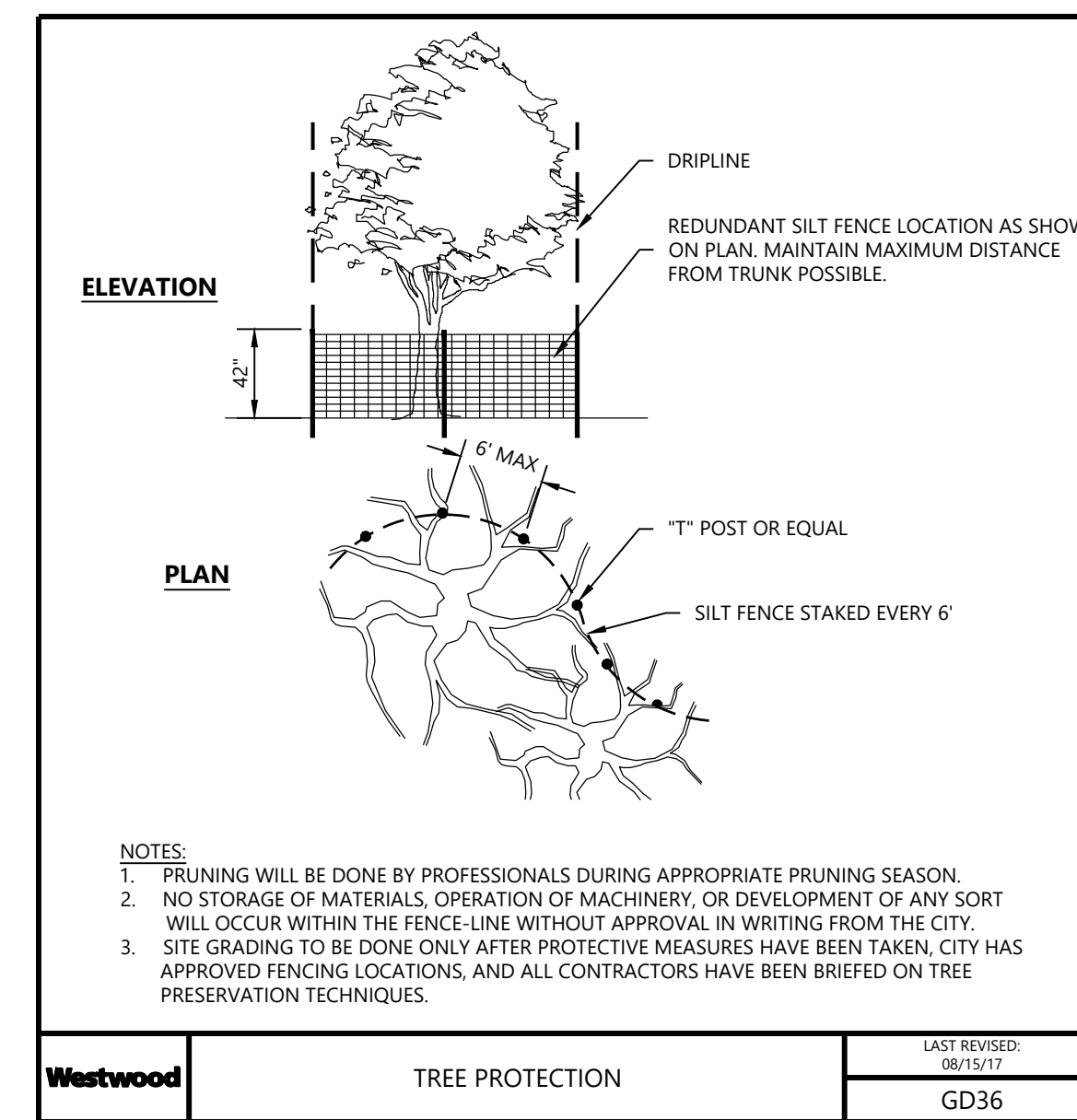
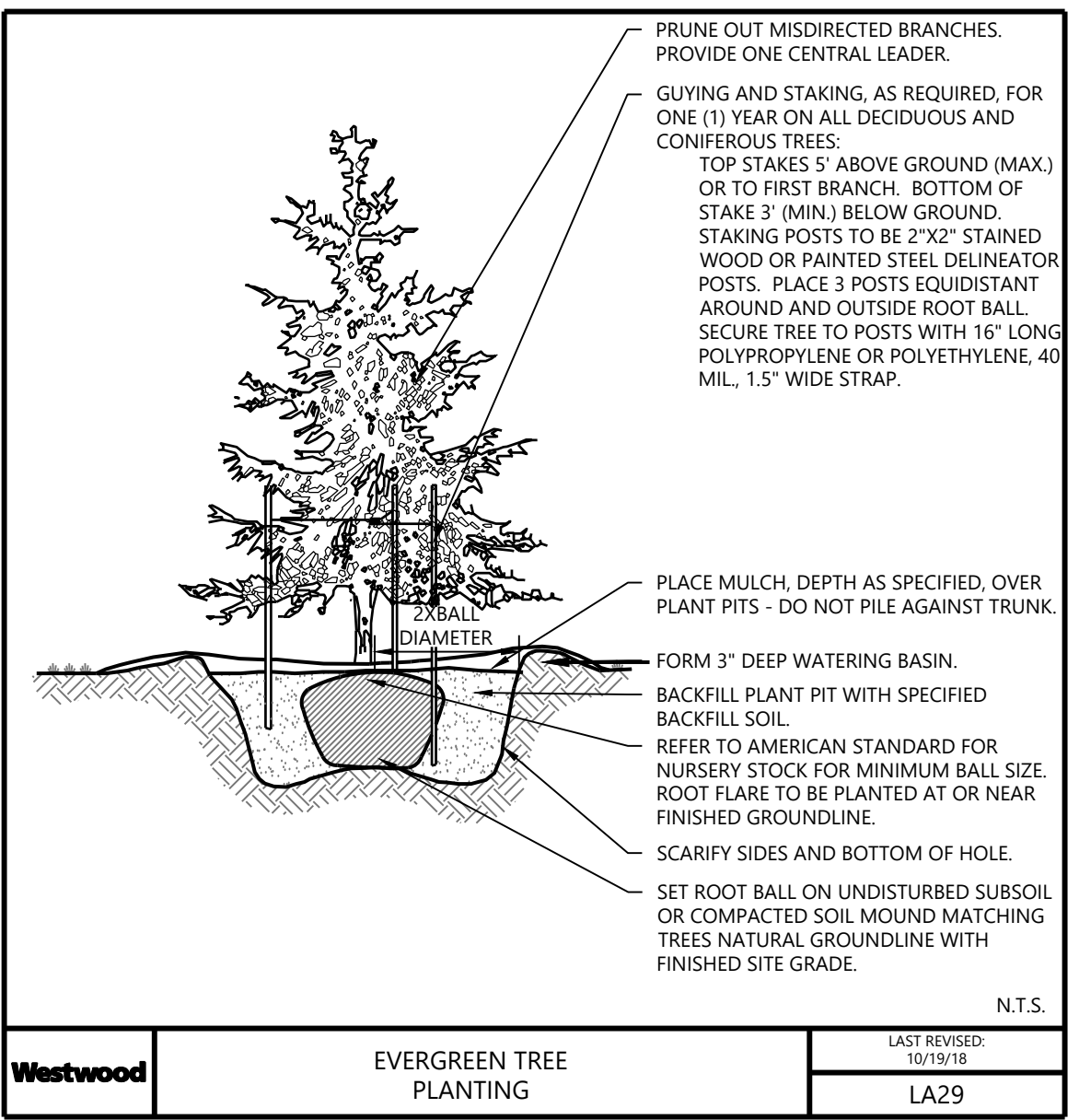
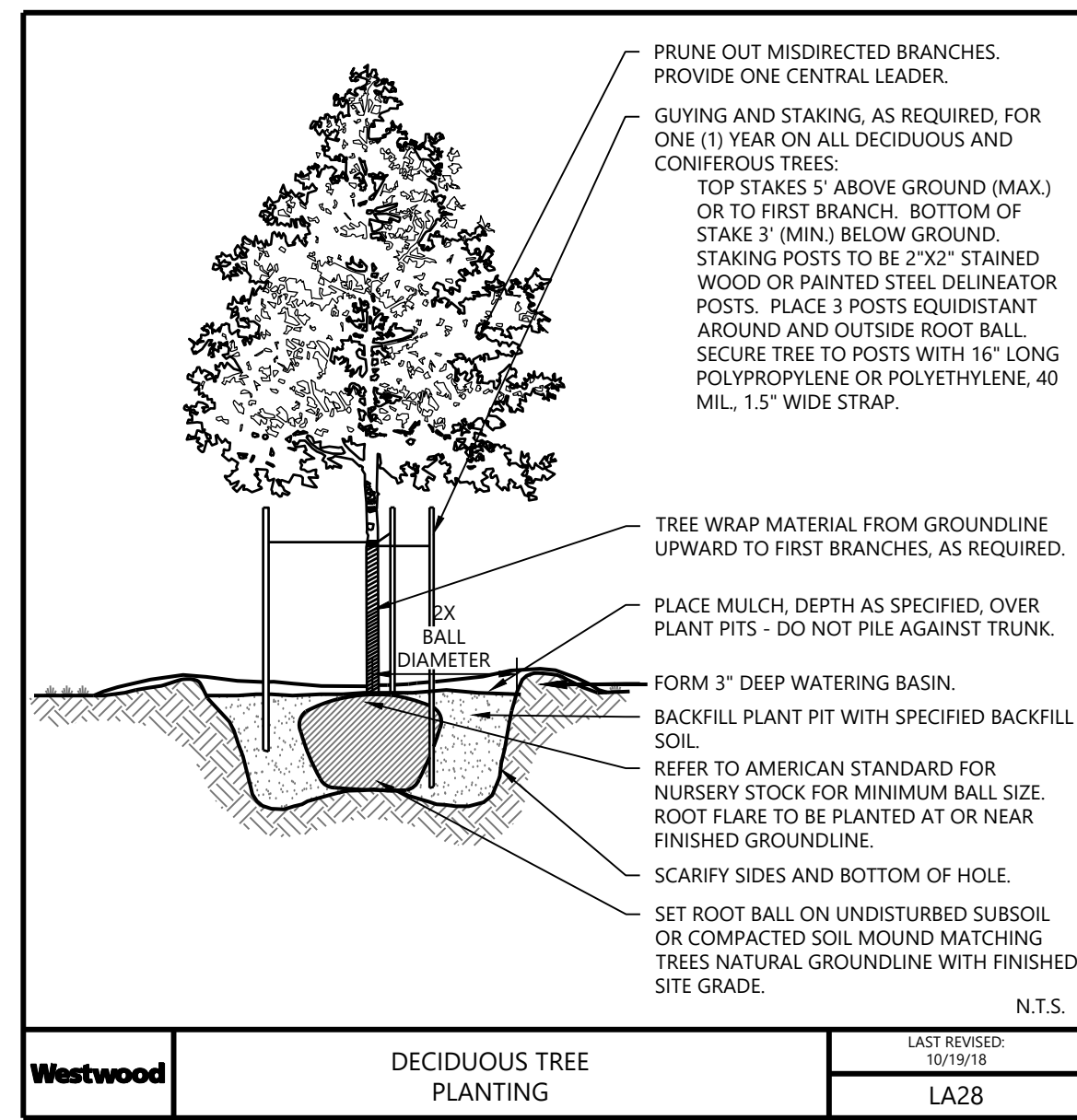
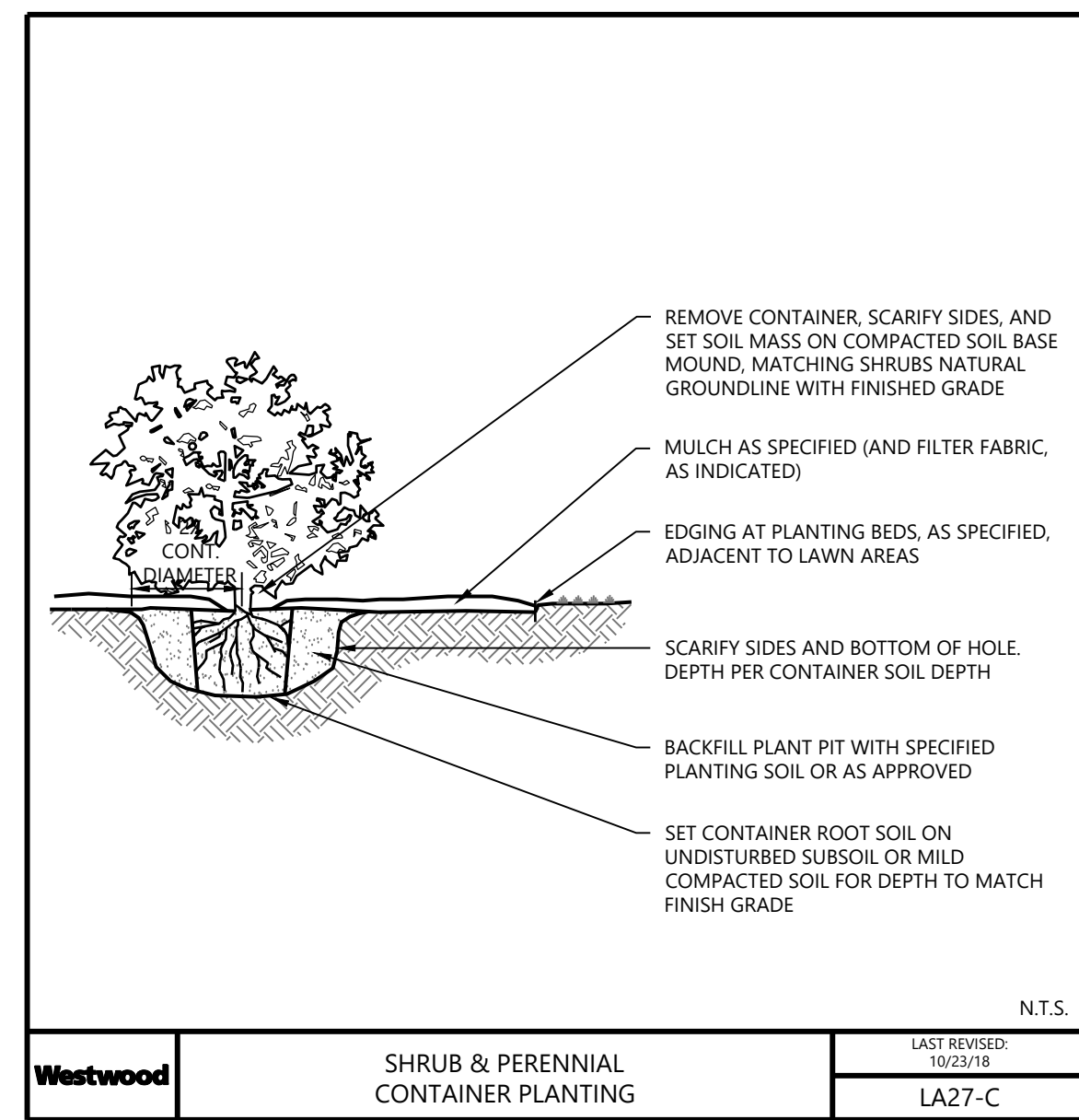
LANDSCAPE PLAN

SHEET NUMBER:

L200

DATE: 01/17/2024

PROJECT NUMBER: 0036502.00



PLANTING NOTES

1. CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
2. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
5. CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
6. ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.
ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.
CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
7. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
8. PLANTS TO BE INSTALLED AS PER MNLA & ANSI STANDARD PLANTING PRACTICES.
9. PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
10. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
11. OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
12. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
13. WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
14. STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
15. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
16. BACKFILL SOIL AND TOPSOIL TO ADHERE TO MN/DOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
17. MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF SHREDDED HARDWOOD MULCH. SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND NATURAL COLORED, OR APPROVED EQUAL. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
18. EDGING TO BE COMMERCIAL GRADE VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING OR SPADED EDGE, AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE, FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
19. ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. PARKING LOT ISLANDS TO BE SODDED WITH SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MN/DOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
20. PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
21. CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
22. REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
23. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.

DESIGNED:	
CHECKED:	
DRAWN:	
APPROVED:	
DATE:	01/17/2024

INITIAL ISSUE:	03/06/2023
REVISIONS:	
1	08/07/2023 CITY RESUBMITTAL
2	09/26/2023 M/C/D SUBMITTAL
3	01/17/2024 CITY RESUBMITTAL

PREPARED FOR:
WALSER REAL ESTATE, LLC
7700 FRANCE AVENUE SOUTH, SUITE 41N
EDINA, MN 55435

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL LANDSCAPE ARCHITECT IN THE STATE OF MINNESOTA.
JEFF WESTERHOOF
DATE: 01/17/2024 LICENSE NO.:

WALSER KIA MINNETONKA
MINNETONKA, MN

Westwood
12700 Whitewater Drive, Suite #200
Minnetonka, MN 55343
Phone: (952) 837-2550
Fax: (952) 837-2522
www.westwoodps.com
Westwood Professional Services, Inc.

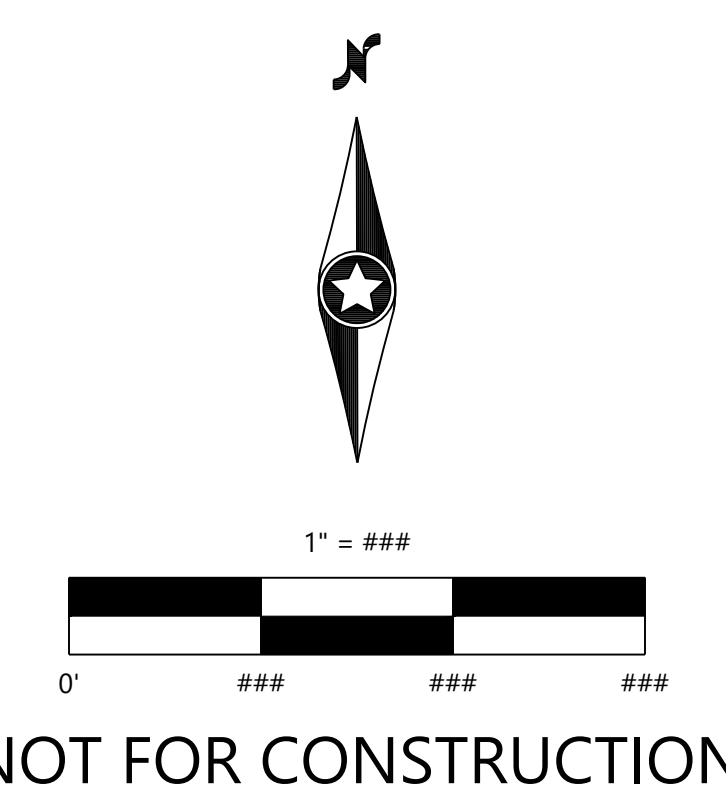
LANDSCAPE NOTES

SHEET NUMBER:

L201

DATE: 01/17/2024

PROJECT NUMBER: 0036502.00



Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

LEGEND

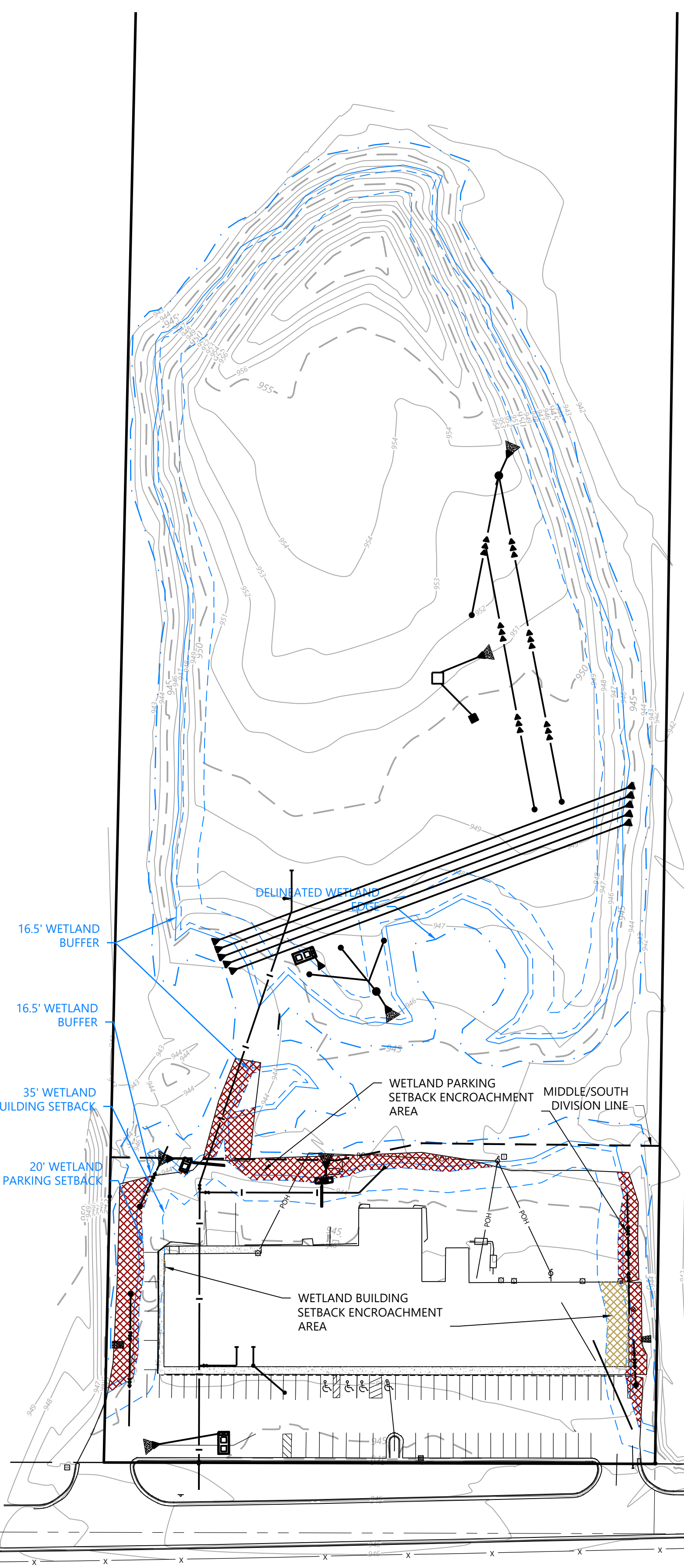
EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		DELINEATED WETLAND EDGE
		16.5' WETLAND BUFFER (CITY)
		WETLAND BUFFER SETBACKS
		20' PARKING SETBACK (CITY)
		35' BUILDING SETBACK (CITY)
		GRADING LIMITS
		RETAINING WALL
		WETLAND PARKING SETBACK ENCROACHMENT
		WETLAND BUILDING SETBACK ENCROACHMENT

CITY WETLAND BUFFER AREA SUMMARY

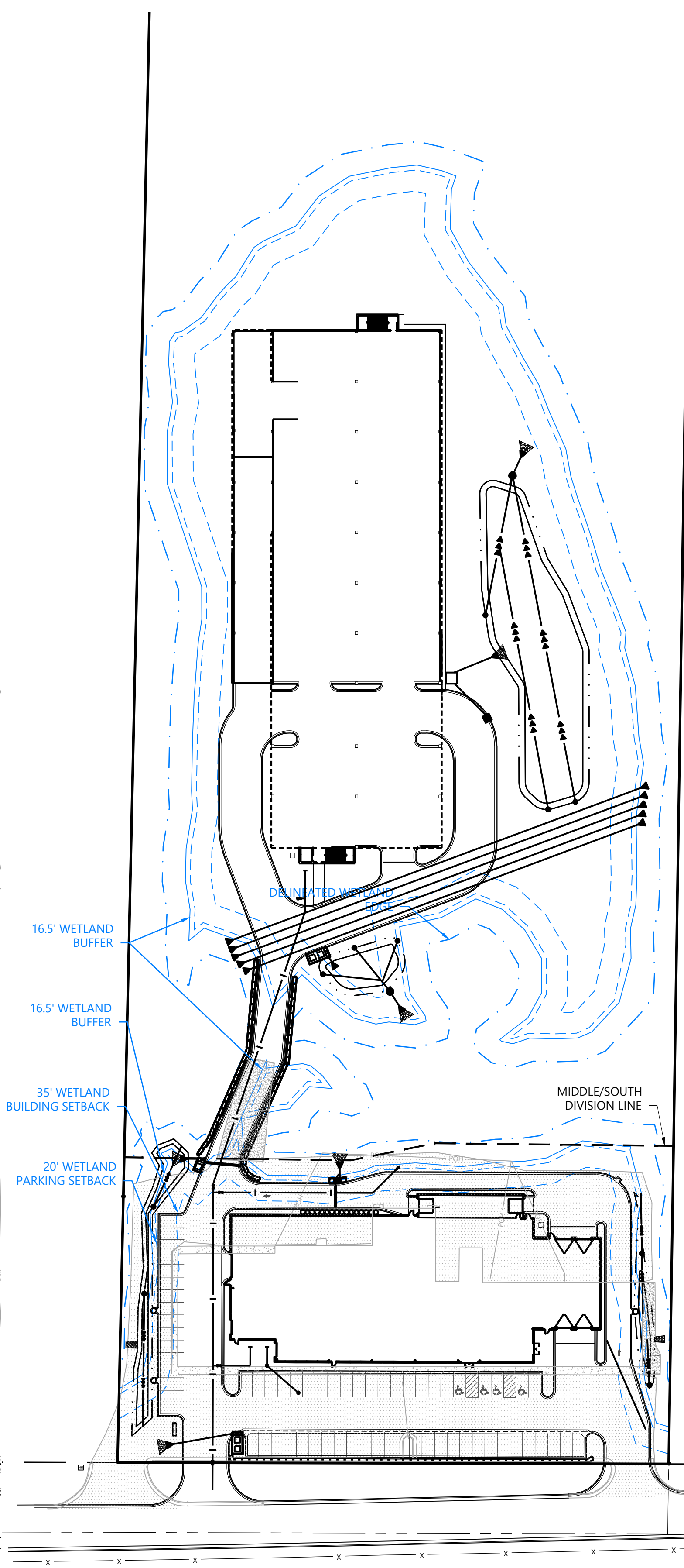
ONSITE WETLANDS CLASSIFIED AS MANAGE 2 PER THE MNRAM FUNCTIONAL ASSESSMENT COMPLETED 04/19/2023.

WETLAND SETBACK ENCROACHMENT AREA	EXISTING	PROPOSED
PRKG SETBACK MIDDLE	1,605 SF	3,990 SF
PRKG SETBACK SOUTH	6,880 SF	0 SF
PRKG SETBACK TOTAL	8,485 SF	3,990 SF
BLDG SETBACK TOTAL	1,046 SF	0 SF

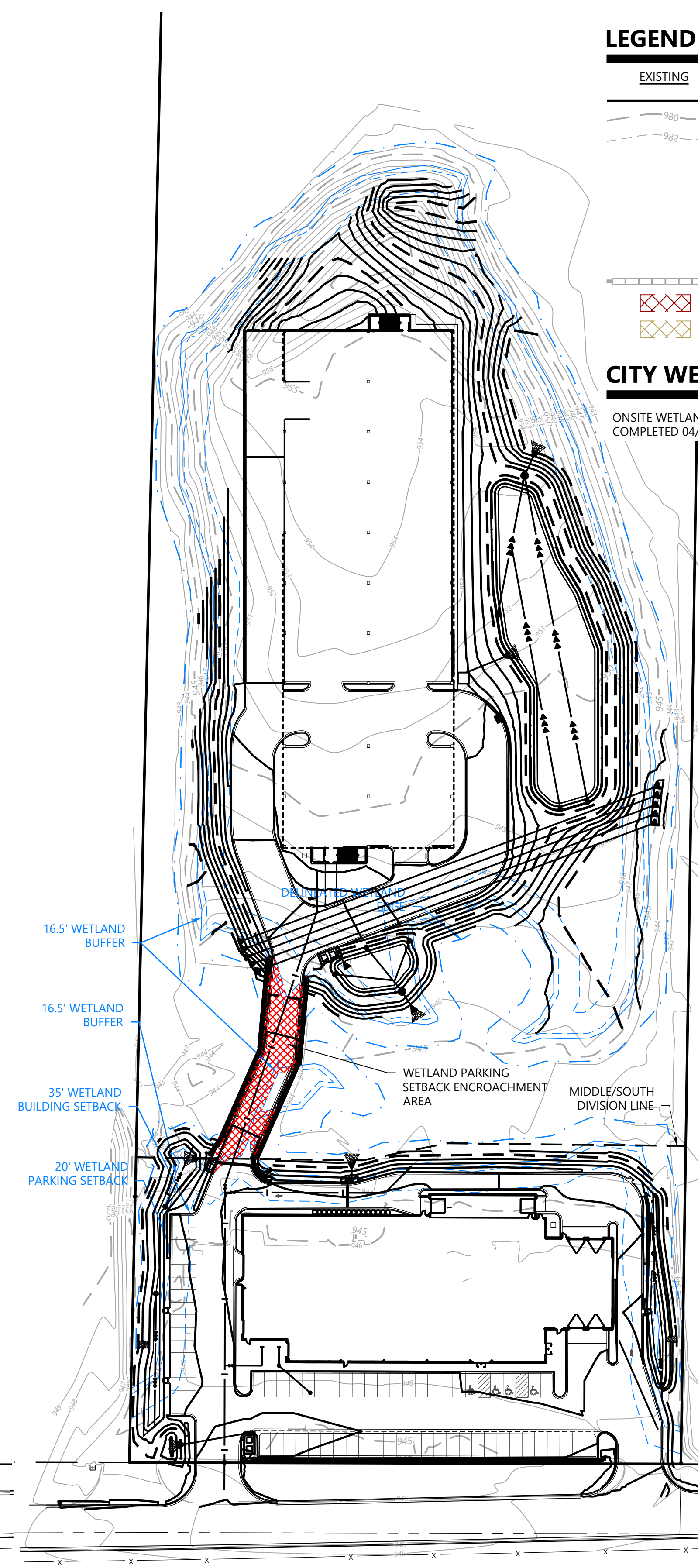
NOTE - A VARIANCE WITH CITY OF MINNETONKA WILL BE PURSUED



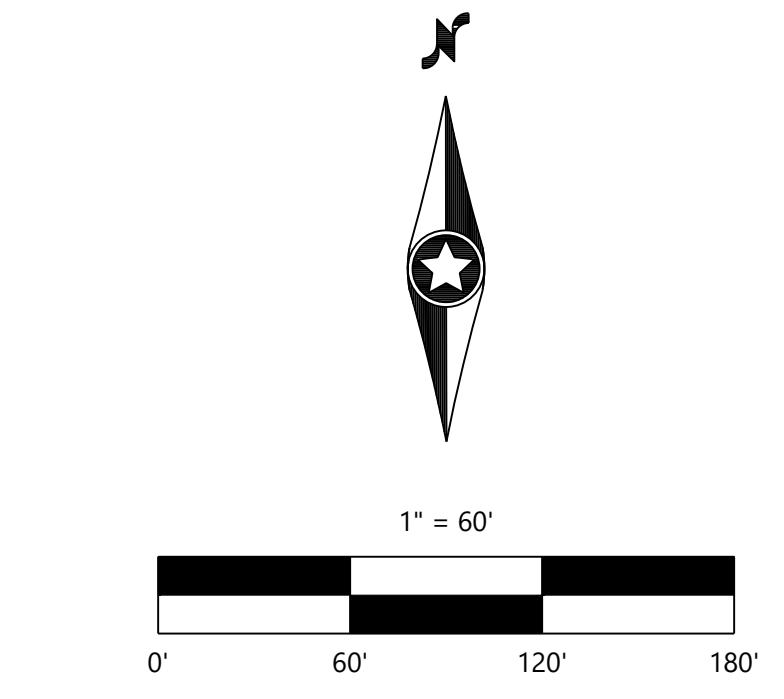
EXISTING CITY WETLAND SETBACK AREAS



PROPOSED SITE OVERLAY ON EXISTING CONDITIONS



PROPOSED CITY WETLAND SETBACK AREAS



DESIGNED:	#####
CHECKED:	#####
DRAWN:	#####
HORIZONTAL SCALE:	#####
VERTICAL SCALE:	#####

PREPARED FOR:
WALSER REAL ESTATE, LLC
7700 FRANCE AVENUE SOUTH SUITE 410N
EDINA, MN 55435

PROPOSED
SITE PLAN

WALSER KIA
MINNETONKA, MN

Westwood
Phone: (882) 937-5150, 12701 Winnetka Drive, Suite #800
Fax: (882) 937-5822, Minnetonka, MN 55343
Toll Free: (888) 937-5150, westwoodps.com
Westwood Professional Services, Inc.

CITY WETLAND SETBACK AREAS

SHEET NUMBER:

3

DATE: 01/17/2024

PROJECT NUMBER: 0036502.00

WALSER KIA