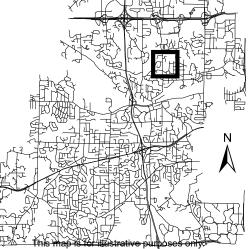




Location Map

Project: One Acre Oaks Address: 2511 & 2615 Plymouth Rd





March 21, 2024

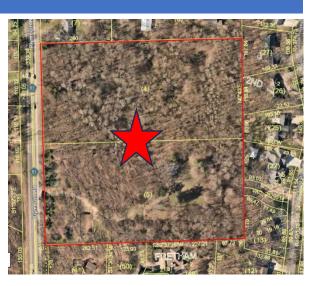
RE: NARRATIVE FOR "ONE ACRE OAKS" – R1 SINGLE-FAMILY RESIDENTIAL PRELIMINARY PLAT APPLICATION | 2615 & 2511 PLYMOUTH ROAD

BRIEF SUMMARY

Welcome to '**One Acre Oaks'**, located just North of the development known as Bent Tree, on the east side of Plymouth Road in Minnetonka.

With easy access to the Ridgedale Mall and the City's vast trail system, the objective of this project is to create a grandeur yet intimate residential neighborhood that stands out from the neighboring developments by utilizing and preserving the site's topography to establish a naturally secluded, **1+ acre "estate" lot development.**

Combining two over-sized parcels totaling **10.01 gross acres** to create **8 single-family**, estate lots **zoned R-1**, yielding a **net density of 0.93 units per acre.** The 8 new single-family detached homes will be accessed by a cul-de-sac from Plymouth Road.



Our intention is to design a plan that embraces the preservation of the significant natural features of the topography, minimizes grading where possible and utilizes the natural flow of the land to comply with stormwater, grading and erosion requirements of the City.

We are requesting early home construction permits for the two lots with frontage on Plymouth Road for an early start prior to the installation of site grading, utility & street work, and stormwater to be substantially completed in the summer of 2024.

No variances are requested.

Sincerely,

Curt Fretham CEO, Lake West Development

OFFICE: (952) 930-3000 CELL: (612) 720-5690 EMAIL: CURTF@LWESTDEV.COM

CC: SUSAN THOMAS LOREN GORDON MIKE ST. MARTIN

DEVELOPMENT TEAM:

DEVELOPER: LAKE WEST DEVELOPMENT | 612-720-5690 CURT FRETHAM | CURTF@LWESTDEV.COM CURTF@LWESTDEV.COM 14525 HIGHWAY 7, MINNETONKA, MN 55345

CIVIL ENGINEERING, SURVEYING & LAND PLANNING:

LOUCKS | 763-424-5505 MICHAEL J. ST. MARTIN, P.E. | <u>MSTMARTIN@LOUCKSINC.COM</u> GREG JOHNSON, P.L.A. | <u>GJOHNSON@LOUCKSINC.COM</u> LUKE HALSTEAD, E.I.T. | <u>LHALSTEAD@LOUCKSINC.COM</u> VAL ANDERSON, P.E. | <u>VANDERSON@LOUCKSINC.COM</u> SHARON F. MORIN, SR. SURVEY TECH | <u>SMORIN@LOUCKSINC.COM</u> 7200 HEMLOCK LANE, SUITE 300, MAPLE GROVE, MN 55369

TREE SURVEYOR:

TREEBIZ LLC | 651-336-8095 STEPHEN NICHOLSON, C.F. | <u>STEVE@TREE-BIZ.COM</u>

SOIL TECHNICIAN: HAUGO GEOTECHNICAL SERVICES | 612-729-2959 PAUL HAUGO, PRESIDENT | PHAUGO@HAUGOGTS.COM 2825 CEDAR AVE. SOUTH, MINNEAPOLIS, MN 55407

SHEET INDEX

C0-1	COVER SHEET
C1-1	EXISTING CONDITIONS
C1-2	DEMOLITION PLAN
C2-1	SITE PLAN
C2-2	TURNING MOVEMENT PLAN
C3-1	GRADING PLAN
C3-2	SWPPP PLAN
C3-3	SWPPP NOTES
C3-4	FLOODPLAIN FILL/EXCAVATE PLAN
C4-1	SANITARY SEWER & WATERMAIN PLAN
C4-2	STORM SEWER PLAN
C6-1	PRELIMINARY PLAT
C8-1	CIVIL DETAILS
C8-2	CIVIL DETAILS
C8-3	CIVIL DETAILS
L1-1	TREE INVENTORY SURVEY
L1-2	TREE INVENTORY SURVEY
L1-3	TREE INVENTORY SURVEY



CALL BEFORE YOU DIG! Gopher State One Call TWIN CITY AREA: 651-454-0002 TOLL FREE: 1-800-252-1166

WARNING: THE CONTRACTO

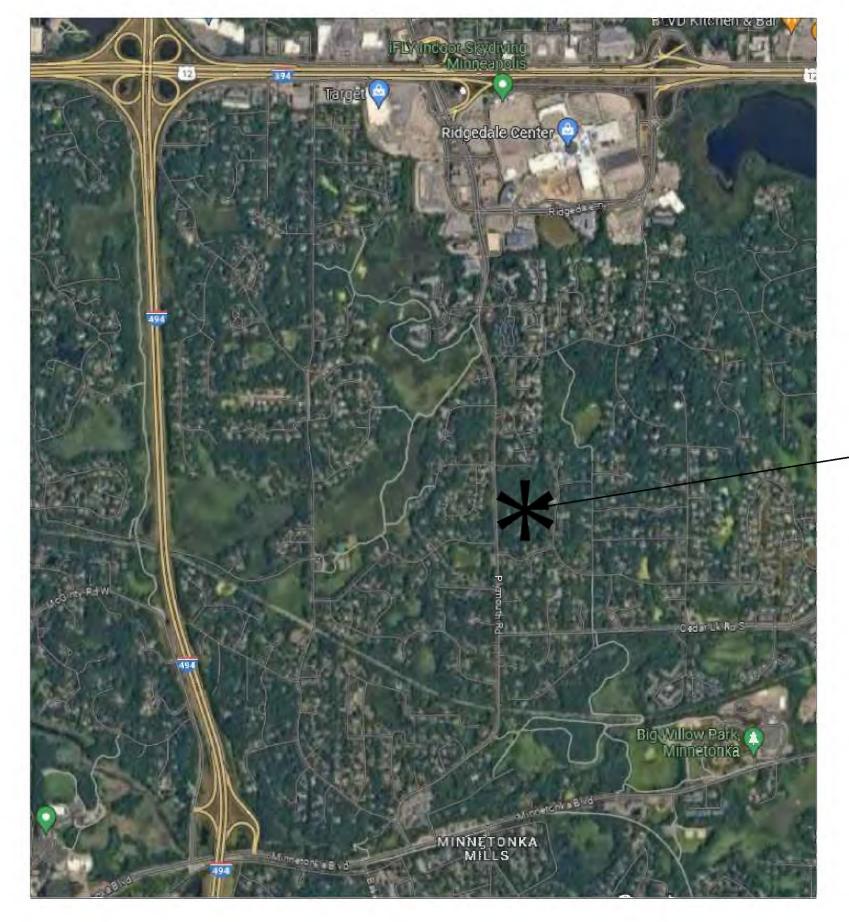
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

ONE ACRE OAKS

MINNETONKA, MN

VICINITY MAP



DESIGN CONSULTANTS

<u>CIVIL ENGINEER</u> LOUCKS 7200 HEMLOCK LANE SUITE 300 MAPLE GROVE, MINNESOTA 55369

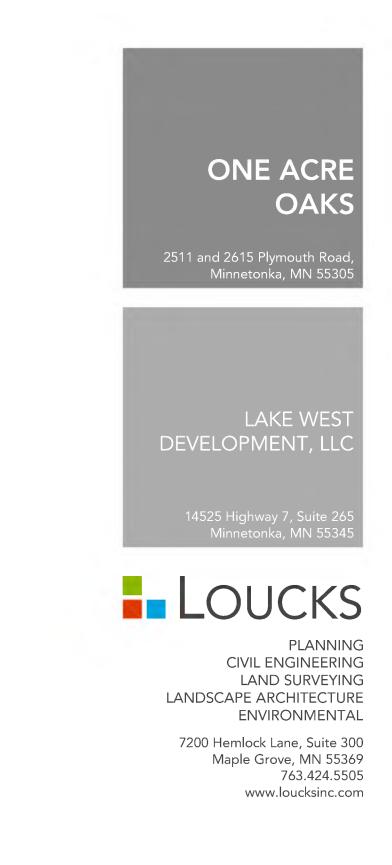
MICHAEL ST. MARTIN, PE TEL: 763-496-6713

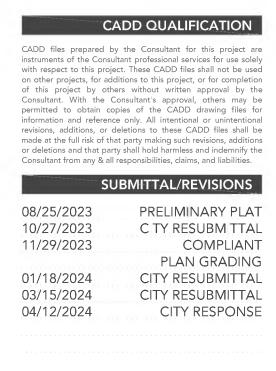
LANDSCAPE ARCHITECT LOUCKS 7200 HEMLOCK LANE SUITE 300 MAPLE GROVE, MINNESOTA 55369

DANIEL REBOK, LA TEL: 301-367-9230

		PROPOSED
\bigcirc	SANITARY MANHOLE	
\bigcirc	STORM MANHOLE	۲
	CATCH BASIN	0
>	CULVERT	
-¢	HYDRANT	-\$
	GATEVALVE	M
O PIV	POST INDICATOR VALVE	ØPIV
¤ −	LIGHT POLE	兼
Ø	POWER POLE	ø
	SIGN	-0-
Dem 1/3	BENCHMARK	
-	SOIL BORINGS	♣-
(()	WATER MANHOLE	
Û	TELEPHONE MANHOLE	
\bigcirc	UTILITY MANHOLE	
Ē	ELECTRIC MANHOLE	
W•	WATER SERVICE	•
—_S—	SANITARY SERVICE	
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	STORM SEWER	
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~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	TREELINE	~~~~~~
	EASEMENT LINE	
_ · _ · _ · _	SETBACK LINE	_ · _ · _ · _
XX	FENCE LINE	xx
TEL	UNDERGROUND TELE	
GAS	UNDERGROUND GAS	
OH	OVERHEAD UTILITY	
F0	UNDERGROUND FIBER OPTI	с
ELE	UNDERGROUND ELECTRIC	
CTV	UNDERGROUND CABLE TV	
	PROPERTY LINE	
*	CONIFEROUS TREE	
A Contraction of the second se	CONIFEROUS TREE	

PROPOSED SITE





hereby certify that this p prepared by me or under   am a duly Licensed Pro laws of the State of Minne	ONAL SIGNATURE lan, specification or report was my direct sup a usion and that ofessional is greer under the sot
Licen RE Kicher J.	St. Martin - PE 24440
······	
Loucks Project No Project Lead Drawn By Checked By Review Date	. 021509.0B MJS LAH MJS 03/14/2024
	SHEET INDEX
C1-2 C2-1 C2-2 TURNIN C3-1 C3-2 TO C3-3 SV C3-4	COVER SHEET STING CONDITIONS DEMOLITION PLAN SITE PLAN G MOVEMENT PLAN GRADING PLAN VPPP PLAN & NOTES FLOODPLAIN PLAN & WATERMAIN PLAN STORM SEWER PLAN PRELIMINARY PLAT CIVIL DETAILS TREE INVENTORY







Gopher State One Cal TWIN CITY AREA: 651-454-0002 TOLL FREE: 1-800-252-1166

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# DESCRIPTION OF PROPERTY SURVEYED

The South 136.50 feet of the North 2/3 of the South 3/4 of the West 1/2 of the Northwest Quarter of the Southwest Quarter of Section 11, Township 117, Range 22, according to the United States Government Survey thereof, Hennepin County, Minnesota.

The North 2/3 of the South 3/4 of the West 1/2 of the Northwest Quarter of the Southwest Quarter of Section 11, Township 117, Range 22, except the South 136.50 feet thereof, according to the United States Government Survey thereof, Hennepin County, Minnesota.

EXISTING CONDITIONS GENERAL NOTES

(The following items refer to Table A optional survey responsibilities and specifications)

1. Monuments placed (or a reference monument or witness to the corner) at all major corners of the boundary of the property, unless already marked or referenced by existing monuments or witnesses to the corner are shown hereon.

2. The address, as disclosed in documents provided to the surveyor, obtained by the surveyor, or observed while conducting the fieldwork is 2511 and 2615 Plymouth Road, Minnetonka, Minnesota 55305.

3. This property is contained in Zone X (areas determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map No. 27053C0329F, Community Panel No. 270173 0329 F, effective date of November 4, 2016.

4. The Gross land area is 523,269 +/- square feet or 10.01 +/- acres. The Net land area is 439,003 +/- square feet or 8.28 +/- acres.

5. (a) Zoning information was not provided by the client.

6. (a) Exterior dimensions of all buildings are shown at ground level.

7. Substantial features observed in the process of conducting fieldwork, are shown hereon. 8. There are no striped parking stalls on this site.

9. (a) We have shown underground utilities on and/or serving the surveyed property per Gopher State One-Call Ticket Nos. 212354708 and 212354762. The following utilities and municipalities were notified:

> COMCAST (800)778-9140 CITY OF MINNETONKA (952)988-8400 CENTURYLINK HENNEPIN COUNTY PUBLIC WORKS (406)541-9571 CENTER POINT ENERGY XCEL ENERGY

(800)778-9140 (608)223-2014 (800)848-7558

i. Utility operators do not consistently respond to locate requests through the Gopher State One Call service for surveying purposes such as this. Those utility operators that do respond, often will not locate utilities from their main line to the customer's structure or facility. They consider those utilities "private" installations that are outside their jurisdiction. These "private" utilities on the surveyed property or adjoining properties, may not be located since most operators will not mark such "private" utilities. A private utility locator may be contacted to investigate these utilities further, if requested by the

ii. Maps provided by those notified above, either along with a field location or in lieu of such a location, are very often inaccurate or inconclusive. EXTREME CAUTION MUST BE EXERCISED BEFORE AN EXCAVATION TAKES PLACE ON OR NEAR THIS SITE. BEFORE DIGGING, YOU ARE REQUIRED BY LAW TO NOTIFY GOPHER STATE ONE CALL AT LEAST 48 HOURS IN ADVANCE AT 811 or (651) 454-0002.

10. Please refer to the Tree Inventory Sheets for tree tags and list of trees.

LEG	END						
0	FOUND 1/2 INCH OPEN IRON	>>	STORM SEWER				
	MONUMENT UNLESS SHOWN OTHERWISE	>	SANITARY SEWER				
0	SET 1/2 INCH X 14 INCH IRON	I	WATERMAIN				
	MONUMENT, MARKED "LS 48988"	S	SANITARY SEWER SER				
OZ	CATCH BASIN	w	WATER SERVICE				
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$\bigcirc$	SANITARY MANHOLE	F0	UNDERGROUND FIE				
¢	HYDRANT	GAS	UNDERGROUND GA				
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¢	ELECTRIC METER	0	CHAIN LINK FENCE				
G	GAS METER		CONCRETE CURB				
$\leftarrow$	GUY WIRE		RETAINING WALL				
Η	HAND HOLE		CONCRETE				
Þ	LIGHT POLE		NO PARKING				
Ø	POWER POLE		EXISTING BUILDING				
0	ROOF DRAIN	_ 972 ~	CONTOUR				
	TELEPHONE PEDESTAL	_× 972.5	SPOT ELEVATION				
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2	PARKING STALL COUNT		CONIFEROUS TREE				
Ļ	DISABLED PARKING STALL	Ś	PI PINE				
		E+	DECIDUOUS TREE				
1	SCHEDULE B II ITEM		AS ASH				
	TIE DISTANCES ARE SHOWN ON – SIDE WITH FEATURE MEASURED		MA MAPLE				
Ŏ	TO PROPERTY LINE		TR TREE (GEN)				
	WPA LIMITS (AS DEFINED BY CITY ST	AFF, DATED 12/11/23	23)				

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LEPHONE

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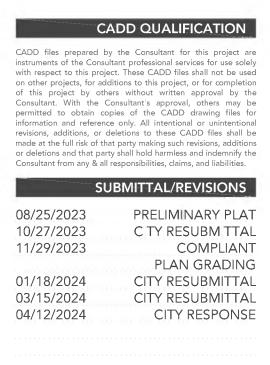
511 and 2615 Plymouth Roa Minnetonka, MN 553

# LAKE WES DEVELOPMENT, LL

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CIVIL ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE ENVIRONMENTAL 7200 Hemlock Lane, Suite 300 Maple Grove, MN 55369

> 763.424.5505 www.loucksinc.com



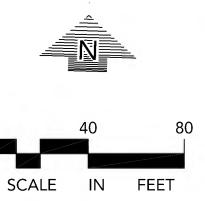
	NAL SIGNATURE
I hereby certify that this plan, prepared by me or under my I am a duly Licensed Profess laws of the State of Minnesot	direct super iside and that
Licente Ekicher J. St. Dag	Martin - PE 24440
QU	ALITY CONTROL
Loucks Project No. Project Lead Drawn By Checked By	021509.0B MJS LAH MJS
Review Date	03/14/2024
Review Date	SHEET INDEX

L1-1 TO L1-3 TREE INVENTORY

CIVIL DETAILS

C8-1 TO C8-3









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# SITE DEMOLITION SPECIFICATIONS

1. CONTRACTOR SHALL REMOVE AND/OR RELOCATE EXISTING PRIVATE UTILITIES AS NECESSARY. CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES.

2. CONTRACTOR SHALL PROTECT SURFACE AND SUBSURFACE FEATURES NOT NOTED FOR

3. CONTRACTOR TO CLEAR AND GRUB EXISTING VEGETATION WITHIN CONSTRUCTION LIMITS, STRIP TOP SOIL, AND STOCKPILE ON-SITE. REFER TO GRADING PLAN AND SWPPP FOR SEDIMENT AND EROSION CONTROL REQUIREMENTS.

4. CLEAR AND GRUB AND REMOVE ALL TREES, VEGETATION AND SITE DEBRIS PRIOR TO GRADING. ALL REMOVED MATERIAL SHALL BE HAULED FROM THE SITE DAILY. EROSION CONTROL MEASURES SHALL BE IMMEDIATELY ESTABLISHED UPON REMOVAL. SEE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).

5. CONTRACTOR SHALL REMOVE ALL SITE SURFACE FEATURES WITHIN REMOVAL LIMITS UNLESS

6. BITUMINOUS PAVEMENT REMOVALS ARE TO BE MADE TO A VERTICAL SAW CUT OR TO A NEAT

7. CONCRETE PAVEMENT, SIDEWALK, CURB & GUTTER AND OTHER POURED CONCRETE ITEMS ARE TO BE REMOVED TO AN EXISTING EXPANSION OR CONTRACTION JOINT. SAW CUT AS NECESSARY FOR A NEAT EDGE OF REMOVAL.

8. ALL REMOVAL ITEMS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS SPECIFIED OTHERWISE AND SHALL BE DISPOSED OF OFF-SITE IN A MANNER MEETING ALL APPLICABLE

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ALL SIGNS, MAILBOXES, ETC.

10. ANY DAMAGE TO ITEMS NOT NOTED TO BE REMOVED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED OR REPLACED TO ORIGINAL CONDITION WITH NO ADDITIONAL COMPENSATION.

# DEMOLITION LEGEND:

REMOVE EXISTING BUILDING

REMOVE EXISTING BITUMINOUS PAVING

REMOVE EXISTING CONCRETE PAVING, REMOVE EXISTING SIDEWALKS, ETC.

REMOVE EXISTING GRAVEL PAVEMENT

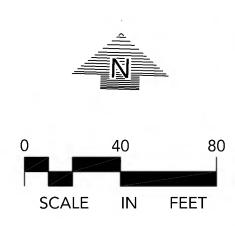
REMOVE EXISTING TREES/WOODS

REMOVE EXISTING CURB & GUTTER, RETAINING WALLS, FENCE, ETC. REMOVE EXISTING UTILITIES

> REMOVE EXISTING MANHOLES, POWER POLES, LIGHT POLES, BOLLARDS, PARKING METERS, SIGNS, ETC.

REMOVE EXISTING TREES (SEE TREE PRESERVATION PLAN For tree removals)

LEG	END					
0	FOUND 1/2 INCH OPEN IRON MONUMENT UNLESS	>>	STORM SEWER			
	SHOWN OTHERWISE	>	SANITARY SEWER			
0	SET 1/2 INCH X 14 INCH IRON	I	WATERMAIN			
	MONUMENT, MARKED "LS 48988"	S	SANITARY SEWER SER			
OZ	CATCH BASIN	——— w ———	WATER SERVICE			
$\bigcirc$	STORM MANHOLE	ELE	UNDERGROUND ELEC			
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Ε	ELECTRIC TRANSFORMER	OH	OVERHEAD UTILITY			
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G	GAS METER		CONCRETE CURB			
$\leftarrow$	GUY WIRE		RETAINING WALL			
Η	HAND HOLE		CONCRETE			
Å	LIGHT POLE		NO PARKING			
Ø	POWER POLE		EXISTING BUILDING			
0	ROOF DRAIN	_972 ~~~	CONTOUR			
T	TELEPHONE PEDESTAL	_× 972.5	SPOT ELEVATION			
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			DECIDUOUS TREE			
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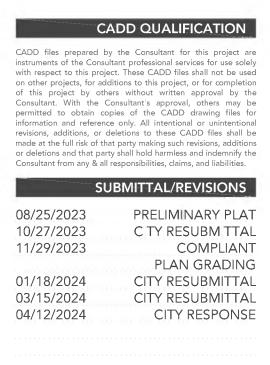
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PROFESSION	IAL SIGNATURE
I hereby certify that this plan, s prepared by me or under my o I am a duly Licensed Profess laws of the State of Minnesot	lirect supervision and that ional L. giveer under the
Licente E Vishel J. St. M Dage	Martin - PE 24440
QUA	LITY CONTROL
Loucks Project No. Project Lead Drawn By Checked By Review Date	021509.0B MJS LAH MJS 03/14/2024
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C1-2 DI C2-1 C2-2 TURNING M C3-1 C3-2 TO C3-3 SWPP C3-4 FL C4-1 SANITARY & W C4-2 ST	COVER SHEET NG CONDITIONS EMOLITION PLAN SITE PLAN MOVEMENT PLAN GRADING PLAN P PLAN & NOTES OODPLAIN PLAN ATERMAIN PLAN FORM SEWER PLAN PRELIMINARY PLAT

C8-1 TO C8-3 CIVIL DETAILS L1-1 TO L1-3 TREE INVENTORY





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A		LEGEND	
		EXISTING	
ING: AN:	R-1, LOW DENSITY RESIDENTIAL DISTRICT LOW DENSITY RESIDENTIAL	$\mathbb{O}$	CATCH BASIN
NING:	R-1, LOW DENSITY RESIDENTIAL DISTRICT	$\bigcirc$	STORM MANHOLE
		>	FLARED END SECTION
.:	22,000 SF.	$\bigcirc$	SANITARY MANHOLE
AREA MIN.:	3,500 SF.	$\overset{\smile}{\diamond}$	HYDRANT
	110 FEET @ SBK; 80 FEET @ ROW	Ň	GATE VALVE
GHT - PRINCIPLE STRUCTURE:	125 FEET 35 FEET	Ø	POST INDICATOR VALVE
DISTRICT:	MINNEHAHA CREEK WATERSHED DISTRICT	(W)	WATER MANHOLE / WELL
	NO-WETLAND DETERMINATION BY KJOLHAUG	¢	LIGHT POLE
		Ø	POWER POLE
<u> 3ACKS STANDARDS -</u>		) E	ELECTRIC METER
		©	GAS METER
RAIL:	35 FEET (LOCAL & NEIGHBORHOOD COLLECTOR STREETS) 10 FEET MIN. (MUST COMBINE TO TOTAL 30 FEET.)	Ī	TELEPHONE PEDESTAL
	LESSER OF 40 FEET MIN. OR 20% OF LOT DEPTH		SIGN
K ON LOTS-BEHIND-LOTS:	40 FEET OR 20% OF THE AVERAGE DISTANCE BETWEEN OPPOSITE		BENCHMARK
	LOT LINE, WHICHEVER IS LESS, BUT NOT LESS THAN 25 FEET.	BM#	SOIL BORING
WELLING UNITS (ADU):	MUST BE SET BACK FROM SIDE AND REAR PROPERTY LINES A DISTANCE EQUAL TO THE		
	CODE-DEFINED HEIGHT OF THE ADU, BUT NOT LESS THAN 15 FEET, AND SET BACK FROM	2	PARKING STALL COUNT
T COURTS:	ALL NATURAL FEATURES AS REQUIRED BY ORDINANCE.	Ę.	ACCESSIBLE PARKING STALL
A COURTS:	SWIMMING POOLS AND SPORT COURTS MUST BE LOCATED BEHIND THE FRONT BUILDING LINE OF THE HOUSE, AND SET BACK A MINIMUM OF 15 FEET FROM SIDE AND REAR PROPERTY	>>	STORM SEWER
	LINES AS MEASURED TO THE WATER LINE OF POOL OR EDGE OF THE SPORT COURT.	DT	
	ON CORNER LOTS, SWIMMING POOLS AND SPORT COURTS ARE SUBJECT TO FRONT YARD	>	SANITARY SEWER
	SETBACKS ESTABLISHED FOR PRINCIPAL STRUCTURES.	FM	FORCEMAIN
	SWIMMING POOL APRONS AND POOL EQUIPMENT, FIRE PLACES, AND OTHER SIMILAR		WATERMAIN
	ARCHITECTURAL FEATURES MAY EXTEND INTO A REQUIRED FRONT, SIDE, AND REAR YARD SETBACK BY A DISTANCE NOT TO EXCEED FIVE FEET. THE PROVISIONS OF THIS PARAGRAPH	S	SANITARY SEWER SERVICE
	SHALL NOT BE CONSTRUCTED AS PERMITTING ANY SUCH FEATURE TO EXTEND CLOSER THAN	W	WATER SERVICE
	10 FEET FROM ANY SIDE LOT LINE OR IN THE CASE OF DOUBLE FRONTAGE OR CORNER LOTS,	ELE	UNDERGROUND ELECTRIC
	TO EXTEND ANY FURTHER INTO THE FRONT YARD SETBACK THAN THE 10 FOOT REDUCTION	F0	UNDERGROUND FIBER OPTIC
	ALLOWED IN SECTION 300.10, SUBD. 5(B).	GAS	UNDERGROUND GAS
		TEL	UNDERGROUND TELEPHONE
<u>S STANDARDS-</u>	50 FEET	———ОН———	OVERHEAD UTILITY
	50 T LL T	x x	FENCE
AREA:	±10.01 ACRES	oo	CHAIN LINK FENCE
	±1.38 ACRES		CONCRETE CURB
MENT AREA:	±8.63 ACRES	······································	<b>RETAINING WALL</b>
			CONCRETE
	0.93 UNITS/AC.		NO PARKING
PRESERVATION AREA (WPA): ISTURBANCE AREA IN WPA:	2.72 AC. N/A	/////	BUILDING
STURBANCE AREA IN WPA:	2.26 AC.** (83.1%)	_ 972 ~ ~	CONTOUR
		_× 972.5	SPOT ELEVATION
1.17.4.24		1.001	

* SURVEY WAS DONE BY LOUCKS ON 06/20/2023.

* PROPOSED BUILDING PADS SHOWN AT NOMINAL 75' X 95', CUSTOM HOMES TO BE DESIGNED IN ACCORDANCE WITH CITY AND HOA STANDARDS.

** NOT INCLUDING DISTURBANCE AREA FOR UTILITIES OR DETAILED GRADING FOR EACH HOME SITE. PER CITY CODE REQUIREMENTS OF 10 FEET DISTURBANCE AROUND DRIVEWAYS AND 20 FEET DISTURBANCE AROUND STRUCTURES WITH FROST FOOTINGS (HOMES).

XVIOUS AREA:         2.87 AC (28.67%)           POND AREA:         0.086 AC (0.86%)	
:       7.34 AC         IOUS AREA:       0.18 AC (1.80%)         RVIOUS AREA:       2.87 AC (28.67%)         POND AREA:       0.086 AC (0.86%)	
US AREA: 2.956 AC (29.53%)	
TS 10 10 10 10 10 10 10 10 10 10	
LOT CORNER LOT EASEMENTS 30° MIN. FRONT/REAR 5' MIN. SIDE HOUSE	
STREET	

CURB TYPE	S
I	3612 CURB & GUTTER (STANDARD)
	3612 CURB & GUTTER (TIP OUT)
==================	FLAT CURB & GUTTER (STANDARD)
	FLAT CURB & GUTTER (TIP OUT)
======= 9	SURMOUNTABLE CURB & GUTTER (STANDARD)
	Surmountable curb & gutter (tip out)
<u>note:</u> See Curb & Gut	TER DETAILS ON SHEET C8-3.
PAVEMENT	LEGEND
	CONCRETE PAVEMENT
4	CONCRETE SIDEWALK

DIRECTION OF FLOW

TREE LINE

PARKING SETBACK LINE

BUILDING SETBACK LINE

WPA LIMITS

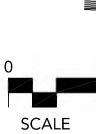
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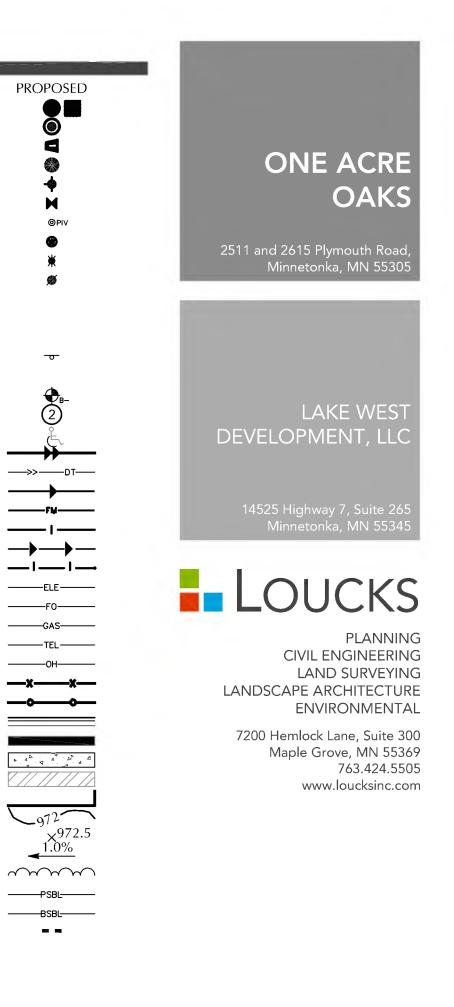
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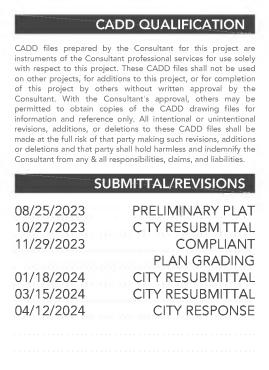
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BITUMINOUS PAVEMENT

HEAVY DUTY BITUMINOUS PAVEMENT

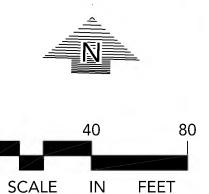






I hereby certify that this p prepared by me or under I am a duly Licensed Pro laws of the State of Minne	ONAL SIGNATURE lan, specification cheport was my direct sup prisic and that ofessional to greef under the sort
Licente E Vichel J. Date	St. Martin - PE 24440
C	QUALITY CONTROL
Loucks Project No Project Lead Drawn By Checked By Review Date	o. 021509.0B MJS LAH MJS 03/14/2024
·····	SHEET INDEX
C1-2 C2-1 C2-2 TURNIN C3-1 C3-2 TO C3-3 SV C3-4	COVER SHEET ISTING CONDITIONS DEMOLITION PLAN SITE PLAN G MOVEMENT PLAN GRADING PLAN VPPP PLAN & NOTES FLOODPLAIN PLAN & WATERMAIN PLAN STORM SEWER PLAN PRELIMINARY PLAT CIVIL DETAILS





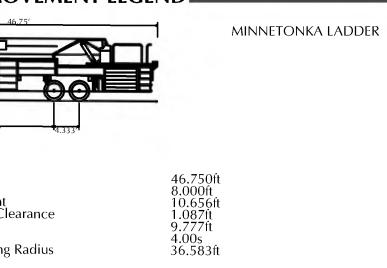


WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL existing utilities. They shall cooperate with all utility companies in MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

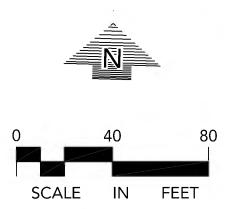
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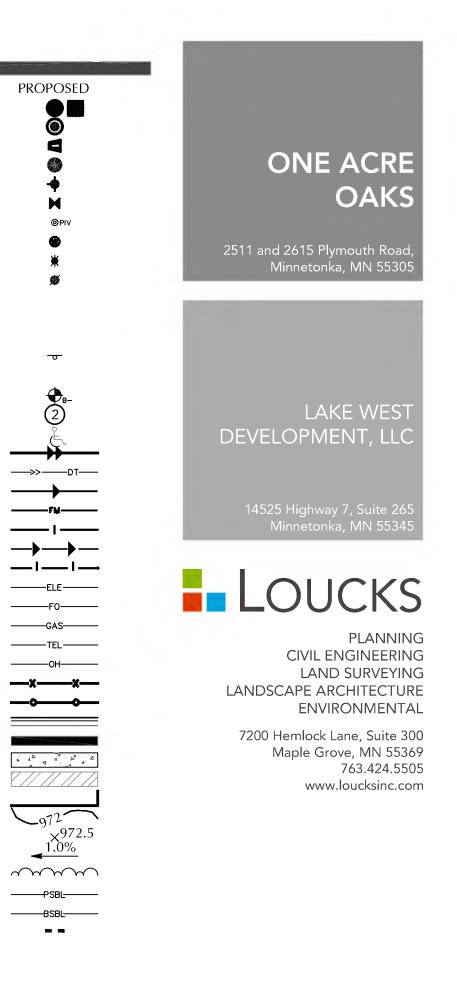
TURNING MOVEMENT LEGEND

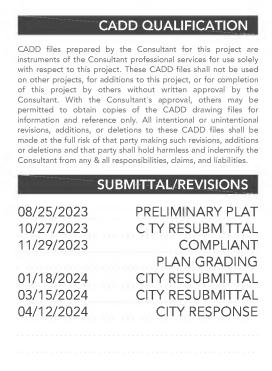


### LEGEND EXISTI

EXISTING	
$\bigcirc$	
	FLARED END SECTION
<u> </u>	SANITARY MANHOLE
-Q	HYDRANT
$\bowtie$	GATE VALVE
Ø	POST INDICATOR VALVE
$\otimes$	WATER MANHOLE / WELL
¢	LIGHT POLE
Ø	POWER POLE
(E)	ELECTRIC METER
G	GAS METER
T	TELEPHONE PEDESTAL
-0-	SIGN
	BENCHMARK
	SOIL BORING
	PARKING STALL COUNT
	ACCESSIBLE PARKING STALL
>>	STORM SEWER
>>DT	DRAINTILE
>	SANITARY SEWER
FM	FORCEMAIN
	WATERMAIN
S	SANITARY SEWER SERVICE
W	WATER SERVICE
ELE	UNDERGROUND ELECTRIC
F0	UNDERGROUND FIBER OPTIC
GAS	UNDERGROUND GAS
TEL	UNDERGROUND TELEPHONE
OH	OVERHEAD UTILITY
XX	FENCE
	CHAIN LINK FENCE
	CONCRETE CURB
	RETAINING WALL
· · · · · · · · ·	
	BUILDING
_ 972	
× 972.5	SPOT ELEVATION
	DIRECTION OF FLOW
, 7 7 7 7 Y Y Y Y	
	PARKING SETBACK LINE
	BUILDING SETBACK LINE
	WPA LIMITS







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	QUALITY CONTROL
Loucks Project N Project Lead Drawn By Checked By Review Date	No. 021509.0B MJS LAH MJS 03/14/2024
	SHEET INDEX
C1-2 C2-1 C2-2 TURN C3-1 C3-2 TO C3-3 S C3-4	COVER SHEET EXISTING CONDITIONS DEMOLITION PLAN SITE PLAN ING MOVEMENT PLAN GRADING PLAN SWPPP PLAN & NOTES FLOODPLAIN PLAN Y & WATERMAIN PLAN STORM SEWER PLAN PRELIMINARY PLAT







CALL BEFORE YOU DIG! Gopher State One Cal TWIN CITY AREA: 651-454-0002 TOLL FREE: 1-800-252-1166

WARNING:

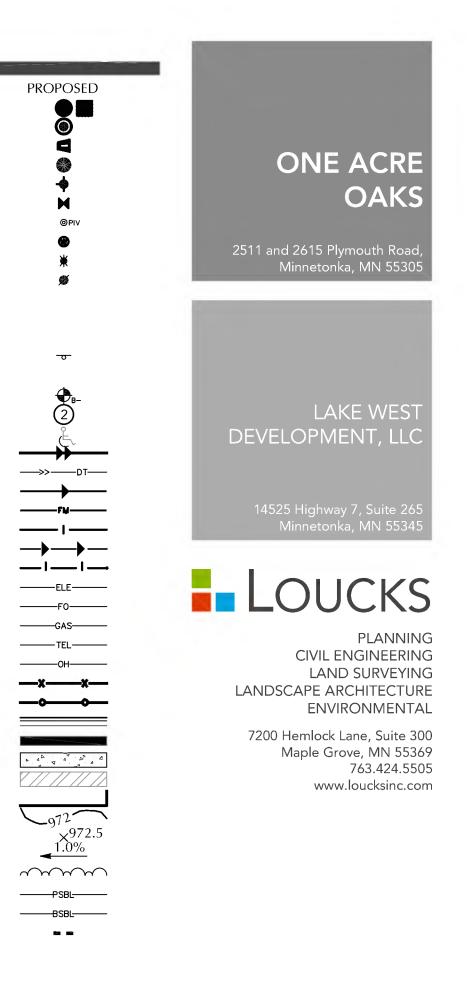
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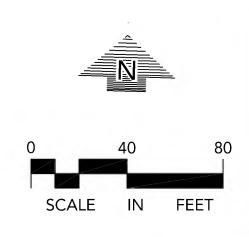
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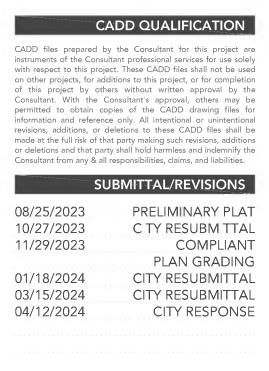
# GRADING & DRAINAGE NOTES SEE STORMWATER POLLUTION PREVENTION PLAN FOR SOIL STABILIZATION INFORMATION. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE ESTABLISHED AROUND THE ENTIRE SITE PERIMETER AND IN ACCORDANCE WITH NPDES PERMIT REQUIREMENTS, BEST MANAGEMENT PRACTICES, CITY REQUIREMENTS AND THE DETAILS SHOWN ON THE CIVIL DETAILS SHEETS OF THESE PLANS. ALL CURB SPOT ELEVATIONS ARE TO GUTTER LINE-UNLESS NOTED OTHERWISE. GRADING, DRAINAGE & EROSION CONTROL SPECIFICATIONS 1. SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. 2. CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.10 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SUMPED ELEVATIONS. 3. ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF PREMIUM TOP SOIL AND SEED/MULCH OR SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED. VERIFY WITH LANDSCAPE PLAN.

- 4. FOR SITE RETAINING WALLS "TW" EQUALS SURFACE GRADE AT TOP FACE OF WALL (NOT TOP OF WALL), "GW" EQUALS SURFACE GRADE AT BOTTOM FACE OF WALL (NOT BOTTOM OF BURIED WALL COURSES).
- 5. REFER TO THE REPORT OF GEOTECHNICAL EXPLORATION AND REVIEW (REPORT NO.23-0817), DATED 10/25/23 AS PREPARED BY HAUGO GEOTECHNICAL SERVICES, LLC FOR AN EXISTING SUBSURFACE SITE CONDITION ANALYSIS AND CONSTRUCTION RECOMMENDATIONS.
- 5. STREETS MUST BE CLEANED AND SWEPT WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS, OR AS DIRECTED BY CITY. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
- 7. DUST MUST BE ADEQUATELY CONTROLLED.
- SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
   SEE UTILITY PLAN FOR WATER, STORM AND SANITARY SEWER INFORMATION.
- 10. SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.
- 11. A STREET SWEEPER MUST BE AVAILABLE WITHIN 3 HOURS UPON NOTICE FROM THE CITY THAT THE STREETS NEED TO BE SWEPT.
- 12. THE CONTRACTOR ALONG WITH THE OWNER SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM GOVERNING AUTHORITIES, INCLUDING ANY CITY PERMITS AND THE NPDES PERMIT FROM THE MPCA.
- 13. INSTALL EROSION CONTROL AND TREE PROTECTION MEASURES BEFORE BEGINNING SITE GRADING ACTIVITIES. SOME EROSION CONTROLS SUCH AS BALE CHECKS AND TEMPORARY SILT PONDS MAY BE INSTALLED AS GRADING OCCURS IN SPECIFIC AREAS. MAINTAIN EROSION CONTROLS THROUGHOUT THE GRADING PROCESS AND REMOVE WHEN TURF HAS BEEN ESTABLISHED.
- THE CONTRACTOR SHALL ADHERE TO ALL REQUIREMENTS OF THE MPCA NPDES PERMIT. THE AREA TO BE DISTURBED SHALL BE MINIMIZED AND TURF SHALL BE ESTABLISHED WITHIN THE TIME REQUIRED.
   GRADES SHOWN ARE FINISHED GRADES.
- 16. FINAL GRADING TOLERANCES ARE +/-0.1 FEET TO FINISH GRADES.
- 17. UNDER PAVEMENTS COMPACT THE UPPER 3 FEET OF SUBGRADE TO 100% STANDARD PROCTOR DENSITY AT OPTIMUM MOISTURE CONTENT AND 95% STANDARD PROCTOR DENSITY BLOW THE UPPER 3 FEET OF SUBGRADE. OUTSIDE PAVEMENT AREAS COMPACT EMBANKMENTS TO 95% STANDARD PROCTOR DENSITY.
- 18. WORKING HOURS ARE 7:00 AM 10:00 PM, MONDAY SATURDAY. A 48 HOUR NOTICED IS REQUIRED FOR SATURDAY WORK.
- 19. THE CONTRACTOR MUST HAVE A CITY LICENSE.
- 20. A CITY RIGHT-OF-WAY PERMIT IS REQUIRED PRIOR TO WORKING WITHIN CITY ROW.
- 21. TURF REINFORCEMENT MAT (TRM) SHALL BE LANDLOK 450, AS MANUFACTURED BY PROPEX GEOSOLUTIONS, OR APPROVED EQUAL. THE CONTRACTOR SHALL FOLLOW ALL OF THE MANUFACTURERS INSTRUCTIONS FOR INSTALLATION.
- 22. STRUCTURAL RETAINING WALL, FENCING AND HANDRAIL DESIGN BY OTHERS. REFER TO ARCHITECTURAL PLANS.

EXISTING	
OZ	CATCH BASIN
$\overline{\bigcirc}$	STORM MANHOLE
>	FLARED END SECTION
$\bigcirc$	SANITARY MANHOLE
	HYDRANT
$\bowtie$	GATE VALVE
Ð	POST INDICATOR VALVE
w	WATER MANHOLE / WELL
¢	LIGHT POLE
Ø	POWER POLE
) E	ELECTRIC METER
G	GAS METER
Ī	TELEPHONE PEDESTAL
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BM#	BENCHMARK
B-	SOIL BORING
(2)	PARKING STALL COUNT
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FM	FORCEMAIN
I	WATERMAIN
S	SANITARY SEWER SERVICE
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TEL	UNDERGROUND TELEPHONE
OH	OVERHEAD UTILITY
x x	FENCE
oo	CHAIN LINK FENCE
	CONCRETE CURB
	<b>RETAINING WALL</b>
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	PARKING SETBACK LINE
	BUILDING SETBACK LINE
	WPA LIMITS







I hereby certify that this p prepared by me or under I am a duly Licensed Pro laws of the State of Minne	IONAL SIGNATURE lan, specification theory was my direct supervisio, and that ofessional to one er under the spot
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TWIN CITY AREA: 651-454-0002 TOLL FREE: 1-800-252-1166 WARNING:

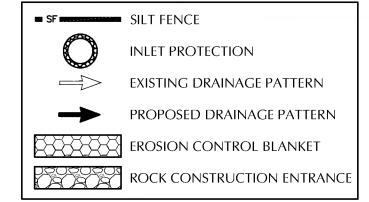
Gopher State One Call

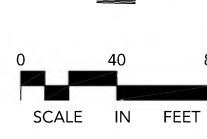
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OR SWPPP NOTES AND SWPPP DETAILS.		
QUANTITIES		
DESCRIPTION	UNIT	QUANTITY
ROCK CONSTRUCTION ENTRANCE	EA	1
ed concrete washout	EA	NA
	LF	±2,323
NTROL BLANKET	SY	±668
TION	EA	10
IG SILT FENCE	LF	640
H CHECK	LF	NA

EXISTING		PROPOSED	
0Z	CATCH BASIN		
$\bigcirc$	STORM MANHOLE	<b>ŏ-</b>	
>	FLARED END SECTION	Ă	
$\bigcirc$	SANITARY MANHOLE		ONE ACR
$\overset{\sim}{\diamond}$	HYDRANT	4	
	GATE VALVE	Ň	OAK
Ø	POST INDICATOR VALVE	@PIV	
Ŵ	WATER MANHOLE / WELL	<b>@</b>	
¢.	LIGHT POLE	_ ₩	2511 and 2615 Plymouth Ro Minnetonka, MN 553
Ø	POWER POLE	, Ø	Winnetonka, Win 555
(E)	ELECTRIC METER		
G	GAS METER		
T	TELEPHONE PEDESTAL		
<u> </u>	SIGN	<del>-0-</del>	
<b></b>	BENCHMARK		
BM#	SOIL BORING	<b>A</b> _	
	PARKING STALL COUNT	Ő	LAKE WES
	ACCESSIBLE PARKING STALL		DEVELOPMENT, LL
	STORM SEWER	<u> </u>	
>>DT	DRAINTILE	→>→=DT	
>	SANITARY SEWER		
FM	FORCEMAIN	FN	14525 Highway 7, Suite 2
	WATERMAIN	I	Minnetonka, MN 553
S	SANITARY SEWER SERVICE	<b>b</b> b	
	WATER SERVICE		
ELE	UNDERGROUND ELECTRIC	ELE	
F0	UNDERGROUND FIBER OPTIC	F0	LOUCK
GAS	UNDERGROUND GAS	GAS	
TEL	UNDERGROUND TELEPHONE	TEL	PLANN
OH	OVERHEAD UTILITY	ОН	CIVIL ENGINEER
x x	FENCE	¥¥	LAND SURVEY
	CHAIN LINK FENCE		LANDSCAPE ARCHITECT
	CONCRETE CURB		ENVIRONMEN
	RETAINING WALL		7200 Hemlock Lane, Suite
A 4 4 4	CONCRETE		Maple Grove, MN 5
	NO PARKING		763.424.
			www.loucksinc.
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× 972.5	SPOT ELEVATION	1.0%	
	DIRECTION OF FLOW		
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	BUILDING SETBACK LINE	BSBL	
	WPA LIMITS		
PP LEGEND			



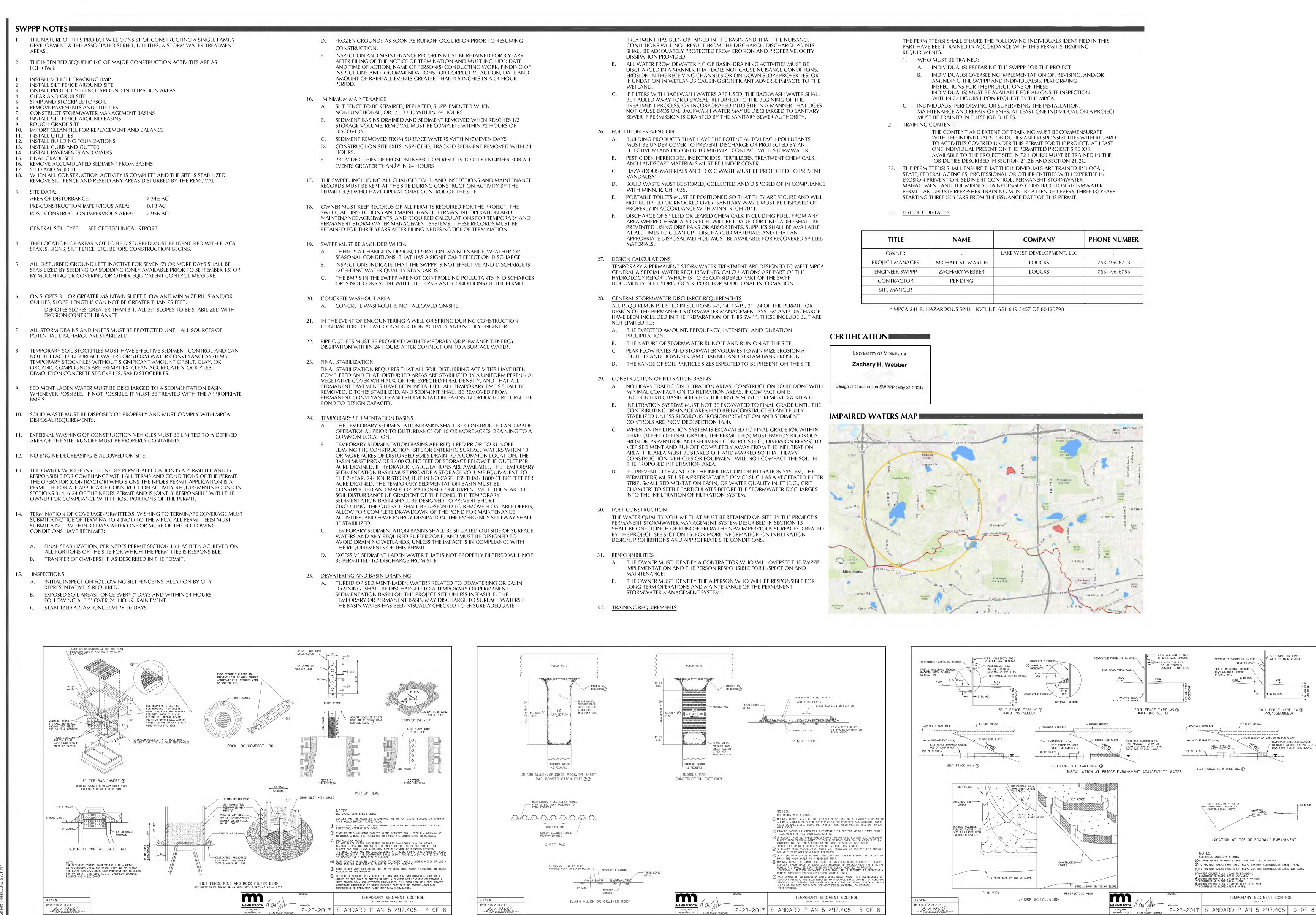


CA	DD QUALIFICATION	
CADD files prepared by the Consultant for this project are instruments of the Consultant professional services for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made at the full risk of that party making such revisions, additions or deletions and that party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.		
SU	BMITTAL/REVISIONS	
08/25/2023	PRELIMINARY PLAT	
10/27/2023	C TY RESUBM TTAL	
11/29/2023	COMPLIANT	
	PLAN GRADING	
01/18/2024	CITY RESUBMITTAL	
03/15/2024	CITY RESUBMITTAL	
04/12/2024	CITY RESPONSE	

l hereby certify that this plan, s prepared by me or under my d I am a duly Licensed Professi laws of the State of Minnesot	irect sup er isid, and that
Licente Kishei J. St. M Da	24440
QUA	LITY CONTROL
Loucks Project No. Project Lead Drawn By Checked By Review Date	021509.0B MJS LAH MJS 03/14/2024
	SHEET INDEX
C1-2 DE C2-1 C2-2 TURNING M C3-1 C3-2 TO C3-3 SWPP C3-4 FL C4-1 SANITARY & W C4-2 ST C6-1 C8-3	OODPLAIN PLAN









THE P	ERMITTES(S) SHALL ENSURE THE FOLLOWING INDIVIDUALS IDENTIFIED IN THIS
PART	have been trained in accordance with this permit's training
requ	IREMENTS.
1	

TITLE	NAME	COMPANY	PHONE NUMBER
OWNER		LAKE WEST DEVELOPMENT, LLC	
PROJECT MANAGER	MICHAEL ST. MARTIN	LOUCKS	763-496-6713
ENGINEER SWPPP	ZACHARY WEBBER	LOUCKS	763-496-6753
CONTRACTOR	PENDING		
SITE MANGER			

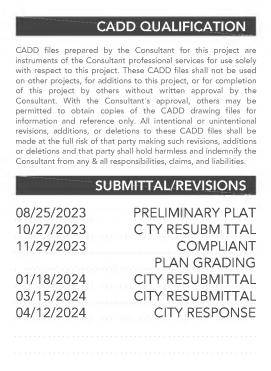
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nary H. Webber		
207		
truction SWPPP (May 31 2024)		



PLANNING

CIVIL ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE ENVIRONMENTAL 7200 Hemlock Lane, Suite 300 Maple Grove, MN 55369

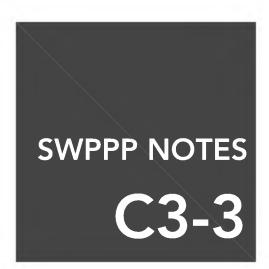
763.424.5505 www.loucksinc.com

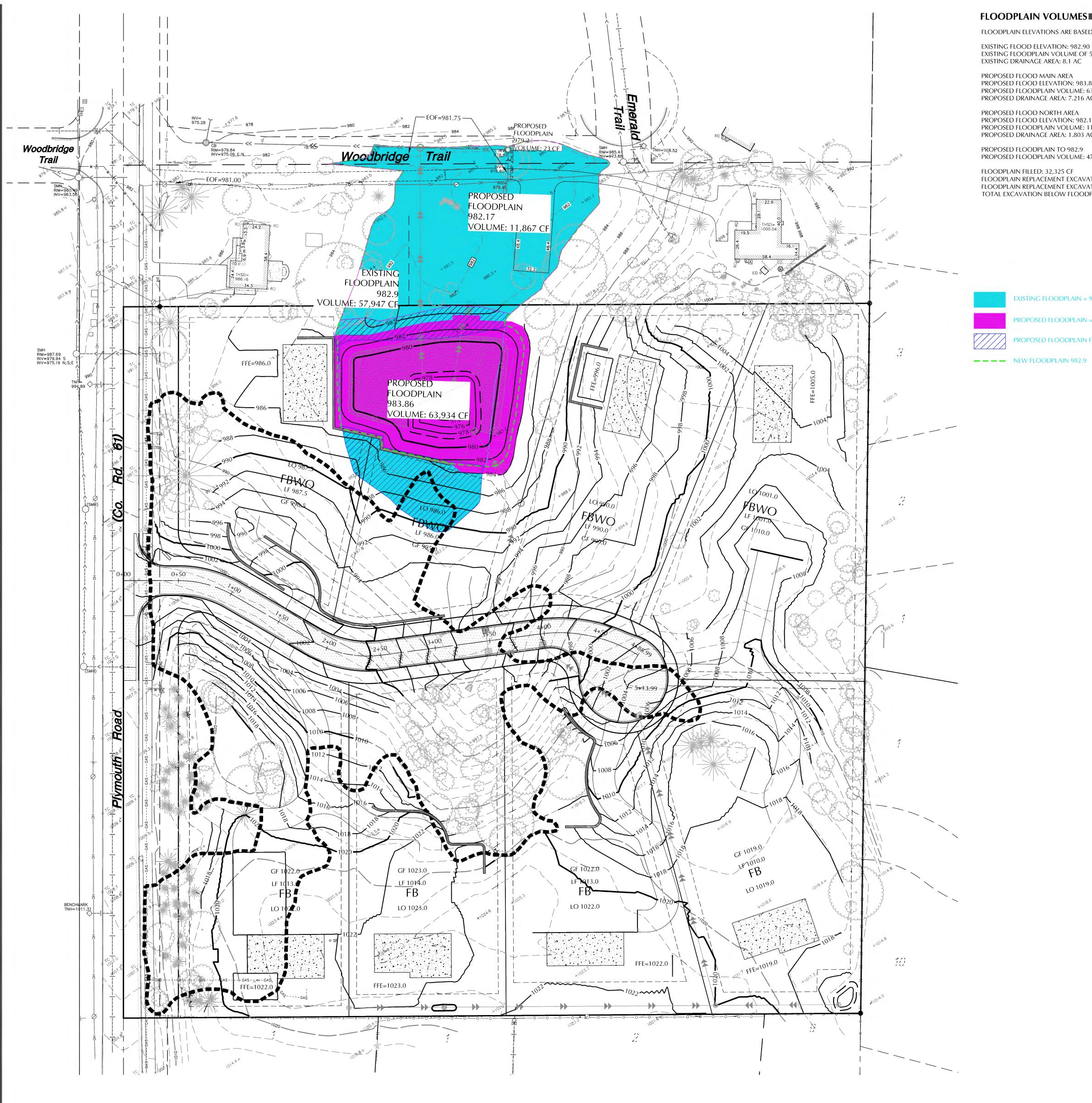


PROFESSIO	NAL SIGNATURE
I hereby certify that this plan, prepared by me or under my I am a duly Licensed Profes laws of the State of Minnesot Licente Victure J. St	direct super iside and that ssionallize giveer under the
Licente la Contra de la Contra	24440
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L1-1 TO L1-3 TREE INVENTORY

€ ROADWA







Gopher State One Call TWIN CITY AREA: 651-454-0002 TOLL FREE: 1-800-252-1166

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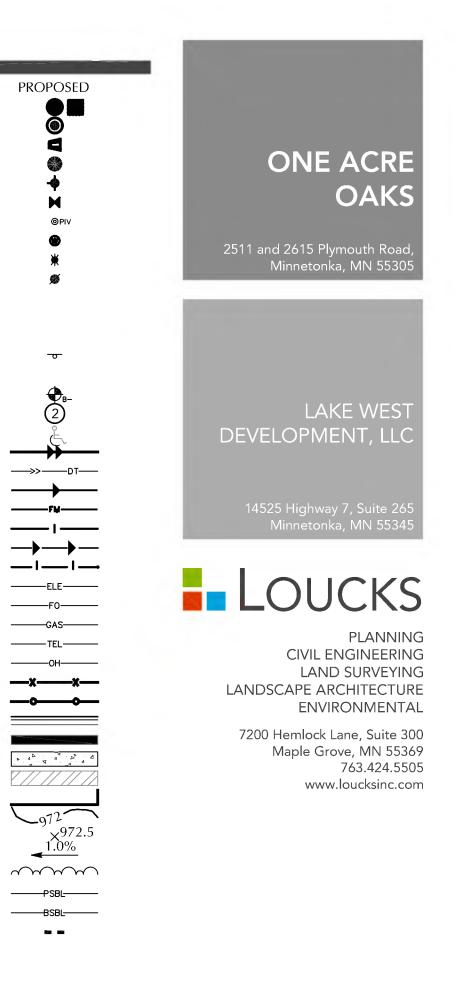
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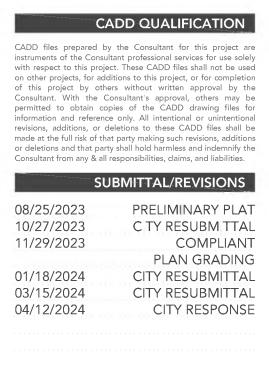
N ELEVATIONS ARE BASED ON 100-YEAR 96-HOUR EVENT OF 8.51"	EXISTING
	$\bigcirc$
DOD ELEVATION: 982.90 DODPLAIN VOLUME OF 57,947 CF	>
AINAGE AREA: 8.1 AC	$\bigcirc$
	$\overset{\smile}{\diamond}$
LOOD MAIN AREA	
	®
'LOODPLAIN VOLUME: 63,934 CF (NWL TO HWL) Drainage Area: 7.216 AC	(
	¢.
LOOD NORTH AREA	Ø
LOOD ELEVATION: 982.17	(E)
Loodplain volume: 11,867 CF Drainage Area: 1.803 AC	©
	T
LOODPLAIN TO 982.9	0
LOODPLAIN VOLUME: 47,935 CF + ADDITIONAL 39,477 CF FOR MAIN BASIN TO 983.87	⊕ _{BM#}
N FILLED: 32,325 CF	
N REPLACEMENT EXCAVATED: 34,030 CF (TO 983.86) LIVE STORAGE ONLY	(2)
N REPLACEMENT EXCAVATED: 18,031 CF (TO 982.90) LIVE STORAGE ONLY	A
VATION BELOW FLOODPLAIN: 30,627 CF	>>>
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KISTING FLOODPLAIN = 982.90	x x
	OO
ROPOSED FLOODPLAIN = 981.63/983.87	

EXISTING	
07	CATCH BASIN
$\bigcirc$	STORM MANHOLE
>	FLARED END SECTION
$\bigcirc$	SANITARY MANHOLE
$\bigcirc$	HYDRANT
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Ø	POST INDICATOR VALVE
(W)	WATER MANHOLE / WELL
<b>Å</b>	LIGHT POLE
Ø	POWER POLE
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T	TELEPHONE PEDESTAL
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	BENCHMARK
	SOIL BORING
$(2)^{-1}$	PARKING STALL COUNT
) L	ACCESSIBLE PARKING STALL
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FM	FORCEMAIN
I	WATERMAIN
S	SANITARY SEWER SERVICE
W	WATER SERVICE
ELE	UNDERGROUND ELECTRIC
FO	UNDERGROUND FIBER OPTIC
GAS	UNDERGROUND GAS
TEL	UNDERGROUND TELEPHONE
OH	OVERHEAD UTILITY
X X	FENCE
oo	CHAIN LINK FENCE
	CONCRETE CURB
	RETAINING WALL
	CONCRETE
	NO PARKING
	BUILDING
_ 972	CONTOUR
× 972.5	SPOT ELEVATION
	DIRECTION OF FLOW
A M M M )	TREE LINE
	PARKING SETBACK LINE
	BUILDING SETBACK LINE
	WPA LIMITS

PROPOSED FLOODPLAIN = 981.63/983.87

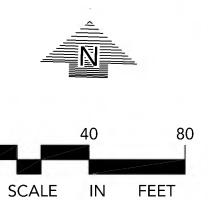
PROPOSED FLOODPLAIN FILL





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Loucks Project No. Project Lead Drawn By Checked By Review Date	021509.0B MJS LAH MJS 03/14/2024
	SHEET INDEX
C1-2 E C2-1 C2-2 TURNING C3-1 C3-2 TO C3-3 SWP C3-4 F C4-1 SANITARY & V	COVER SHEET TING CONDITIONS DEMOLITION PLAN SITE PLAN MOVEMENT PLAN GRADING PLAN OPP PLAN & NOTES FLOODPLAIN PLAN WATERMAIN PLAN STORM SEWER PLAN PRELIMINARY PLAT CIVIL DETAILS







THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

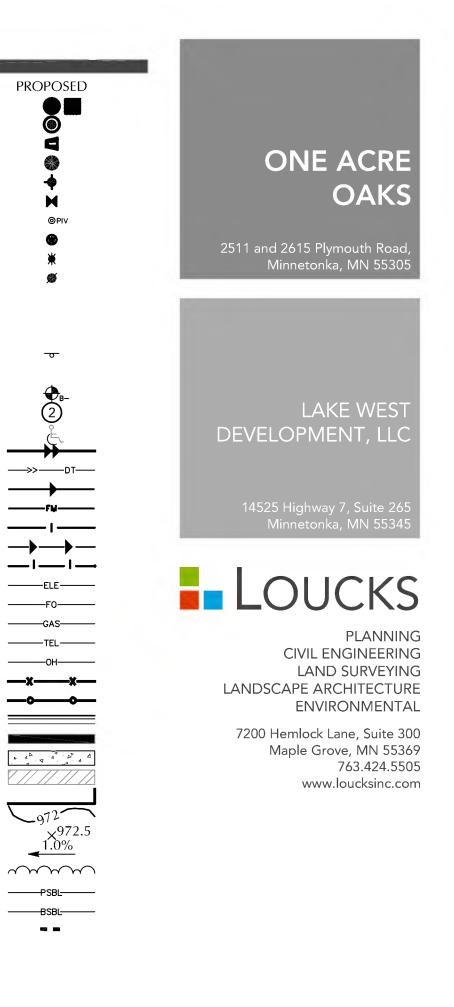
MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

& WATERMAIN NOTES		LEGEND	
ARY SEWER STORM SEWER AND WATER	RMAIN UTILITIES SHALL BE FURNISHED AND INSTALLED PER	EXISTING	
	MINNESOTA PLUMBING CODE, THE LOCAL GOVERNING		CATCH BASIN
	ION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA	$\bigcirc$	STORM MANHOLE
3 EDITION.		>	FLARED END SECTION
		$\bigcirc$	SANITARY MANHOLE
	SAND OR FINE GRANULAR MATERIAL. ALL COMPACTION THE CEAM SPECIFICATION AND THE GEOTECHNICAL	- -	HYDRANT
ERIORMED FER THE REQUIREMENTS OF	THE CLAM SPECIFICATION AND THE GEOTECHNICAL	$\bowtie$	GATE VALVE
		Ø	POST INDICATOR VALVE
	BE PERFORMED PER THE REQUIREMENTS OF THE STATE		WATER MANHOLE / WELL
	ENT OF ENGINEERING AND BUILDING INSPECTIONS	Ċ	LIGHT POLE
	R MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY	Ø	POWER POLE
THIN THE PUBLIC RIGHT OF WAY, OR	WORK IMPACTING PUBLIC UTILITIES.	Ē	ELECTRIC METER
SEWER, SANITARY SEWER AND WATER	R SERVICES SHALL TERMINATE 5' FROM THE BUILDING FACE	(D)	GAS METER
HERWISÉ NOTED.		Ī	TELEPHONE PEDESTAL
		-0-	SIGN
4 OF 18 INCHES OF VERTICAL SEPARATI FOR ALL UTILITES UNLESS OTHERWISE N	ON AND 10 FEET OF HORIZONTAL SEPARATION IS	⊕ _{BM#}	BENCHMARK
OR ALL UTILITES UNLESS UTHERWISE I	NOTED.	DM#	SOIL BORING
ATERMAIN AND SERVICES MUST HAVE	A MINIMUM OF 7.5 FEET OF COVER. EXTRA DEPTH MAY BE	(2) B-	PARKING STALL COUNT
	L SEPARATION TO SANITARY OR STORM SEWER LINES. THE	) _o u	ACCESSIBLE PARKING STALL
-	TO AVOID CONFLICTS WITH SANITARY SEWER, STORM	>>	STORM SEWER
	OF WATER AND SANITARY SEWER LINES SHALL BE	DT	DRAINTILE
WHERE 7.5 FEET MINIMUM DEPTH CAN	NOT BE ATTAINED.	>	SANITARY SEWER
DRANTS SHALL BE LOCATED 5 FEET BE	HIND BACK OF CURB OR EDGE OF PAVEMENT UNLESS	FM	FORCEMAIN
NOTED.		I	WATERMAIN
		S	SANITARY SEWER SERVICE
PIPE MATERIALS: WATERMAIN DIP CL52		W	WATER SERVICE
WATERMAIN DIP CL52 SANITARY SEWER PVC	8" DIAMETER 8" DIAMETER	ELE	UNDERGROUND ELECTRIC
SARAHARA SEWER TVC	0 DI WILLER	FO	UNDERGROUND FIBER OPTIC
	FORMED PER THE REQUIREMENTS OF THE CITY. ALL	GAS	UNDERGROUND GAS
	ONTRACTOR AND SHALL BE ESTABLISHED PER THE	TEL	UNDERGROUND TELEPHONE
	UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND	OH	OVERHEAD UTILITY
,	RICADES, FLASHERS AND FLAGGERS AS NEEDED. ALL L TIMES. NO ROAD CLOSURES SHALL BE PERMITTED	x x	FENCE
THE EXPRESSED AUTHORITY OF OF THE		oo	CHAIN LINK FENCE
			CONCRETE CURB
HALL OPERATE ALL GATE VALVES.			<b>RETAINING WALL</b>
			CONCRETE
	E MADE BY CORE DRILLING THE MANHOLE AT THE A Rubber Boot, grout in the boot and 'an invert	V // // //	NO PARKING
W SEWER LINE.		/////	BUILDING
		972	CONTOUR
HS SHOWN ON THE PLAN INCLUDE TH	IE APRON SECTION.	972.5	

12.PIPE LENGTHS SHOWN ON THE PLAN INCLUDE THE APRON SECTION.

13. WATERMAIN PIPE SHALL BE DIP CLASS 52, INSTALLED WITH 7.5 FEET OF COVER TO TOP PIPE. FITTINGS SHALL BE COMPACT TYPE. PIPE AND FITTINGS SHALL HAVE A CEMENT MORTAR LINING. CONDUCTIVITY SHALL BE PROVIDED BY WELDED STRAPS ACROSS EACH JOIN.T

14. TRENCH COMPACTION SHALL BE 95% STANDARD PROCTOR DENSITY IN THE AREA FROM THE PIPE ZONE TO WITHIN 3 FEET OF FINISHED GRADE AND 100% IN FINAL 3 FEET OF THE BACKFILL TO FINISH GRADE.



SPOT ELEVATION

DIRECTION OF FLOW

TREE LINE

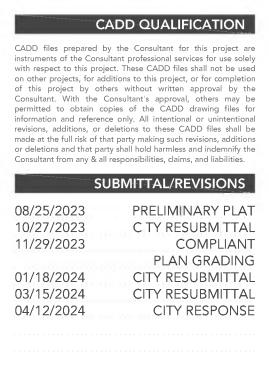
PARKING SETBACK LINE

BUILDING SETBACK LINE

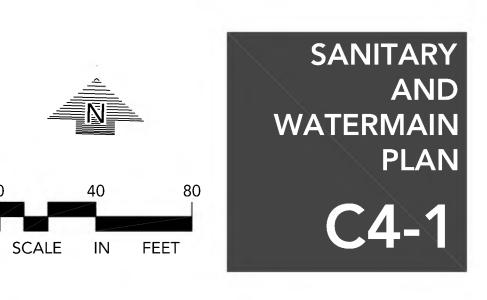
WPA LIMITS

×972.5

1.0%



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Loucks Project No. Project Lead Drawn By Checked By Review Date	021509.0B MJS LAH MJS 03/14/2024
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C1-2 C2-1 C2-2 TURNING C3-1 C3-2 TO C3-3 SWF C3-4	COVER SHEET TING CONDITIONS DEMOLITION PLAN SITE PLAN MOVEMENT PLAN GRADING PLAN PPP PLAN & NOTES FLOODPLAIN PLAN WATERMAIN PLAN STORM SEWER PLAN PRELIMINARY PLAT CIVIL DETAILS





WARNING: THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

TOLL FREE: 1-800-252-1166

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

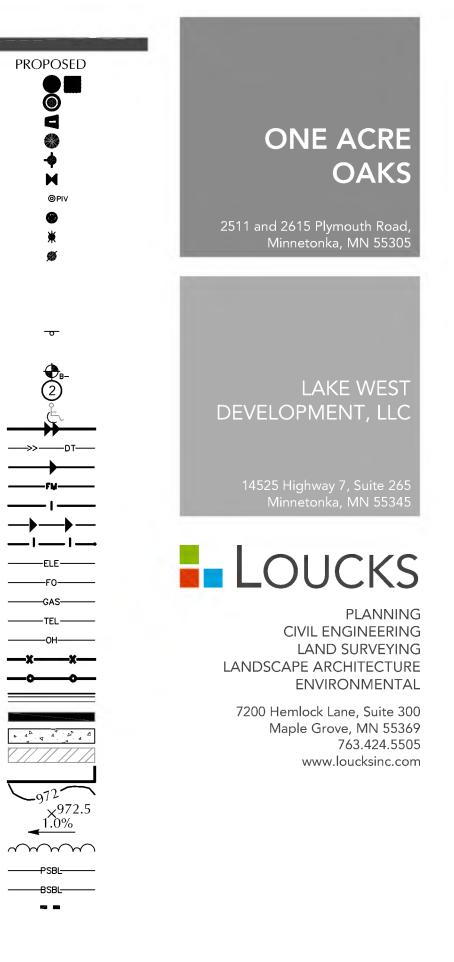
	LEGEND		
RY SEWER, STORM SEWER AND WATERMAIN UTILITIES SHALL BE FURNISHED AND INSTALLED PER	EXISTING		F
EMENTS OF THE SPECIFICATIONS, THE MINNESOTA PLUMBING CODE, THE LOCAL GOVERNING	OZ	CATCH BASIN	
THE STANDARD UTILITIES SPECIFICATION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA	$\bigcirc$	STORM MANHOLE	
EDITION.	>	FLARED END SECTION	
	$\bigcirc$	SANITARY MANHOLE	
PIPE BEDDING SHALL BE COMPACTED SAND OR FINE GRANULAR MATERIAL. ALL COMPACTION RFORMED PER THE REQUIREMENTS OF THE CEAM SPECIFICATION AND THE GEOTECHNICAL	$\overline{\mathbf{Q}}$	HYDRANT	
RFORMED FER THE REQUIREMENTS OF THE CEAM SPECIFICATION AND THE GEOTECHNICAL	$\bowtie$	GATE VALVE	
	Ø	POST INDICATOR VALVE	
TIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE STATE	$\bigotimes$	WATER MANHOLE / WELL	
JURISDICTIONS. THE CITY DEPARTMENT OF ENGINEERING AND BUILDING INSPECTIONS	ġ	LIGHT POLE	
T AND THE CONSTRUCTION ENGINEER MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY	Ø	POWER POLE	
'HIN THE PUBLIC RIGHT OF WAY, OR WORK IMPACTING PUBLIC UTILITIES.	(E)	ELECTRIC METER	
SEWER , SANITARY SEWER AND WATER SERVICES SHALL TERMINATE 5' FROM THE BUILDING FACE	 ©	GAS METER	
ERWISE NOTED.		TELEPHONE PEDESTAL	
		SIGN	
OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS	⊕ _{BM#}	BENCHMARK	
OR ALL UTILITES UNLESS OTHERWISE NOTED.	₩ BM#	SOIL BORING	
IPE MATERIALS:	2	PARKING STALL COUNT	
TORM SEWER RCP & HDPE 12" TO 18" DIAMETER	2	ACCESSIBLE PARKING STALL	
	>>	STORM SEWER	_
NS OF THE STORM SEWER SYSTEM, INCLUDING CATCH BASINS, LOCATED WITHIN 10 FEET OF THE	>>DT	DRAINTILE	_
R WATER SERVICE LINE MUST BE TESTED ACCORDANCE WITH MINNESOTA RULES, PART	>	SANITARY SEWER	_
	FM	FORCEMAIN	_
ND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT (SEE	1	WATERMAIN	_
RULES, PART 4715.0700). APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE	S	SANITARY SEWER SERVICE	_
T CONNECTIONS TO MANHOLES, CATCHBASINS, AND OTHER STRUCTURES.	W	WATER SERVICE	_
TY POLYETHYLENE (HDPE) STORM DRAINS MUST COMPLY WITH MINNESOTA RULES, PART	ELE	UNDERGROUND ELECTRIC	
TTPOETETTTEEINE (TIDFE) STORM DRAINS MOST COMPET WITH MINNESOTA ROLES, PART	FO	UNDERGROUND FIBER OPTIC	
NCH TO 10-INCH IN SIZE MUST COMPLY WITH AASHTO M252.	GAS	UNDERGROUND GAS	
-INCH TO 60-INCH IN SIZE MUST COMPLY WITH ASTM F2306.	TEL	UNDERGROUND TELEPHONE	
INGS MUST COMPLY WITH ASTM D3212.	OH	OVERHEAD UTILITY	
TIGHT JOINTS MUST BE USED AT ALL CONNECTIONS INCLUDING STRUCTURES.	x x	FENCE	
or and manhole fabricator shall sump (lower) all storm sewer catch basin	oo	CHAIN LINK FENCE	_
THIN PAVED AREAS 0.16 FEET OR 2-INCHES BELOW THE RIM ELEVATION DEPICTED ON THE		CONCRETE CURB	=
٨.		<b>RETAINING WALL</b>	
		CONCRETE	6
EPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. ALL NTROL SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE ESTABLISHED PER THE		NO PARKING	Z
ITS OF THE MINNESOTA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND		BUILDING	_
IIS SHALL INCLUDE ALL SIGNAGE, BARRICADES, FLASHERS AND FLAGGERS AS NEEDED. ALL	_ 972 ~	CONTOUR	レ
ETS SHALL BE OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED	_× 972.5	SPOT ELEVATION	
HE EXPRESSED AUTHORITY OF OF THE CITY.	1.0%	DIRECTION OF FLOW	
		TREE LINE	$\sim$
S SHOWN ON THE PLAN INCLUDE THE APRON SECTION.			

14.PIPE LENGTHS SHOWN ON THE PLAN INCLUDE THE APRON SECTION.

ST

15. TRENCH COMPACTION SHALL BE 95% STANDARD PROCTOR DENSITY IN THE AREA FROM THE PIPE ZONE TO WITHIN 3 FEET OF FINISHED GRADE AND 100% IN FINAL 3 FEET OF THE BACKFILL TO FINISH GRADE.

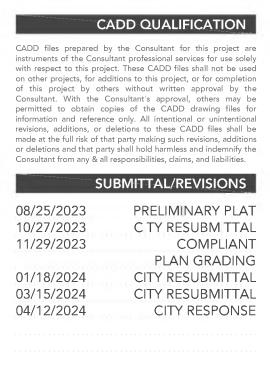
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PARKING SETBACK LINE

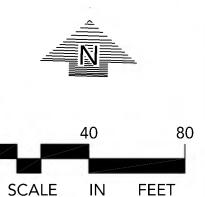
BUILDING SETBACK LINE

WPA LIMITS

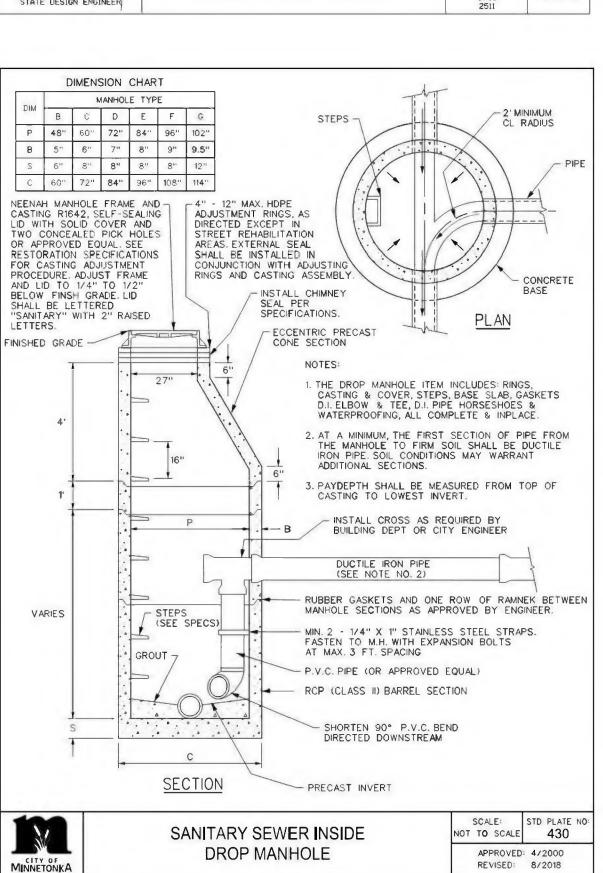


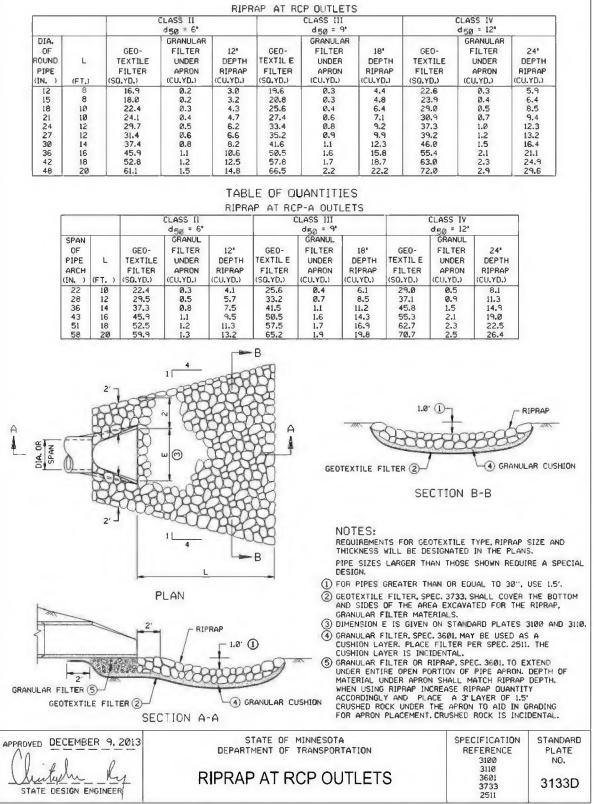
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Loucks Project No. Project Lead Drawn By Checked By Review Date	021509.0B MJS LAH MJS 03/14/2024
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C1-2 C2-1 C2-2 TURNING C3-1 C3-2 TO C3-3 SW C3-4	COVER SHEET STING CONDITIONS DEMOLITION PLAN SITE PLAN MOVEMENT PLAN GRADING PLAN GRADING PLAN PPP PLAN & NOTES FLOODPLAIN PLAN WATERMAIN PLAN STORM SEWER PLAN PRELIMINARY PLAT CIVIL DETAILS TREE INVENTORY

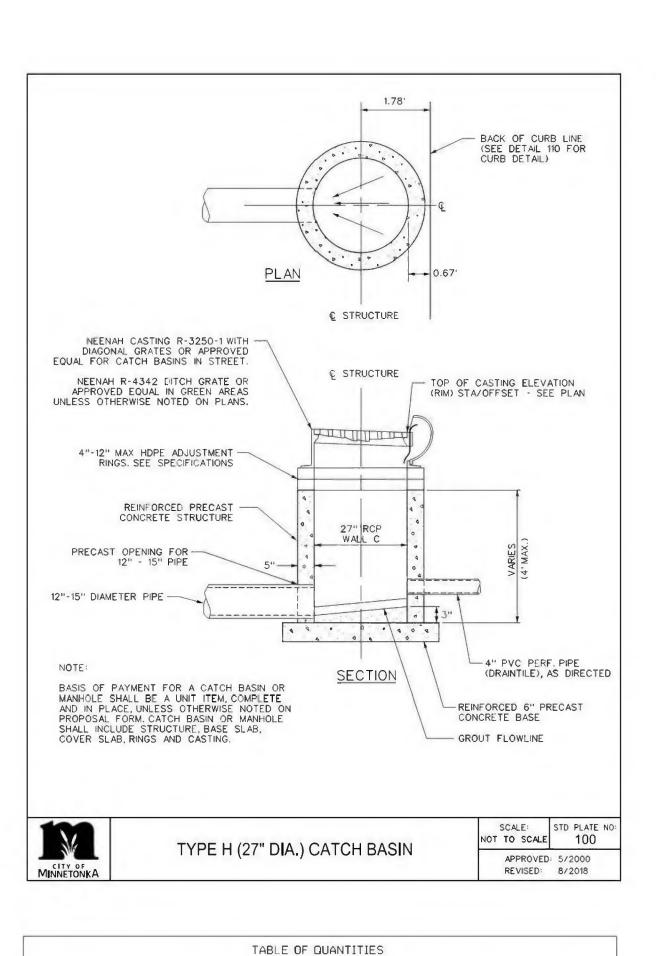


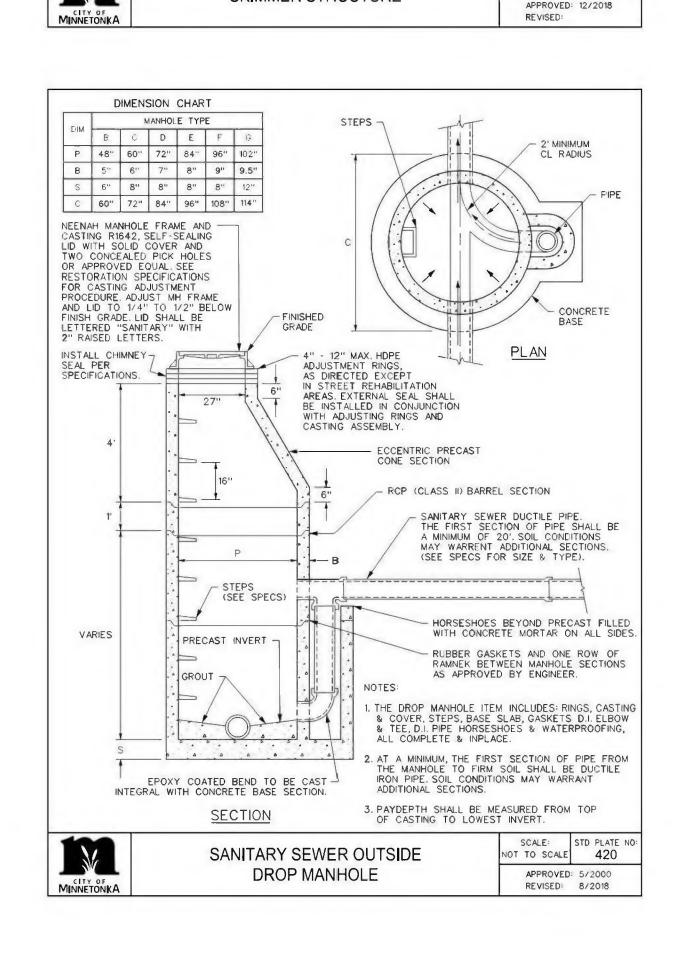


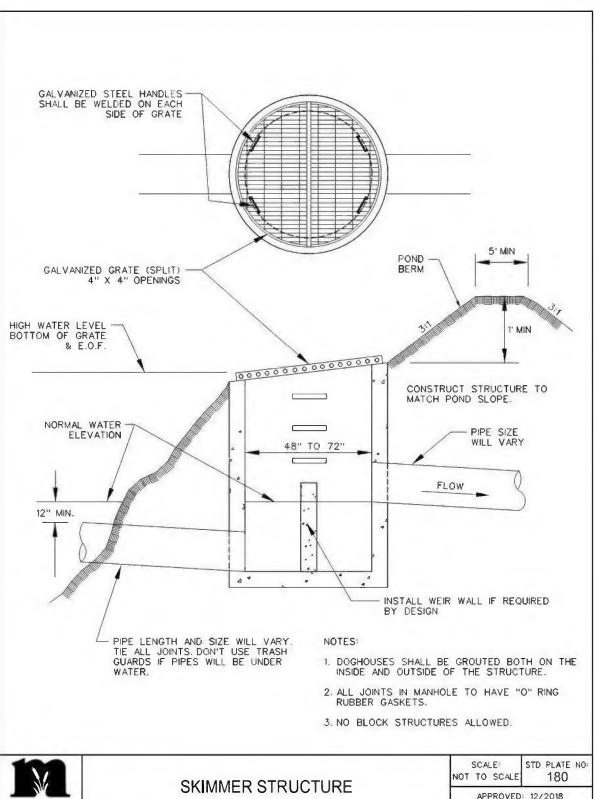


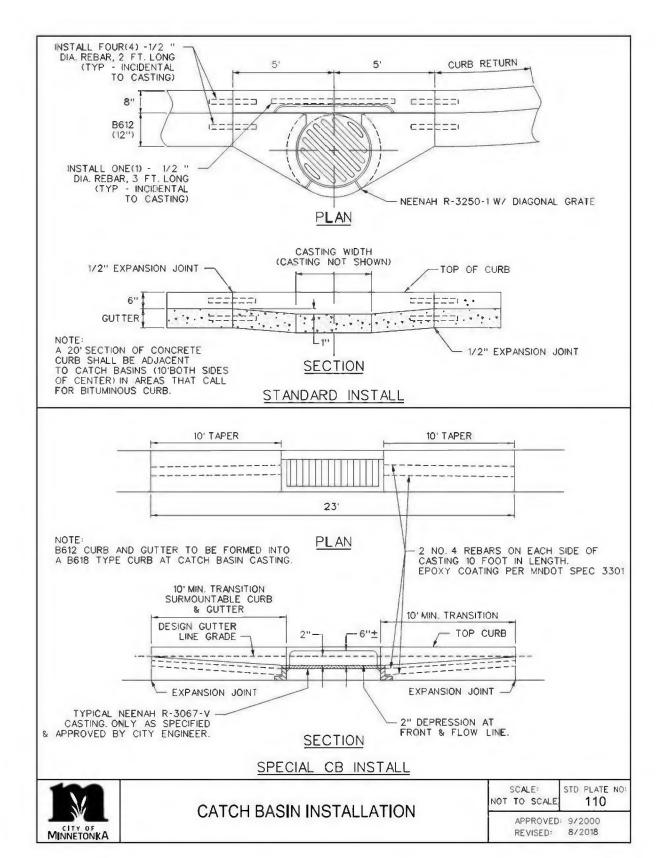


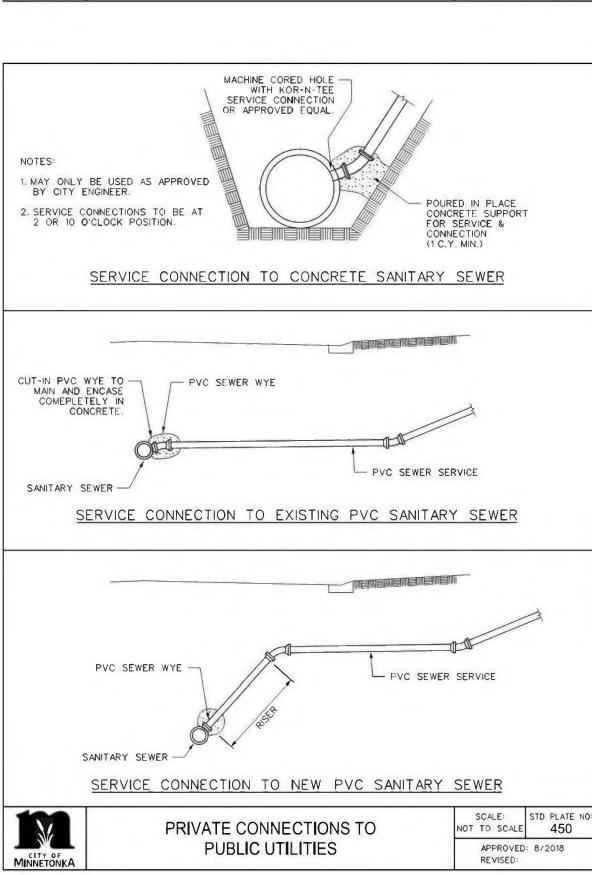


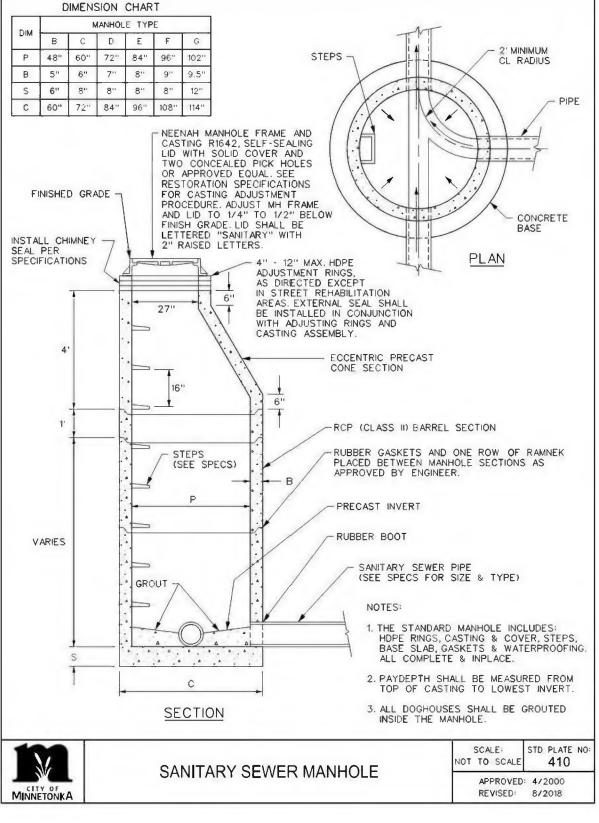


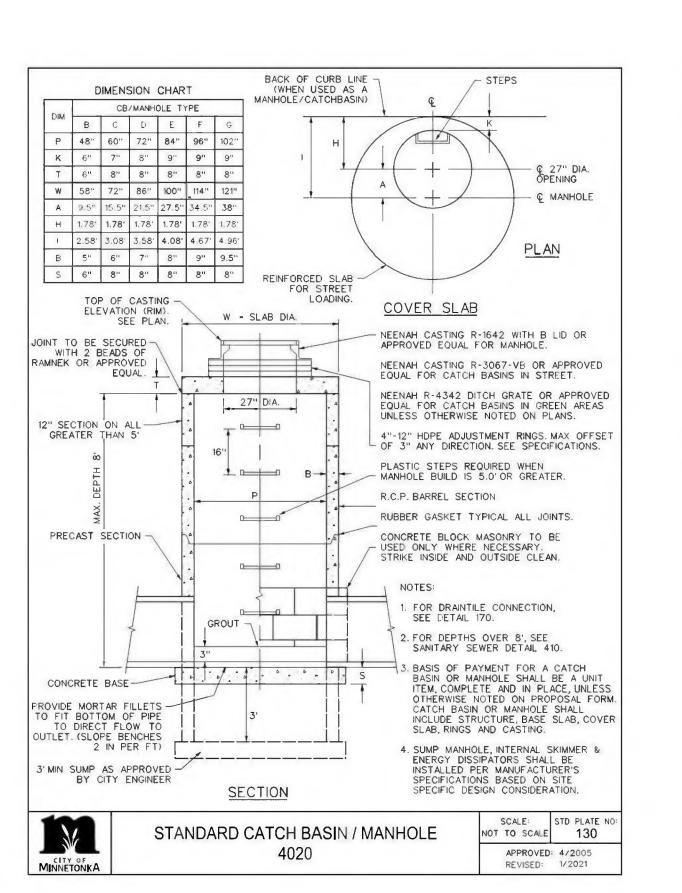


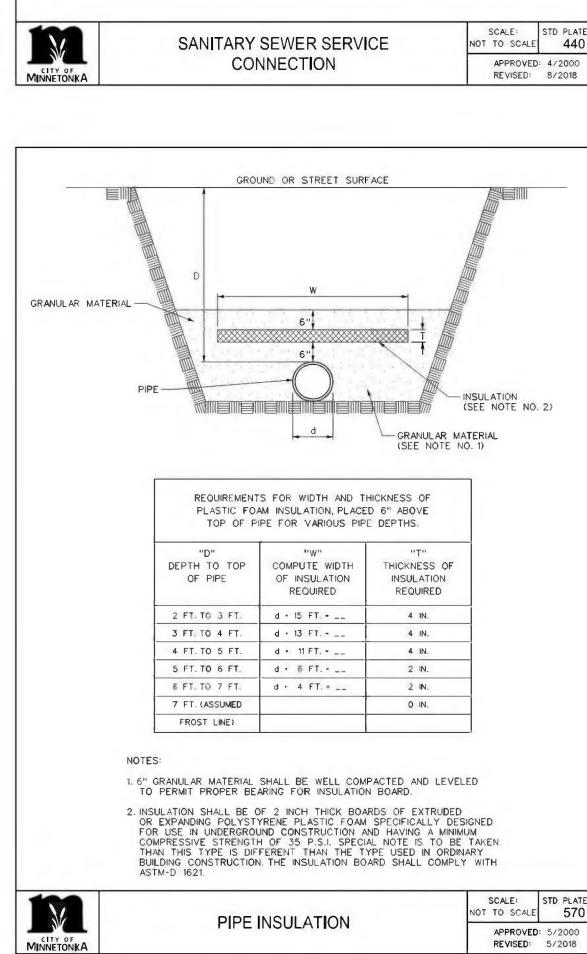


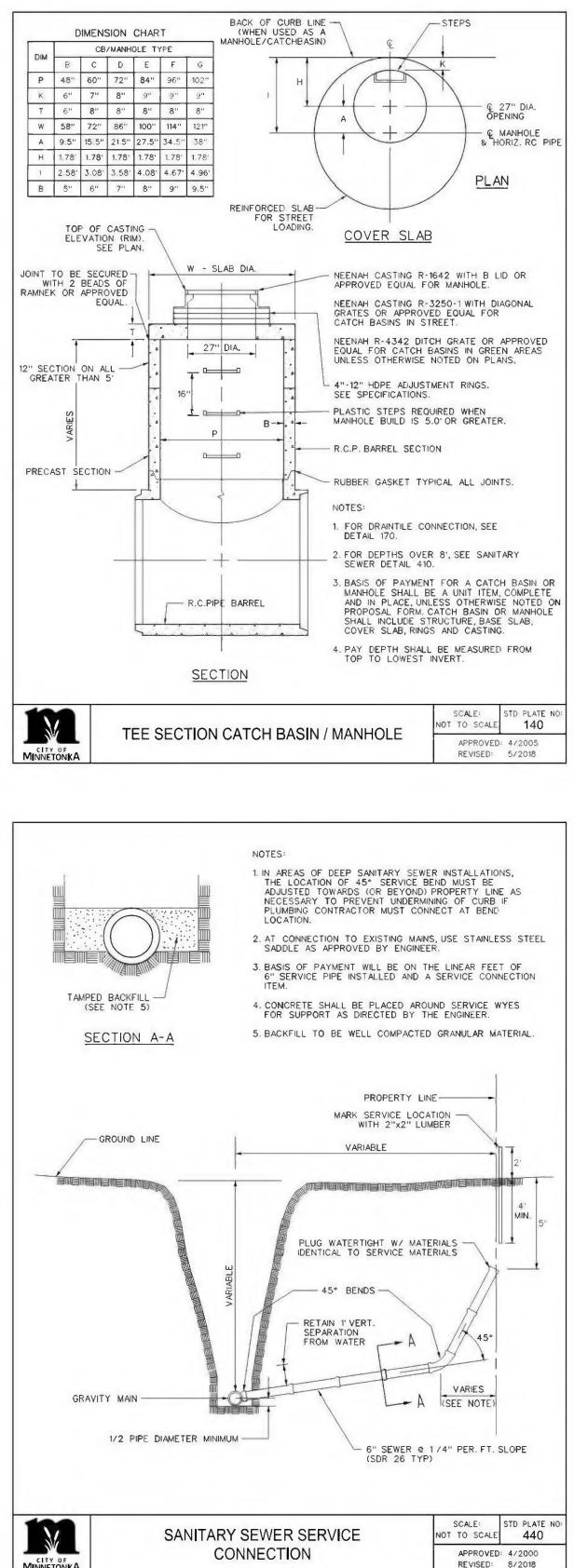


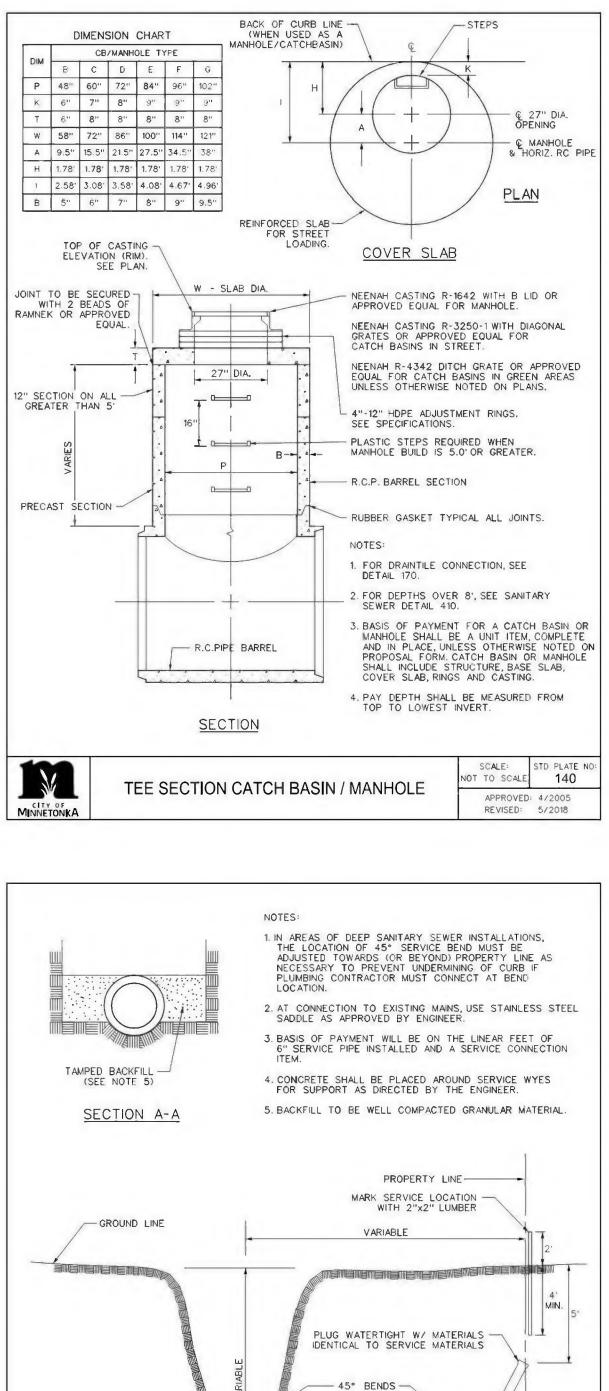


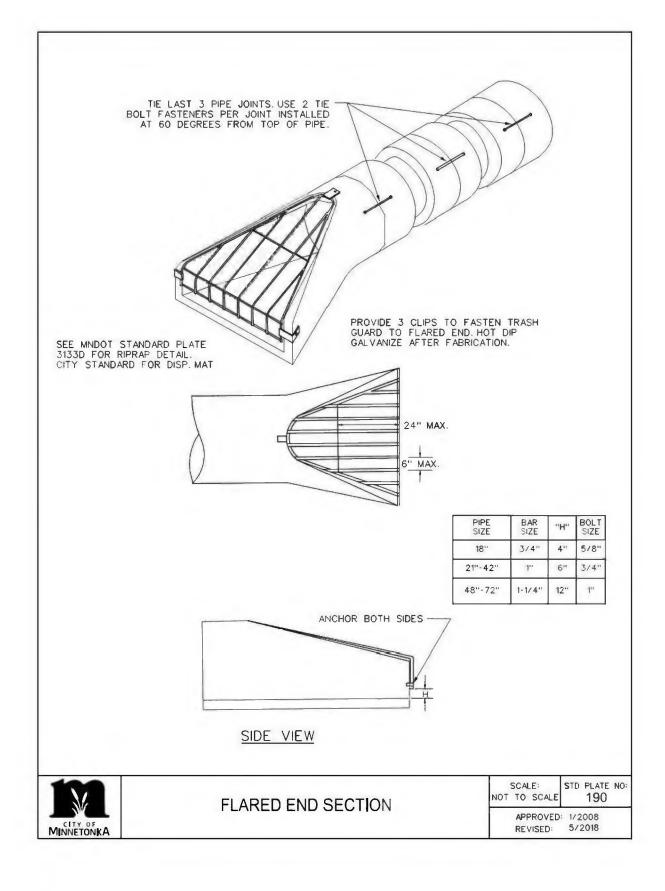


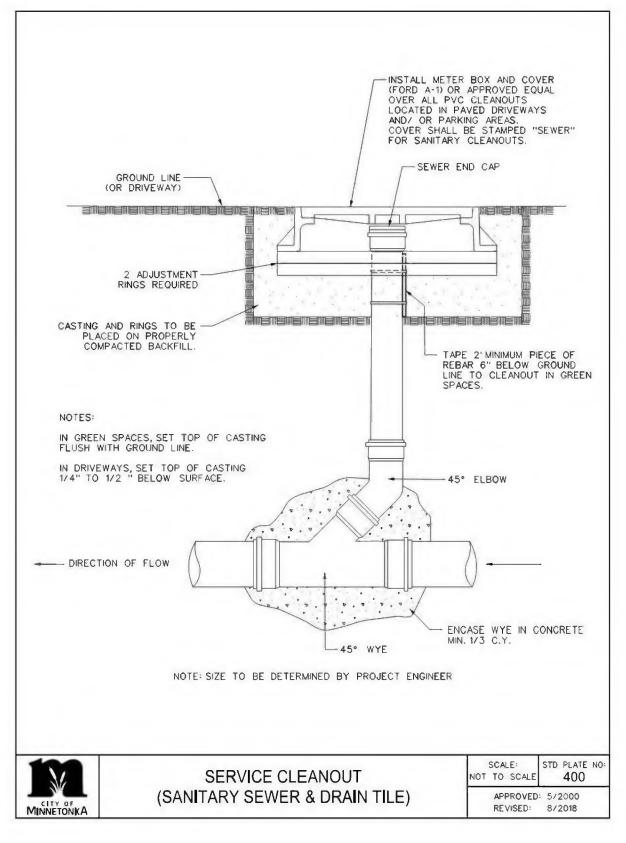


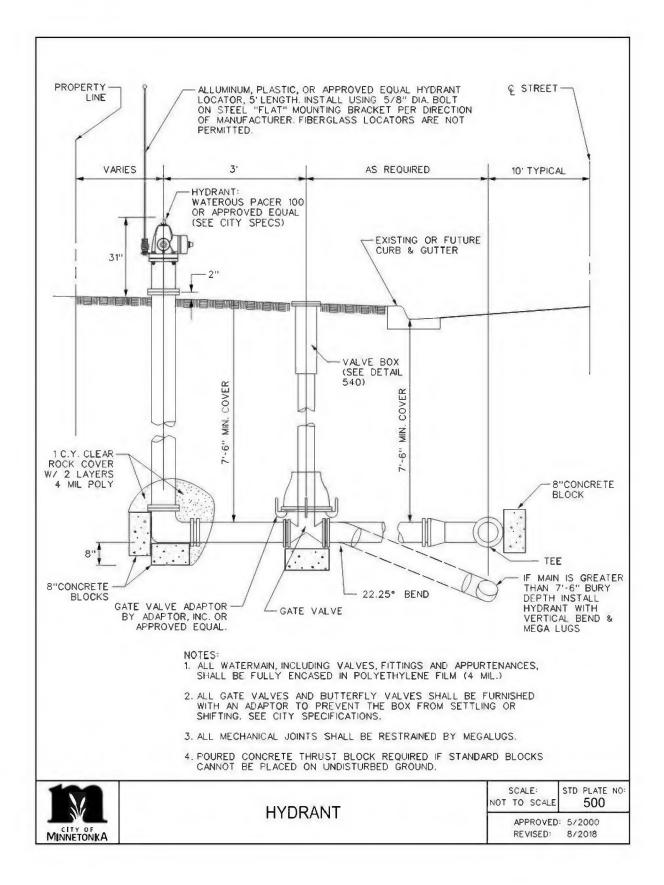












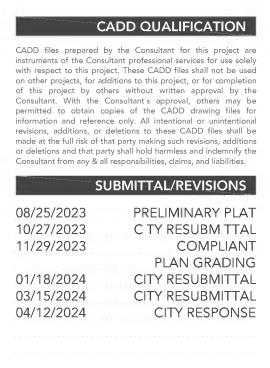
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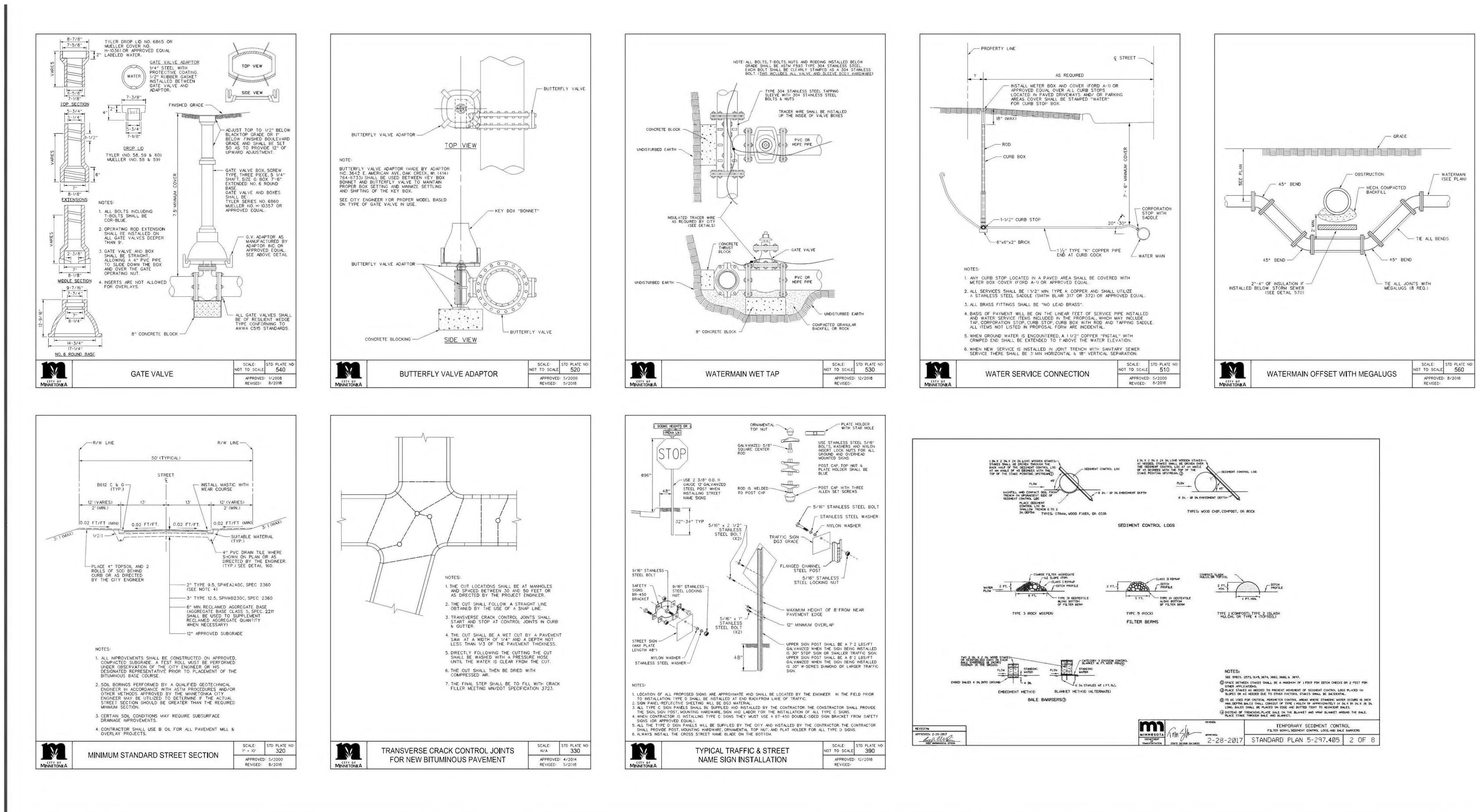
**CIVIL ENGINEERING** LAND SURVEYING LANDSCAPE ARCHITECTURE ENVIRONMENTAL 7200 Hemlock Lane, Suite 300 Maple Grove, MN 55369

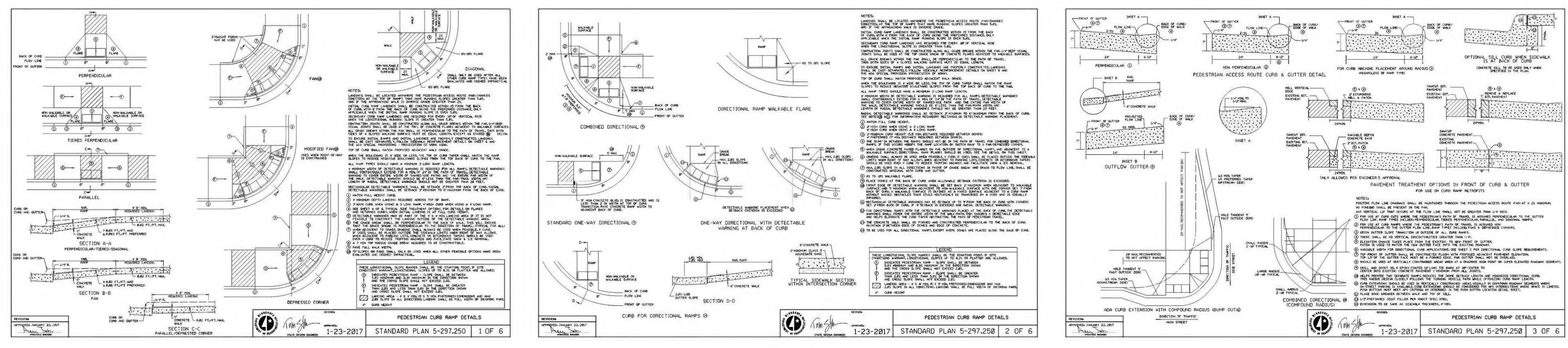
> 763.424.5505 www.loucksinc.com



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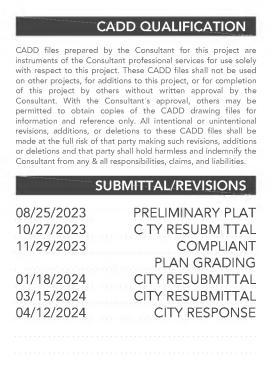
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**LOUCKS** PLANNING CIVIL ENGINEERING

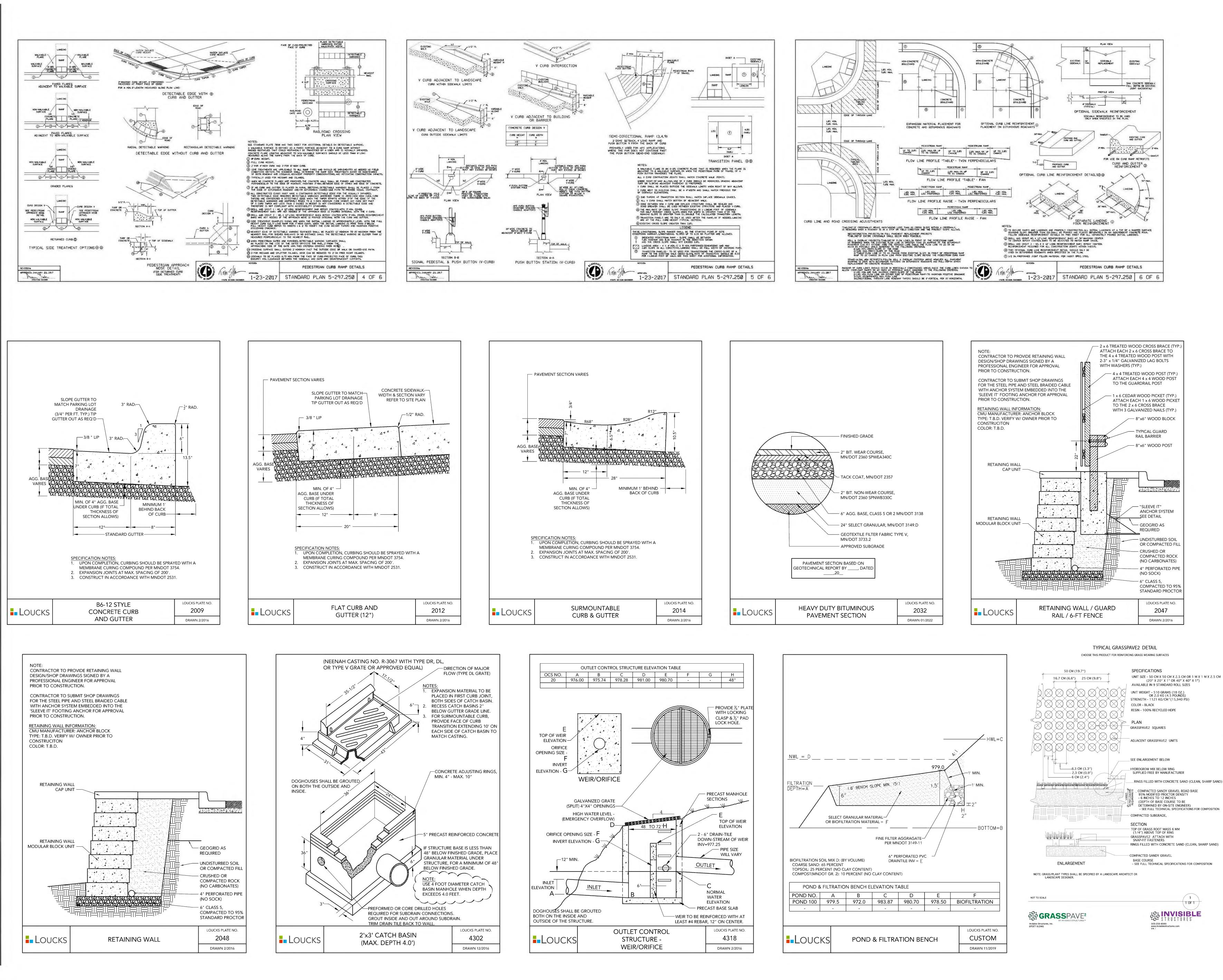
LAND SURVEYING LANDSCAPE ARCHITECTURE ENVIRONMENTAL 7200 Hemlock Lane, Suite 300 Maple Grove, MN 55369

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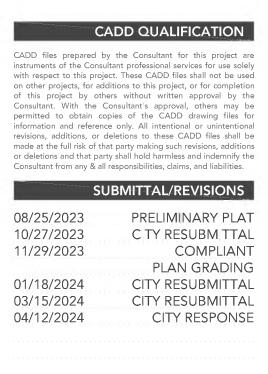




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# SURVEY REPORT

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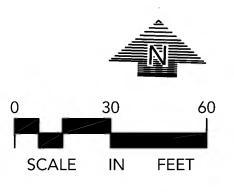
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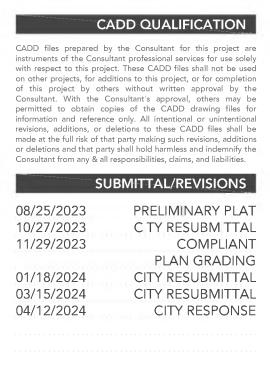
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- The purpose of this sheet is to depict and list the significant and high priority trees inventoried on the property, including Ash, Black Locust and Siberian Elm.
- The trees shown hereon were identified and field located to sub-meter accuracy by Stephen Nicholson, a Certified Arborist and Forester with TreeBiz.
- 3. See Sheets L1-2 and L1-3 for tree inventory tables.





PLANNING CIVIL ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE ENVIRONMENTAL 7200 Hemlock Lane, Suite 300 Maple Grove, MN 55369 763.424.5505 www.loucksinc.com



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I hereby certify that this plan, s prepared by me or under my d I am a duly Licensed Landscape of the State of Minnesota. Licente Date Date C.Reb	irect super ision and that Archesc under the laws
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	SHEET INDEX
C1-2 DE C2-1 C2-2 TURNING M C3-1 C3-2 TO C3-3 SWPP C3-4 FL C4-1 SANITARY & W C4-2 ST	OODPLAIN PLAN



Гree No. 1	Species	DBH 8	Height	Tree Condition Good	No. of Stems	WPA Tree	High Priority Tree	Tree No.	Species
2	Basswood Fir, Douglas	9 30	60	Good Good Fair	1 1 1		HP	153 154 155	Asn, green Locust, black Locust, black
4	Locust, black	8.5 12		Good	1 1 1		HP	155	Ash, green Locust, black
6	Boxelder	10		Fair	1		HP	158	Locust, black
7 8	Boxelder Locust, black	9 5.5		Poor Poor	1			159 160	Ash, green Oak, pin
9 10	Locust, black Locust, black	17.5 15.5		Good Good	1		HP HP	161 162	Locust, black Ash, green
11 12	Locust, black Ash, green	16.5 5		Good Good	1		HP	163 164	Ash, green Ash, green
13 14	Ash, green Locust, black	10 20		Good Poor	1		HP HP	165 166	Elm, American Ash, green
15 16	Ash, green Locust, black	4.5		Fair Fair	1			167 168	Ash, green Ash, green
17	Ash, green	16		Good	1		HP	169	Ash, green
18 19	Locust, black Locust, black	13 25		Good Fair	1 2		HP HP	170 171	Ash, green Ash, green
20 21	Boxelder Ash, green	12.5 8		Poor Good	1		HP	172 173	Ash, green Ash, green
22 23	Ash, green Boxelder	18.5 9		Good Good	1		HP	174 175	Ash, green Ash, green
24 25	Elm, American Ash, green	5		Good Good	1			176 177	Boxelder Ash, green
26 27	Ash, green Ash, green	5.5 18		Good Good	1		HP	178 179	Ash, green Ash, green
28 29	Elm, American Boxelder	8		Good Fair	1			180 181	Ash, green Ash, green
30 31	Boxelder Boxelder	20 26		Fair	1		HP HP	182	Ash, green
32	Aspen	10		Poor Fair	1		HP	183 184	Ash, green Ash, green
33 34	Aspen Ash, green	9.5 5.5		Fair Good	1			185 186	Ash, green Boxelder
35 36	Aspen Boxelder	<u>    14</u> 9		Poor Fair	1 1		HP	187 188	Ash, green Ash, green
37 38	Ash, green Ash, green	22 10.5		Fair Fair	2		HP HP	189 190	Ash, green Elm, American
39 40	Cherry, black Ash, green	10.5 19 11		Good	1 1 1		HP HP	190 191 192	Ash, green Ash, green
41	Ash, green	4		Good	1			193	Ash, green
42	Ash, green Ash, green	6.5 6		Good Good	1			194 195	Ash, green Ash, green
44 45	Ash, green Aspen	6.5 13		Good Fair	1		НР	196 197	Ash, green Ash, green
46 47	Aspen Aspen	8.5 12.5		Fair Fair	1 1		НР	198 199	Ash, green Ash, green
48 49	Aspen Aspen	11 12		Fair Fair	1		HP HP	200 201	Ash, green Boxelder
50 51	Ash, green Oak, white	5		Fair Good	 1 1		HP	202 203	Ash, green Boxelder
51 52 53	Aspen Aspen	7.5		Fair Fair	1 1 1		HP	203 204 205	Ash, green Ash, green
54	Ash, green	8		Good	1			206	Walnut
55 56	Aspen Aspen	9		Good Good	1			207 208	Aspen Aspen
57 58	Aspen Aspen	13 10		Good Good	1		HP HP	209 210	Ash, green Ash, green
59 60	Aspen Aspen	11.5 11.5		Good Good	1 1		HP HP	211 212	Ash, green Ash, green
61 62	Aspen Aspen	10.5 8.5		Good Good	1		НР	213 214	Ash, green Ash, green
63 64	Cherry, black Aspen	4		Good Good	1		HP	215 216	Ash, green Aspen
65	Aspen	11		Good	1		HP	217	Ash, green
66 67	Aspen Aspen	10.5 9		Good Good	1		HP	218 219	Oak, pin Ash, green
68 69	Ash, green Aspen	7 10		Good Good	1 1		HP	220 221	Maple, Norway Cherry, black
70 71	Aspen Boxelder	5 8		Fair Good	1 1			222 223	Ash, green Cherry, black
72 73	Aspen Aspen	18 13		Poor Good	1		HP HP	224 225	Ash, green Aspen
74 75	Ash, green Aspen	12 6.5		Good Fair	1		НР	226 227	Aspen Ash, green
76	Cherry, black	6.5		Good	1			228	Aspen
77 78	Cherry, black Ash, green	4.5 6.5		Good Poor	1			229 230	Aspen Aspen
79 80	Cherry, black Ash, green	11.5 26		Good Good	1		HP HP	231 232	Aspen Aspen
81 82	Aspen Aspen	7.5		Good Good	1 2		НР	233 234	Aspen Aspen
83 84	Boxelder Aspen	6 10		Poor Fair	1		HP	235 236	Aspen Aspen
85 86	Ash, green Aspen	6 11		Good Good	1		НР	237 238	Aspen Aspen
87 88	Aspen Aspen	12.5 9.5		Good Good	 1 1		HP	239 240	Aspen Aspen
89 90	Aspen Boxelder	10.5 8.5		Good Fair	1 1 1		НР	240 241 242	Aspen Aspen
91	Aspen	11		Good	1		НР	243	Aspen
92 93	Aspen Aspen	10 10		Good Good	1		HP HP	244 245	Ash, green Ash, green
94 95	Aspen Oak, pin	10 5		Good Good	1		HP	246 247	Aspen Aspen
96 97	Aspen Aspen	9 10		Good Good	1		HP	248 249	Aspen Aspen
98 99	Aspen Aspen	9.5 10.5		Good Good	1		НР	250 251	Ash, green Elm, American
100 101	Spruce, white Oak, red	4.5	24	Fair Good	1 1 1		HP HP	252	Ash, green Aspen
101 102 103	Aspen	4 11.5		Good Good Fair	1 1 1		HP	254	Aspen
104	Aspen Aspen	13.5		Fair	1		HP	255 256	Aspen Aspen
105 106	Aspen Boxelder	10.5 5.5		Fair Fair	1		HP	257 258	Aspen Ash, green
107 108	Ash, green Ash, green	8		Good Good	1			259 260	Aspen Ash, green
109 110	Ash, green Boxelder	7 9		Good Fair	1 1			261 262	Aspen Ash, green
111 112	Ash, green Ash, green	14 13		Good Good	1		HP HP	263 264	Ash, green Ash, green
113 114	Boxelder Ash, green	11		Good Good	1		HP	265 266	Ash, green Ash, green
115 116	Ash, green Ash, green Ash, green	12.5 11		Poor Good	1 1 1		HP HP	267	Ash, green Ash, green
116 117 118	Ash, green	11 13.5 10		Good Good Good	1		HP HP HP	269	Ash, green
119	Ash, green Ash, green	21		Good	1 1 1		HP HP	270 271	Ash, green Ash, green
120 121	Ash, green Ash, green	4		Fair Good	1			272 273	Boxelder Boxelder
122 123	Ash, green Ash, green	21 7		Fair Good	1		HP	274 275	Boxelder Ash, green
124 125	Elm, American Ash, green	22 4		Good Fair	1 1		HP	276 277	Aspen Ash, green
126 127	Ash, green Ash, green	5 12		Good Good	1		HP	278 279	Boxelder Ash, green
128 129	Ash, green Boxelder	4		Good Fair	 1 1			280 281	Boxelder Ash, green
130	Ash, green Boxelder	16 7.5		Good Good	1		HP	282	Ash, green
132	Maple, silver	32		Fair	1		HP	283 284	Ash, green Ash, green
133 134	Elm, American Ash, green	5 16.5		Good Good	1		HP	285 286	Ash, green Ash, green
135 136	Ash, green Ash, green	12.5 13		Good Good	1 1		HP HP	287 288	Ash, green Ash, green
	Maple, silver Boxelder	9.5		Good Fair	1 1		HP	289 290	Ash, green Ash, green
137 138	Ash, green Boxelder	16 12.5		Good Fair	1 1 1		HP HP	290 291 292	Ash, green Ash, green
137 138 139		16.5		Good	1		HP HP	293	Ash, green
137 138 139 140 141	Ash, green	5		Fair	1		НР	294 295	Walnut Ash, green
137 138 139 140 141 142 143	Elm, American Boxelder	10.5		Fair		-	. 1	200	
137 138 139 140 141 142	Elm, American			Good Good	1 1		HP HP	296 297	Ash, green Ash, green
137         138         139         140         141         142         143         144	Elm, American Boxelder Ash, green	10.5 21		Good			+		Ash, green Cherry, black
137         138         139         140         141         142         143         144         145         146	Elm, American Boxelder Ash, green Ash, green Ash, green	10.5 21 13.5 13.5		Good Good Good	1		HP	297 298	Ash, green

	DBH	Height	Tree Condition	No. of Stems	WPA Tree	High Priority Tree
	14 5.5 5		Good Poor Good	1 1 1 1		HP
	19 6.5 4.5		Good Good Good	1 1 1		HP
	10 22.5 7		Good Good Fair	1 1 1		HP HP
	10 13		Good Good	1 1 1		HP HP
	10.5 8		Poor Good	1		HP
	14 7 10.5		Good Good Good	1 1 1		HP HP
	8 7.5		Good Good	1 1		
	13 7 12		Good Good Fair	1 1 1		HP HP
	12 12 5		Good	1 1 1		HP
	11 16.5		Poor Good	1 1		HP HP
	7.5 10.5 6		Good Fair Fair	1 1 1		HP
	16 5.5		Good Fair	1 1		HP
	6.5 5.5 6		Good Fair Fair	1 1 1		
	5 24		Fair	1 1 1		НР
	30 11.5		Fair Good	1 1		HP HP
	6.5 5 32.5		Good Good Fair	1 1 2		НР
	4.5		Good Good	1 2		НР
	12 23.5		Good Good	1		HP HP
	7.5 18.5 9.5		Good Good Fair	1 1 1		HP
_	10 9.5		Good Good	1 1		HP
	14 12 6		Good Fair Poor	1 1 1		HP HP
_	6 8.5 6.5		Poor Good Good	1 1 1		
	10 10		Good Good	1 1		HP HP
	10.5 4 6		Good Fair Good	1 1 1		HP
	10.5 5.5		Good Good	1 1 1		НР
	4 13.5		Good Good	1		НР
	8 12 18.5		Poor Good Good	1 1 1		HP HP
_	8.5 15		Fair Good	1		HP
	11 11 18		Good Good Good	1 1 1		HP HP HP
	11.5 12.5		Good Good	1 1 1		HP HP
	5.5 12		Fair Fair	1		НР
	6 14.5 9		Good Good Poor	1 1 1		НР
	9 10		Good Good	1 1		НР
	10 7.5		Good Good	1		HP
	7.5 8.5 10.5		Good Good Good	1 1 1		НР
	11 9		Good Good	1		HP
	10 9.5 10.5		Good Good Good	1 1 1		HP HP
	7.5		Good Fair	1 1 1		
	11 11		Good Good	1 1		HP HP
	9.5 9.5 12		Good Good Good	1 1 1		НР
	8 6		Good Good	1 1 1		
	5 5.5		Good Good	1 1 1		115
	13 10 11		Good Good Good	1 1 1		HP HP HP
	14.5 5.5		Good Good	1 1		HP
	11 10		Good Good	1 1 1		HP HP HP
	14 4 11		Good Good Good	1 1 1		HP HP
_	6 13		Good Good	1 1		HP
	15 16 5		Fair Good Good	1 1 1		HP HP
_	5 5 11		Good Good Fair	1 1 1		HP
	9 12		Poor Poor	2		HP
	11.5 10 5		Good Good Good	1 1 1		HP HP
	13.5 9		Poor Good	1 1		HP
	9.5 12.5 10.5		Good Good Good	1 1 1		HP HP
	10.5 11.5 7.5		Good Good Good	1 1 1		HP HP
	16.5 6		Good Poor	1 1		HP
	6.5 4 10		Good Fair Good	1 1 1		НР
	10 11 14		Good Good Good	1 1 1		HP HP HP
	12 18.5		Fair Good	2 1		HP HP
	5.5 6.5 10.5		Good Good Good	1 1 1		НР
	10.5 15.5 6		Good Good Poor	1 1 1		HP HP
	9 14.5		Good Good	1 1		HP
	13 21.5 5.5		Good Fair Good	1 1 1	WPA WPA	HP
	17.5		Good	1	WPA WPA	

Гree No.	Species	DBH	Height	Tree Condition	No. of Stems	WPA Tree	High Priority Tree
305 306	Oak, pin Ash, green	13.5 5.5		Good Fair	1	WPA WPA	<b> </b>
307 308	Ash, green Ash, green	20.5 17		Good Good	1	WPA WPA	
309 310	Ash, green Ash, green	19 10		Good Poor	1 1 1	WPA WPA	
311 312 313	Oak, red Oak, pin Aspen	6.5 10.5 11		Good Good Good	1 1 1	WPA WPA WPA	
314 315	Basswood Ash, green	16.5 6		Good Good	1 1	WPA WPA	
316 317	Oak, pin Cherry, black	15 5.5		Good Good	1 1	WPA WPA	
318 319	Ash, green Ash, green	15 20.5		Good Very Poor	1	WPA WPA	
320 321 322	Ash, green Cherry, black Aspen	14 6.5 9		Fair Good Fair	1 1 1	WPA WPA WPA	
323 324	Cherry, black Ash, green	9.5 27		Fair Good	1 1 1	WPA WPA	
325 326	Ash, green Ash, green	17.5 12.5		Fair Good	1 1	WPA WPA	
327 328	Ash, green Maple, silver	22 18		Good Good	1	WPA	HP
329 330 331	Maple, silver Ash, green Aspen	22 15 11.5		Fair Poor Good	1 1 1	WPA WPA	HP
332 333	Walnut Boxelder	12.5 8.5		Good Poor	1 1	WPA	HP
334 335	Cherry, black Ash, green	8 47		Good Fair	1	WPA WPA	
336 337 338	Ash, green Ash, green Ash, green	32 25 15		Fair Good Poor	1 1 1	WPA WPA WPA	
339 340	Cherry, black Ash, green	9.5		Good Good	1 1	WPA WPA	
341 342	Ash, green Cherry, black	16 5		Good Good	1	WPA WPA	
343 344	Aspen Aspen	9 15.5		Good Good	1	WPA WPA	
345 346 347	Birch, paper Aspen Ash, green	6 13.5 4		Poor Good Poor	1 1 1	WPA WPA WPA	
348 349	Ash, green Ash, green	9.5 13		Fair Good	1 1 1		НР
350 351	Ash, green Ash, green	13.5 8.5		Good Good	1		НР
352 353 354	Ash, green Ash, green Ash, green	5.5 6 4.5		Good Good Poor	1 1 1		
355 356	Ash, green Ash, green Ash, green	7 4.5		Good	1 1 1		
357 358	Ash, green Ash, green	11 17		Good Good	1		HP HP
359 360	Ash, green Ash, green	15.5 4.5		Good Fair	1		HP
361 362 363	Ash, green Ash, green Ash, green	10 24 4.5		Fair Good Fair	1 2 1		HP HP
364 365	Ash, green Boxelder	17 9.5		Good Fair	1 1 1		HP
366 367	Aspen Aspen	16 14.5		Good Good	1 1		HP HP
368 369	Ash, green Ash, green	6.5 7.5		Good Good	1		
370 371 372	Boxelder Ash, green Ash, green	7 11 9		Good Good Fair	1 1 1		HP
373 374	Ash, green Ash, green	9 8.5		Good Good	1 1		
375 376	Ash, green Aspen	10 9		Good Good	1		HP
377 378 379	Ash, green Aspen Aspen	8.5 9.5 10		Good Good Good	1 1 1		НР
380 381	Aspen Aspen Aspen	10 12 11		Good Good	1 1 1		HP HP
382 383	Ash, green Aspen	5.5 14		Good Good	1		HP
384 385	Aspen Aspen	10.5 15.5		Good Good	1		HP HP
386 387 388	Ash, green Aspen Aspen	14.5 15.5 9		Good Good Fair	1 1 1		HP HP
389 390	Aspen Ash, green	15 6		Good Good	1		HP
391 392	Ash, green Aspen	15.5 12		Good Good	1		HP HP
393 394 395	Aspen Boxelder Ash, green	10.5 8 9		Fair Fair Good	1 1 1		HP
396 397	Ash, green Ash, green	5.5 6.5		Good Good	1		
398 399	Ash, green Aspen	10.5 11.5		Good Good	1		HP HP
400 401 402	Aspen Aspen Aspen	10.5 9 8		Good Good Good	1 1 1		HP
403	Ash, green Aspen	4 7.5		Good Fair	1 1 1		
405 406	Ash, green Aspen	4.5 6		Good Good	1 1		
407 408 409	Aspen Aspen Aspen	6 8.5 9		Fair Poor Good	1 1 1		
409 410 411	Aspen Aspen Aspen	10.5 8		Good Good Good	1 1 1		НР
412 413	Aspen Ash, green	8 15		Poor Good	1 1		HP
414 415	Ash, green Ash, green	7 12.5		Good Good	1		НР
416 417 418	Ash, green Ash, green Ash, green	9.5 11 13		Good Good Good	1 1 1		HP HP
419 420	Ash, green Ash, green	10 8.5		Good Good	1		НР
421 422	Ash, green Ash, green Boxoldor	8 14 7.5		Fair Good	1		НР
423 424 425	Boxelder Ash, green Ash, green	7.5 13 8		Poor Good Good	1 1 1		HP
425 426 427	Ash, green Ash, green Ash, green	20 18.5		Good Good Good	1 1 1		HP HP
428 429	Cherry, black Boxelder	13 7.5		Good Fair	1		HP
430 431 432	Boxelder Ash, green Ash, green	10.5 7 12.5		Fair Good Good	1 1 1		HP HP
432 433 434	Ash, green Ash, green Ash, green	12.5 11 16.5		Fair Good	1		HP HP
435 436	Ash, green Ash, green	19 6.5		Fair Fair	1		НР
437 438 439	Ash, green Ash, green Ash, green	7 5 4		Poor Poor Fair	1 1 1		
439 440 441	Ash, green Ash, green Ash, green	4.5 6		Fair Good Good	1 1 1		
442 443	Ash, green Ash, green	5 5.5		Good Good	1		
444 445	Aspen Aspen	16.5 18		Good Fair	1	WPA WPA	
446 447 448	Cherry, black Ash, green Elm, American	8 22 7		Fair Poor Good	1 1 1	WPA WPA WPA	
448 449 450	Ash, green Ash, green	31 16		Good Good Good	1 1 1	WPA WPA WPA	
451 452	Ash, green Oak, red	15 9		Good Good	1	WPA WPA	
453	Ash, green	12		Good	1	WPA	

Ind two         approx         Des         Frag.         Condition Series           472         Amp, Name         1.3         Condition Series         1           480         Appen         1.3         Condition Series         1           480         Cherry, Back         5         Fair         1           481         Appen         1.5         Fair         1           482         Exercise         3         2         Foot         1           484         Exercise         3         2         Foot         1           485         Amoritan         6.6         55         Exercise         1           484         Exercise         7         Fair         1         1           490         Appen         7.5         Good         1         1           471         Appen         8         Condition Service         1         1         1         1           471         Appen         8         Condition Service         1         1         1         1         1           472         Appen         1         Condition Service         1         1         1         1         1         1						
Aby         Cherry, Back         B         Good         1           430         Appen         13         Bood         1           431         Appen         13         Bood         1           432         Acoustics         7         Fair         1           443         Appen         13         Fair         1           444         Societter         9         Societter         16         Good         1           446         Rocycher         15         30         Paire         1           446         Rocycher         15         Societter         1         1         1           447         Mak, geen         13         Faire         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1	Tree No.	Species	DBH	Height		No. Ster
458         Asom         13         Gond         1           459         Asom         13.         Gand         1           451         Asom         13.         Fair         1           452         Boolder         13.         Fair         1           454         Boolder         15.         Foor         1           459         Boolder         15.         Foor         1           450         Cakeyeen         7.         Fair         1           451         Asome         8.         Godd         1           452         Asome         8.         Godd         1           453         Asome         8.         Godd         1           454         Asome         11.         Godd         1           455         Asom         11.         Godd         1           454         Asome         11.         Godd         1           455	457	Cherry, black	8			
460         Charry, Maak         5         Fair         1           451         Aspen         1.5         Foor         1           452         Aspen         1.5         Foor         1           454         Aspen         1.5         Foor         1           454         Moorlage         35         30         Foor         1           454         Moorlage         32         50         Foor         1           455         Moorlage         32         50         Foor         1           456         Moorlage         32         Foor         1         1         50           457         Aspen         7         Foor         1         1         5         Foor         1           472         Aspern         7         Good         1         1         5         Food         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1         1	458	Aspen	13		Good	1
460         Japa         11         Fair         11           463         Boxdier         9         Fair         1           464         Aronylac         62         50         Fair         1           465         Aronylac         62         50         Fair         1           466         Basswood         10         Fair         1           467         Magner         10         Good         1           477         Ash.green         1.5         Good         1           478         Ash.green         1.6         Good         1           479         Ash.green         1.4         Good         1           470         Ash.green         1.4         Good         1           471         Ash.green         1.4         Good         1           473         Ash.green         1.4         Good         1           474         Ash.green         1.4         Good         1           475         Ash.green         1.1         Good         1           476         Ash.green         1.4         Good         1           477         Crerry.Jakack         1.5		Cherry, black	5			1
646         Docujer         9         Fair         1           645         Attorvince         62         50         Fair         1           646         Attorvince         62         50         Fair         1           647         Mage, Shern         16         Good         1           648         Bassymptot         15         Foor         1           647         Ado, geren         7         Fair         1           647         Ado, geren         4         Good         1           648         Ado, geren         4         Good         1           649         Ado, geren         7         Fair         1         Good         1           648         Ado, geren         11         Good         1         Good         1           648         Ado, geren         11         Good         1         1         Good         1           648         Ado, geren						1
466         Abourbure         35         30         Furr         5           466         Mape, silver         36         Sood         1           469         Baswood         30.5         Foor         1           471         Ouk, whue         27         Very Poor         1           471         Ouk, whue         27         Very Poor         1           472         Ab, geren         7         Fielf         1           473         Ab, geren         7         Good         1           474         Oak, geren         7         Good         1           475         Ab, geren         7         Good         1           470         Ab, geren         7         Good         1           470         Ma, geren         7         Good         1           470         Ma, geren         1         Good		-				1
447         Magle shore         10         Ford         11           448         Baxwood         10         Pair         Pair         Pair           441         Ah, green         7         Fair         Pair         Pair           471         Ah, green         7         Fair         Pair         Pair           472         Ah, green         7         Fair         Pair         Pair           473         Ah, green         7         Good         1           474         Oh, Kred         7         Good         1           473         Oh, Kred         1         Good         1           474         Oh, Kred         1         Good         1           475         Oh, Kred         1         Good         1           474         Ohrer, Valack         5         Good         1           474         Ohrer, Valack         5         Good         1           474	465	Arborvitae	35		Poor	5
4eso         Basymood         19         Far         147           470         Ouky white         27         Very for         1           471         Ake, read         7.5         Good         1           473         Ake, read         7.5         Good         1           474         Oake, read         8         Good         1           477         Ake, green         8         Good         1           477         Ake, green         1         Good         1           478         Oake, green         9         Good         1           480         Ake, green         9         Good         1           481         Ake, green         9         Good         1           482         Ake, green         10         Good         1           483         Ake, green         11         Good         1           484         Ake, green         11         Good         1           485         Ake, green         13         Good         1           486         Ake, green         13         Good         1           487         Cherry, back         15.5         Good				50		4
470         Oaly, write         27         Very Poor         1           471         Aky green         7         Fair         1           473         Appen         9         Fair         1           474         Oaly, red         7.5         Good         1           475         Aspern         8         Good         1           475         Aspern         8         Good         1           475         Aspern         8         Good         1           476         Caky, red         4         Good         1           477         Asy, red         4         Good         1           480         Cherry, black         5.5         Good         1           481         Cherry, black         10         Fair         1           482         Oak, green         11         Good         1           483         Aspern         14         Good         1           484         Oaky, red         5         Good         1           485         Aspern         14         Good         1           486         Aspern         14         Good         1      <						1
472         Apgren         7         Fair         1           473         Apgren         7.5         Geord         1           475         Apgren         8         Geord         1           476         Apgren         11         Good         1           477         Ahl green         11         Good         1           478         Apgren         8         Good         1           480         Abl green         8         Good         1           481         Abl green         5         Pool         1           482         Abl green         5         Pool         1           483         Abl green         10         Fair         1           484         Abl green         14         Good         1           485         Appren         14         Good         1           486         Appren         14         Good         1           487         Appren         12         Fair         1           488         Appren         13         Good         1           489         Appren         14         Good         1           490	470	Oak, white	27		Very Poor	1
475         Agen         7.5         Good         1           475         Akh, green         7.7         Good         1           476         Akh, green         7.7         Good         1           477         Akh, green         8         Good         1           478         Dak, red         4         Good         1           478         Dak, green         8         Good         1           481         Akh, green         9         Good         1           482         Dak, green         11         Good         1           483         Dak, green         11         Good         1           484         Akh, green         7         Fair         1           485         Oakh, green         11         Good         1           490         Cherry, black         14         Good         1           491         Akh, green         12         Porr         1           492         Cherry, black         15         Good         1           493         Cherry, black         15         Good         1           494         Chery, black         15.5         Good					1 1	1
476         Abg green         8         Good         1           476         Abg green         11         Good         11           478         Date, red         14         Good         11           479         Date, red         14         Good         11           480         Abg green         8         Good         11           481         Abg green         8         Good         11           482         Abg green         12         Poor         11           484         Cherry, black         10         Fair         11           486         Day green         12         Poor         11           488         Abg green         14         Good         11           490         Day green         12         Poir         11           491         Abg green         14         Good         11           492         Abg green         14         Good         11           493         Abg green         13         Good         11           494         Oby green         12         Fair         11           495         Abg green         13         Good <t< td=""><td></td><td>-</td><td></td><td></td><td></td><td>1</td></t<>		-				1
477         Ab, green         11         Good         11           478         Dak, red         4         Good         11           479         Dak, red         4         Good         11           480         Ab, green         9         Good         11           481         Ab, green         9         Good         11           482         Ab, green         10         Fair         14           484         Dak, hur         10         Fair         14           486         Dak, hur         11         Good         11           486         Dak, hur         7         Fair         11           483         Apagen         11         Good         11           484         Dak, red         5.5         Good         11           490         Dak, red         5.5         Good         11           491         Dak, red         5.5         Good         11           492         Apagen         13         Good         11           493         Dak, red         5.5         Good         11           494         Dak, red         5.5         Good         11 </td <td>475</td> <td>Aspen</td> <td>8</td> <td></td> <td>Good</td> <td>1</td>	475	Aspen	8		Good	1
479         Day, red         4         Good         1           480         Aby, green         8         Good         1           481         Aby, green         8         Good         1           482         Aby, green         80         Good         1           483         Day, fur         80         Good         1           484         Cherry, black         10         Fair         1           485         Appen         14         Good         1           486         Day, furth         10         Fair         1           489         Aby, green         7         Fair         1           489         Appen         14         Good         1           480         Day, fuel         7         Fair         1           480         Appen         14         Good         1           481         Appen         14         Good         1           482         Appen         13         Good         1           50         Appen         14         Good         1           50         Appen         15         Good         1           50<		-			1 1	1
440         Aby, green         45         Good         1           481         Aby, green         9         Good         1           483         Daveller         5         Poort         1           484         Cherry, black         5.0         Good         1           485         Oak, bur         10         Fair         1           485         Oak, bur         11         Good         1           486         Oak, preen         14         Good         1           480         Aby, green         11         Good         1           490         Oak, red         5.5         Good         1           492         Aby, green         11         Good         1           494         Cherry, black         1.5         Good         1           500         Appen         1.3         Good         1           501         Aby, green         1.5         Good         1           502         Appen         1.3         Fair         1           503         Aby, green         1.5         Good         1           504         Appen         1.3         Fair         1						1
4432         Description         9         Good         1           4432         Cherry, black         5.5         Good         1           4435         Oak, bur         10         Fail         1           4450         Oak, bur         10         Fail         1           4450         Oak, bur         10         Fail         1           4481         Oak, percen         7         Fail         1           4490         Dave, geven         11         Good         1           4491         Ahy, geven         12         Poor         1           4492         Oak, red         5.5         Good         1           4493         Cherry, black         9         Good         1           4495         Apport         13         Good         1           4490         Cherry, black         5.5         Good         1           500         Cherry, black         5.5         Good         1           501         Adagen         13.5         Good         1           502         Adpan         13.5         Good         1           503         Adpan         13.5         Good		_				1
448         Obs., bar         55.5         Good         1           4485         Oak, bar         11         Good         1           4480         Oak, bar         11         Good         1           4480         Abk, preen         7.         Fair         1           4490         Davelber         5.         Good         1           4491         Abk, preen         12         Poor         1           4491         Abk, preen         13         Good         1           4493         Cherry, black         4         Good         1           493         Cherry, black         5.5         Good         1           494         Appen         13         Good         1           495         Appen         12         Fair         1           501         Cherry, black         5.5         Good         1           502         Appen         12.5         Fair         1           503         Appen         12.5         Fair         1           504         Appen         12.5         Good         1           505         Appen         12.5         Good         1	482	Ash, green	9		Good	1
486         Dak, Iur         11         Good         11           487         Cherry, Black.         7         Fair         1           489         Aby, green         12         Food         1           480         Bay, green         12         Food         1           481         Aby, green         12         Food         1           483         Cherry, Black         7         Fair         1           484         Appen         14         Good         1           487         Cherry, Black         4         Good         1           488         Appen         13         Good         1           488         Appen         12         Fair         1           502         Appen         12         Fair         1           503         Appen         12         Fair         1           504         Abgen         13.5         Good         1           505         Appen         14.5         Fair         1           506         Appen         14.5         Fair         1           507         Ouk, red         7         Food         1			5.5			1
488         Adv green         1         Good         1           490         Adv green         1         Good         1           491         Adv green         12         Pour         1           492         Advs, preen         12         Pour         1           494         Ohlerny, black         7         Fair         1           495         Asyson         11         Good         1           495         Asyson         13         Good         1           496         Aberny, black         9         Good         1           501         Aberny, black         9         Good         1           502         Abern         12.5         Good         1           503         Abern         12.5         Good         1           504         Abern         12.5         Good         1           505         Abern         12.5         Fair         1           506         Apen         12.5         Fair         1           507         Abern         13.5         Good         1           508         Abern         14.5         Good         1 <tr< td=""><td></td><td></td><td></td><td></td><td>1 1</td><td>1</td></tr<>					1 1	1
4490         Box(eller)         5         Good         1           490         Box(eller)         5         Good         1           491         Ahr, green         11         Good         1           492         Appen         12         Poor         1           492         Cherry, black         7         Fulr         1           492         Appen         14         Good         1           496         Appen         14         Good         1           496         Appen         13         Good         1           500         Appen         13         Good         1           501         Cherry, black         15.5         Good         1           503         Ahr, green         13.5         Good         1           504         Appen         13.5         Good         1           505         Appen         13         Fair         1           513         Abr, green         15.5         Good         1           514         Abr, green         15.6         Good         1           513         Bar, green         15.6         Good         1						1
401         Aby green         11         Good         1           492         Appen         12         Port         1           493         Cherry, black         7         Fair         1           494         Cherry, black         4         Good         1           495         Appen         14         Good         1           496         Appen         13         Good         1           496         Appen         13         Good         1           500         Appen         13.5         Good         1           501         Cherry, black         15.5         Good         1           503         Appen         13.5         Good         1           504         Appen         13.5         Good         1           505         Appen         13.5         Good         1           511         Abgreen         14.5         Fair         1           512         Baswood         3.2         Fair         1           513         Abgreen         1.5         Good         1           514         Abgreen         1.5         Good         1	489	Ash, green	7		Fair	1
449         Qik Red         7         Fair         1           494         Qik Red         55         Good         1           495         Arpen         14         Good         1           496         Arpen         13         Good         1           497         Cherry, black         9         Good         1           490         Cherry, black         9         Good         1           130         Ahpren         15.5         Good         1           130         Ahpren         12.5         Fair         1           130         Ahpren         14.5         Good         1           150         Appen         13.5         Good         1           151         Ash, green         14.5         Good         1           151         Ash, green         14.5         Good         1           151         Ash, green         5.5         Good         1           151         Ash, green         5.5         Good         1           151         Ash, green         5.5         Good         1           152         Ash, green         5.5         Good         1						1
449         Aspen         11         Good         11           495         Aspen         14         Good         11           497         Cherry, black         4         Good         11           498         Aspen         13         Good         11           499         Cherry, black         5         Good         11           500         Aspen         12         Fair         11           501         Aspen         12         Fair         11           502         Aspen         13.5         Good         11           503         Aspen         14.5         Fair         11           504         Appen         14.5         Good         11           507         Aspen         14.5         Good         11           510         Aspen         14.5         Good         11           511         Ash, green         15.5         Good         11           513         Baswood         32         Fair         11           513         Baswood         32         Fair         11           513         Ash, green         5.5         Good         11		- · · · · · · · · · · · · · · · · · · ·				1
496         Aspen         14         Good         1           497         Cherry, black         9         Good         1           500         Aspen         9.5         Good         1           501         Aspen         9.5         Good         1           502         Aspen         12         Fair         1           503         Aspen         13.5         Good         1           506         Aspen         13.5         Good         1           507         Oak, red         7         Good         1           508         Aspen         14.5         Fair         1           510         Aspen         14.5         Good         1           512         Basswood         32         Fair         4           513         Ash, green         15.5         Good         1           514         Ach, green         15.5         Good         1           515         Ash, green         15.5         Good         1           514         Ach, green         18.6         Good         1           512         Ash, green         18.6         Good         1	494	Oak, red	5.5		Good	1
498         Appen         13         Good         1           900         Appen         9.5         Good         1           901         Appen         12         Fair         1           903         Aah, green         5         Good         1           903         Aah, green         5         Good         1           904         Cherry, black         15.5         Good         1           907         Oak, red         7         Good         1           907         Oak, red         7         Good         1           911         Aby, green         13         Fair         1           912         Aby, green         14.5         Good         1           913         Baswood         14.5         Good         1           914         Ady, green         15         Good         1           915         Ady, green         15         Good         1           913         Baswood         14.5         Good         1           914         Ady, green         15         Good         1           912         Ady, green         15         Good         1 <td></td> <td></td> <td></td> <td></td> <td></td> <td>1</td>						1
499         Cherry, black         9         Good         1           901         Aboen         12         Fair         1           902         Aboen         12         Fair         1           903         An, green         5         Good         1           904         Cherry, black         15.5         Good         1           905         Aspen         12.5         Fair         1           905         Aspen         13.5         Good         1           905         Aspen         13.5         Good         1           904         Aspen         14.5         Fair         1           909         Aspen         13.5         Good         1           911         Ash, green         15.5         Good         1           913         Basswood         32.5         Good         1           914         Ash, green         4.5         Good         1           915         Ash, green         5.5         Good         1           914         Ash, green         18         Good         1           912         Ash, green         18         Good         1 </td <td></td> <td></td> <td></td> <td></td> <td></td> <td>1</td>						1
Sol         Cherry, black         S.S.         Good         1           SO2         Ach, green         S         Good         1           SO3         Ach, green         S         Good         1           SO3         Appen         13.5         Good         1           SO3         Appen         13.6         Fair         1           SO3         Appen         13.5         Good         1           SO3         Appen         12.5         Good         1           SO3         Appren         12.5         Good         1           SO3         Appren         13.5         Good         1	499	Cherry, black	9		Good	1
502         Ach. green         12         Fair         1           503         Ach. green         13.5         Good         1           504         Cherry, black         12.5         Fair         1           507         Oak, red         7         Good         1           508         Aspen         14.5         Fair         1           509         Aspen         14.5         Fair         1           509         Aspen         14.5         Good         1           511         Ash. green         7         Good         1           512         Basswood         32         Fair         4           513         Ash. green         12         Good         1           514         Ash. green         9         Good         1           521         Ash. green         8         Good         1           522         Ash. green         18         Good         1           521         Ash. green         18         Good         1           522         Ash. green         18         Good         1           523         Ash. green         12.5         Good         1 <td>501</td> <td></td> <td></td> <td></td> <td>   </td> <td>1</td>	501					1
504         Cherry, black         15.5         Good         1           505         Appen         12.5         Fair         1           506         Appen         12.5         Fair         1           507         Appen         13.5         Good         1           508         Appen         14.5         Fair         1           508         Appen         13         Fair         1           508         Appen         16         Good         1           510         Abpgreen         7         Good         1           512         Basswood         32.         Fair         4           513         Adv.green         15.5         Good         1           515         Adv.green         7.5         Foord         1           520         Adv.green         7.5         Foord         1           521         Adv.green         18         Good         1           522         Adv.green         18         Good         1           523         Adv.green         12.5         Foord         1           524         Adv.green         12.5         Good         1 <td>502</td> <td>Aspen</td> <td>12</td> <td></td> <td>Fair</td> <td>1</td>	502	Aspen	12		Fair	1
506         Aspen         12.5         Fair         1           507         Oak, red         7         Good         1           508         Aspen         14.5         Fair         1           109         Aspen         16         Good         1           510         Aspen         16         Good         1           511         Ash, green         15.5         Good         1           513         Ash, green         4.5         Good         1           514         Ash, green         5.5         Good         1           516         Ash, green         5.5         Good         1           520         Ash, green         6.5         Good         1           521         Ash, green         8         Good         1           522         Ash, green         18         Good         1           523         Ash, green         19         Good         1           524         Ash, green         19         Good         1           525         Bozelder         12.5         Fair         1           526         Mah, green         19.5         Good         1	504	Cherry, black	15.5		Good	1
507         Oak, red         7         Good         1           508         Appen         145         Fair         1           510         Appen         16         Good         1           511         Ah, green         7         Good         1           512         Basswood         32         Fair         4           513         Bah, green         1.5         Good         1           514         Ah, green         5.5         Good         1           515         Ah, green         5.5         Good         1           520         Ab, green         5.5         Good         1           521         Ah, green         75         Poor         1           522         Ah, green         8         Good         1           521         Ah, green         18         Good         1           522         Ah, green         18         Good         1           523         Boatder         12.5         Fair         1           524         Ah, green         12.5         Good         1           523         Boatgreen         15.5         Good         1		-				1
509         Aspen         13         Fair         1           510         Asp, green         7         Good         1           511         Ash, green         7         Good         1           512         Basswood         32         Fair         4           513         Ash, green         1.5         Good         1           514         Ash, green         7.5         Good         1           517         Ash, green         7.5         Good         1           510         Ash, green         7.5         Good         1           521         Ash, green         18         Good         1           523         Basgreen         19         Good         1           524         Ash, green         125         Good         1           525         Good         1         5         Good         1           526         Ash, green         125         Good         1         1           527         Basgreen         125         Good         1         1           530         Ash, green         125         Good         1         1         3           531 </td <td>507</td> <td>Oak, red</td> <td>7</td> <td></td> <td>Good</td> <td>1</td>	507	Oak, red	7		Good	1
S11         Ash, green         7         Good         1           S12         Basswood         32         Fair         4           S13         Basswood         14.5         Good         1           S14         Ash, green         11.5         Good         1           S15         Ash, green         12         Good         2           S17         Ash, green         7.5         Poor         1           S19         Ash, green         9         Good         1           S20         Ash, green         8         Good         1           S21         Ash, green         18         Good         1           S22         Ash, green         18         Good         1           S23         Ash, green         12.5         Good         1           S24         Ash, green         12.5         Good         1           S27         Boxelder         8         Poor         1           S23         Ash, green         4.5         Fair         1           S24         Ash, green         4.5         Good         1           S33         Ash, green         5.5         Good	509	Aspen	13		Fair	1
512         Basswood         32         Fair         4           513         Basswood         14.5         Good         1           514         Ash, green         1.5         Good         1           515         Ash, green         5.5         Good         1           516         Ash, green         7.5         Poor         1           518         Ash, green         8         Good         1           522         Ash, green         8         Good         1           523         Ash, green         19         Good         1           524         Walnut         5.5         Good         1           525         Walnut         5.5         Good         1           526         Walnut         5.5         Good         1           530         Ash, green         4.5         Fair         1           532         Ash, green         4.5         Good         1           533         Ash, green         5         Good         1           534         Ash, green         12.5         Good         1           535         Ash, green         12.5         Good         1<						1
514         Ash green         11.5         Good         1           515         Ash green         4.5         Good         2           516         Ash green         5.5         Good         2           518         Ash green         9         Good         1           520         Ash green         8         Good         1           521         Ash green         8         Good         1           522         Ash green         18         Good         1           521         Ash green         18         Good         1           522         Ash green         12.5         Fair         1           523         Ash green         12.5         Fair         1           526         Wainut         5.5         Good         1           527         Boxelder         8         Poor         1           532         Ash green         4.5         Good         1           533         Ash green         5.5         Good         1           533         Ash green         14         Good         1           533         Ash green         15         Good         1	512	Basswood	32		Fair	4
516         Ash, green         5.5         Good         2           517         Ash, green         9         Good         1           518         Ash, green         9         Good         1           520         Ash, green         8         Good         1           521         Ash, green         8         Good         1           522         Ash, green         19         Good         1           523         Ash, green         19         Good         1           526         Walnut         5.5         Good         1           527         Boxelder         8         Poor         1           528         Ash, green         1.4         Good         1           530         Ash, green         4.5         Fair         1           532         Ash, green         9.5         Good         1           533         Ash, green         14         Good         1           534         Ash, green         15         Good         1           535         Good         1         5         Good         1           536         Ash, green         1.5         Good	514	Ash, green	11.5		Good	1
S17         Ash, green         S.5         Good         1           S18         Ash, green         7.5         Poor         1           S19         Ash, green         6.5         Good         1           S21         Ash, green         8         Good         1           S22         Ash, green         18         Good         1           S24         Ash, green         18         Good         1           S24         Ash, green         14         Good         1           S26         Walnut         5.5         Good         1           S28         May, green         12.5         Fair         1           S30         Ash, green         8         Good         1           S32         Ash, green         9.5         Good         1           S33         Ash, green         9.5         Good         1           S34         Ash, green         5.5         Good         1           S35         Ash, green         10         Good         1           S44         Ash, green         12.5         Good         1           S43         Ash, green         12.5         Good						1 2
519         Ash, green         9         Good         1           520         Ash, green         8         Good         1           521         Ash, green         8         Good         1           522         Ash, green         18         Good         1           523         Ash, green         19         Good         1           524         May, green         19         Good         1           525         Walnut         5.5         Good         1           526         Walnut         5.5         Good         1           528         Ash, green         17.5         Good         1           530         Ash, green         9.5         Good         1           533         Ash, green         9.5         Good         1           534         Ash, green         5.5         Good         1           537         Ash, green         5.5         Good         1           538         Ash, green         7.5         Good         1           541         Ash, green         10.5         Good         1           543         Ash, green         10.5         Good		Ash, green				1
S21         Ash, green         S         Good         1           S22         Ash, green         18         Good         1           S24         Ash, green         19         Good         1           S25         Boxelder         12.5         Fair         1           S26         Wainut         5.5         Good         1           S27         Boxelder         8         Poor         1           S28         Ash, green         17.5         Good         1           S30         Ash, green         4.5         Fair         1           S31         Ash, green         9.5         Good         1           S33         Ash, green         9.5         Good         1           S34         Ash, green         19         Good         1           S40         Elm, American         9         Good         1           S41         Ash, green         12.5         Good         1           S44         Ash, green         12.5         Good         1           S44         Ash, green         12.5         Good         1           S44         Ash, green         12.5         Good	519	Ash, green	9		Good	1
523         Ash green         18         Good         1           524         Ash green         19         Good         1           525         Boxeller         12.5         Fair         1           526         Walnut         5.5         Good         1           527         Boxeller         8         Poor         1           528         Ash, green         1.5         Good         1           530         Ash, green         9.5         Good         1           531         Ash, green         9.5         Good         1           533         Ash, green         9.5         Good         1           536         Ash, green         14         Good         1           537         Ash, green         19         Good         1           540         Ash, green         12.5         Good         1           541         Ash, green         12.5         Good         1           544         Ash, green         10.5         Good         1           544         Ash, green         10.5         Good         1           544         Ash, green         10.5         Good						1
S24         Ash green         19         Good         1           S25         Boxelder         12.5         Fair         1           S26         Walnut         5.5         Good         1           S27         Boxelder         8         Poor         1           S28         Ash green         14.         Good         1           S29         Ash green         8         Good         1           S31         Ash green         9.5         Good         1           S33         Ash green         9.5         Good         1           S34         Ash green         14         Good         1           S35         Ash green         19         Good         1           S36         Ash green         19         Good         1           S37         Ash green         12.5         Good         1           S44         Ash green         12.5         Good         1 <td></td> <td></td> <td></td> <td></td> <td>ł – – ł</td> <td>1</td>					ł – – ł	1
526         Walnut         5.5         Good         1           527         Boxelder         8         Poor         1           528         Ash, green         17.5         Good         1           530         Ash, green         9.5         Good         1           531         Ash, green         9.5         Good         1           533         Ash, green         9.5         Good         1           534         Ash, green         9.5         Good         1           535         Ash, green         5.6         Good         1           537         Ash, green         5.5         Good         1           538         Ash, green         7.5         Good         1           541         Ash, green         7.5         Good         1           542         Ash, green         12.5         Good         1           544         Ash, green         7         Fair         1           544         Ash, green         7         Fair         1           550         Aspen         8.5         Good         1           544         Aspen         8.5         Good         1	524	Ash, green	19		Good	1
528         Ash, green         14         Good         1           529         Ash, green         17.5         Good         1           530         Ash, green         4.5         Fair         1           531         Ash, green         9.5         Good         1           532         Ash, green         9.5         Good         1           535         Ash, green         6         Good         1           536         Ash, green         5.5         Good         1           537         Ash, green         19         Good         1           538         Ash, green         19         Good         1           539         Ash, green         12.5         Good         1           541         Ash, green         12.5         Good         1           543         Ash, green         10.5         Good         1           544         Ash, green         10.5         Good         1           544         Ash, green         10.5         Good         1           544         Ash, green         10.5         Good         1           551         Aspen         8.5         Good </td <td></td> <td></td> <td></td> <td></td> <td></td> <td>1</td>						1
529         Ash, green         17.5         Good         1           531         Ash, green         8.         Good         1           532         Ash, green         9.5         Good         1           532         Ash, green         9.5         Good         1           534         Ash, green         6         Good         1           536         Ash, green         5         Good         1           537         Ash, green         5.5         Good         1           539         Ash, green         7.5         Good         1           540         Elm, American         9         Good         1           541         Ash, green         12.5         Good         1           542         Ash, green         10.5         Good         1           544         Ash, green         10.5         Good         1           547         Ash, green         7         Fair         1           548         Ash, green         7         Fair         1           551         Aspen         8.5         Good         1           552         Aspen         8.5         Good		+			+ +	1
S31         Ash, green         4.5         Fair         1           S32         Ash, green         9.5         Good         1           S34         Ash, green         9.5         Good         1           S35         Ash, green         6         Good         1           S36         Ash, green         5         Good         1           S37         Ash, green         5.5         Good         1           S38         Ash, green         5.5         Good         1           S39         Ash, green         7.5         Good         1           S41         Ash, green         7.5         Good         1           S41         Ash, green         12.5         Good         1           S44         Ash, green         10.5         Good         1           S44         Ash, green         7         Fair         1           S44         Ash, green         7.5         Faod         1           S51         Aspen         6.5         Fair         1           S52         Aspen         8.5         Good         1           S53         Aspen         8.5         Good	529	Ash, green	17.5		Good	1
533         Ash, green         4.5         Good         1           534         Ash, green         9.5         Good         1           535         Ash, green         6         Good         1           537         Ash, green         5         Good         1           538         Ash, green         19         Good         1           537         Ash, green         19         Good         1           540         Elm, American         9         Good         1           541         Ash, green         7.5         Good         1           542         Ash, green         7.5         Good         1           544         Ash, green         10.5         Good         1           546         Ash, green         7         Fair         1           547         Ash, green         7         Fair         1           550         Aspen         8.5         Good         1           551         Aspen         8.5         Good         1           553         Ash, green         7         Fair         1           554         Aspen         8.5         Good         1		1				1
534         Ash, green         9.5         Good         1           535         Ash, green         6         Good         1           536         Ash, green         5         Good         1           537         Ash, green         5         Good         1           538         Ash, green         5         Good         1           539         Ash, green         75         Good         1           540         Elm, American         9         Good         1           541         Ash, green         75         Good         1           543         Ash, green         10.5         Good         1           544         Ash, green         7         Fair         1           543         Ash, green         7         Fair         1           544         Ash, green         8         Good         1           551         Aspen         8         Good         1           552         Aspen         8         Good         1           553         Aspen         8         Good         1           554         Aspen         8.5         Good         1	532	+				1
S36         Ash, green         14         Good         1           S37         Ash, green         5         Good         1           S38         Ash, green         19         Good         1           S40         Elm, Anerican         9         Good         1           S41         Ash, green         12.5         Good         1           S42         Ash, green         12.5         Good         1           S44         Ash, green         12.5         Good         1           S44         Ash, green         10.5         Good         1           S44         Ash, green         10.5         Good         1           S44         Ash, green         10.5         Good         1           S47         Ash, green         10.5         Good         1           S50         Aspen         6.5         Fair         1           S51         Aspen         8.5         Good         1           S52         Aspen         8.5         Good         1           S53         Aspen         8.5         Good         1           S54         Aspen         8.5         Good         1<	534		9.5		Good	1
S37         Ash, green         5         Good         1           S38         Ash, green         19         Good         1           S40         Elm, American         9         Good         1           S41         Ash, green         7.5         Good         1           S42         Ash, green         6         Very Poor         1           S43         Ash, green         12.5         Good         1           S44         Ash, green         10.5         Good         1           S44         Ash, green         10.5         Good         1           S44         Ash, green         7         Fair         1           S48         Ash, green         7         Fair         1           S49         Ash, green         8         Good         1           S51         Aspen         8         Good         1           S52         Aspen         8.5         Good         1           S53         Ash green         11         Good         1           S54         Aspen         8.5         Good         1           S55         Aspen         9         Fair         1		-				1
S39         Ash, green         19         Good         11           S40         Elm, American         9         Good         1           S41         Ash, green         7.5         Good         1           S42         Ash, green         5         Good         1           S44         Ash, green         12.5         Good         1           S44         Ash, green         10.5         Good         1           S47         Ash, green         10.5         Good         1           S48         Ash, green         7         Fair         1           S50         Aspen         6.5         Fair         1           S51         Aspen         8         Good         1           S52         Aspen         8.5         Good         1           S53         Ash, green         11         Good         1           S55         Aspen         8         Good         1           S56         Ash, green         7.5         Poor         1           S61         Aspen         9         Fair         1           S62         Aspen         8.5         Good         1		Ash, green	5			1
S41         Ash, green         7.5         Good         1           S43         Ash, green         5         Good         1           S44         Ash, green         12.5         Good         1           S44         Ash, green         10.5         Good         1           S44         Ash, green         10.5         Good         1           S47         Ash, green         7         Fair         1           S49         Ash, green         7         Fair         1           S50         Aspen         6.5         Fair         1           S51         Aspen         8.5         Good         1           S52         Aspen         8.5         Good         1           S53         Ash, green         8.5         Good         1           S54         Aspen         8.5         Good         1           S55         Aspen         8         Good         1           S56         Aspen         9         Fair         1           S60         Aspen         9         Fair         1           S61         Aspen         10.5         Foor         1	539	Ash, green	19		Good	1
542         Ash, green         12.5         Good         1           544         Ash, green         6         Very Poor         1           545         Ash, green         10.5         Good         1           546         Ash, green         10.5         Good         1           547         Ash, green         10.5         Good         1           548         Ash, green         7         Fair         1           549         Ash, green         7         Fair         1           550         Aspen         8         Good         1           551         Aspen         8         Good         1           552         Aspen         8.5         Good         1           555         Aspen         8         Good         1           557         Aspen         9         Good         1           557         Aspen         9         Good         1           557         Aspen         9         Fair         1           560         Ash, green         1.5         Good         1           561         Aspen         1.5         Good         1						1
544         Ash, green         12.5         Good         11           546         Ash, green         10.5         Good         11           547         Ash, green         7         Fair         11           549         Ash, green         7         Fair         12           550         Aspen         6.5         Fair         12           551         Aspen         8.5         Good         11           552         Aspen         8.5         Good         11           553         Ash, green         8         Good         11           554         Aspen         8.5         Good         11           555         Aspen         9         Good         11           556         Ash, green         11         Good         11           557         Aspen         9         Good         11           558         Aspen         9         Fair         11           561         Aspen         7.5         Poor         11           562         Aspen         10.5         Poor         11           563         Ash, green         15.5         Good         11	542	Ash, green	12.5		Good	1
546         Ash, green         10.5         Good         1           547         Ash, green         7         Fair         1           548         Ash, green         7         Fair         1           550         Aspen         6.5         Fair         1           551         Aspen         8         Good         1           552         Aspen         8.5         Good         1           553         Ash, green         8         Good         1           555         Aspen         8.5         Good         1           557         Aspen         8         Good         1           557         Aspen         8         Good         1           558         Aspen         7         Good         1           560         Aspen         7.5         Poor         1           561         Aspen         7.5         Poor         1           562         Ash, green         5.5         Good         1           564         Aspen         10.5         Poor         1           566         Ash, green         15.5         Good         1           570<	544		6		1 1	1
547         Ash, green         10.5         Good         1           549         Ash, green         7         Fair         1           550         Aspen         6.5         Fair         1           551         Aspen         8         Good         1           551         Aspen         8.5         Good         1           553         Ash, green         8         Good         1           553         Ash, green         8         Good         1           555         Aspen         8         Good         1           557         Aspen         9         Good         1           557         Aspen         9         Good         1           556         Aspen         9         Fair         1           561         Aspen         7.5         Poor         1           562         Aspen         10.5         Poor         1           563         Ash, green         5.5         Good         1           564         Aspen         10.5         Poor         1           565         Ash, green         15.5         Good         1           566 </td <td></td> <td></td> <td></td> <td></td> <td></td> <td>1</td>						1
549         Ash, green         7         Fair         2           550         Aspen         6.5         Fair         1           551         Aspen         8         Good         1           552         Aspen         8.5         Good         1           553         Ash, green         8         Good         1           554         Aspen         8.5         Good         1           555         Aspen         8         Good         1           555         Aspen         9         Good         1           557         Aspen         9         Good         1           556         Ash, green         11         Good         1           560         Aspen         7.5         Poor         1           561         Aspen         10.5         Poor         1           563         Ash, green         5.5         Good         1           564         Aspen         10.5         Poor         1           565         Ash, green         15.5         Good         1           566         Ash, green         15.5         Good         1           57		Ash, green			1 1	1
551         Aspen         8         Good         1           552         Aspen         8.5         Good         1           553         Ash, green         8         Good         1           554         Aspen         8.5         Good         1           555         Aspen         8         Good         1           557         Aspen         9         Good         1           556         Ash, green         11         Good         1           557         Aspen         9         Good         1           558         Aspen         7         Good         1           556         Aspen         7.5         Poor         1           561         Aspen         5.5         Good         1           564         Aspen         10.5         Poor         1           565         Ash, green         15         Good         1           566         Ash, green         15         Good         1           570         Boxelder         4         Fair         1           571         Cherry, black         8.5         Good         1           572	549	Ash, green	7		Fair	2
553         Ash, green         8         Good         1           554         Aspen         8.5         Good         1           555         Ash, green         11         Good         1           556         Ash, green         11         Good         1           557         Aspen         9         Good         1           558         Aspen         9         Fair         1           560         Aspen         9         Fair         1           561         Aspen         7.5         Poor         1           562         Aspen         8.5         Poor         1           563         Ash, green         5.5         Good         1           564         Aspen         10.5         Poor         1           565         Ash, green         15.5         Good         1           566         Ash, green         12.5         Good         1           567         Oak, white         12.5         Good         1           570         Boxelder         4         Fair         1           571         Cherry, black         8.5         Good         1 <t< td=""><td></td><td></td><td></td><td></td><td></td><td>1</td></t<>						1
SS4         Aspen         8.5         Good         1           S55         Aspen         8         Good         1           S57         Aspen         9         Good         1           S57         Aspen         9         Good         1           S58         Aspen         8         Good         1           S59         Elm, American         7         Good         1           S60         Aspen         9         Fair         1           S61         Aspen         8.5         Poor         1           S63         Ash, green         5.5         Good         1           S64         Aspen         10.5         Poor         1           S65         Ash, green         15.5         Good         1           S66         Ash, green         15.5         Good         1           S67         Oak, white         12.5         Good         1           S68         Oak, white         12.5         Good         1           S70         Dak, white         16.5         Good         1           S71         Cherry, black         8.5         Good         1						1
SS6         Ash, green         11         Good         11           S57         Aspen         9         Good         1           S58         Aspen         8         Good         1           S59         Elm, American         7         Good         1           S60         Aspen         9         Fair         1           S61         Aspen         7.5         Poor         1           S63         Ash, green         5         Good         1           S64         Aspen         10.5         Poor         1           S65         Ash, green         15.5         Good         1           S66         Ash, green         15.5         Good         1           S66         Ash, green         15.5         Good         1           S66         Ash, green         15.5         Good         1           S68         Oak, white         12.5         Good         1           S70         Boxelder         4         Fair         1           S71         Cherry, black         8.5         Good         1           S73         Ash, green         10.5         Good         1	554	Aspen	8.5		Good	1
S57         Aspen         9         Good         1           S58         Aspen         8         Good         1           S50         Elm, American         7         Good         1           S60         Aspen         9         Fair         1           S61         Aspen         7.5         Poor         1           S62         Aspen         8.5         Poor         1           S63         Ash, green         5         Good         1           S64         Aspen         10.5         Poor         1           S65         Ash, green         15         Good         1           S66         Ash, green         15.5         Good         1           S67         Oak, red         15.5         Good         1           S67         Oak, white         16.5         Good         1           S70         Dak, white         16.5         Good         1           S71         Cherry, black         8.5         Good         1           S72         Oak, white         8.5         Good         1           S75         Boxelder         5.5         Fair         1 <td>556</td> <td>Ash, green</td> <td>11</td> <td></td> <td>Good</td> <td>1</td>	556	Ash, green	11		Good	1
559         Elm, American         7         Good         1           560         Aspen         9         Fair         1           561         Aspen         7.5         Poor         1           563         Ash, green         5         Good         1           563         Ash, green         5.5         Good         1           564         Aspen         10.5         Poor         1           565         Ash, green         15.5         Good         1           566         Ash, green         15.5         Good         1           567         Oak, red         15.5         Good         1           568         Oak, white         12.5         Good         1           570         Dak, white         16         Good         1           570         Boxelder         4         Fair         1           571         Cherry, black         8.5         Good         1           572         Oak, white         16.5         Good         1           573         Ash, green         10.5         Good         1           577         Ash, green         5.5         Good						1
561         Aspen         7.5         Poor         1           562         Aspen         8.5         Poor         1           563         Ash, green         5         Good         1           564         Aspen         10.5         Poor         1           565         Ash, green         15         Good         1           566         Ash, green         15         Good         1           567         Oak, red         15.5         Good         1           568         Oak, white         12.5         Good         1           569         Oak, white         6.5         Good         1           570         Boxelder         4         Fair         1           571         Cherry, black         8.5         Good         1           573         Ash, green         10.5         Good         1           574         Oak, white         8.5         Good         1           575         Boxelder         5.5         Good         1           577         Ash, green         9         Good         1           578         Dak, white         19.5         Good         1<	559	Elm, American	7		Good	1
563         Ash, green         5         Good         1           564         Aspen         10.5         Poor         1           565         Ash, green         5.5         Good         1           566         Ash, green         15.5         Good         1           567         Oak, red         15.5         Good         1           568         Oak, white         12.5         Good         1           568         Oak, white         6.5         Good         1           570         Boxelder         4         Fair         1           571         Cherry, black         8.5         Good         1           572         Oak, white         16         Good         1           573         Ash, green         10.5         Good         1           575         Boxelder         8.5         Good         1           575         Boxelder         8.5         Good         1           576         Boxelder         8.5         Good         1           577         Ash, green         23.5         Good         1           580         Ash, green         10.5         Good	561	Aspen	7.5		Poor	1
564         Aspen         10.5         Poor         1           565         Ash, green         5.5         Good         1           566         Ash, green         15         Good         1           567         Oak, red         15.5         Good         1           567         Oak, white         12.5         Good         1           567         Oak, white         6.5         Good         1           569         Oak, white         6.5         Good         1           570         Boxelder         4         Fair         1           571         Cherry, black         8.5         Good         1           572         Oak, white         16         Good         1           573         Ash, green         10.5         Good         1           574         Oak, white         19.5         Good         1           577         Boxelder         8         Fair         1           577         Ash, green         9         Good         1           578         Oak, white         19.5         Good         1           580         Ash, green         10.5         Good						1
566         Ash, green         15         Good         1           567         Oak, red         15.5         Good         1           568         Oak, white         12.5         Good         1           569         Oak, white         6.5         Good         1           570         Boxelder         4         Fair         1           571         Cherry, black         8.5         Good         1           572         Oak, white         16         Good         1           573         Ash, green         10.5         Good         1           574         Oak, white         8.5         Good         1           575         Boxelder         8         Fair         1           576         Boxelder         8         Fair         1           577         Ash, green         9         Good         1           578         Oak, white         19.5         Good         1           580         Ash, green         23.5         Good         1           581         Ash, green         19.5         Good         1           582         Ash, green         19.5         Good	564	Aspen	10.5		Poor	1
568         Oak, white         12.5         Good         1           569         Oak, white         6.5         Good         1           570         Boxelder         4         Fair         1           571         Cherry, black         8.5         Good         1           572         Oak, white         16         Good         1           573         Ash, green         10.5         Good         1           574         Oak, white         8.5         Good         1           575         Boxelder         5.5         Fair         1           576         Boxelder         8         Fair         1           577         Ash, green         9         Good         1           578         Oak, white         19.5         Good         1           579         Ash, green         23.5         Good         1           580         Ash, green         10.5         Good         1           581         Ash, green         19.5         Good         1           582         Ash, green         19.5         Good         1           584         Ash, green         19.5         Good<	566	Ash, green	15		Good	1
569         Oak, white         6.5         Good         1           570         Boxelder         4         Fair         1           571         Cherry, black         8.5         Good         1           572         Oak, white         16         Good         1           573         Ash, green         10.5         Good         1           574         Oak, white         8.5         Good         1           575         Boxelder         5.5         Fair         1           576         Boxelder         8         Fair         1           577         Ash, green         9         Good         1           578         Oak, white         19.5         Good         1           579         Ash, green         5.5         Good         1           580         Ash, green         10.5         Good         1           581         Ash, green         19.5         Good         1           582         Ash, green         19.5         Good         1           584         Ash, green         19         Good         1           587         Ash, green         7         Fair	568	Oak, white	12.5			1
571         Cherry, black         8.5         Good         1           572         Oak, white         16         Good         1           573         Ash, green         10.5         Good         1           574         Oak, white         8.5         Good         1           575         Boxelder         5.5         Fair         1           576         Boxelder         8         Fair         1           577         Ash, green         9         Good         1           578         Oak, white         19.5         Good         1           579         Ash, green         5.5         Good         1           580         Ash, green         10.5         Good         1           580         Ash, green         10.5         Good         1           581         Ash, green         19.5         Good         1           582         Ash, green         19.5         Good         1           584         Ash, green         19         Good         1           585         Ash, green         14         Good         1           586         Ash, green         7         Fair <td></td> <td></td> <td></td> <td></td> <td>+ +</td> <td>1</td>					+ +	1
573         Ash, green         10.5         Good         1           574         Oak, white         8.5         Good         1           575         Boxelder         5.5         Fair         1           576         Boxelder         8         Fair         1           577         Ash, green         9         Good         1           578         Oak, white         19.5         Good         1           579         Ash, green         5.5         Good         1           580         Ash, green         23.5         Good         1           581         Ash, green         10.5         Good         1           582         Ash, green         19.5         Good         1           583         Ash, green         19.5         Good         1           584         Ash, green         19         Good         1           586         Ash, green         19         Good         1           587         Ash, green         7         Good         1           588         Ash, green         7         Good         1           589         Boxelder         5         Poor	571	Cherry, black	8.5		Good	1
575         Boxelder         5.5         Fair         1           576         Boxelder         8         Fair         1           577         Ash, green         9         Good         1           578         Oak, white         19.5         Good         1           579         Ash, green         5.5         Good         1           580         Ash, green         23.5         Good         1           581         Ash, green         10.5         Good         1           582         Ash, green         19.5         Good         1           583         Ash, green         19.5         Good         1           584         Ash, green         19         Good         1           585         Ash, green         18         Good         1           586         Ash, green         19         Good         1           587         Ash, green         14         Good         1           588         Ash, green         7         Fair         1           590         Ash, green         7         Fair         1           591         Boxelder         5         Good	573	Ash, green	10.5		Good	1
576         Boxelder         8         Fair         1           577         Ash, green         9         Good         1           578         Oak, white         19.5         Good         1           579         Ash, green         5.5         Good         1           580         Ash, green         23.5         Good         1           581         Ash, green         10.5         Good         1           582         Ash, green         19.5         Good         1           583         Ash, green         19.5         Good         1           584         Ash, green         19         Good         1           585         Ash, green         19         Good         1           586         Ash, green         14         Good         1           587         Ash, green         7         Fair         1           588         Ash, green         7         Fair         1           590         Ash, green         7         Fair         1           591         Boxelder         5         Good         1           592         Boxelder         9         Good <td< td=""><td></td><td></td><td></td><td></td><td>+ +</td><td>1</td></td<>					+ +	1
578         Oak, white         19.5         Good         1           579         Ash, green         5.5         Good         1           580         Ash, green         23.5         Good         1           580         Ash, green         10.5         Good         1           581         Ash, green         6         Good         1           582         Ash, green         6         Good         1           583         Ash, green         19.5         Good         1           584         Ash, green         19         Good         1           585         Ash, green         19         Good         1           586         Ash, green         14         Good         1           587         Ash, green         7         Good         1           588         Ash, green         7         Good         1           590         Ash, green         7         Fair         1           591         Boxelder         5         Poor         1           592         Boxelder         9         Good         1           593         Ash, green         9.5         Good <t< td=""><td>576</td><td>Boxelder</td><td>8</td><td></td><td>Fair</td><td>1</td></t<>	576	Boxelder	8		Fair	1
580         Ash, green         23.5         Good         1           581         Ash, green         10.5         Good         1           582         Ash, green         6         Good         1           583         Ash, green         19.5         Good         1           584         Ash, green         4.5         Fair         1           585         Ash, green         18         Good         1           586         Ash, green         19         Good         1           587         Ash, green         14         Good         1           588         Ash, green         7         Fair         1           589         Boxelder         6.5         Good         1           590         Ash, green         7         Fair         1           591         Boxelder         5.5         Good         1           592         Boxelder         5.5         Good         1           593         Ash, green         9.5         Good         1           594         Ash, green         9.5         Good         1           595         Boxelder         9         Poor         <	578	Oak, white	19.5		Good	1
581         Ash, green         10.5         Good         1           582         Ash, green         6         Good         1           583         Ash, green         19.5         Good         1           584         Ash, green         19.5         Good         1           585         Ash, green         18         Good         1           586         Ash, green         19         Good         1           587         Ash, green         14         Good         1           588         Ash, green         7         Good         1           589         Boxelder         6.5         Good         1           589         Boxelder         5.5         Good         1           590         Ash, green         7         Fair         1           591         Boxelder         5.5         Good         1           592         Boxelder         9         Good         1           593         Ash, green         9.5         Good         1           594         Ash, green         9         Good         1           595         Boxelder         9         Poor         1 </td <td></td> <td></td> <td></td> <td></td> <td></td> <td>1</td>						1
583         Ash, green         19.5         Good         1           584         Ash, green         4.5         Fair         1           585         Ash, green         18         Good         1           586         Ash, green         19         Good         1           587         Ash, green         19         Good         1           587         Ash, green         27         Good         2           588         Ash, green         14         Good         1           589         Boxelder         6.5         Good         1           590         Ash, green         7         Fair         1           591         Boxelder         5         Poor         1           592         Boxelder         5.5         Good         1           593         Ash, green         20.5         Good         1           594         Ash, green         9.5         Good         1           595         Boxelder         7         Good         1           596         Boxelder         9         Poor         1           597         Boxelder         9         Poor         1	581	Ash, green	10.5		Good	1
585         Ash, green         18         Good         1           586         Ash, green         19         Good         1           587         Ash, green         27         Good         2           588         Ash, green         14         Good         1           589         Boxelder         6.5         Good         1           589         Boxelder         6.5         Good         1           590         Ash, green         7         Fair         1           591         Boxelder         5         Poor         1           592         Boxelder         5.5         Good         1           593         Ash, green         20.5         Good         1           594         Ash, green         9.5         Good         1           595         Boxelder         9         Good         1           596         Boxelder         9         Poor         1           597         Boxelder         9         Poor         1           598         Boxelder         9         Poor         1           600         Ash, green         10.5         Good         1	583	Ash, green	19.5		Good	1
586         Ash, green         19         Good         1           587         Ash, green         27         Good         2           588         Ash, green         14         Good         1           589         Boxelder         6.5         Good         1           590         Ash, green         7         Fair         1           591         Boxelder         5         Poor         1           592         Boxelder         5.5         Good         1           593         Ash, green         20.5         Good         1           594         Ash, green         9.5         Good         1           595         Boxelder         9         Good         1           595         Boxelder         9         Good         1           596         Boxelder         9         Poor         1           597         Boxelder         9         Poor         1           598         Boxelder         9         Poor         1           599         Ash, green         10.5         Good         1           600         Ash, green         15         Good         1 </td <td>585</td> <td>Ash, green</td> <td>18</td> <td></td> <td>Good</td> <td>1</td>	585	Ash, green	18		Good	1
588         Ash, green         14         Good         1           589         Boxelder         6.5         Good         1           590         Ash, green         7         Fair         1           591         Boxelder         5         Poor         1           592         Boxelder         5.5         Good         1           593         Ash, green         20.5         Good         1           594         Ash, green         9.5         Good         1           595         Boxelder         9         Good         1           596         Boxelder         9         Good         1           597         Boxelder         9         Poor         1           596         Boxelder         9         Poor         1           597         Boxelder         9         Poor         1           598         Boxelder         9         Poor         1           599         Ash, green         10.5         Good         1           600         Ash, green         15         Good         1           601         Ash, green         15         Good         1		Ash, green				1
590         Ash, green         7         Fair         1           591         Boxelder         5         Poor         1           592         Boxelder         5.5         Good         1           593         Ash, green         20.5         Good         1           594         Ash, green         9.5         Good         1           595         Boxelder         9         Good         1           596         Boxelder         7         Good         1           597         Boxelder         7         Good         1           596         Boxelder         7         Good         1           597         Boxelder         9         Poor         1           598         Boxelder         9         Poor         1           598         Boxelder         9         Poor         1           598         Boxelder         9         Fair         1           600         Ash, green         10.5         Good         1           601         Ash, green         15         Good         1           602         Boxelder         9         Fair         1 <tr< td=""><td>588</td><td>Ash, green</td><td>14</td><td></td><td>Good</td><td>1</td></tr<>	588	Ash, green	14		Good	1
592         Boxelder         5.5         Good         1           593         Ash, green         20.5         Good         1           594         Ash, green         9.5         Good         1           595         Boxelder         9         Good         1           596         Boxelder         7         Good         1           597         Boxelder         7         Good         1           597         Boxelder         9         Poor         1           598         Boxelder         9         Poor         1           598         Boxelder         9         Poor         1           598         Boxelder         9         Poor         1           599         Ash, green         10.5         Good         1           600         Ash, green         15         Good         1           601         Ash, green         15         Good         1           602         Boxelder         9         Fair         1           603         Boxelder         9         Fair         1           604         Elm, American         6         Good         1	590	Ash, green	7		Fair	1
593         Ash, green         20.5         Good         1           594         Ash, green         9.5         Good         1           595         Boxelder         9         Good         1           596         Boxelder         7         Good         1           597         Boxelder         7         Good         1           598         Boxelder         9         Poor         1           598         Boxelder         9         Poor         1           598         Boxelder         9         Poor         1           599         Ash, green         10.5         Good         1           600         Ash, green         20         Fair         1           601         Ash, green         15         Good         1           602         Boxelder         8.5         Poor         1           603         Boxelder         9         Fair         1           604         Elm, American         6         Good         1           605         Ash, green         13.5         Good         1           606         Ash, green         21.5         Good         1						1 1
595         Boxelder         9         Good         1           596         Boxelder         7         Good         1           597         Boxelder         6.5         Very Poor         1           598         Boxelder         9         Poor         1           599         Ash, green         10.5         Good         1           600         Ash, green         20         Fair         1           601         Ash, green         15         Good         1           601         Ash, green         15         Good         1           602         Boxelder         9         Fair         1           603         Boxelder         9         Fair         1           604         Elm, American         6         Good         1           605         Ash, green         13.5         Good         1           606         Ash, green         21.5         Good         1           607         Elm, American         5         Good         1	593	Ash, green	20.5		Good	1
597         Boxelder         6.5         Very Poor         1           598         Boxelder         9         Poor         1           599         Ash, green         10.5         Good         1           600         Ash, green         20         Fair         1           601         Ash, green         15         Good         1           602         Boxelder         8.5         Poor         1           603         Boxelder         9         Fair         1           604         Elm, American         6         Good         1           605         Ash, green         13.5         Good         1           606         Ash, green         21.5         Good         1           607         Elm, American         5         Good         1	595	Boxelder	9		Good	1
598         Boxelder         9         Poor         1           599         Ash, green         10.5         Good         1           600         Ash, green         20         Fair         1           601         Ash, green         15         Good         1           602         Boxelder         8.5         Poor         1           603         Boxelder         9         Fair         1           604         Elm, American         6         Good         1           605         Ash, green         13.5         Good         1           606         Ash, green         21.5         Good         1           607         Elm, American         5         Good         1						1
600         Ash, green         20         Fair         1           601         Ash, green         15         Good         1           602         Boxelder         8.5         Poor         1           603         Boxelder         9         Fair         1           604         Elm, American         6         Good         1           605         Ash, green         13.5         Good         1           606         Ash, green         21.5         Good         1           607         Elm, American         5         Good         1	598	Boxelder	9		Poor	1
602         Boxelder         8.5         Poor         1           603         Boxelder         9         Fair         1           604         Elm, American         6         Good         1           605         Ash, green         13.5         Good         1           606         Ash, green         21.5         Good         1           607         Elm, American         5         Good         1	600	Ash, green	20		Fair	1
603         Boxelder         9         Fair         1           604         Elm, American         6         Good         1           605         Ash, green         13.5         Good         1           606         Ash, green         21.5         Good         1           607         Elm, American         5         Good         1		-			1	1
605         Ash, green         13.5         Good         1           606         Ash, green         21.5         Good         1           607         Elm, American         5         Good         1	603	Boxelder	9		Fair	1
607 Elm, American 5 Good 1	605	Ash, green	13.5		Good	1
608 Elm, American 6.5 Good 1	607	Elm, American	5		Good	1
	608		6.5		Good	1

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CONTINUED (	ON SHE	ET L1-3

ALL LISTED TREES ARE SIGNIFICANT UNLESS NOTED AS 'HP'

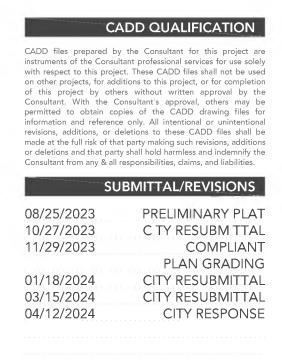
NOTE:

Tree No.	Species	DBH	Height	Tree Condition	No. of Stems	WPA Tree	High Priorit Tree
609 610	Aspen Elm, American	8		Fair Good	1 1		
611 612	Ash, green Boxelder Boxelder	13 6.5 7		Good Fair	1 1 1		HP
613 614 615	Boxelder Boxelder Boxelder	6.5 11		Fair Fair Fair	1 1 1		НР
615 616 617	Ash, green Ash, green	9		Good	1 1 1		НР
617 618 619	Elm, American Ash, green	4		Good Good	1 1 1		НР
620 621	Elm, American Elm, American	14.5		Good Good	1 1 1		HP
621 622 623	Ash, green Ash, green	7.5		Good Good	1 1 1		
623 624 625	Ash, green Ash, green	5		Good	1 1 1		НР
625 626 627	Ash, green Ash, green	11		Good	1 1 1		HP
628 629	Aspen Aspen	8		Good	1 1		
630 631	Ash, green Aspen	5 9.5		Fair Good	1		
632 633	Aspen Aspen	8.5 7.5		Fair Poor	1		
634 635	Aspen Aspen	9 8.5		Poor Good	1		
636 637	Aspen Aspen	8.5 9.5		Poor Fair	1 1		
638 639	Ash, green Boxelder	10 4		Good Good	1		HP
640 641	Ash, green Boxelder	8.5 4		Good Good	1 1		
642 643	Ash, green Ash, green	8.5 9		Fair Good	1		
644 645	Ash, green Ash, green	4		Good Good	1 1		HP
646 647	Ash, green Ash, green	4.5		Good Good	1		
648 649	Ash, green Ash, green	6		Good Good	1		
650 651	Ash, green Ash, green	5.5 9.5		Fair Good	1 1 1		
652 653	Ash, green Ash, green	5		Good Fair	1 1		
654 655	Elm, American Elm, American	4.5		Good Good	1 1 1		
656 657	Ash, green Ash, green	9 5.5		Good Good	1 1		
658 659	Ash, green Ash, green	9.5 7		Good Good	1 1		
660 661	Ash, green Ash, green	6 11.5		Good Fair	1 1		НР
662 663	Ash, green Elm, American	6 5.5		Good Good	1 1		
664 665	Ash, green Ash, green	6.5 7.5		Good Good	1 1		
666 667	Ash, green Elm, American	9 5		Good Good	1 1		
668 669	Ash, green Ash, green	5 11.5		Good Good	1 1		HP
670 671	Ash, green Ash, green	8 13.5		Good Good	1 1		HP
672 673	Ash, green Ash, green	8 11.5		Good Good	1 1		HP
674 675	Ash, green Ash, green	13 10		Good Fair	1 1		HP HP
676 677	Ash, green Ash, green	5 12		Good Good	1		HP
678 679	Elm, American Ash, green	5 12		Good Good	1 1		HP
680 681	Ash, green Ash, green	7		Good Good	1 1		HP
682 683	Elm, American Ash, green	8.5 14		Good Good	1 1		НР
684 685	Elm, American Ash, green	7		Good Fair	1 1		HP
686 687	Ash, green Ash, green	14.5 12.5		Fair Good	1		HP HP
688 689	Cherry, black Ash, green	18 16.5		Fair Good	1	WPA WPA	
690 691	Elm, American Hackberry	10 4.5		Good Good	1	WPA WPA	
692 693	Cherry, black Ash, green	10.5 15		Good Good	1	WPA WPA	
694 695	Aspen Aspen	10.5 10.5		Fair Good	1 1	WPA WPA	
696 697	Ash, green Aspen	7.5 8.5		Good Fair	1	WPA WPA	
698 699	Aspen Aspen	11 8		Good Fair	1	WPA WPA	
700 701	Aspen Oak, pin	14 32		Good Fair	1	WPA WPA	
702 703	Ash, green Ash, green	13.5 8.5		Good Good	1	WPA WPA	
704 705	Ash, green Cherry, black	6 4.5		Good Good	1	WPA WPA	
706 707	Ash, green Ash, green	8.5 8.5		Good Good	1 1	WPA WPA	
708 709	Birch, paper Maple, silver	19.5 21		Good Very Poor	2 1	WPA WPA	
710 711	Ash, green Cherry, black	6 5		Good Good	1 1	WPA WPA	
712 713	Oak, white Oak, white	26 15.5		Good Good	1 1	WPA WPA	
714 715	Oak, pin Oak, pin	22 18.5		Good Good	1 1	WPA WPA	
716 717	Ash, green Oak, white	4 23		Fair Good	1 1	WPA WPA	
718 719	Ash, green Oak, pin	5 32.5		Fair Good	1 1	WPA WPA	
720 721	Ash, green Oak, white	5.5 21		Good Good	1 1	WPA WPA	
722 723	Oak, pin Ash, green	24 8		Good Good	1 1	WPA WPA	
724 725	Aspen Aspen	11 13		Good Fair	1 1	WPA WPA	
726	Ash, green Aspen	8.5		Good Fair	1 1 1	WPA WPA	
728	Aspen Aspen	9.5 7		Fair Fair	1 1 1	WPA WPA WPA	
730 731	Ash, green Aspen	4		Good Fair	1 1 1	WPA WPA	
731 732 733	Aspen Aspen	10 9.5		Good	1 1 1	WPA WPA WPA	
734 735	Basswood Aspen	9.5 11 9.5		Good Fair	1 1 1	WPA WPA WPA	
735 736 737	Aspen Ash, green Basswood	9.5 5 10.5		Fair Fair Good	1 1 1	WPA WPA WPA	
737 738 739	Aspen Aspen	10.5 12 11		Good Good Good	1 1 1	WPA WPA WPA	
739 740 741	Aspen Aspen Aspen	11 12 9.5		Good Good Fair	1 1 1	WPA WPA WPA	
741 742 743	Aspen Boxelder Basswood	9.5 12 20.5		Fair Fair Good	1 1 1	WPA WPA WPA	
743 744 745	Basswood Aspen Aspen	20.5 13.5 12		Good Fair Poor	1 1 1	WPA WPA WPA	
746	Ash, green	12 5.5 5		Fair	1 1 1	WPA	
747 748 749	Ash, green Basswood Boxelder	6.5		Good Good Poor	1	WPA WPA	
749 750 751	Boxelder Boxelder Ash green	12.5 11.5 7		Poor Good Good	1 1 1	WPA WPA WPA	
751 752 753	Ash, green Ash, green	7 15 15 5		Good Good	1 1 1	WPA	НР
753 754 755	Ash, green Ash, green	15.5 12 7.5		Good Good	1 1 1		HP HP
755	Ash, green Ash, green	7.5 8.5		Good Good	1 1 1		
757	Ash, green	6		Good	1		





PLANNING CIVIL ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE ENVIRONMENTAL 7200 Hemlock Lane, Suite 300 Maple Grove, MN 55369 763.424.5505 www.loucksinc.com



PROFESSION	NAL SIGNATURE
I hereby certify that this plan, prepared by me or under my I am a duly Licensed Landscap of the State of Minnesota.	direct super iside and that be Architectunder the laws
Licen RE Datel C.Re Da	bok - LA 56877
QU	ALITY CONTROL
Loucks Project No. Project Lead Drawn By Checked By Review Date	021509.0B MJS DCR DCR 03/14/2024
	SHEET INDEX
C1-2 D C2-1 C2-2 TURNING I C3-1 C3-2 TO C3-3 SWPF C3-4 F C4-1 SANITARY & V	COVER SHEET ING CONDITIONS EMOLITION PLAN SITE PLAN MOVEMENT PLAN GRADING PLAN PP PLAN & NOTES LOODPLAIN PLAN VATERMAIN PLAN TORM SEWER PLAN PRELIMINARY PLAT CIVIL DETAILS



ree No.	Species	DBH	Height	Tree Condition	No. of Stems	WPA Tree	High Priority Tree
761 762	Ash, green Ash, green	9.5 8.5		Good Good	1		
763 764	Ash, green Ash, green	5.5		Good	1 1 1		
765	Ash, green	15.5		Good	1		HP
766 767	Ash, green Ash, green	4.5		Fair Good	1		HP
768 769	Ash, green Maple, sugar	12.5 7		Good Good	1	WPA	HP
770 771	Boxelder Boxelder	10.5 12		Poor Poor	1	WPA WPA	
772 773	Oak, pin Ash, green	8		Good Fair	1	WPA	
774 775	Maple, Norway Maple, Norway	20 5		Poor Good	1	WPA WPA	
776	Ash, green	9		Good	1 1 1	WPA	
778	Ash, green Ash, green	4		Fair Fair	1	WPA WPA	
779 780	Ash, green Ash, green	11 4		Fair Good	1 1	WPA WPA	
781 782	Ash, green Ash, green	9 6		Good Good	1	WPA WPA	
783 784	Ash, green Aspen	11 15.5		Good Fair	1	WPA WPA	
785 786	Basswood Aspen	11 10		Good Poor	1	WPA WPA	
787 788	Cherry, black Oak, pin	6 24		Poor Good	1 1	WPA WPA	
789	Ash, green	9.5		Fair	1 1 1	WPA	
790 791	Oak, white Ash, green	15 5		Good Good	1	WPA WPA	
792 793	Ash, green Oak, pin	4.5 29		Good Poor	1	WPA WPA	
794 795	Ash, green Ash, green	4 6.5		Fair Good	1	WPA WPA	
796 797	Oak, white Oak, white	21.5 23.5		Fair Good	1	WPA WPA	
798 799	Oak, white Oak, red	10 11.5		Fair Good	1	WPA WPA	
800 801	Ash, green Basswood	5.5 16		Good Fair	1 1 2	WPA WPA WPA	
802	Ash, green	14		Fair	1	WPA	
803 804	Oak, pin Aspen	9		Good Poor	1	WPA WPA	
805 806	Ash, green Oak, white	8.5 24		Good Good	1	WPA WPA	
807 808	Oak, white Basswood	12.5 8		Fair Good	1 1	WPA WPA	
809 810	Oak, white Oak, white	4		Good Good	1	WPA WPA	
810 811 812	Oak, red Oak, red Oak, red	4 4.5		Good	1 1 1	WPA WPA WPA	
813	Ash, green	6		Fair	1	WPA	
814 815	Aspen Oak, white	12 27		Good Good	1	WPA WPA	
816 817	Oak, white Oak, white	23		Good Good	1	WPA WPA	
818 819	Oak, white Oak, red	17 16		Good Good	1	WPA WPA	
820 821	Oak, white Oak, white	18.5 15.5		Good Good	1	WPA WPA	
822 823	Oak, white Ash, green	17 8.5		Good Good	1	WPA WPA	
824 825	Oak, white Ash, green	23 5.5		Good Good	1	WPA WPA	
826 827	Oak, pin Ash, green	20		Good Good	 1 1	WPA WPA	
828	Boxelder	5.5		Good	1	WPA	
829 830	Oak, white Ash, green	21.5 5.5		Good Good	1	WPA WPA	
831 832	Ash, green Oak, red	9 35		Poor Good	1	WPA WPA	
833 834	Cherry, black Basswood	14.5 9.5		Good Good	1	WPA WPA	
835 836	Basswood Aspen	7.5 10		Good Poor	1	WPA WPA	
837 838	Oak, red Ash, green	17 15		Good Good	1	WPA WPA	
839 840	Aspen Aspen	8 10		Fair Good	1	WPA WPA	
841 842	Aspen Aspen	9.5		Good Good	1	WPA WPA	
843	Aspen	13		Fair	1	WPA	
844 845	Aspen Ash, green	12.5 8		Good Good	1	WPA WPA	
846 847	Aspen Ash, green	10 4		Fair Poor	1	WPA WPA	
848 849	Ash, green Ash, green	5.5		Poor Fair	1 1	WPA WPA	
850 851	Oak, white Maple, Norway	17.5 10		Good Good	1	WPA	HP
852 853	Maple, Norway Maple, Norway	6 9.5		Good Good	1		
854 855	Maple, Norway Pine, Scots	8 27	75	Good Good	1	WPA	НР
856 857	Maple, Norway	5.5 14	,5	Good	1 1 1	WPA WPA	
858	Maple, Norway Elm, American	6.5		Poor Poor	1	WPA	
859 860	Oak, white Maple, Norway	29 9		Fair Good	1	WPA WPA	
861 862	Maple, Norway Ash, green	9 4.5		Good Fair	1	WPA WPA	
863 864	Ash, green Cherry, black	4 6.5		Poor Good	1 1	WPA	
865 866	Oak, red Arborvitae	33.5 17.5	75	Good Fair	1 2	WPA	НР
867 868	Oak, red Oak, red	14 18		Good Good	1 1	WPA WPA	
869 870	Ash, green Ash, green	10 12 6		Good Good	1 1 1		HP
871	Ash, green	8		Good	1 1 1		
872 873	Ash, green Ash, green	4.5		Good Good	1		
874 875	Ash, green Ash, green	6.5 6.5		Good Fair	1		
876 877	Ash, green Ash, green	10 5		Good Good	1		HP
878 879	Ash, green Ash, green	9 20		Good Good	1 1		HP
880 881	Ash, green Ash, green	14 16		Good Good	1 1		HP HP
882 883	Boxelder Boxelder	8		Fair Poor	1 1 1		НР
884 885	Ash, green Ash, green	8 11.5		Good	1 1 1		НР
886	Boxelder	21.5 21		Fair	2 1		HP HP HP
887 888	Ash, green Boxelder	11.5		Poor Fair	1		HP
889 890	Boxelder Boxelder	21.5 13		Fair Good	1		HP HP
891 892	Ash, green Cherry, black	13 10		Good Good	1 1		HP HP
893 894	Ash, green Crabapple	14.5 5.5		Fair Fair	1 1		HP
895 896	Boxelder Elm, red	11.5 12.5		Fair Good	1		HP HP
897 898	Boxelder Ash, green	6.5 9		Poor Good	1 1 1		
899 900	Cherry, black Oak, bur	10.5 25		Good Very Poor	1 1 1		HP HP
901	Boxelder	7.5		Fair	1		
902 903	Ash, green Boxelder	6.5 12		Fair Poor	1		HP
904 905	Ash, green Oak, pin	4 35		Good Fair	1		HP
906 907	Elm, American Ash, green	5.5 8.5		Good Good	1 1		
908 909	Oak, red Oak, red	22 14		Good Good	 1 1		HP HP
	Oak, red	8.5		Good	1		1

Г <b>гее No.</b> 913	<b>Species</b> Ash, green	<b>DBH</b> 4	Height	Tree Condition Good	No. of Stems	WPA Tree	High Priority Tree
914 915	Ash, green Ash, green	5 9		Good Good	1		
916 917	Ash, green Ash, green	10 5.5		Good Good	1		HP
918 919	Elm, American Cherry, black	18 21.5		Good Very Poor	1		HP HP
920 921 922	Ash, green Boxelder	16 29 14		Good Fair Poor	1 1 1		HP HP HP
922 923 924	Ash, green Ash, green Ash, green	14 13.5 8		Good	1 1 1		HP
925 926	Ash, green Ash, green Ash, green	5 10.5		Good Good	1 1 1		HP
927 928	Ash, green Ash, green Ash, green	10.3 11 10.5		Good Good	1 1 1		HP HP
928 929 930	Ash, green Ash, green Ash, green	10.5 8 13		Good Good	1 1 1		НР
931 932	Ash, green Ash, green	6 11		Good Fair	1 1 1		HP
933 934	Ash, green Ash, green	8 7.5		Good	1 1 1		
935 936	Ash, green Ash, green	5.5		Good Good	1 1 1		
937 938	Ash, green Ash, green	5 6.5		Good Good	1 1 1		
939 940	Oak, pin Ash, green	6.5 10		Fair Good	 1 1		НР
941 942	Oak, red Oak, red	12.5 9		Good Good	1 1 1		HP
943 944	Oak, red Oak, red	4.5		Good Good	1		НР
945 946	Ash, green Elm, American	7.5		Good Good	1		
947 948	Ash, green Ash, green	4		Good Fair	1		
949 950	Ash, green Ash, green	5		Fair Good	1		
951 952	Aspen Ash, green	9 6.5		Fair Good	1		
953 954	Oak, red Aspen	16.5 15		Good Good	1		HP HP
955 956	Ash, green Ash, green	4 24		Fair Fair	1		НР
957 958	Ironwood Boxelder	14.5 11		Good Good	2 1		HP HP
959 960	Aspen Ash, green	14 12		Good Fair	1		HP HP
961 962	Aspen Aspen	11.5 15		Good Good	1 1		HP HP
963 964	Aspen Ash, green	13 6		Good Good	1 1		HP
965 966	Boxelder Ash, green	6 17		Very Poor Fair	1		HP
967 968	Aspen Aspen	5.5 12		Good Good	1 1		HP
969 970	Aspen Ash, green	12 25		Good Good	1		HP HP
971 972	Ash, green Maple, Norway	9 9.5		Good Good	1 1		
973 974	Boxelder Ash, green	9 19		Fair Good	1		НР
975 976	Ash, green Cherry, black	11.5 7		Good Good	1 1		HP
977 978	Birch, paper Spruce, blue	11.5 20	85	Good Poor	1		HP HP
979 980	Ash, green Ash, green	12.5 21		Good Good	1		HP HP
981 982	Spruce, blue Spruce, white	23 19	85 85	Poor Fair	1		HP HP
983 984	Ash, green Spruce, white	9 17	85	Good Poor	1		HP
985 986	Maple, Norway Maple, Norway	9.5 6		Good Good	1		
987 988	Maple, Norway Maple, Norway	12 4		Good Good	1		HP
989 990	Maple, Norway Maple, Norway	4 8.5		Fair Good	1		
991 992	Ash, green Hackberry	23 28		Good Good	1		HP HP
993 994	Oak, white Cherry, black	32 4		Good Good	1	WPA WPA	
995 996	Ash, green Basswood	5		Good Good	1	WPA WPA	
997 998	Ash, green Basswood	6.5 4.5		Good Fair	1	WPA WPA	
999 1000	Ash, green Basswood	7.5		Good Good	1	WPA WPA	
1001 1002	Basswood Basswood	10 8		Good Good	1	WPA WPA	
1003 1004	Ash, green Aspen	11 12.5		Good Good	1	WPA WPA	
1005 1006	Boxelder Boxelder	7 10		Very Poor Fair	1	WPA WPA	
1007 1008 1009	Aspen Basswood	10.5 13 5		Poor Fair	1 1 1	WPA WPA	
1010	Ash, green Boxelder	10		Good Good	1	WPA WPA	
1011 1012 1013	Elm, American Aspen Basswood	6.5 7.5		Good Fair Poor	1 1 1	WPA WPA	
1013 1014 1015	Basswood Aspen Aspen	10.5 10.5 10		Poor Fair Fair	1 1 1	WPA WPA	
1015 1016 1017	Aspen Boxelder Aspen	10 9.5 6.5		Fair Fair Poor	1 1 1	WPA WPA WPA	
1017 1018 1019	Aspen Aspen Oak, red	6.5 11 18		Poor Good Good	1 1 1	WPA WPA WPA	
1019 1020 1021	Oak, red Aspen Ash, green	18 7.5 6		Good Fair Good	1 1 1	WPA WPA WPA	
1021 1022 1023	Ash, green Ash, green Aspen	6 4.5 8		Good Poor Fair	1 1 1	WPA WPA WPA	
1023 1024 1025	Aspen Basswood Basswood	8 7.5 10		Good Good	1 1 1	WPA WPA WPA	
1025 1026 1027	Ash, green Oak, red	10 5 18		Good Good Good	1 1 1	WPA WPA WPA	
1027 1028 1029	Oak, red Oak, red Ash, green	6.5 8		Good Good Good	1 1 1	WPA WPA WPA	
1029 1030 1031	Oak, red Basswood	8 17 16.5		Good Good Good	1 1 2	WPA WPA WPA	
1031 1032 1033	Oak, red Oak, pin	4.5		Good Good Fair	2 1 1	WPA WPA WPA	
1035 1034 1035	Elm, American Oak, red	16 31		Good	1 1 1	WPA WPA WPA	
1035 1036 1037	Oak, red Ash, green	19.5 11.5		Good Fair	1 1 1	WPA WPA WPA	
1037 1038 1039	Aspen Ash, green	11.5 12.5 5		Good Good	1 1 1	WPA WPA	
1035 1040 1041	Ash, green Ash, green	6 5		Good Fair	1 1 1	WPA WPA	
1041 1042 1043	Fir, balsam Spruce, white	6 11	30 38	Fair Good	1 1 1	WPA WPA WPA	
1045 1045	Ash, green Ash, green	5.5		Good Good	1 1 1	WPA WPA	
1045 1046 1047	Spruce, white Fir, balsam	12 6	40 35	Good Good	1 1	WPA WPA	
1048 1049	Spruce, white Spruce, white	4 7	25 30	Good Good	1 1	WPA WPA	
1050 1051	Fir, balsam Boxelder	6.5 5.5	30	Good Good	1 1 1	WPA WPA	
1052 1053	Spruce, white Ash, green	8 10.5	30	Good Fair	1 1 1	WPA WPA	
1054 1055	Ash, green Aspen	7		Good Good	1 1	WPA WPA	
1056 1057	Aspen Ash, green	4 7.5		Good Good	1 1	WPA WPA	
1058 1059	Fir, balsam Ash, green	8.5 5.5	32	Good Good	1 1	WPA WPA	
1060	Aspen Fir, balsam	4.5 6.5	28	Good Good	1	WPA WPA	
1061				Good		WPA	

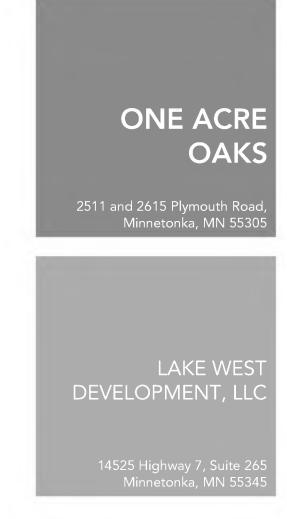
Ггее No. 1065	Species	DBH 5	Height 20	Tree Condition Fair	No. of Stems	WPA Tree WPA	High Priority Tree
1065 1066 1067	Fir, balsam Spruce, white	4.5 10	20 23 25	Fair Fair Fair	1 1 1	WPA WPA WPA	
1068	Ash, green	6.5	25	Good	1	WPA	
1069 1070	Ash, green Fir, balsam	7 4	28	Good Fair	1	WPA WPA	
1071 1072	Aspen Spruce, white	12 5.5	30	Good Fair	1	WPA WPA	
1073 1074	Fir, balsam Fir, balsam	7.5 6.5	30 30	Fair Good	1	WPA WPA	
1075 1076	Fir, balsam Pine, white	4 9	26 30	Poor Good	1 1	WPA WPA	
1077 1078	Fir, balsam Fir, balsam	8 8.5	32 30	Good Good	1 2	WPA WPA	
1079 1080	Aspen Spruce, white	13 4.5	22	Good Fair	1	WPA WPA	
1081 1082	Ash, green Ash, green	6.5 18		Good Good	1	WPA WPA	
1083 1084	Spruce, white Oak, white	14 26	45	Fair Good	1	WPA WPA	
1085 1086	Ash, green Oak, white	7.5		Fair Good	 1 1	WPA WPA	
1087	Oak, white	20.5		Good	1	WPA	
1088 1089	Oak, white Ash, green	18 5		Good Fair	1	WPA WPA	
1090 1091	Oak, white Elm, American	19.5 8.5		Fair Good	1	WPA WPA	
1092 1093	Oak, red Oak, white	5 23.5		Good Good	1	WPA WPA	
1094 1095	Oak, white Oak, white	25 23		Good Fair	1	WPA WPA	
1096 1097	Ash, green Ash, green	8 8.5		Good Good	1	WPA WPA	
1098 1099	Oak, white Ash, green	21 11		Good Good	1	WPA WPA	
1100 1101	Ash, green Ash, green	6 14.5		Good Good	 1 1	WPA WPA	
1102	Ash, green	4		Good	1	WPA	
1103 1104	Ash, green Ash, green	7.5		Good Good	1	WPA WPA	
1105 1106	Basswood Basswood	10.5 11.5		Good Good	1	WPA WPA	
1107 1108	Ash, green Ash, green	11.5 4		Good Good	1	WPA WPA	
1109 1110	Ash, green Ash, green	8 10.5		Good Good	1 1	WPA WPA	
1111 1112	Basswood Cherry, black	42		Fair Good	3 1	WPA WPA	
1112 1113 1114	Ash, green Ash, green	14.5 11.5		Good Good	1 1 1	WPA WPA	
1115	Ash, green	5.5		Good Good Good	1 1 1	WPA	
1116 1117	Basswood Ash, green	8.5		Good	1	WPA WPA	
1118 1119	Basswood Ash, green	6 11		Good Good	1	WPA WPA	
1120 1121	Ash, green Ash, green	7 12		Good Good	1	WPA WPA	
1122 1123	Ash, green Ash, green	13 11.5		Good Good	1	WPA WPA	
1124 1125	Ash, green Basswood	11 13		Good Good	1	WPA WPA	
1126 1127	Basswood Ash, green	5		Fair Good	1	WPA WPA	
1128 1129	Ash, green Ash, green	15.5 12		Poor Good	1 1	WPA WPA	
1130	Ash, green	5.5		Good	1	WPA	
1131 1132	Oak, white Oak, white	29 23		Good Fair	1	WPA WPA	
1133 1134	Basswood Ash, green	15.5 4.5		Good Good	2	WPA WPA	
1135 1136	Ash, green Ash, green	6.5 12.5		Good Good	1	WPA WPA	
1137 1138	Ash, green Basswood	15 12.5		Good Good	1	WPA WPA	
1139 1140	Ash, green Ash, green	13 11		Good Good	1	WPA WPA	
1141 1142	Ash, green Ash, green	12 13.5		Fair Good	1	WPA WPA	
1143 1144	Ash, green Ash, green	7		Good Good	1	WPA WPA	
1145 1146	Elm, American Ash, green	8.5		Good Good	1	WPA WPA	
1147 1148	Elm, American Ash, green	6.5 11.5		Fair Good	 1 1	WPA WPA	
1149 1150	Ash, green Crabapple	8		Good Good	1 1 1	WPA WPA	
1151	Ash, green	12		Very Poor	1	WPA	
1152 1153	Oak, red Ash, green	18.5 8		Good Good	1	WPA WPA	
1154 1155	Basswood Basswood	4.5		Poor Good	1	WPA WPA	
1156 1157	Ash, green Basswood	5 6.5		Fair Good	1	WPA WPA	
1158 1159	Basswood Basswood	13 14		Good Fair	1 2	WPA WPA	
1160 1161	Basswood Basswood	6 6.5		Fair Good	1	WPA WPA	
1162 1163	Oak, red Ironwood	18 4.5		Good Good	1	WPA WPA	
1164 1165	Basswood Basswood	10 5.5		Good Good	1 1 1	WPA WPA	
1165 1166 1167	Basswood	8 4		Good Good	1 1 1	WPA WPA WPA	
1168	Ash, green Basswood	13		Good	1	WPA	
1169 1170	Ironwood Ash, green	5.5 30		Good Fair	1	WPA WPA	
1171 1172	Basswood Oak, red	15.5 20		Fair Fair	2	WPA WPA	
1173 1174	Basswood Ironwood	28 6.5		Fair Good	1 1	WPA WPA	
1175 1176	Oak, red Oak, red	37 28		Good Good	1 1	WPA WPA	
1177 1178	Pine, Scots Pine, Scots	26 28	60 60	Fair Good	1 1	WPA	HP
1179 1180	Pine, Scots Ironwood	15.5 6	55	Good Good	1 1	WPA WPA	
1181 1182	Ash, green Ash, green	13.4 18		Good Good	1		HP HP
1182 1183 1184	Ash, green Ash, green	8.5		Good Good	1 1 1		
1185	Ash, green Mulberry	10 11		Good Good	1 1 1		НР
1186 1187	Spruce, blue	29	65	Fair	1		HP HP
1188 1189	Spruce, blue Spruce, blue	22 15.5	70 70	Fair Fair	1		HP HP
1190 1191	Aspen Aspen	4		Good Good	1		
1192 1193	Aspen Aspen	4.5 4		Good Good	1 1		
1194 1195	Aspen Aspen	4		Fair Good	1		
1195 1196 1197	Ash, green Aspen	24 13		Good Good	1 1 1		HP HP
1198	Aspen	13 15 10		Good Good Good	1 1 1		HP HP HP
1199 1200	Aspen Spruce, white	8	35	Fair	1		HP
1201 1202	Aspen Spruce, white	14 8	25	Good Very Poor	1		HP HP
1203 1204	Aspen Aspen	8 6.5		Fair Fair	1		
1205 1206	Ash, green Ash, green	7.5 14.5		Fair Good	1 1		НР
1207 1208	Ash, green Ash, green	21 6		Fair Poor	1		HP
1209 1210	Ash, green Ash, green	4 10.5		Fair Good	1 1 1		НР
1210 1211 1212	Ash, green Ash, green Ash, green	6 9.5		Fair Good	1 1 1		
1213	Ash, green	6.5		Good	1		-
1214	Ash, green	15.5	1	Good	1	I	HP

Ггее No. 1217	Species Ash, green	<b>DBH</b> 6.5	Height	Tree Condition Good	No. of Stems	WPA Tree	High Priorit Tree
1217 1218 1219	Ash, green Boxelder Boxelder	6.5 13.5 21		Good Fair Very Poor	1 1 1		HP HP
1220 1221	Ash, green Ash, green	6 12		Good	1		НР
1222	Ash, green Ash, green	7		Good	1 1 1		НР
1224	Ash, green	23		Fair	1		HP
1225 1226	Ash, green Ash, green	10 5		Good Good	1		HP
1227 1228	Ash, green Ash, green	18 10.5		Good Good	1		HP HP
1229 1230	Elm, American Ash, green	17.5 7		Good Good	1		HP
1231 1232	Crabapple Ash, green	14.5 10		Very Poor Good	1		HP HP
1233 1234	Cherry, black Mulberry	5		Good Good	1		
1235 1236	Mulberry Boxelder	4.5		Good Good	1		
1237 1238	Elm, American Ash, green	14 4		Fair Good	4		HP
1239	Boxelder	25		Fair	1		HP
1240 1241	Ash, green Butternut	5		Fair Good	1		
1242 1243	Ash, green Crabapple	19 25		Good Poor	1		HP HP
1244 1245	Ash, green Boxelder	17.5 14		Good Fair	1		HP HP
1246 1247	Ash, green Ash, green	11.5 8		Good Good	1		HP
1248 1249	Crabapple Ash, green	20.5		Fair Good	2		HP HP
1250	Boxelder	12.5		Fair	1		HP
1251 1252	Boxelder Oak, white	15 25.5		Good Fair	1		HP HP
1253 1254	Oak, white Boxelder	29 14.5		Good Good	1	WPA	HP
1255 1256	Oak, white Oak, white	19 28		Good Good	1	WPA WPA	
1257	Oak, red	19.5		Good	1	WPA	
1258 1259	Oak, red Oak, red	24 22		Good Good	1	WPA WPA	
1260 1261	Oak, white Basswood	18.5 8		Good Good	1	WPA WPA	
1262 1263	Oak, red Oak, red	29 8		Good Good	1	WPA WPA	
1265 1265	Ash, green Oak, white	11 26		Good Very Poor	1 1	WPA WPA	
1266	Fir, Douglas	25.5	65	Good	1	WPA	
1267 1268	Basswood Basswood	16.5 23.5		Good Fair	2	WPA WPA	
1269 1270	Arborvitae Arborvitae	8 18	30 30	Poor Fair	1 1		HP HP
1271 1272	Arborvitae Arborvitae	8 9.5	28 27	Fair Fair	1		HP HP
1272 1273 1274	Arborvitae Oak, red	9 7.5	28	Good	1 1 1	WPA	HP
1275	Oak, red	13.5		Good	1	WPA	
1276 1277	Oak, red Ash, green	4.5 17.5		Fair Good	1	WPA WPA	
1278 1279	Spruce, white Spruce, white	7 5	28 24	Fair Fair	1	WPA WPA	
1280 1281	Fir, balsam Ash, green	9 9.5	30	Fair Good	1	WPA WPA	
1282	Ash, green	4.5		Fair	1	WPA	
1283 1284	Oak, red Basswood	12.5 11		Good Good	1	WPA WPA	
1285 1286	Basswood Oak, red	5 13.5		Good Good	1	WPA WPA	
1287 1288	Oak, red Basswood	6 25.5		Good Good	1 2	WPA WPA	
1289 1290	Basswood Oak, red	11 8.5		Good Good	1	WPA WPA	
1291	Ash, green Basswood	7 22.5		Good Fair	 1 2	WPA	
1292 1293	Basswood	11		Fair	1	WPA WPA	
1294 1295	Fir, balsam Fir, balsam	6.5 4	30 25	Good Good	1	WPA WPA	
1296 1297	Oak, red Ash, green	16.5 5.5		Good Fair	2	WPA WPA	
1298 1299	Fir, balsam Fir, balsam	7.5	34 25	Good Good	1	WPA WPA	
1300 1301	Fir, balsam Fir, balsam	7.5	24 26	Good Good	1	WPA WPA	
1302	Fir, balsam	4.5	22	Poor	1	WPA	
1303 1304	Fir, balsam Fir, balsam	5.5 6.5	30 32	Good Good	1	WPA WPA	
1305 1306	Fir, balsam Oak, red	5.5 11.5	28	Fair Fair	1	WPA WPA	
1307 1308	Fir, balsam Fir, balsam	6.5 6	30 32	Good Good	1	WPA WPA	
1309 1310	Ash, green Fir, balsam	9.5 5	28	Good Fair	1	WPA WPA	
1311 1312	Spruce, white	15 7	40	Fair Fair	1	WPA	
1313	Spruce, white Oak, red	12.5	28	Good	1	WPA WPA	
1314 1315	Fir, balsam Fir, balsam	8.5 5.5	35 30	Good Good	1	WPA WPA	
1316 1317	Spruce, white Oak, pin	8.5 15.5	35	Fair Good	1	WPA WPA	
1318 1319	Oak, white Ash, green	23 12.5		Poor Fair	1	WPA	HP
1320 1321	Ash, green Elm, American	17.0		Fair Good	1 1		HP HP
1322	Boxelder	20.0		Fair	1		HP
1323 1324	Walnut Boxelder	4.5		Good Good	1		
1325 1326	Ash, green Boxelder	16.5 15.0		Good Good	1		HP HP
1327 1328	Elm, Siberian Elm, Siberian	5.5 5.5		Good Good	1		
1329 1330	Elm, Siberian Elm, Siberian	4.0		Fair Good	1 1 1		
1331	Elm, Siberian	5.0		Good	1		
1332 1333	Ash, green Cherry, black	5.5		Good Good	1		
1334 1335	Aspen Aspen	11.0 10.5		Poor Very Poor	1		HP HP
1336 1337	Ash, green Aspen	4.0 9.0		Fair Fair	1		
1338 1339	Ash, green Aspen	6.5 11.0		Good Fair	1		HP
1340	Ash, green	11.0 11.0 5.0		Good	1 1 1		HP
1341 1342	Ash, green Pine, white	11.0	50	Good	1		HP
1343 1344	Oak, red Fir, balsam	18.0 19.0	50	Good Fair	1		HP HP
1345 1346	Spruce, blue Boxelder	11.0 4.5	45	Fair Fair	1 1		HP
1347 1348	Boxelder Ash, green	7.0		Good Fair	1		
1349	Boxelder	15.5		Fair	2		НР
1350 1351	Maple, sugar Spruce, blue	14.0 7.0	30	Good Poor	1		HP HP
1352 1353	Walnut Boxelder	5.0 5.5		Good Poor	1		
1355 1354 1355	Pine, white Cherry, black	9.0	50	Good	1 1 1		HP
1356	Aspen	4.5		Good	1		
1357 1358	Aspen Aspen	4.5		Good Good	1		HP
1359 1360	Aspen Cherry	13.0 4.0		Good Good	1		HP
1361 1362	Aspen Aspen	14.0		Poor Fair	1 1 1		HP
_JUZ	Cherry, black	7.0		Good	1		
1363	( horrs -			Fair	1		
	Cherry, black Spruce, blue Ash, green	7.5 2.5 5.0	12	Fair Good	1		HP

Tree No.	Species	<b>DBH</b> 3.0	Height	Tree Condition Fair	No. of Stems	WPA Tree	High Priorit Tree HP
1370	Spruce, white Spruce, white	4.0	14 18	Fair Fair	1		HP HP
1371 1372	Aspen Ash, green	8.0 8.5		Good Fair	1		
1373	Aspen	12.0		Good	1		НР
1374 1375	Cherry, black Ash, green	9.0 13.5		Good Good	1		HP
1376	Cherry, black	8.0		Good	1		
1377 1378	Aspen Ash, green	8.5 6.0		Good Good	1		
1379	Boxelder	5.5		Good	1		
1380 1381	Oak, red Ash, green	10.0 6.5		Good Good	1		HP
1382	Aspen	7.0		Good	1		
1383 1384	Walnut Boxelder	4.5		Good Good	1		
1385	Fir, balsam	11.5	45	Good	1		HP
1386 1387	Oak, bur Mulberry	9.0		Good Fair	1 2		HP
1388	Mulberry	20.0		Fair	3		HP
1389 1390	Spruce, blue Spruce, blue	11.5 19.0	50 50	Fair Poor	1		HP HP
1391	Oak, bur	9.0		Good	1		
1392 1393	Oak, bur Oak, bur	10.0 7.5		Good Good	1		HP
1394	Ash, green	5.5		Good	1		
1395 1396	Boxelder Oak, pin	5.0		Good Good	1		HP
1397	Ash, green	9.5		Fair	1		
1398 1399	Aspen Aspen	4.0		Fair Good	1		
1400	Maple, silver	42.0		Fair	1		HP
1401 1402	Maple, silver Ash, green	28.0 24.0		Good Poor	1		HP HP
1403	Ash, green	29.0		Poor	1		HP
1404 1405	Ash, green Pine, white	21.0 5.5	30	Fair Good	1		HP HP
1406	Pine, white	4.5	28	Fair	1		HP
1407 1408	Pine, white Pine, white	4.0	28 28	Good Good	1		HP HP
1409	Pine, white	2.5	25	Good	1		HP
1410 1411	Elm, Siberian Elm, Siberian	<b>5.5</b> 4.5		Good Good	1		
1412	Elm, Siberian	4.0		Good	1		
1413 1414	Elm, Siberian Elm, Siberian	4.5		Good Good	1 1		
1415	Elm, Siberian	4.0		Poor	1		
1416 1417	Elm, Siberian Elm, Siberian	6.5 4.5		Good Good	1 1		
1418	Elm, Siberian	6.5		Good	1		
1419 1420	Pine, white Pine, white	4.5	20 22	Fair Good	1		HP HP
1421	Ash, green	8.0		Good	1		
1422 1423	Ash, green Boxelder	5.0 6.0		Good	1		
1423	Ash, green	5.0		Good Good	1		
1425	Ash, green	8.0		Good	1		
1426 14 <b>27</b>	Ash, green Ash, green	<b>5.5</b> 4.5		Fair Good	1		
1428	Boxelder	13.5		Fair	1		HP
1429 1430	Boxelder Ash, green	11.5 10.9		Fair Poor	1		HP HP
1431	Walnut	20.0	20	Good	1		HP
1432 1433	Fir, balsam Fir, balsam	5.5 8.5	30 40	Dead Fair	1		HP HP
1434	Fir, balsam	9.0	35	Dead	1		HP
1435 1436	Walnut Ash, green	11.5 15.0		Fair Good	1		HP HP
1437	Ash, green	9.0		Good	1	-	
1438 1439	Ash, green Ash, green	12.0 13.5		Good Good	1		HP HP
1440	Ash, green	13.0		Good	1		HP
1441 1442	Ash, green Boxelder	24.5 12.5		Fair Fair	2		HP HP
1443	Boxelder	7.5		Good	1		
1444 1445	Ash, green Ash, green	11.5 14.5		Good Good	1		HP HP
1446	Ash, green	5.0		Good	1		
1447 1448	Maple, silver Elm, American	4.5 6.5		Good Good	1 1		
1449	Elm, American	9.0		Good	1		
1450 1451	Maple, silver Boxelder	56.0 17.5		Poor Good	1		HP HP
1452	Ash, green	15.5		Fair	1		HP
1453 1454	Locust, black Locust, black	7.5		Fair Good	1 1		
1455	Locust, black	10.0		Good	1		HP
1456 1457	Ash, green Spruce, Norway	14.5 29.0	50	Good Good	1		HP HP
1457 1458	Spruce, Norway Elm, Siberian	29.0	00	Good Good	1		HP HP
1459 1460	Fir, balsam Pine, white	13.0 21.0	60 60	Fair	1		HP HP
1460 1461	Pine, white Ash, green	21.0 39.0	00	Good Good	1		HP HP
1462	Ash, green	10.0		Fair	1		HP
1463 1464	Ash, green Ash, green	12.0 10.5		Fair Good	1 1		HP HP
1465	Ash, green	22.0		Poor	1		HP
1466 1467	Elm, American Ash, green	6.5 12.5		Good Poor	1 2		HP
1468	Ash, green	6.0		Very Poor	1		
1469 1470	Ash, green Ash, green	5.5 14.5		Fair Very Poor	1		HP
1471	Elm, American	5.0		Fair	1		
1472 1473	Ash, green Maple, silver	24.0 11.0		Very Poor Good	1 1		HP HP
1474	Ash, green	11.0		Good	1		HP
1475	Ash, green	17.5	_	Fair	1		HP
1476 1477	Maple, silver Boxelder	10.0 5.5		Good Good	1		HP
1478	Ash, green	20.0		Poor	1		HP
1479	Ash, green	11.0		Good	1		HP

ALL LISTED TREES ARE SIGNIFICANT UNLESS NOTED AS 'HP'

NOTE:



PLANNING CIVIL ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE ENVIRONMENTAL 7200 Hemlock Lane, Suite 300 Maple Grove, MN 55369 763.424.5505 www.loucksinc.com

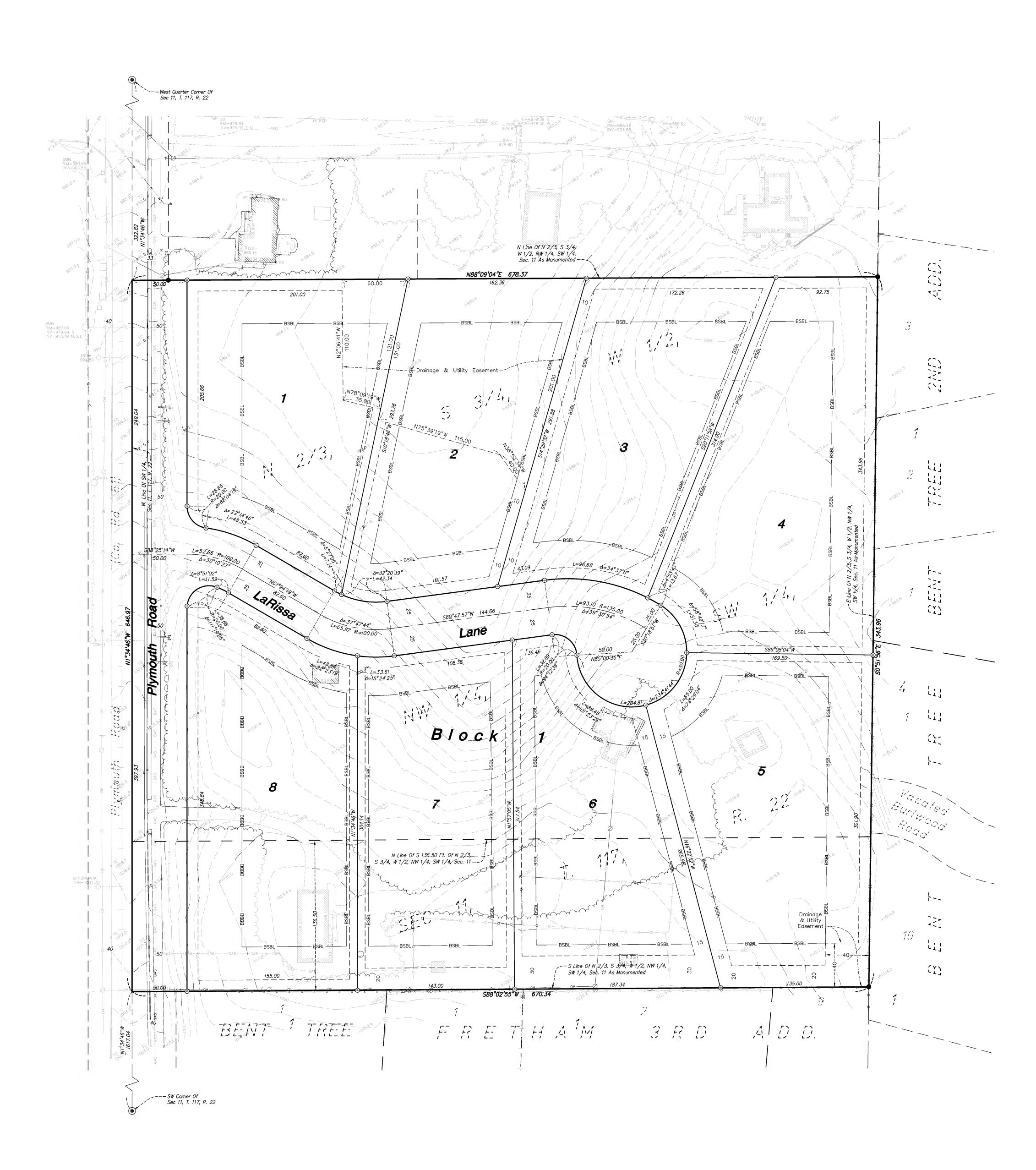


<b>PROFESSIONA</b> I hereby certify that this plan, spe prepared by me or under my dire I am a duly Licensed Landscape of the State of Minnesota.	ecification report was ect supervision and that
Licente E Daviel C.Rebol	c - LA 56877
	ITY CONTROL
Loucks Project No. Project Lead Drawn By Checked By Review Date	021509.0B MJS DCR DCR 03/14/2024
	SHEET INDEX
C1-2 DEN C2-1 C2-2 TURNING MC C3-1 C3-2 TO C3-3 SWPPP C3-4 FLC C4-1 SANITARY & WA C4-2 STC C6-1 PH C8-1 TO C8-3	ODPLAIN PLAN









**LEGAL DESCRIPTION** The South 136.50 feet of the North 2/3 of the South 3/4 of the West 1/2 of the Northwest Quarter of the Southwest Quarter of Section 11, Township 117, Range 22, according to the United States Government Survey thereof, Hennepin County, Minnesota.

AND

The North 2/3 of the South 3/4 of the West 1/2 of the Northwest Quarter of the Southwest Quarter of Section 11, Township 117, Range 22, except the South 136.50 feet thereof, according to the United States Government Survey thereof, Hennepin County, Minnesota.

Abstract Property.

### GENERAL NOTES SURVEYOR: Loucks

7200 Hemlock Lane, Suite 300 Maple Grove, MN 55330 763-424-5505 OWNER/DEVELOPER: Lakewest Development, LLC 14525 Highway 7, Suite 265 Minnetonka, MN 55345 952-653-1346

- 1. Prepared August 25, 2023.
- 2. The address, as disclosed in documents provided to the surveyor, obtained by the surveyor, or observed while conducting the fieldwork is 2503, 2505, 2511 and 2615 Plymouth Road, Minnetonka, Minnesota 55305.
- 3. The bearings for this survey are based on the Hennepin County Coordinate System NAD 83 (1986 Adjust).
- Benchmark: MnDOT 2789 AH (Disk In Bridge Railing) In Minnetonka; in a bridge railing at the southeast corner of CR61/Plymouth Rd - Bridge No. 27736 over I-394; at I-394 milepoint 0.75; 0.8 mile east along I-394 from the junction of I-394 and I-494; 28.0 feet east of CR 61. Elevation = 898.52 feet (NGVD29)
  - Site Benchmark: Top nut of hydrant located on west side of Plymouth Road near the southwest corner of the property, shown hereon. Elevation = 1011.31 feet (NGVD29)
- 5. This property is contained in Zone X (areas determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map No. 27053C0329F, Community Panel No. 270173 0329 F, effective date of November 4, 2016.
- 6. The field work was completed on October 6, 2021.
- 7. This property is currently under construction. All monuments will be set after construction is completed, or within one year of the plat being recorded.

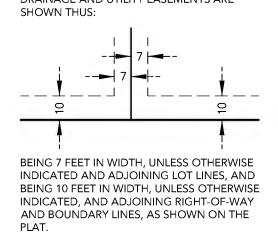
Current Zoning: R-1 (Low Density Residential District)

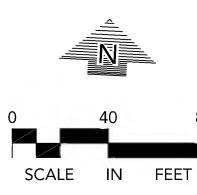
Current Setbacks: Front Yard: Side Yard: Rear Yard:

35 Feet (Local & Neighborhood Collector Streets) 50 Feet (Major Collector & Arterial Roadways) Sum Shall Not Be Less Than 30 Feet, With A Min. Of 10 Feet Min. Of 40 Feet Or 20% Of Lot Depth, Whichever Is Less

SITE DATA		
Areas:		
Lot 1 =	43,583 +/- square feet or	1.00 +/- acres
Lot 2 =	43,565 +/- square feet or	1.00 +/- acres
Lot 3 =	43,563 +/- square feet or	1.00 +/- acres
Lot 4 =	52,645 +/- square feet or	1.21 +/- acres
Lot 5 =	52,165 +/- square feet or	1.20 +/- acres
Lot 6 =	43,781 +/- square feet or	1.01 +/- acres
Lot 7 =	43,867 +/- square feet or	1.01 +/- acres
Lot 8 =	52,387 +/- square feet or	1.20 +/- acres
Right of Way =	60,321 +/- square feet or	1.38 +/- acres
Total Property =	435,877 +/- square feet or	10.01 +/- acres

DRAINAGE AND UTILITY EASEMENTS ARE







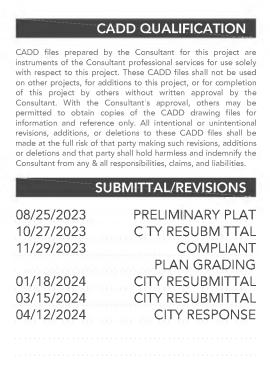
ENVIRONMENTAL 7200 Hemlock Lane, Suite 300 Maple Grove, MN 55369 763.424.5505 www.loucksinc.com

LANDSCAPE ARCHITECTURE

PLANNING

**CIVIL ENGINEERING** 

LAND SURVEYING



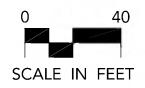
	ONAL SIGNATURE
prepared by me or under r I am a duly Licensed Land the State of Minnesota.	survey, plan or report was ny direct supervision and that d Surveyor under the laws of
The set and the set and the set of the set and the	Hanstouch:
License No. Date	nislowski - PLS 48988 08/25/23
0	UALITY CONTROL
Loucks Project No. Project Lead Drawn By Checked By Field Crew	21509B MLS SFM MLS SKS
	VICINITY MAP
C0-1 C1-1 EXI C1-2 C2-1	COVER SHEET STING CONDITIONS DEMOLITION PLAN SITE PLAN



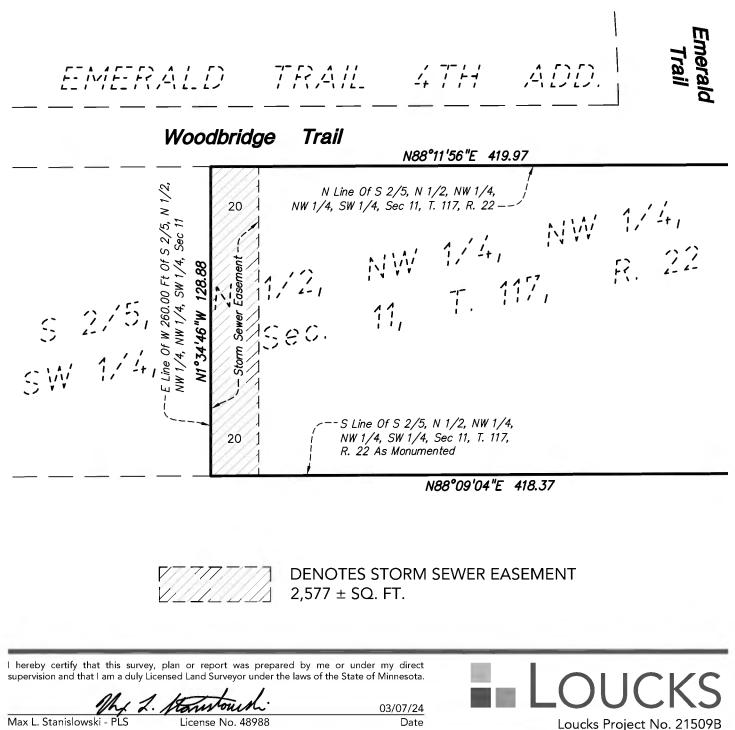
EXHIBIT



Storm Sewer Easement Description March 7, 2024



The west 20.00 feet of that part of the South 2/5 of the North 1/2 of the Northwest 1/4 of the Northwest 1/4 of the Southwest 1/4 of Section 11, Township 117, Range 22, Hennepin County, Minnesota, lying east of the west 260.00 feet thereof.



Thursday, April 15, 2024

Dear City of Minnetonka,

As the owner of 2503 Plymouth Road in Minnetonka, I acknowledge that the One Acre Oaks application requires an easement across my property as well as a concentrated discharge directed onto my property during smaller storms. Formal documentation of said easement was reviewed as well as a description of the concentrated discharge.

Sincerely,

2 th min Jim Gray

Property Owne: 2503 Plymouth Road, Minnetonka

March 20, 2024



Susan Thomas Assistant City Planner City of Minnetonka Community Development Department, Planning Division 14600 Minnetonka Blvd Minnetonka, MN 55345

### MEMORANDUM

Subject:One Acre Oaks – City Steep Slope Ordinance Section 300.28.Performance Standards, Section 20. Performance Standards Regulating<br/>Steep Slopes. a) 1-6 and b) 1-3: Findings 1-3<br/>Loucks Proj. No. 21509.0B

Susan,

On behalf of Lake West Development, we have addressed each element of Findings 1, 2 & 3 listed in 20.b). of the subject ordinance to emphasize that the plan embraces the purpose of the ordinance and specifically captures the spirit of Section 20. a) 1-6. of the steep slope ordinance. Please see the following numbered code references and related responses in blue.

Finding 1. The plan embraces the existing topographical features of the site. The proposed development will preserve significant natural features by minimizing disturbance to existing topographical forms.

a. <u>Design developments into steep slopes, rather than making significant alterations</u> to the slope to fit the development:

Minimal alternations will be made to the slopes as the design of the development is to minimize disturbance to existing topographical forms. The south side house pads are situated at the high point of the site, south of the steep slopes. Retaining walls will be used to support the house pads and driveways to minimize impacts to the steep slope features of each lot.

1. <u>Avoid building pads that result in extensive grading outside the building</u> <u>footprint and driveway areas;</u>

The grading uses 3:1 slopes or less and retaining walls where applicable to limit grading to the existing topography, and to allow for construction of the homes and rear yard pool and patio areas.

2. <u>Use retaining walls as an alternative to banks of cut-and-fill, and design and</u> <u>site such walls to avoid adverse visual impact;</u>

PLANNING | CIVIL ENGINEERING | LAND SURVEYING | LANDSCAPE ARCHITECTURE | ENVIRONMENTAL www.loucksinc.com | 7200 Hemlock Lane, Suite 300, Maple Grove, MN 55369 | 763.424.5505 Retaining walls will be incorporated where necessary to minimize impacts to steep slopes. The exposed side of the retaining walls south of the proposed street faces the wooded steep slopes, so they will have minimum visibility.

3. <u>Allow for clustering with different lot shapes and sizes, with the prime</u> <u>determinant being to maximize the preservation of the natural terrain;</u>

The lot sizes are one acre minimum and typical rectangular shapes; however, the house pad locations and driveway layouts are strategically placed to minimize impacts to steep slopes. Some driveways are shared to minimize disturbed area. The size of the lots permits key natural features of the site to remain undisturbed.

4. <u>Allow flag lots when appropriate to minimize grading;</u>

Not applicable, see item 3. above.

5. Avoid cuts and fills greater than 25 feet in depth; and

Not applicable.

6. <u>Design grading to preserve the crest of prominent ridges. Buildings may be</u> located on the prominent ridges, as long as the requirements of this subdivision are met.

The southerly four house pads are situated on the natural ridge permitting the crest of the ridges in this area to remain in their current condition. The driveways will be routed up to the homes situated on the crest, minimizing impacts to steep slopes.

b. <u>Design streets and driveways that generally follow existing contours, except where</u> <u>necessary for public safety or to minimize the adverse impacts from traffic:</u>

The public street enters the property based on Hennepin County's direction. The street grades generally follow the topography and meet the city maximum slope of eight percent.

1. <u>Use cul-de-sacs and common drives where practical and desirable to preserve</u> <u>slopes; and</u>

The public street ends in a cul-de-sac and follows the topography. Two of the driveways are shared to allow access to four lots total.

2. <u>Avoid individual long driveways, unless necessary to locate the principal</u> <u>structure on a less sensitive area of the site.</u>

Lot 6 has an individual long driveway to allow access to the house pad at the southern part of the lot, which is located on top of the ridge. This long driveway feature preserves the crest of the steep slope.

### c. <u>Concentrate development on the least sensitive portion of the site to maximize the</u> <u>preservation of significant trees and natural features:</u>

The public street enters the property based on Hennepin County's direction, which is in the center of the two parcels. This access creates a site plan featuring a subdivision at no more than 1 unit per acre with lot location and house pads that are concentrated in the least sensitive portion of the site. On balance, the location of the access to the site preserves much of the current features of the site including features within the WPA. The house pads for the most part, fall outside the WPA. Finally, the layout preserves a buffer of significant trees along the perimeter of the site.

1. <u>Preserve sensitive areas by clustering buildings or using other innovative</u> <u>approaches; and</u>

The four lots using two shared driveways minimize grading and impact to the site's current features.

2. <u>Maintain sufficient vegetation and design the scale of development so that it</u> <u>does not overwhelm the natural character of the steep slope.</u>

The preserved steep slope area is heavily wooded and will be preserved.

d. <u>Preserve steep slopes that buffer residences from non-residential sources of light</u> <u>and noise.</u>

Not applicable, neighbors are residential.

Finding 2. The development will not result in soil erosion, flooding, severe scarring, reduced water quality, inadequate drainage control, or other problems.

a. <u>Wherever practical, minimize the impervious surface area and maximize the use of</u> <u>the natural drainage systems:</u>

To minimize the impervious surface area, we minimized the width and length of the street by meeting the minimum street width and minimized the cul-de-sac length by using long and shared driveways.

To maximize the use of the natural drainage systems, we have designed the site to maintain the natural drainage patterns through the existing steep slope area that collects in the existing storm sewer. This, along with the street and other site areas, is routed to a stormwater pond for treatment and rate control. The pond outlets to the existing ditch on the Irving Property to the North and there is also a secondary piped outlet parallel to the ditch to minimize flood impacts and erosion to the neighbor.

 Design any new drainage systems away from neighboring properties, away from cut faces or sloping surfaces of a fill, and toward appropriate drainage facilities, whether artificial or natural. Drainage systems must comply with the city's water resources management plan; and To maximize the use of the natural drainage systems, we have designed the site to maintain the natural drainage patterns through the existing steep slope area that collects in the existing storm sewer. This, along with the street and other site areas, is routed to a stormwater pond for treatment and rate control. The pond outlets to the existing ditch on the Irving Property to the North and there is also a secondary piped outlet parallel to the ditch to minimize flood impacts and erosion to the neighbor and to comply with the City's water resources management plan.

2. <u>Use the existing natural drainage system as much as possible in its unimproved</u> <u>state, if the natural system adequately controls erosion:</u>

To use the existing natural drainage systems, we have designed the site to maintain the natural drainage patterns through the existing steep slope area that collects in the existing storm sewer. This, along with the street and other site areas, is routed to a stormwater pond for treatment and rate control. The pond outlets to the existing ditch on the Irving Property to the North and there is also a secondary piped outlet parallel to the ditch to minimize flood impacts and erosion to the neighbor.

- b. <u>Avoid building on or creating steep slopes with an average grade of 30 percent or</u> <u>more. The city may prohibit building on or creating such slopes in the following</u> <u>situations:</u>
  - 1. <u>Where the city determines that reasonable development can occur on the site</u> without building on or creating such slopes; or

The plan uses industry standard 3:1 slopes or less to limit impacts to wooded areas and steep slopes.

2. <u>Development on such slopes would create real or potentially detrimental</u> <u>drainage or erosion problems.</u>

The drainage area to the steep slope area is minimal and utilizes existing drainage configurations.

c. <u>Design slopes to be in character with the surrounding natural terrain;</u>

The site plan topography conforms to the naturally steep terrain. The house pads, driveways, streets and pond utilize the existing ridges and valleys to permit the ongoing use of the current drainage and erosion features.

d. <u>Use benching, terracing, or other slope-stabilizing techniques for fill, as</u> <u>determined appropriate by the city engineer;</u>

Not applicable.

e. <u>Install and maintain erosion control measures during construction in accordance</u> with the current Minnesota Pollution Control Agency best management practices; and The project SWPPP plan complies with the MPCA NPDES permit requirements.

f. <u>Revegetate disturbed slopes as soon as practical after grading to stabilize steep</u> <u>slopes and prevent erosion, as required by the city.</u>

The project SWPPP plan complies with the MPCA NPDES permit requirements, including revegetation.

Finding 3. The proposed development provides adequate measures to protect public safety.

a. Limit the slopes of private driveways to not more than 10 percent, unless necessary to minimize excessive grading. Where the grade exceeds 10 percent, the driveway should have sufficient flat areas at the top and toe to provide vehicles a landing area and to avoid vehicles slipping onto the adjacent street during icy conditions. The city may require a driveway turn-around; and

The project has driveways of 10 percent or less. The two shared driveways have a hammerhead turnaround to allow emergency vehicle access.

b. <u>Provide sufficient access for emergency vehicles to reach the proposed buildings</u>

In most instances, the building pads are within 150' minimum length for the public road. The two shared driveways have a hammerhead turnaround to allow for emergency vehicle access.

4) The city may require that the applicant provide engineering certification, acceptable to the city, that no excavation or fill will cause any steep slope to become unstable; impose loads that may affect the safety of structures or steep slopes; interfere with adequate drainage for the site area and the area that drains directly to the site; obstruct, damage, or adversely affect existing sewerage or drainage; adversely affect the quality of stormwater runoff; adversely affect downstream properties, wetlands or bodies of water; or cause adverse erosion or sedimentation.

### Noted.

5) the city may require that the applicant provide certification from a registered engineer that the final grading was completed in compliance with the approved grading plan.

### Noted.

6) the city may require the applicant to prepare and record a declaration of covenants, conditions and restrictions, in a form acceptable to the city attorney, providing for property owner maintenance of manufactured slope areas, acceptance of all risks and liability associated with those areas, and release of the city from all associated claims.

### Noted.

March 20, 2024

Regards, LOUCKS

Mile J. H. Mark ____

Michael J. St. Martin, PE President, Principal Civil Engineer