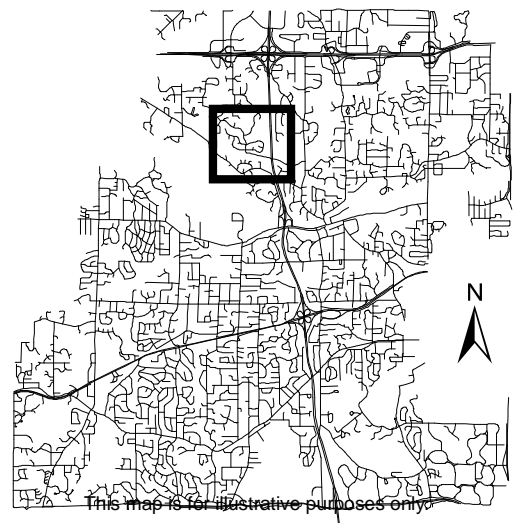




### Location Map

Project: Rashedi Residence  
Address: 14601 Woodruff Road



This map is for illustrative purposes only.

# RASHEDI, LAURIE & ABBY REMODEL

All 3D Rendering on the layout of the plans is **CONCEPT ONLY**.



TABLE OF CONTENT	
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3	DEMO PLAN
4	DEMO 2ND LEVEL / SCHEDULE
5	EXTERIOR ELEVATIONS
6	FRAMING 2ND LEVEL
7	FRAMING CROSS-SECTIONS
8	FRAMING CROSS-SECTIONS
9	EXISTING ELECTRICAL PLANS
10	PROPOSED ELECTRICAL 2ND LEVEL
11	HVAC & PLUMBING - 2ND LEVEL
12	OWNER'S BATHROOM ELEV. 2ND LEVEL
13	OWNER'S BATHROOM ELEV. 2ND LEVEL
14	OWNER'S BATHROOM ELEV. 2ND LEVEL
15	2ND LEVEL BATHROOM ELEV. 2ND LEVEL
16	2ND LEVEL BATHROOM ELEV. 2ND LEVEL

**MURPHY BROS.**  
DESIGN · BUILD · REMODEL



1613 93rd LANE BLAINE, MN 55449

COVER PAGE

Rashedi, Laurie & Abby  
14601 Woodruff Road  
Mayzata MN 55391

DATE	DRAWING	BY
12/29/23	EXISTING	MJ
1/11/24	PROPOSED	MJ
3/11/24	Propose updated electrical & measurements	KB
3/14/24		KB
4/15/2024	TRADE WALK	MJ
	REVISED PLANS	
5/28/2024		MJ
5/29/2024	Review Meeting	KB
6/5/2024	Post Edits	KB
1/24/2024	Electrical Edits	KB
8/1/2024	Header Notes Added	KB
8/5/2024	Changes Per Homeowner	KB
8/19/2024	PERMITTING PLAN	MJ

Home Owner's Signature : \_\_\_\_\_  
Date: \_\_\_\_\_

Murphy Bro's Representative Signature : \_\_\_\_\_  
Date: \_\_\_\_\_

**NOTES:**

- These plans and specifications are the property of Murphy Bros. Any reproduction of these plans and/or specifications is prohibited without written consent.
- All dimensions are to be site verified.
  - Exterior/Overall dimensions (if needed for the project) are to be off the exterior side of the framing on the exterior walls. On the Interior walls, the Exterior/Overall dimensions will be to interior wall centers and centers on wall openings.
  - Added interior dimensions would be off-the-wall finishes. Unless otherwise noted.
  - Dimensions on Cross-Sections & Wall Elevations would be off-the-wall finishes. Unless otherwise noted.
- The information, specifications, and plans on these pages result from job site measurements, sub-contractor recommendations, and client consultations. Any unforeseen pre-existing conditions may require change orders and the alteration of the proposed construction plans.
- Cabinetry drawings are not final. Shop drawings will be presented for approval.
- Cabinetry hardware: If shown or note added to plans/elevations. If cabinetry hardware is NOT shown or noted review w/ the DBC on the project for locations
- All 3D Rendering on the layout of the plans is **CONCEPT ONLY**.

JOB #: 8978  
DATE: 8/19/2024  
SCALE: AS NOTED  
OWNER INITIAL: \_\_\_\_\_

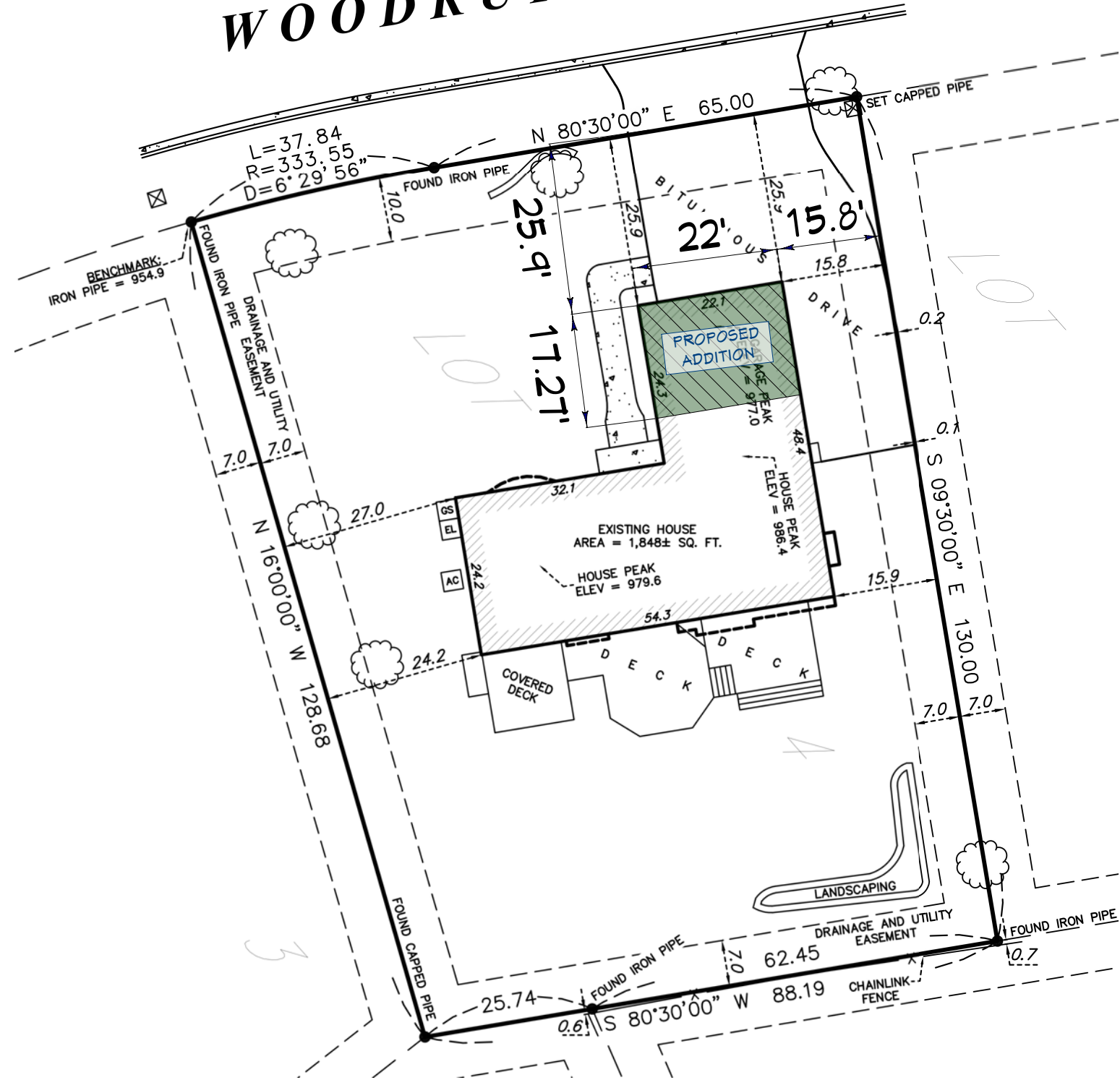
CHECK BOX - 1/4" X 1" ONLY @ SCALE

SHEET # **1 of 16**



# WOODRUFF RD

NO TREES TO BE REMOVED FOR THE PROPOSED PROJECT.



PROPOSED PLAT PLAN SHOWN ON EXISTING SURVEY  
SCALE: 1" = 20'-0"

PLAT PLAN

Rashedi, Laurie & Abby  
14601 Woodruff Road  
Mayzata MN 55391

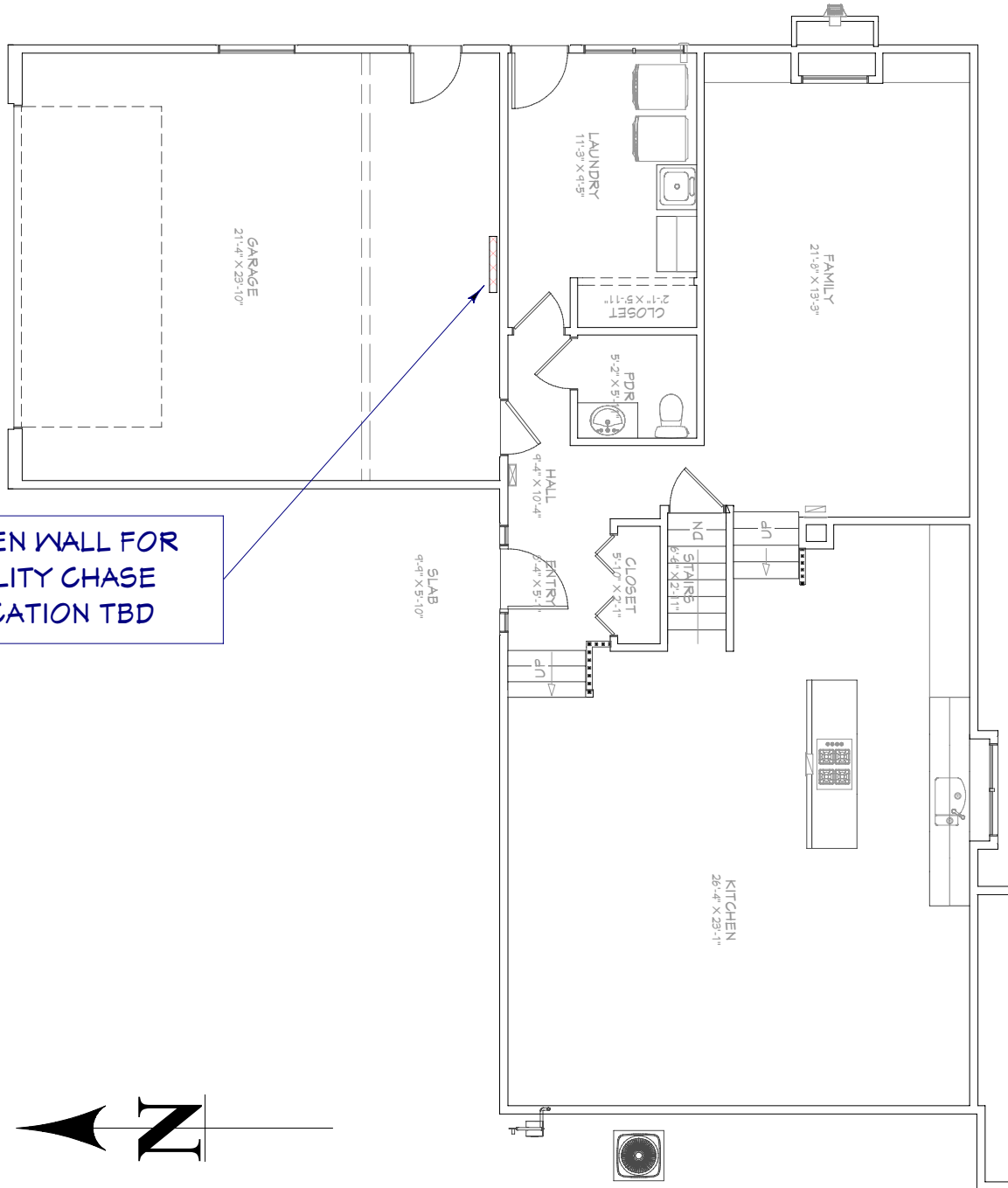
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1/19/24	PROPOSED	MJ
3/1/24	Proposed updated	KB
3/4/24	electrical & measurements	KB
4/15/2024	TRADE WALK	MJ
5/28/2024	REVISED PLANS	MJ
5/29/2024	Review Meeting	KB
6/5/2024	Post Edits	KB
7/24/2024	Electrical Edits	KB
8/1/2024	Header Notes Added	KB
8/5/2024	Changes Per Homeowner	KB
8/19/2024	PERMITTING PLAN	MJ

JOB #: 8978  
DATE: 8/19/2024  
SCALE: AS NOTED  
OWNER INITIAL:

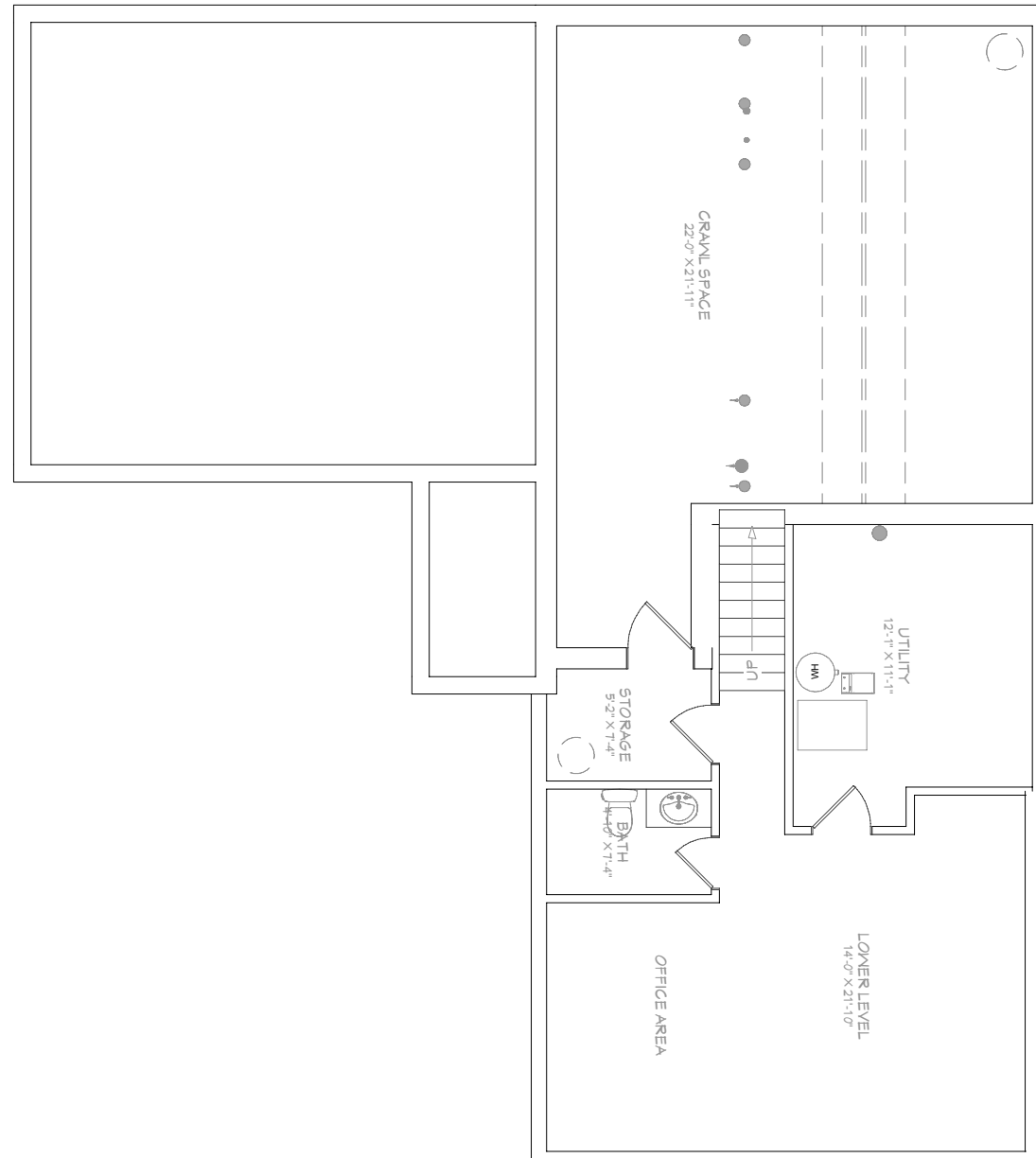
CHECK BOX - 1/4" X 1" ONLY @ SCALE

REMOVE FRAMING

OPEN WALL FOR  
UTILITY CHASE  
LOCATION TBD



MAIN LEVEL - DEMO PLAN



LOWER LEVEL - DEMO PLAN  
SCALE: 1/8" = 1'-0"

DEMO PLAN

Rashedi, Laurie & Abby  
14601 Woodruff Road  
Mayzata MN 55391

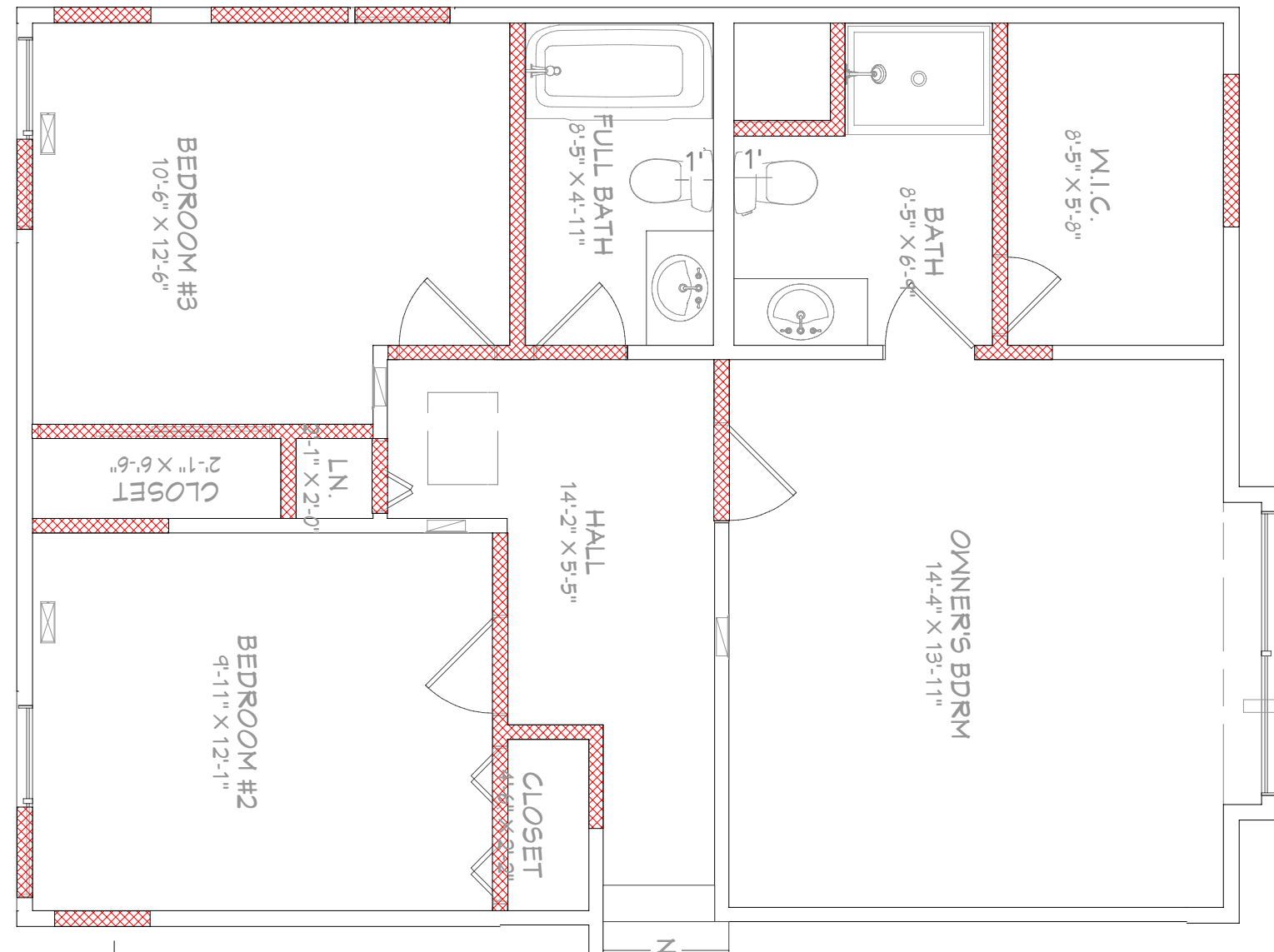
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12/29/23	EXISTING	MJ
1/11/24	PROPOSED	MJ
3/11/24	Changes updated	KB
3/4/24	electrical & measurements	KB
4/15/2024	TRADE WALK	MJ
5/28/2024	REVISED PLANS	MJ
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8/5/2024	Changes Per Homeowner	KB
8/19/2024	PERMITTING PLAN	MJ

JOB #: 8978  
DATE: 8/19/2024  
SCALE: AS NOTED  
OWNER INITIAL:

CHECK BOX - 1/4" X 1"  
ONLY @ SCALE

DOOR SCHEDULE							
NUMBER	QTY	FLOOR	SIZE	WIDTH	HEIGHT	DESCRIPTION	COMMENTS
D01	1	2	2468 R	28"	80"	SHOWER-GLASS SLAB	
D02	1	2	2668 L	30"	80"	POCKET-DOOR P01	
D03	2	2	2668 L IN	30"	80"	HINGED-DOOR P01	
D04	3	2	2668 R IN	30"	80"	HINGED-DOOR P01	
D05	1	2	4068 L/R IN	48"	80"	DOUBLE HINGED-DOOR P01	
D06	2	2	5068 L/R	60"	80"	4 DR. BIFOLD-DOOR P01	
D07	1	2	2268 R	26"	80 5/16"	SHOWER-GLASS SLAB	

REMOVE WALL FRAMING / EXISTING OPENING

DEM0 2ND LEVEL  
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE								
NUMBER	QTY	FLOOR	SIZE	WIDTH	HEIGHT	EGRESS	DESCRIPTION	COMMENTS
W01	2	2	2640SC	30"	48"		SINGLE CASEMENT-HL	HEADER WINDOW #1 (2) 2X10-4'-0, 1 1/2" BEARING EACH END
W02	1	2	3715FX	42 3/4"	16 7/8"		FIXED GLASS	HEADER WINDOW #2 (2) 2X10- 4'-0, 1 1/2" BEARING EACH END
W03	4	2	5034DC	60"	40 1/8"	YES	DOUBLE CASEMENT-LHL/RHR	HEADER WINDOW #3 (2) 2X10- 6'-0, 1 1/2" BEARING EACH END
W04	1	2	7548TC	89 3/16"	56 3/8"	YES	TRIPLE CASEMENT-LHL/CHL/RHR	#4 WINDOW REMAINING AS-IS
W05	1	2	4020AW	48"	24"		SINGLE AWNING	HEADER WINDOW #5 (2) 2X10- 6'-0, 3" BEARING EACH END

DEM0 2nd level / SCHEDULE

Rashedi, Laurie & Abby

14601 Woodruff Road  
Mayzata MN 55391

DATE	DRAWING	BY
12/29/23	EXISTING	MJ
1/19/24	PROPOSED	MJ
3/1/24	Phase 1 updated	KB
3/4/24	electrical & measurements	KB
4/15/2024	TRADE WALK	MJ
5/28/2024	REVISED PLANS	MJ
5/29/2024	Review Meeting	KB
6/5/2024	Post Edits	KB
7/24/2024	Electrical Edits	KB
8/1/2024	Header Notes Added	KB
8/5/2024	Changes Per Homeowner	KB
8/19/2024	PERMITTING PLAN	MJ

JOB #: 8978  
DATE: 8/19/2024  
SCALE: AS NOTED  
OWNER INITIAL:

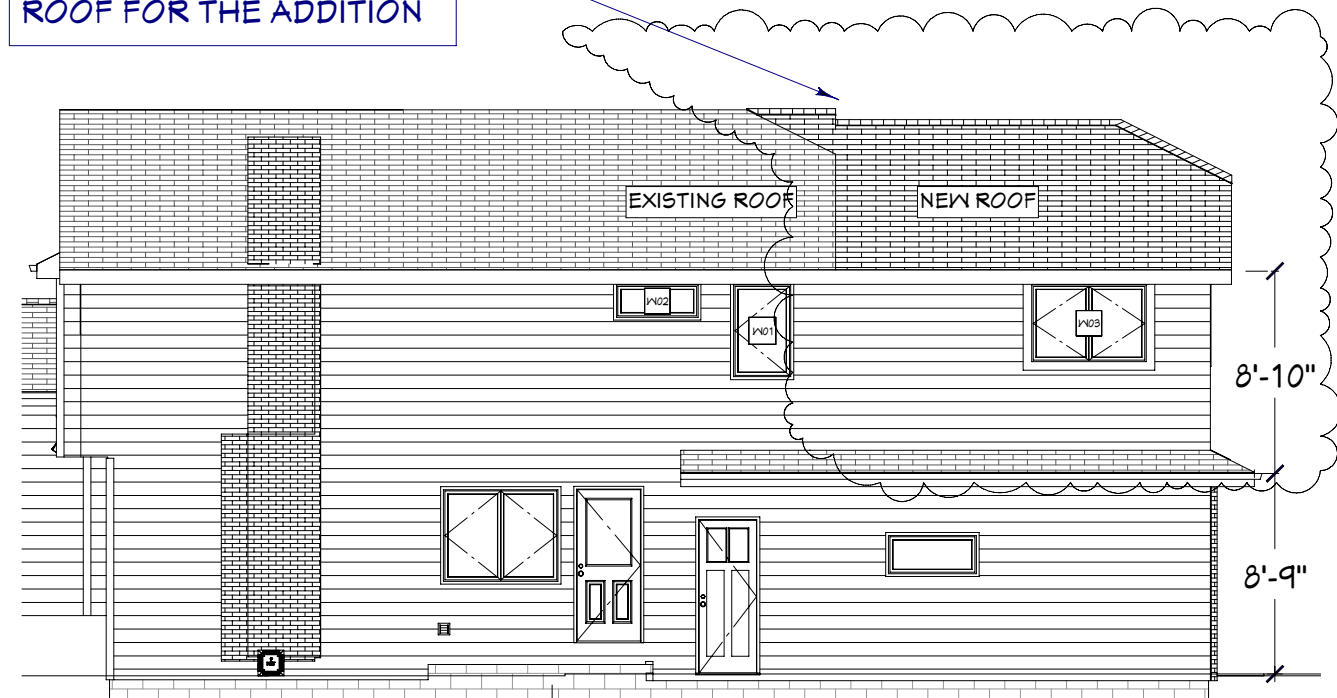
CHECK BOX - 1/4" X 1" ONLY @ SCALE

CLIPPED ROOF TO MATCH EXISTING CLIPPED END

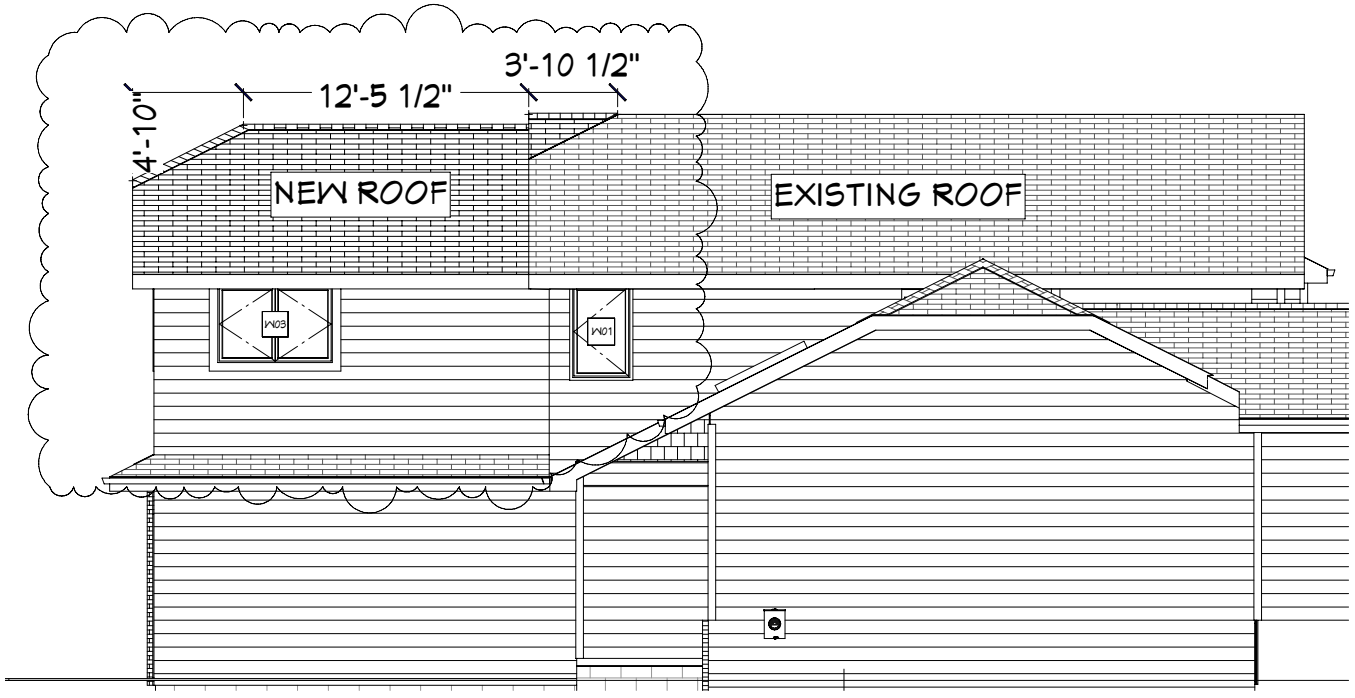


FRONT  
SCALE: 1/8" = 1'-0"

FILL IN EXISTING CLIPPED ROOF FOR THE ADDITION



LEFT  
SCALE: 1/8" = 1'-0"



RIGHT  
SCALE: 1/8" = 1'-0"



BACK  
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS

Rashedi, Laurie & Abby  
14601 Woodruff Road  
Mayzata MN 55391

DATE	DRAWING	BY
12/29/23	EXISTING	MJ
1/1/24	PROPOSED	MJ
3/1/24	Proposed modified	KB
3/4/24	electrical & measurements	KB
4/15/2024	TRADE WALK	MJ
5/28/2024	REVISED PLANS	MJ
5/29/2024	Review Meeting	KB
6/5/2024	Post Edits	KB
1/24/2024	Electrical Edits	KB
8/1/2024	Header Notes Added	KB
8/5/2024	Changes Per Homeowner	KB
8/19/2024	PERMITTING PLAN	MJ

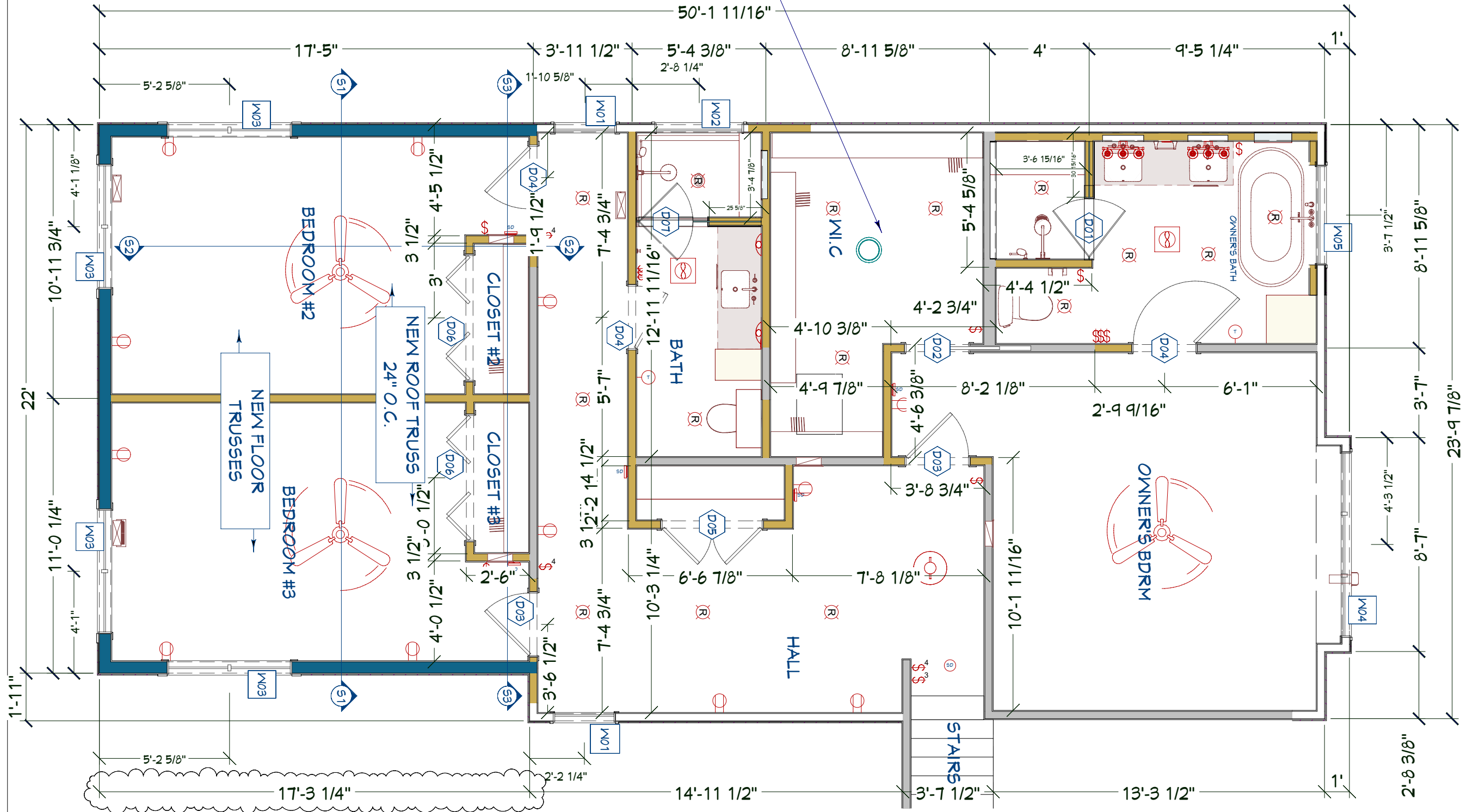
JOB #: 8978  
DATE: 8/19/2024  
SCALE: AS NOTED  
OWNER INITIAL:

CHECK BOX - 1/4" X 1"  
ONLY @ SCALE

EXTERIOR DIMENSION: OFF EXTERIOR SIDE OF THE WALL'S FRAMING TO INTERIOR WALL'S CENTERS

DOOR & WINDOW SCHEDULE ON SHEET#4

SOLAR TUBE ADDED IN NEW W.I.C.



**MURPHY BROS.**  
DESIGN · BUILD · REMODEL

1613 93rd LANE BLAINE, MN 55449

FRAMING 2nd Level

Rashedi, Laurie & Abby

14601 Woodruff Road  
Mayzata MN 55391

DATE	DRAWING	BY
12/29/23	EXISTING	MJ
1/19/24	PROPOSED	MJ
3/1/24	Proposed updated electrical & measurements	KB
3/4/24	TRADE WALK	MJ
4/15/2024	REVISED PLANS	MJ
5/28/2024	Review Meeting	KB
6/24/2024	Post Edits	KB
1/24/2024	Header Notes Added	KB
8/1/2024	Changes Per Homeowner	KB
8/19/2024	PERMITTING PLAN	MJ

JOB #:	8978
DATE:	8/19/2024
SCALE:	AS NOTED
OWNER INITIAL:	

CHECK BOX - 1/4" X 1" ONLY @ SCALE

SHEET # **6 of 16**

FRAMING 2nd Level  
SCALE: 1/4" = 1'-0"

INTERIOR DIMENSIONS:  
NEW WALLS DIMENSIONS FOR OFF THE FRAMING  
EXISTING WALLS DIMENSION ARE OFF THE DEFAULT 1/2" WALL FINISH

- = NEW 2X6 EXTERIOR WALLS
- = NEW 2X4 INTERIOR WALLS/ PATCH EXISTING EXTERIOR
- = EXISTING 2X4 WALLS

ROOF OVER ADDITION ONLY : 6:12 PITCH SHOWN TO MATCH EXISTING COMMON ROOF TRUSSES @ 24" O.C. LOUVER STATIC ROOF VENT TO MATCH EXISTING EXHAUST ASPHALT SHINGLES TO BLEND W/ EXISTING  
 1/2" OSB W/ CLIPS  
 ATTIC INSULATION: R-49- TYPE: LOOSEFILL FIBERGLASS  
 AIR CHUTES / INSULATION BLOCK / WIND-WASH USE BELOW OR EQUAL  
 PRODUCT LIKE: OWENS CORNING RAFT-R-MATE  
 4 MIL VAPOR BARRIER CAULK & SEAL ON SEAMS  
 5/8" GYPSUM BD CEILING

HEEL TO MATCH EXISTING

SOFFIT & FASCIA:  
 VENTED SOFFIT - BLEND W/ EXISTING  
 FASCIA - BLEND W/ EXISTING  
 GUTTER NOT INCLUDED

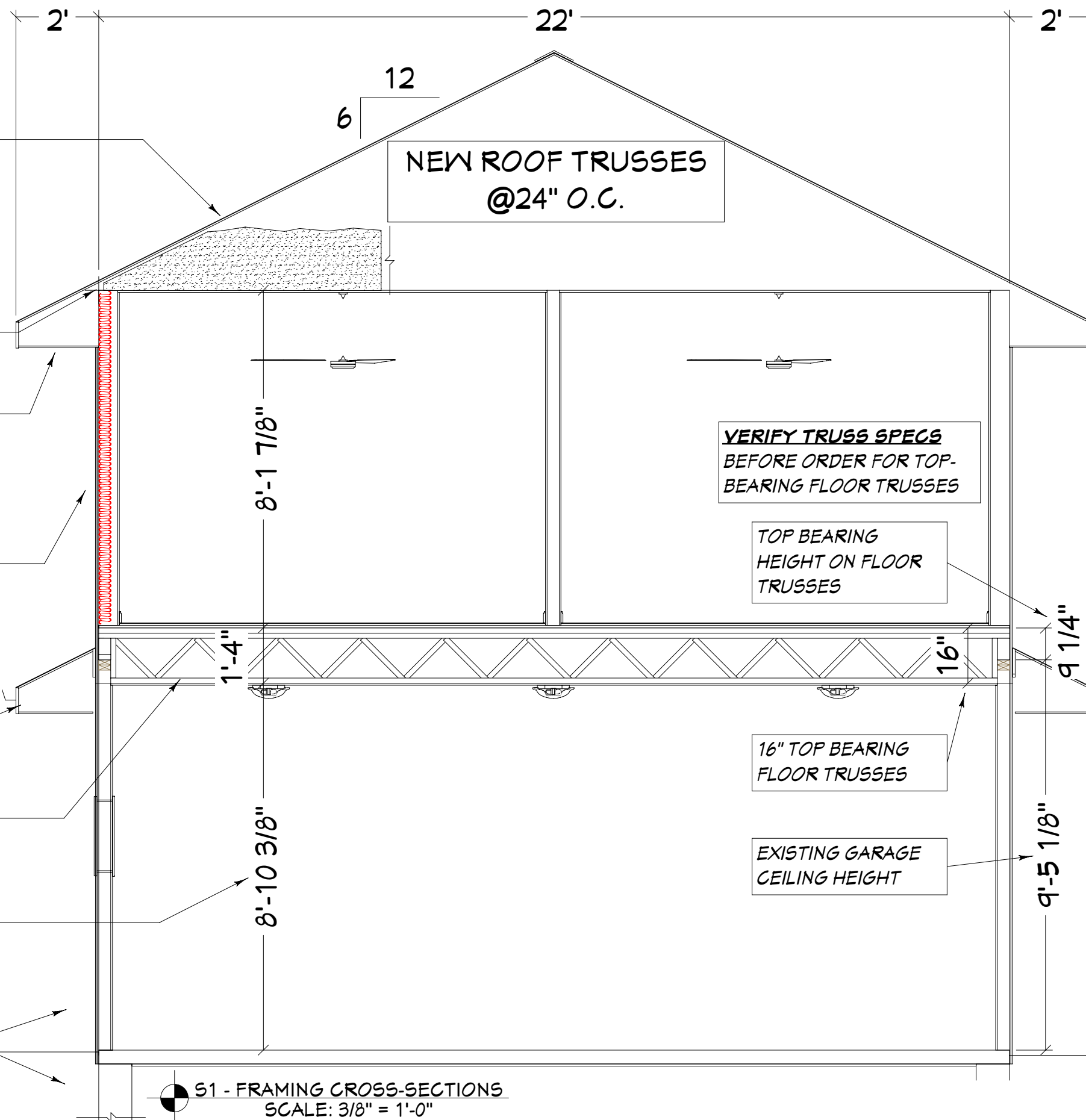
SIDING: HARDIE BOARD LAP  
 HOUSE WRAP  
 7/16" OSB  
 NEW EXTERIOR 2X6 16" O.C. WALLS  
 INSULATION: R-21 UNFACED FIBER BATT  
 4 MIL VAPOR BARRIER CAULK & SEAL ON SEAMS  
 1/2" GYPSUM BD FINISHED INT.

EXISTING ROOF

NEW FLOOR SYSTEM:  
 TOP BEARING 16" FLOOR TRUSSES  
 R-30 FLOOR INSULATION  
 NEED TO REVIEW W/  
 CEILING BELOW:  
 5/8" GYPSUM BOARD & FIRE TAPED

EXISTING GARAGE CEILING  
 HEIGHT TO BE REDUCE FOR TOP  
 BEARING FLOOR TRUSSES

EXISTING 2X4 GARAGE EXTERIOR  
 WALLS ON EXISTING FOUNDATION  
 WALLS  
 VERIFY SIZE OF THE EXISTING  
 FOOTING. REFER TO TABLE R402.1(1)  
 FOR MINIMUM FOOTING SIZES W/ 50 psf  
 OF SNOW LOAD ON A 2-STORY SLAB ON  
 GRADE IS 14X6 @ 1500 SOIL psf



NEW ROOF TRUSSES  
 @24" O.C.

VERIFY TRUSS SPECS  
 BEFORE ORDER FOR TOP-  
 BEARING FLOOR TRUSSES

TOP BEARING  
 HEIGHT ON FLOOR  
 TRUSSES

16" TOP BEARING  
 FLOOR TRUSSES

EXISTING GARAGE  
 CEILING HEIGHT

S1 - FRAMING CROSS-SECTIONS  
 SCALE: 3/8" = 1'-0"

FRAMING CROSS-SECTIONS

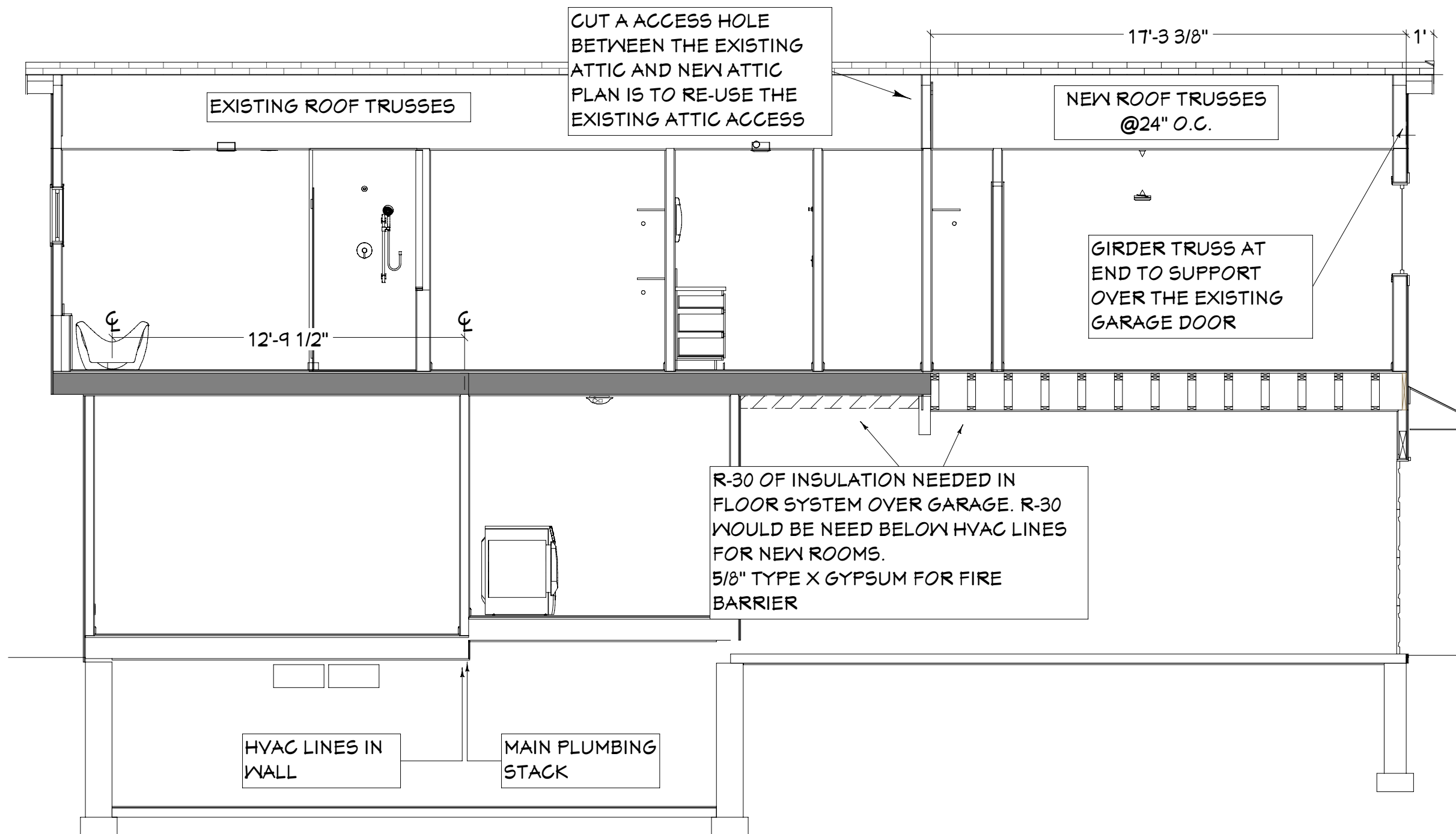
Rashedi, Laurie & Abby  
 14601 Woodruff Road  
 Mayzata MN 55391

DATE	DRAWING	BY
12/29/23	EXISTING	MJ
1/11/24	PROPOSED	MJ
3/1/24	Proposed updates	KB
3/4/24	electrical & measurements	KB
4/15/2024	TRADE WALK	MJ
5/28/2024	REVISED PLANS	MJ
5/29/2024	Review Meeting	KB
6/5/2024	Post Edits	KB
7/24/2024	Electrical Edits	KB
8/1/2024	Header Notes Added	KB
8/5/2024	Changes Per Homeowner	KB
8/19/2024	PERMITTING PLAN	MJ

JOB #: 8978  
 DATE: 8/19/2024  
 SCALE: AS NOTED  
 OWNER INITIAL:

CHECK BOX - 1/4" X 1"  
 ONLY @ SCALE





FRAMING CROSS-SECTIONS

Rashedi, Laurie & Abby  
14601 Woodruff Road  
Mayzata MN 55391

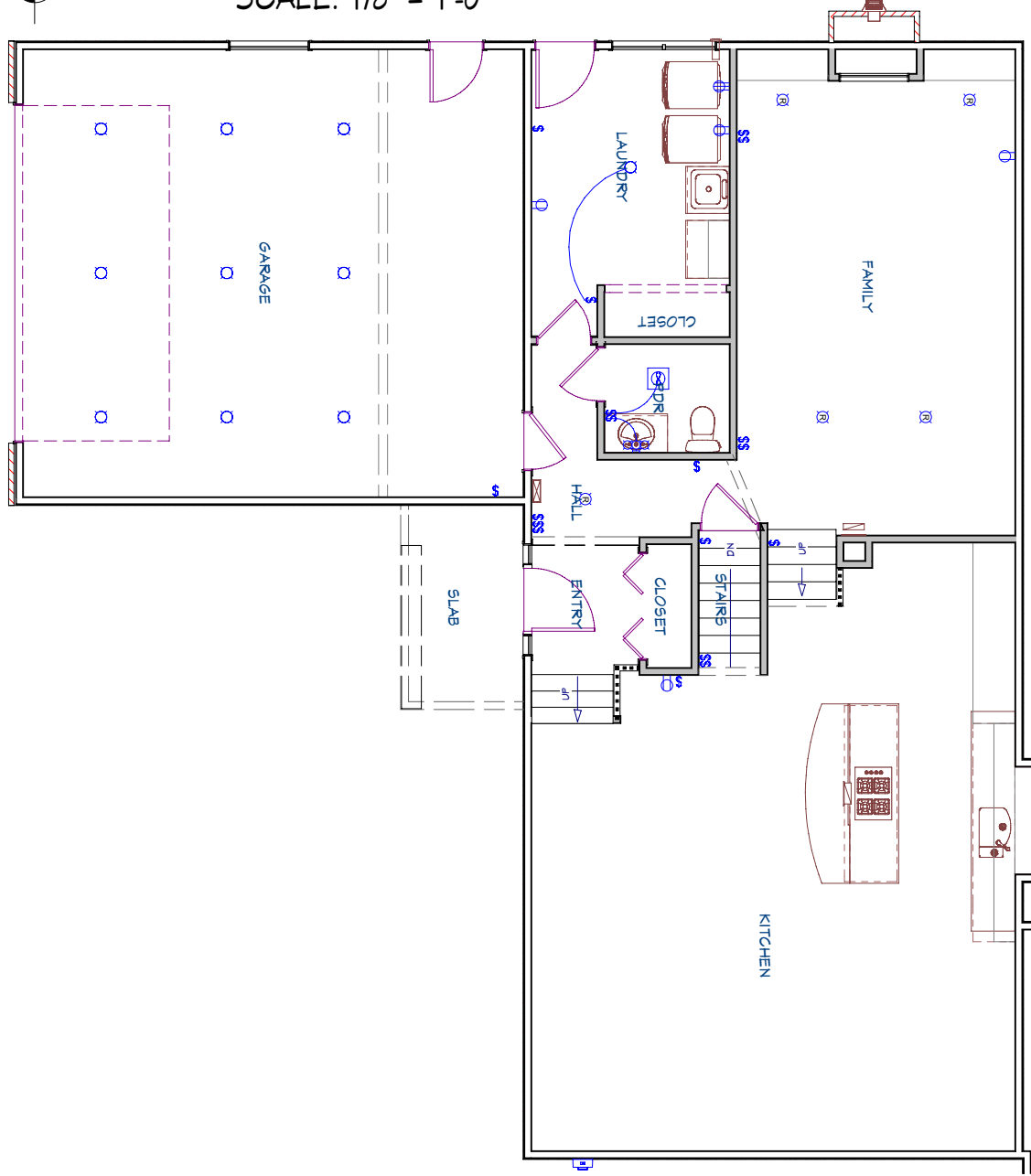
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1/19/24	PROPOSED	MJ
3/1/24	Changes updated	KB
3/4/24	electrical & measurements	KB
4/15/2024	TRADE WALK	MJ
5/28/2024	REVISED PLANS	MJ
5/29/2024	Review Meeting	KB
6/5/2024	Post Edits	KB
7/24/2024	Electrical Edits	KB
8/1/2024	Header Notes Added	KB
8/5/2024	Changes Per Homeowner	KB
8/19/2024	PERMITTING PLAN	MJ

JOB #: 8978  
DATE: 8/19/2024  
SCALE: AS NOTED  
OWNER INITIAL:

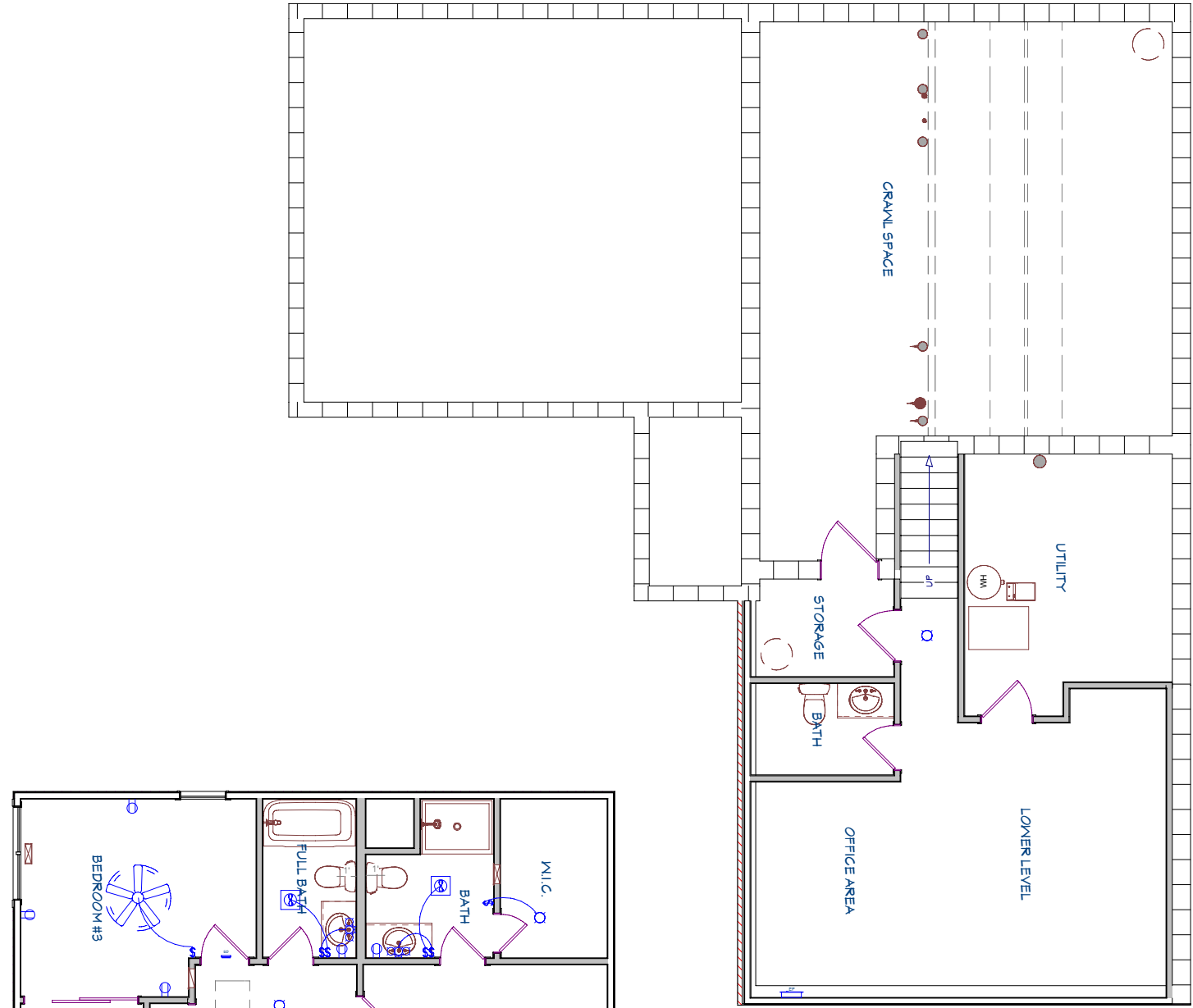
CHECK BOX - 1/4" X 1" ONLY @ SCALE

SHEET # 8 of 16

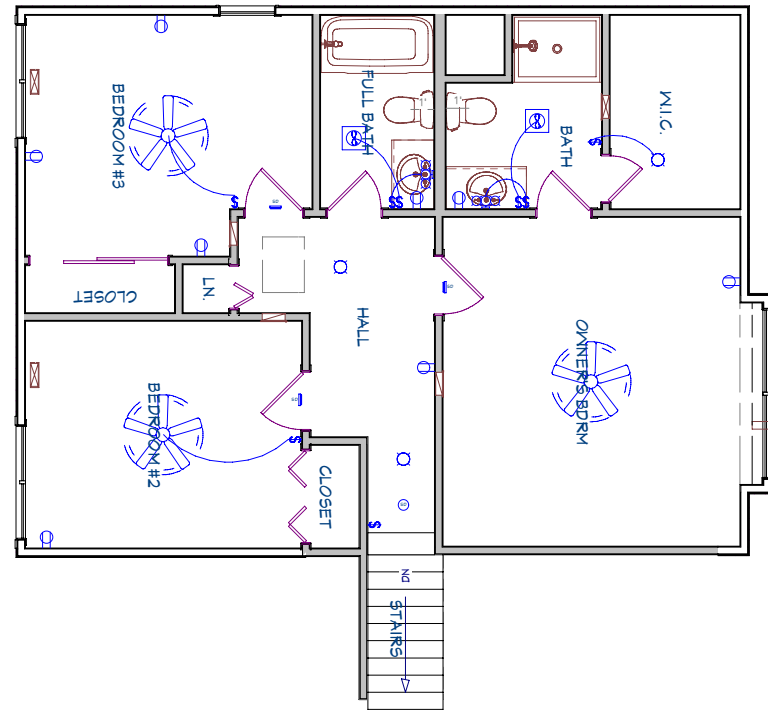
EXISTING ELECTRICAL PLANS - Main Level  
SCALE: 1/8" = 1'-0"



EXISTING ELECTRICAL PLANS - Lower Level  
SCALE: 1/8" = 1'-0"



EXISTING ELECTRICAL PLANS - 2nd Level  
SCALE: 1/8" = 1'-0"



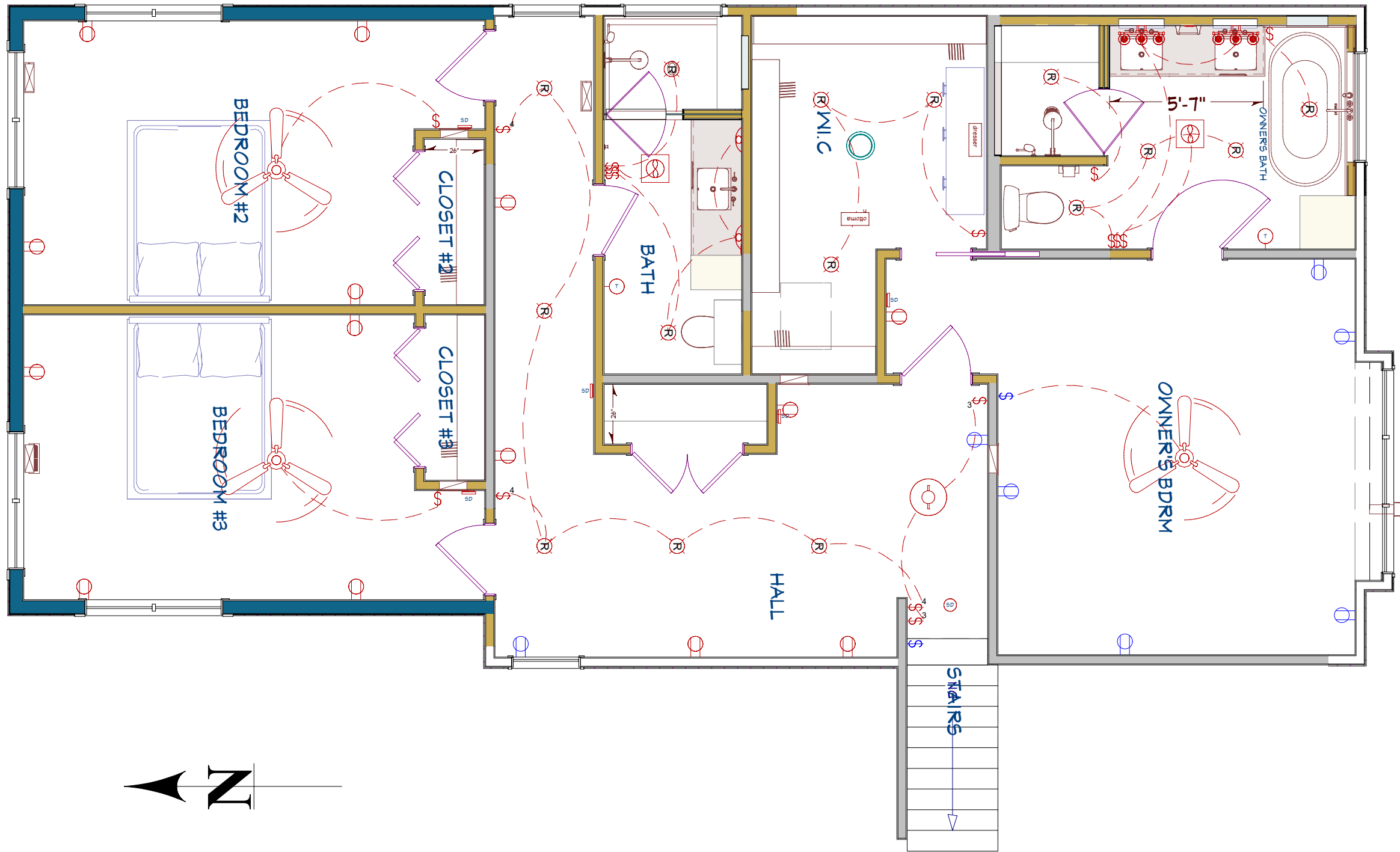
EXISTING ELECTRICAL PLANS


Rashedi, Laurie & Abby  
14601 Woodruff Road  
Mayzata MN 55391

DATE	DRAWING	BY
12/29/23	EXISTING	MJ
1/19/24	PROPOSED	MJ
3/1/24	Proposed updated electrical & measurements	KB
3/4/24		KB
4/15/2024	TRADE WALK REVISED PLANS	MJ
5/28/2024	Review Meeting	KB
5/29/2024	Post Edits	KB
6/5/2024		KB
7/24/2024	Electrical Edits	KB
8/1/2024	Header Notes Added	KB
8/5/2024	Changes Per Homeowner	KB
8/19/2024	PERMITTING PLAN	MJ

JOB #: 8978  
DATE: 8/19/2024  
SCALE: AS NOTED  
OWNER INITIAL:

CHECK BOX - 1/4" X 1"  
ONLY @ SCALE




**PROPOSED ELECTRICAL 2nd Level**  
 SCALE: 3/16" = 1'-0"

**PROPOSED ELECTRICAL 2nd Level**  
 Rashedi, Laurie & Abby  
 14601 Woodruff Road  
 Mayzata MN 55391

DATE	DRAWING	BY
12/29/23	EXISTING	MJ
1/19/24	PROPOSED	MJ
3/1/24	Owner updated	KB
3/4/24	electrical & measurements	KB
4/15/2024	TRADE WALK	MJ
5/28/2024	REVISED PLANS	MJ
5/29/2024	Review Meeting	KB
6/5/2024	Post Edits	KB
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JOB #: 8978  
 DATE: 8/19/2024  
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 OWNER INITIAL:

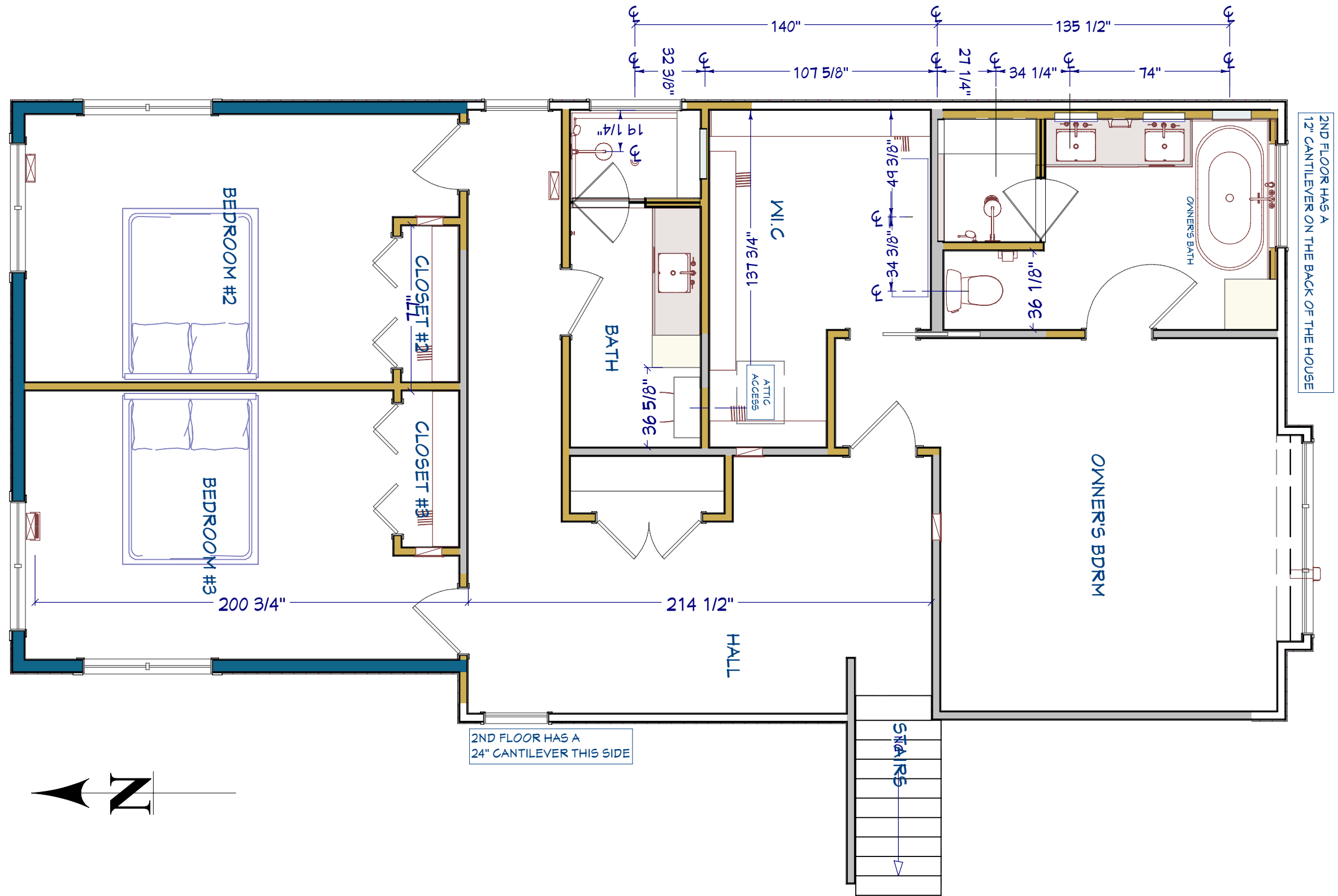
CHECK BOX - 1/4" X 1" ONLY @ SCALE

**HVAC & PLUMBING - 2nd Level**  
 Rashedi, Laurie & Abby  
 14601 Woodruff Road  
 Mayzata MN 55391

DATE	DRAWING	BY
12/29/23	EXISTING	MJ
1/19/24	PROPOSED	MJ
3/1/24	Changes updated	KB
3/4/24	electrical & measurements	KB
4/15/2024	TRADE WALK	MJ
5/28/2024	REVISED PLANS	MJ
5/29/2024	Review Meeting	KB
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JOB #: 8978  
 DATE: 8/19/2024  
 SCALE: AS NOTED  
 OWNER INITIAL:

CHECK BOX - 1/4" X 1" ONLY @ SCALE



**LEGAL DESCRIPTION:**

Lot 4, Block 5, CHEYENNE TRAILS, Hennepin County, Minnesota.

**SCOPE OF WORK & LIMITATIONS:**

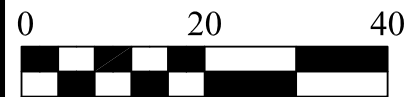
1. Showing the length and direction of boundary lines of the legal description listed above. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct and that any matters of record, such as easements, that you wish to be included on the survey have been shown.
2. Showing the location of observed existing improvements we deem necessary for the survey.
3. Setting survey markers or verifying existing survey markers to establish the corners of the property.
4. Existing building dimensions and setbacks measured to outside of siding or stucco.
5. We have also provided a benchmark for your use in determining elevations for construction on this site. The elevations shown relate only to the benchmark provided on this survey. Use that benchmark and check at least one other feature shown on the survey when determining other elevations for use on this site or before beginning construction.
6. This survey has been completed without the benefit of a current title commitment. There may be existing easements or other encumbrances that would be revealed by a current title commitment. Therefore, this survey does not purport to show any easements or encumbrances other than the ones shown hereon.

**STANDARD SYMBOLS & CONVENTIONS:**

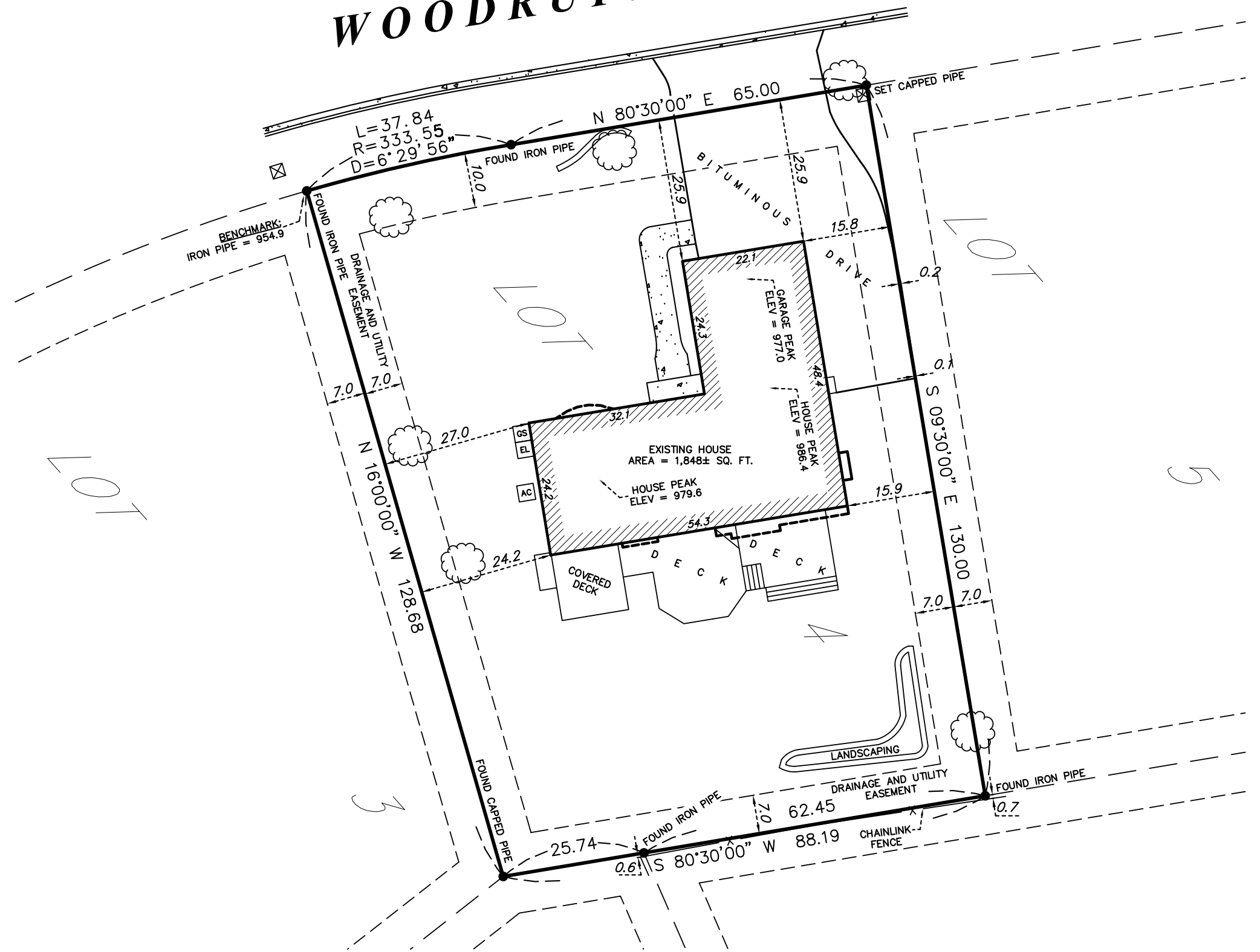
"●" Denotes iron survey marker, as noted.

**LEGEND**

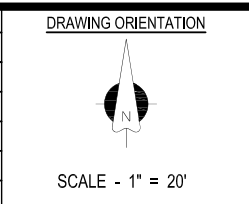
- ☒ TELEPHONE PED.
- AC AIR CONDITIONER
- EL ELECTRIC METER
- GS GAS METER
- ☁ TREE
- X FENCE LINE
- CONCRETE



**WOODRUFF RD**



DATE	REVISION DESCRIPTION



CLIENT/JOB ADDRESS

**JAMES DAYTON DESIGN, LTD.**  
**ATTN: ANGIE VARPNESS**  
 14601 WOODRUFF RD  
 MINNETONKA, MN

**Advance**  
 Surveying & Engineering, Co.  
 17917 Highway No. 7  
 Minnetonka, Minnesota 55345  
 Phone (952) 474-7964  
 Web: www.advsur.com

I HEREBY CERTIFY THAT THIS PLAN, SURVEY OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Thomas M. Bloom*  
 Thomas M. Bloom  
 # 42379  
 LICENSE NO.

10/30/2020  
 DATE

DATE SURVEYED:  
 10/30/2020

DATE DRAFTED:  
 10/30/2020

SHEET TITLE  
**EXISTING SURVEY**

SHEET SIZE: 11 X 17

DRAWING NUMBER  
 201889 KDS

SHEET NO.  
**S1**  
 SHEET 1 OF 1

**Project Location:**

14601 Woodruff Rd  
Wayzata MN 55391

**Description of the Expansion:**

We are seeking an expansion permit to construct an addition over the top of the existing garage to create additional livable space. By extending vertically over the existing garage, the project minimizes the need for extensive remodeling and reduces disruption to other areas of the house. The proposed addition will maintain the existing 25.9' front yard setback.

**Intended Use of the Proposed Structure:**

The addition over the existing garage will enhance the functionality of the home by:

- Providing an owner's ensuite with a modern bathroom, including a shower, separate tub, and double sink vanity.
- Incorporating a walk-in closet.
- Creating a functional office space separate from the main floor's common areas.
- Preserving the current number of bedrooms in the existing structure

**Considerations as Outline in the City Code:**

It adheres to the 2010 city ordinance which permits the expansion of existing non-conforming uses provided that:

“In 2010, the city adopted an ordinance allowing for expansion of existing non-conforming uses when proposed expansion would NOT intrude into one or more setbacks beyond the distance of the existing structure or would NOT exceed the height or size limitations by a distance or amount greater than the existing non-conformity.”

The proposed addition will blend with the existing exterior of the house, complementing the neighborhood's aesthetics and maintaining the overall character of the area.