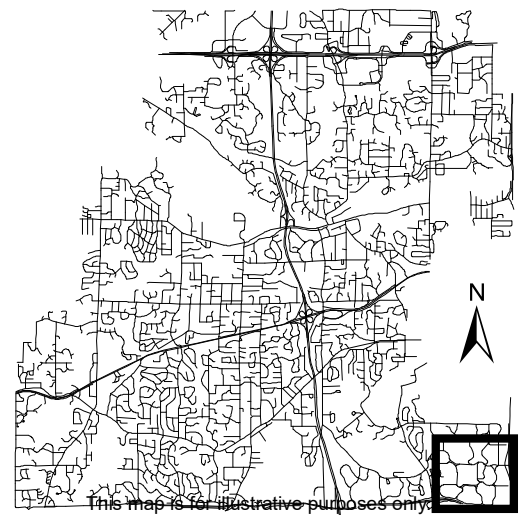




Location Map

Project: Rize at Opus Park
 Address: 10101 Bren Road East



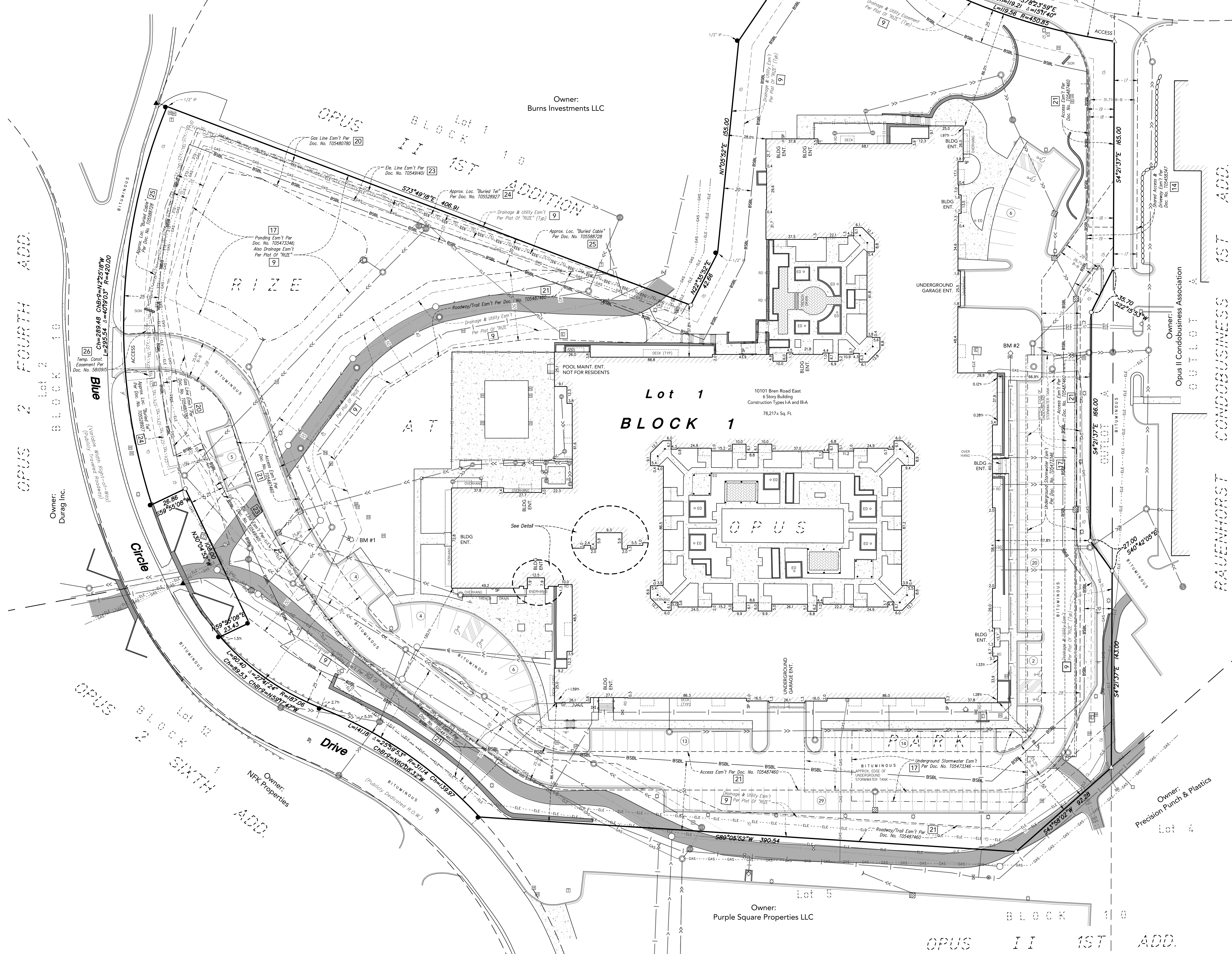
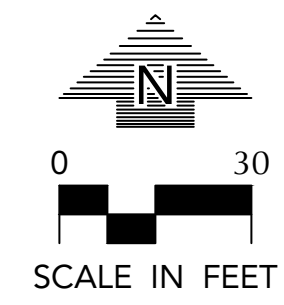
This map is for illustrative purposes only.

10101 Bren Rd. E.
Minor Master Development Plan Application
Statement of Work

The project will convert four existing open lounge spaces to four 472 SF studio units.

SURVEY LEGEND

- FOUND IRON MONUMENT, MARKED 'LS 17255' UNLESS SHOWN OTHERWISE
SET 1/2 INCH X 1/4 INCH IRON MONUMENT, MARKED 'LS 48998'
SET NAIL
FOUND PK NAIL
CATCH BASIN
STORM MANHOLE
SANITARY MANHOLE
HYDRANT
GATE VALVE
ACCESS POST
AREA DRAIN
DISABLED PARKING STALL
ELECTRIC OUTLET
ELECTRIC TRANSFORMER
FLARED END SECTION
FIRE CONNECTION
GAS METER
CABLE TV PEDESTAL
GAS VALVE
HAND HOLE
LIGHT POLE
OUTLET CONTROL STRUCTURE
PARKING STALL COUNT
ROOF DRAIN
SIGN
SPOOT
TELEPHONE MANHOLE
TELEPHONE PEDESTAL
TRENCH DRAIN
VENT
WATER MANHOLE / WELL
YARD LIGHT
TOP OF CURB
ELEV @ THRESHOLD
TOP NUT HYDRANT
SCHEDULE B ITEM
STORM SEWER
SANITARY SEWER
WATERMAIN
CULVERT
UNDERGROUND ELECTRIC
UNDERGROUND FIBER OPTIC
UNDERGROUND GAS
UNDERGROUND TELEPHONE
MAPPED WATERMAIN
MAPPED UG CABLE TV
MAPPED UG ELECTRIC
MAPPED UG GAS
MAPPED UG TELEPHONE
MAPPED DRAIN TILE
CHAIN LINK FENCE
IRON FENCE
GUARDRAIL
CONCRETE CURB
BUILDING SETBACK LINE
RETAINING WALL
CONCRETE
PAVERS
NO PARKING
WATER LINE
'RIZE' DENOTES PLAT OF RIZE AT OPUS PARK (INFO) DENOTES INFORMATION AS SHOWN ON CITY PLANS, NOT FIELD VERIFIED.
ESMT DENOTES EASEMENT



DESCRIPTION OF PROPERTY SURVEYED

(Per Schedule A of the herein referenced Title Commitment)
Parcel 1: Lot 1, Block 1, Rize at Opus Park, Hennepin County, Minnesota.
Torrens Property Certificate of Title No. 1447353
Parcel 2: Together with the benefits of Shared Access and Driveway Easement Agreement, dated July 14, 2017, recorded July 17, 2017, as Document No. 1447354.

TITLE COMMITMENT EXCEPTIONS

- (Per Schedule B, Part II of the herein referenced Title Commitment)
1-8 and 27 do not require comment.
9. Drainage and utility easements as shown on the recorded plat of Rize at Opus Park, shown as a recital on the certificate of title. Affects the property and is not shown.
10. This item has been intentionally deleted. Does not affect the property and is not shown.
11. This item has been intentionally deleted. Does not affect the property and is not shown.
12. This item has been intentionally deleted. Does not affect the property and is not shown.
13. This item has been intentionally deleted. Does not affect the property and is not shown.
14. Terms and conditions of, and easements as contained in Shared Access and Driveway Easement Agreement dated July 14, 2017, recorded July 17, 2017, as Document No. T05458347. Affects the property and is shown hereon.
15. Terms and conditions of Declaration dated July 31, 2017, recorded September 6, 2017, as Document No. T05473344. Affects the property. Blanket in nature and is not shown hereon.
16. Terms and conditions of Agreement for Maintenance of Trees Along Trail dated August 4, 2017, recorded September 6, 2017, as Document No. T05473345. Affects the property and is not shown hereon. Refers to maintenance of trees along trails and is not plottable in nature.
17. Terms and conditions of Stormwater Management Agreement dated August 4, 2017, recorded September 6, 2017, as Document No. T05473346. Affects the property and is shown hereon.
18. Terms and conditions of Agreement for Payment of Snow Removal Costs dated August 4, 2017, recorded September 6, 2017, as Document No. T05473347. Affects the property and is not shown hereon. Refers to snow removal and repair of trails and is not plottable in nature.
19. Terms and conditions of Development Agreement: Rize at Opus Park A Development including Public Infrastructure dated August 31, 2017, recorded September 6, 2017, as Document No. T05492062. Affects the property. Blanket in nature and is not shown hereon. Approves a parking variance from 664 parking stalls to 586 stalls per Resolution No. 2016-129, dated November 14, 2016.
20. Easement in favor of CenterPoint Energy Resources Corp., a Delaware corporation, doing business in Minnesota as CenterPoint Energy Minnesota Gas, dated August 28, 2017, recorded September 29, 2017, as Document No. T05480780. Affects the property and is shown hereon.
21. Easement in favor of the City of Minneapolis, and terms and conditions as contained in Easement and Encroachment Agreement dated October 26, 2017, recorded October 27, 2017, as Document No. T05487460. Affects the property and is shown hereon.
22. Terms and conditions of Restrictive Covenants and Easement Related to Privately Owned Fire Hydrant dated September 11, 2017, recorded November 16, 2017, as Document No. T05492062. Affects the property. Refers to all improved drives and parking areas on the property and is not plottable in nature.
23. Easement in favor of Northern States Power Company as contained in Electric Easement dated August 28, 2017, recorded November 17, 2017, as Document No. T05491401. Affects the property and is shown hereon.
24. Easement in favor of Qwest Corporation, a Colorado Corporation d/b/a CenturyLink OC as contained in Easement Agreement dated May 1, 2018, recorded May 7, 2018, as Document No. T05528927. Affects the property and is shown hereon.
25. Easement in favor of Comcast Cable Communications Management, LLC, as contained in Grant of Easement dated May 29, 2018, recorded January 11, 2019, as Document No. T05588728. Affects the property and is shown hereon.
26. Easement in favor of the City of Minneapolis as contained in Temporary Construction Easement dated February 22, 2021, recorded March 8, 2021, as Document No. 5810915. Affects the property and is shown hereon.

ALTA/NSPS OPTIONAL TABLE A NOTES

- (The following items refer to Table A optional survey responsibilities and specifications)
1. Monuments placed (or a reference monument or witness to the corner) at all major corners of the boundary of the property, unless already marked or referenced by existing monuments or witnesses to the corner are shown hereon.
2. The address, if disclosed in documents provided to or obtained by the surveyor, or otherwise visible while conducting the fieldwork is 10101 Bren Road East, Minneapolis, MN.
3. This property is contained in Zone X (areas determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map No. 2705030343F, Community Panel No. 270173 0343 F, effective date of November 4, 2016.
4. The gross land area is 334,787 +/- square feet or 7.69 +/- acres.
5. (a) Any current zoning classification, setback requirements, height and floor space area restrictions, and parking requirements, shown hereon, are per a draft report by Partner Engineering and Science, Inc., dated 06/21/21, Partner Project No. 21-318886-1, for the subject property are as follows:
Zone PUD (Planned Unit Development)
Setbacks: Front 25 feet, Side 20 feet, Rear 50 feet;
Parking Spaces: 564 spaces per variance in its Report
Height: 153 stories
Floor Area Ratio: 0.88:1
(b) Setbacks are shown hereon.
6. (a) Exterior dimensions of all buildings are shown at ground level.
(b) Square footage is the exterior footprint of all buildings at ground level.
(c) The heights of all buildings above grade are measured at the locations shown hereon.
7. Substantial features observed in the process of conducting fieldwork, are shown hereon.
8. Striping of clearly identifiable parking spaces on surface parking areas and lots are shown hereon. The number and type of clearly identifiable parking stalls on this site are as follows:
103 Regular + 4 Disabled Surface Parking Stalls
467 Regular + 10 Disabled Underground Parking Stalls
570 Regular + 16 Disabled Total Parking Stalls
9. The client has not designated division or party walls for their relationships and locations with respect to adjoining properties to be shown hereon.
10. (a) We have shown underground utilities and/or serving the surveyed property per Gopher State One-Call Ticket Nos. 201710237 and 201710626. The following utilities and municipalities were notified:
ARVIG (218)346-5500 AT&T TRANSMISSION (713)640-2060
CITY OF MINNETONKA (952)988-8400 COMCAST (608)278-9140
CENTURYLINK (800)278-9140 CENTER POINT ENERGY (800)278-9140
LEVEL 3 IS NOW CENTURYLINK (877)366-8344 XCEL ENERGY (800)448-7558
i. Utility operators do not consistently respond to locate requests through the Gopher State One Call service for surveying purposes such as this. Those utility operators that do respond, often will not locate utilities from their main line to the customer's structure or facility. They consider those utilities "private" installations that are outside their jurisdiction. These "private" utilities on the surveyed property or adjoining properties, may not be located since most operators will not mark such "private" utilities. A private utility locator may be contacted to investigate these utilities further, if requested by the client.
ii. Maps provided by those notified above, either along with a field location or in lieu of such a location, are very often inaccurate or inconsistent. MUST BE EXERCISED BEFORE AN EXCAVATION TAKES PLACE ON OR NEAR THIS SITE. BEFORE DIGGING, YOU ARE REQUIRED BY LAW TO NOTIFY GOPHER STATE ONE CALL AT LEAST 48 HOURS IN ADVANCE AT 811 or 6511 454-0002.
11. The names of the adjoining owners, as shown hereon, are based on information obtained from current tax records.
12. It is 345 feet +/- to the intersection of Bren Road E. and Green Oak Drive.
13. Construction of this site was recently completed.
14. We are not aware of any proposed changes in street right of way lines or evidence of recent street or sidewalk construction or repairs observed in the process of conducting our field work.
15. Plottable offsite (i.e., appurtenant) easements or servitudes disclosed in documents provided to or obtained by the surveyor are shown hereon.
16. (a) Areas affected by any recorded restrictions or access limitations; (b) The locations of existing improvements as measured in both directions from property lines; (c) The perimeter dimensions of existing improvements; (d) Interior lot lines, if any; (e) Location and size of internal driveways and paved parking areas and the location and number of individual parking spaces contained therein; (f) Location of all buildings and improvements, as built, including the distances from each building to the two nearest property boundary lines, and the exterior dimensions of each building; (g) Square foot area of each building; (h) Entrances to and exits from each building; and (i) Water retention areas and drainage water receptacles."

SURVEY REPORT

- 1. The Surveyor was not provided utility easement documents for the subject property except for those shown on the Survey.
2. The bearings for this survey are based on the plat RIZE AT OPUS PARK.
3. Benchmark #1: Top nut of hydrant located 73 feet west of building, shown hereon. Elevation = 919.51 feet (City of Minneapolis Datum)
Benchmark #2: Top nut of hydrant located 10 feet east of building, shown hereon. Elevation = 926.74 feet (City of Minneapolis Datum)
4. Trees shown hereon are 8 inch diameter at breast height or greater. Other trees, less than 8 inches, may be on site but are not shown hereon.
5. Along the southerly property line there is a guardrail that encroaches onto the property, as shown hereon.
6. The boundary of the subject property shown and described hereon forms a mathematically closed figure.
7. See sheet 2 for topography and elevations. See sheet 3 for easements.

CERTIFICATION

To Virtus Rize, LLC, Virtus Real Estate Capital, Coastal Ridge Real Estate, Stonebridge Construction, Inc., Minnetonka Acquisition, LLC, Nationwide Life Insurance Company, or Ono Corporation, its successors and/or assigns as their interests may appear and First American Title Insurance Company.

Professional signature block for Max L. Stanislawski, PLS, License No. 48988, dated June 28, 2021.

10101 BREN ROAD EAST MINNETONKA, MN

COASTAL RIDGE 80 E. RICH STREET SUITE 120 COLUMBUS, OH 43215

LOUCKS PLANNING CIVIL ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE ENVIRONMENTAL 7200 Hemlock Lane, Suite 300 Maple Grove, MN 55369 763.424.5505 www.louckscinc.com

CADD QUALIFICATION CAD/D files prepared by the Consultant for this project are prepared by the Consultant professional services for use solely with respect to this project.

SUBMITTAL REVIEWS 06/03/21 SURVEY ISSUED 06/28/21 REVISED PER COMMENTS

PROFESSIONAL SIGNATURE Max L. Stanislawski, PLS License No. 48988 Date 06/03/21

QUALITY CONTROL Loucks Project No. 15-596E Project Lead MSL Drawn By MSL Checked By BRS Field Crew

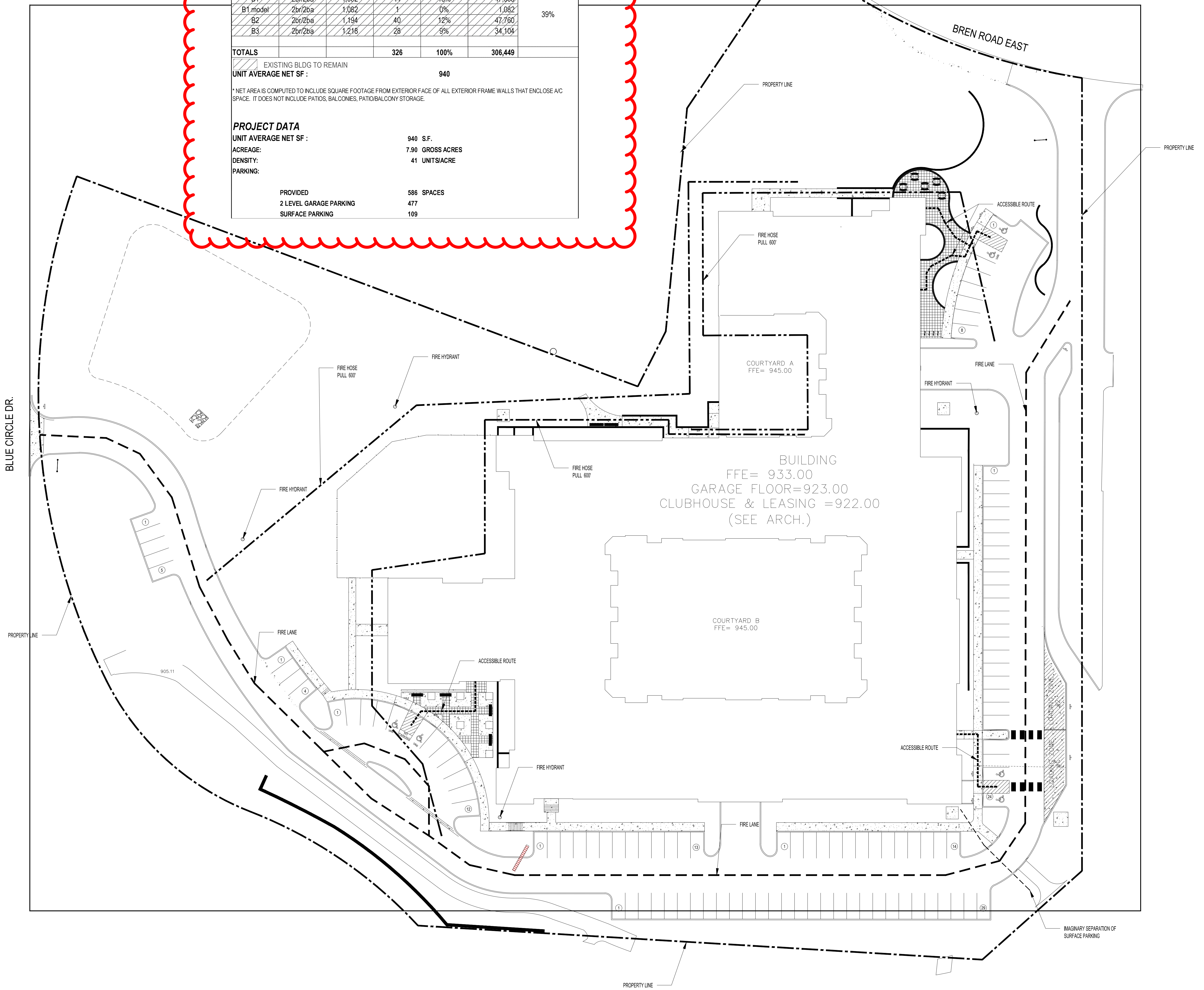
VICINITY MAP showing the project location relative to surrounding streets and landmarks.

ALTA/NSPS LAND TITLE SURVEY 1 of 3

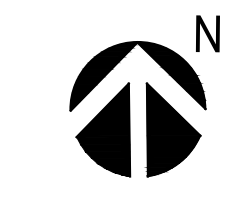
MINNETONKA SITE						2024037
LECESSE DEVELOPMENT						7/19/24
UNIT TABULATION - 5 STORY						
UNIT NAME	UNIT TYPE	NET AREA(SF)	UNIT COUNT	PERCENTAGE	TOTAL AREA	% BREAKDOWN
S1	STUDIO	435	4	1%	1,740	1%
E1	1br/1ba	644	35	11%	22,540	11%
A1	1br/1ba	748	85	26%	63,580	
A2	1br/1ba	869	25	8%	21,475	49%
A2-ALT	1br/1ba	931	20	6%	18,620	
A9	1br/1ba	0	0	0%	0	
B1	2br/2ba	1,082	44	13%	47,608	
B1 model	2br/2ba	1,082	1	0%	1,082	39%
B2	2br/2ba	1,194	40	12%	47,760	
B3	2br/2ba	1,218	28	9%	34,104	
TOTALS			326	100%	306,449	
EXISTING BLDG TO REMAIN						
UNIT AVERAGE NET SF :			940			
*NET AREA IS COMPUTED TO INCLUDE SQUARE FOOTAGE FROM EXTERIOR FACE OF ALL EXTERIOR FRAME WALLS THAT ENCLOSE A/C SPACE. IT DOES NOT INCLUDE PATIOS, BALCONIES, PATIO/BALCONY STORAGE.						
PROJECT DATA						
UNIT AVERAGE NET SF :			940 S.F.			
ACREAGE:			7.90 GROSS ACRES			
DENSITY:			41 UNITS/ACRE			
PARKING:						
PROVIDED			586 SPACES			
2 LEVEL GARAGE PARKING			477			
SURFACE PARKING			109			

NEW UNITS

EXISTING UNITS



FILE: W:\2024\2407 - Rose at Opus - Minneapolis Enhancements\04_CDD\01 DRAWINGS\2407\A101.dwg LAYOUT: A-101 - SITE PLAN
 SCALE: 1/8" DATE/TIME: JUL 24, 2024 - 1:27pm
 USER: mason... PROJECT: PHASE 2 - new units.dwg C:\Users\mason... S:\2024\2407 - Rose at Opus - Minneapolis Enhancements\04_CDD\01 DRAWINGS\2407\A101.dwg



ROOM FINISH SCHEDULE - RESIDENTIAL UNITS

ROOM NAME / TYPE	FLOOR FINISH/SUBSTRATE	BASE TRIM	CROWN	WINDOW TRIM	DOOR TRIM	WALLS	CEILING	NOTES
ENTRY FOYER	CARPET-PAD / GYPCRETE	1"x4" FLAT STOCK	NONE	PNT 1 WD SILL & STOOL	PNT 1 WD 2 1/4" FLAT STOCK	PNT 3 EGG SHELL / GYP	PNT 2 KNOCK DN - FLAT / GYP	REFER TO ELEV FOR ADDITIONAL TRIM DETAILING AT ENTRANCE
LIVING ROOM	VINYL PLANK / GYPCRETE	1"x4" FLAT STOCK	NONE	PNT 1 WD SILL & STOOL	PNT 2 WD 2 1/4" FLAT STOCK	PNT 3 EGG SHELL / GYP	PNT 2 KNOCK DN - FLAT / GYP	REFER TO ELEV FOR ADDITIONAL TRIM DETAIL
KITCHEN	VINYL PLANK / GYPCRETE	1"x4" FLAT STOCK	NONE	NONE	PNT 1 WD 2 1/4" FLAT STOCK	PNT 3 EGG SHELL / GYP	PNT 2 KNOCK DN - FLAT / GYP	
MASTER BATH	VINYL PLANK / GYPCRETE	1"x4" FLAT STOCK	NONE	PNT 1 WD SILL & STOOL	PNT 1 WD 2 1/4" FLAT STOCK	PNT 3 EGG SHELL / GYP	PNT 2 KNOCK DN - FLAT / GYP	
LAUNDRY	VINYL PLANK OR CT / GYPCRETE	1"x4" FLAT STOCK	NONE	PNT 1 WD SILL & STOOL	PNT 1 WD 2 1/4" FLAT STOCK	PNT 3 EGG SHELL / GYP	PNT 2 KNOCK DN - FLAT / GYP	
WALK IN CLOSET	VINYL PLANK / GYPCRETE	1"x4" FLAT STOCK	NONE	PNT 1 WD SILL & STOOL	PNT 1 WD 2 1/4" FLAT STOCK	PNT 3 EGG SHELL / GYP	PNT 2 KNOCK DN - FLAT / GYP	PREFINISHED WIRE SHELVING/REF UNIT LAYOUTS
CLOSET	VINYL PLANK / GYPCRETE	1"x4" FLAT STOCK	NONE	PNT 1 WD SILL & STOOL	PNT 1 WD 2 1/4" FLAT STOCK	PNT 3 EGG SHELL / GYP	PNT 2 KNOCK DN - FLAT / GYP	PREFINISHED WIRE SHELVING/REF UNIT LAYOUTS

NOTE: VERIFY ALL COLORS WITH OWNER PRIOR TO APPLICATION

ROOM FINISH SCHEDULE - GENERAL NOTES

FINISH FLOOR : VP - VINYL PLANK, (REFER TO UNIT PLANS AND ENLARGED PUBLIC AREA PLANS)

MOLDING : SEE SCHEDULE

WALL : KNOCK DOWN TEXTURE WITH EGG SHELL FINISH (TYPICAL U.N.O.) (EXCLUDING EXTERIOR STORAGE AREAS AND GARAGE) USE MOISTURE RESISTANT GYP. BOARD AT PLUMBING WALLS & SURROUND TILE

CEILING : KNOCK DOWN TEXTURE FINISH - FLAT PAINT (OWNER SELECTION)

PAINT : PNT - 1 - DOORS, CASINGS, BASE MOLDING- SEMI GLOSS
PNT - 2 - CEILING- FLAT (RE: SCHEDULE)
PNT - 3 - WALLS- EGG SHELL (RE: SCHEDULE)

COUNTER TOP (KITCHEN): QUARTZ (STONE) - COLOR SELECTED BY OWNER PROVIDE 4" SPLASH - NO FIELD INSTALLED JOINTS WITHOUT SHOP DRAWING APPROVAL BY ARCHITECT/OWNER

COUNTER TOP (BATH): QUARTZ (STONE) - STANDARD COLOR SELECTION BY ARCHITECT/OWNER 4" SPLASH - NO FIELD INSTALLED JOINTS WITHOUT SHOP DRAWING APPROVAL BY ARCHITECT/OWNER

SYMBOL LEGEND - UNIT PLANS

WINDOW TAG SYMBOL: VP CPT

DOOR TAG SYMBOL: 1A3.01

DETAIL SECTION TAG: 1 A3.01 2

REFERENCE TAG: 1 A3.01 2

INTERIOR ELEVATION SYMBOL: 1A

PARTITION WALL TAG REF A1.05

FLOORING TRANSITION TAG: CLEAR FLOOR SPACE WITH 2" TOLERANCE AREA REFER TO NOTES FOR REQUIRED DIMENSIONS

FURROWDOWN FOR DEPTH REFER TO PLAN

1 HOUR RATED WALL

ELECTRIC PANEL

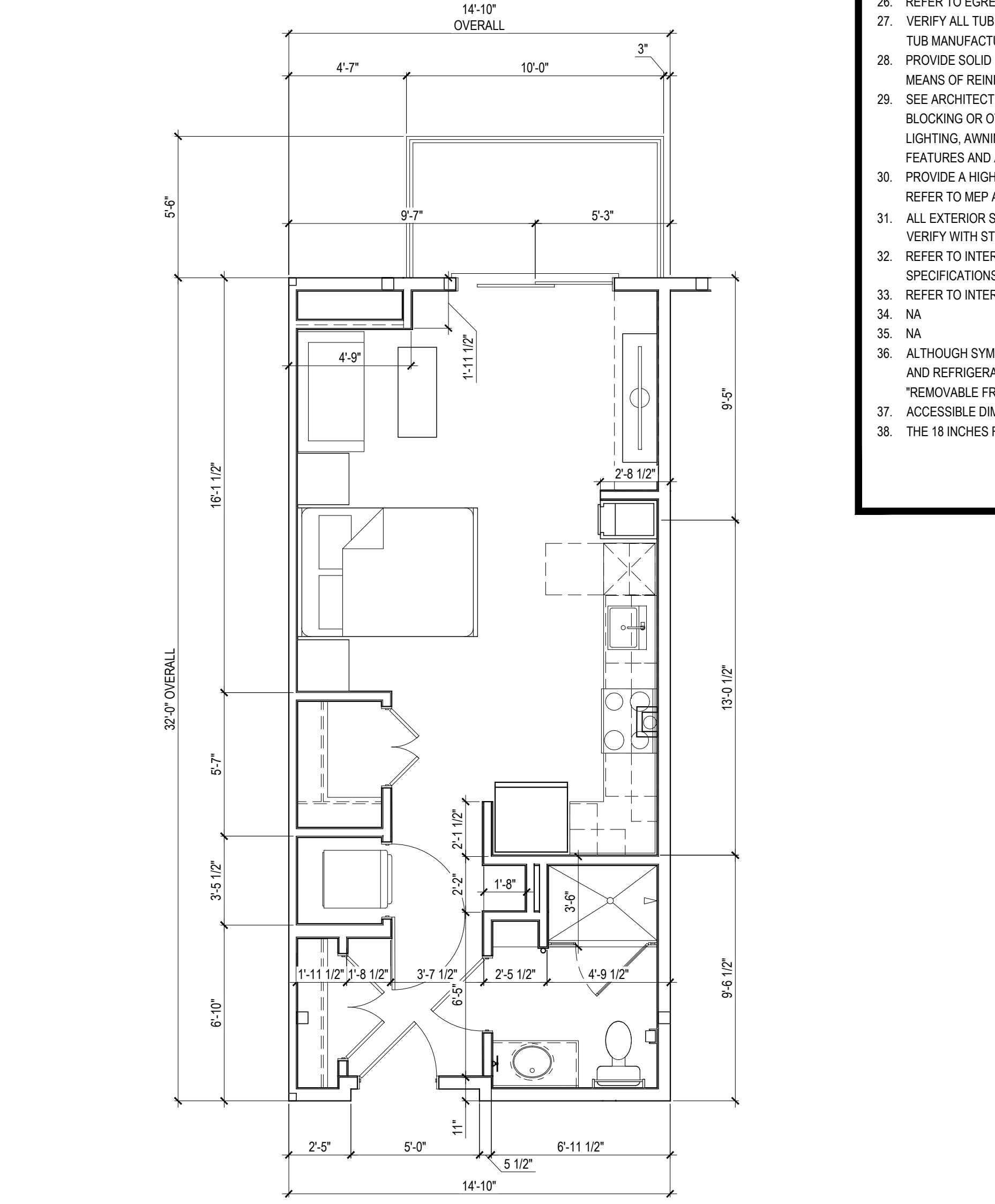
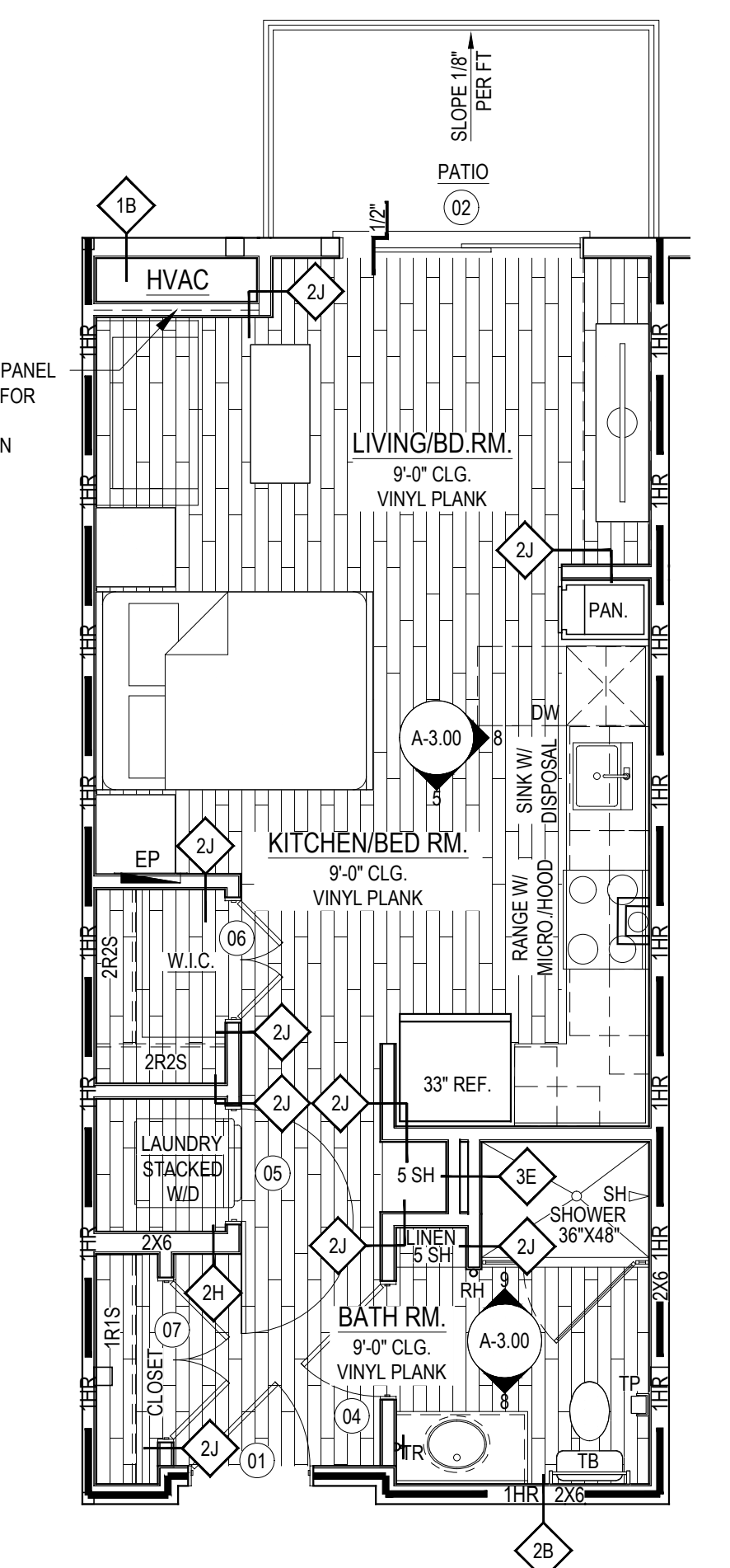
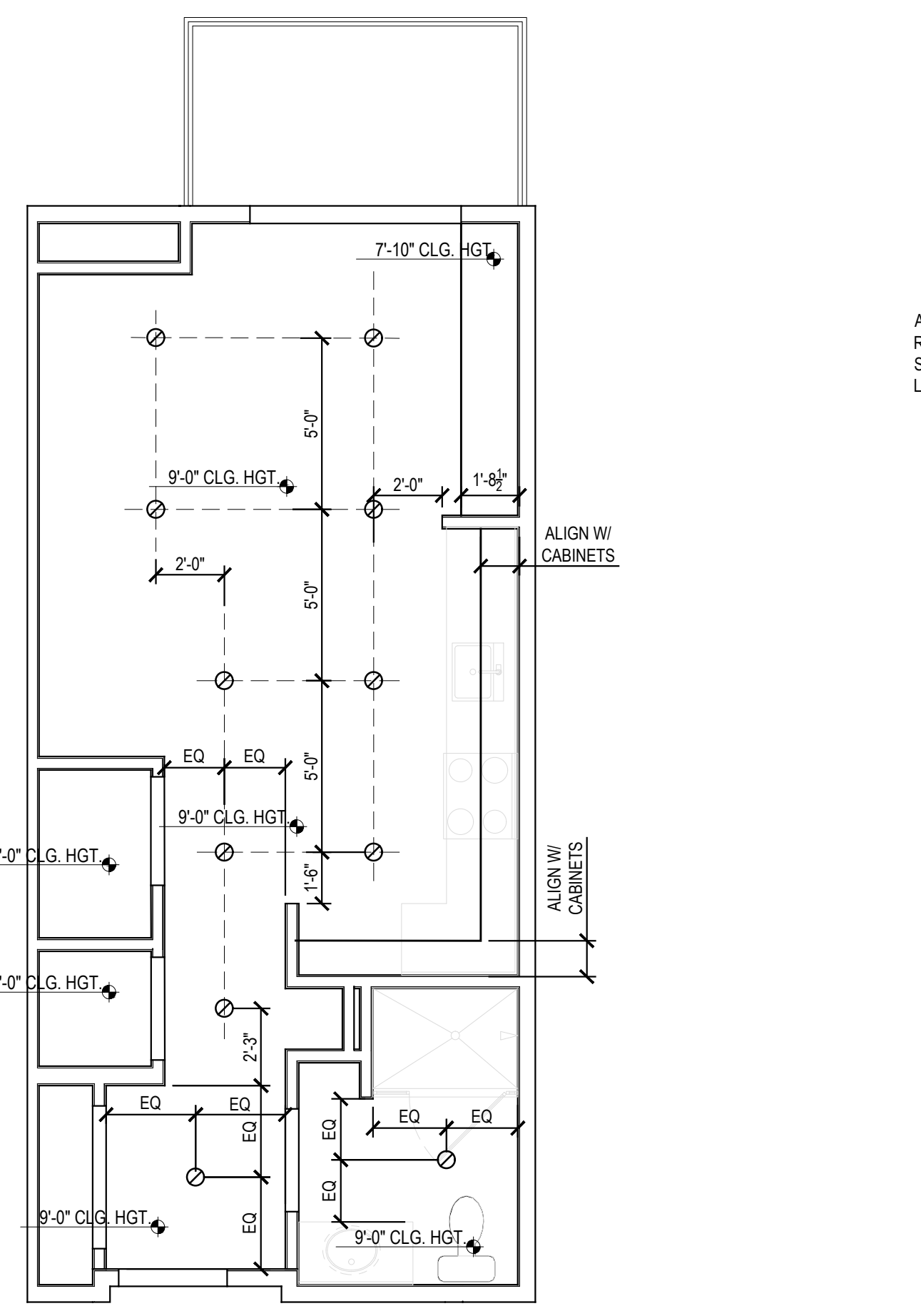
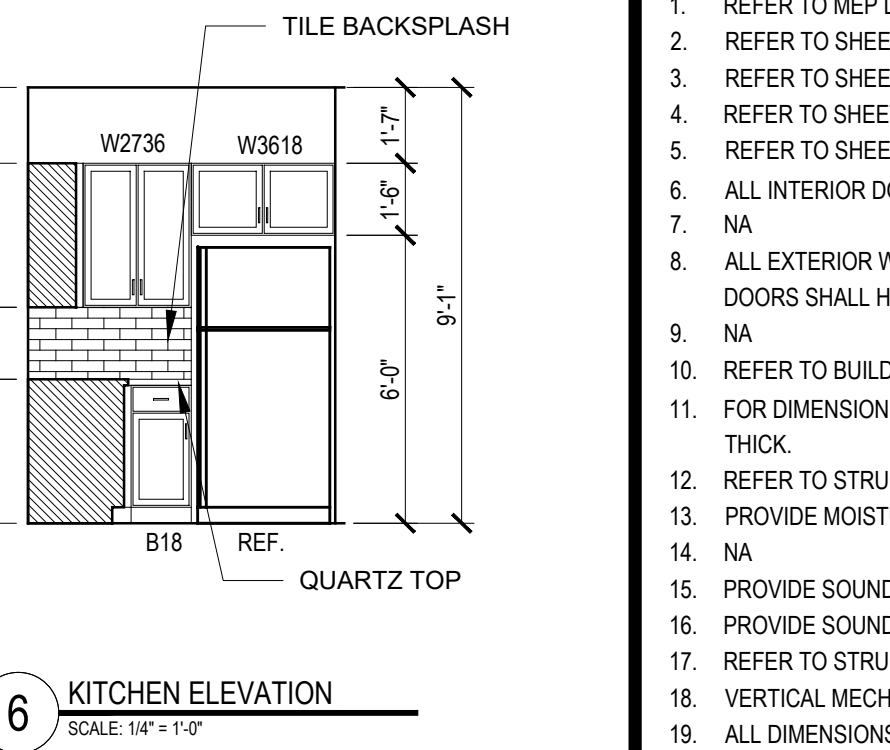
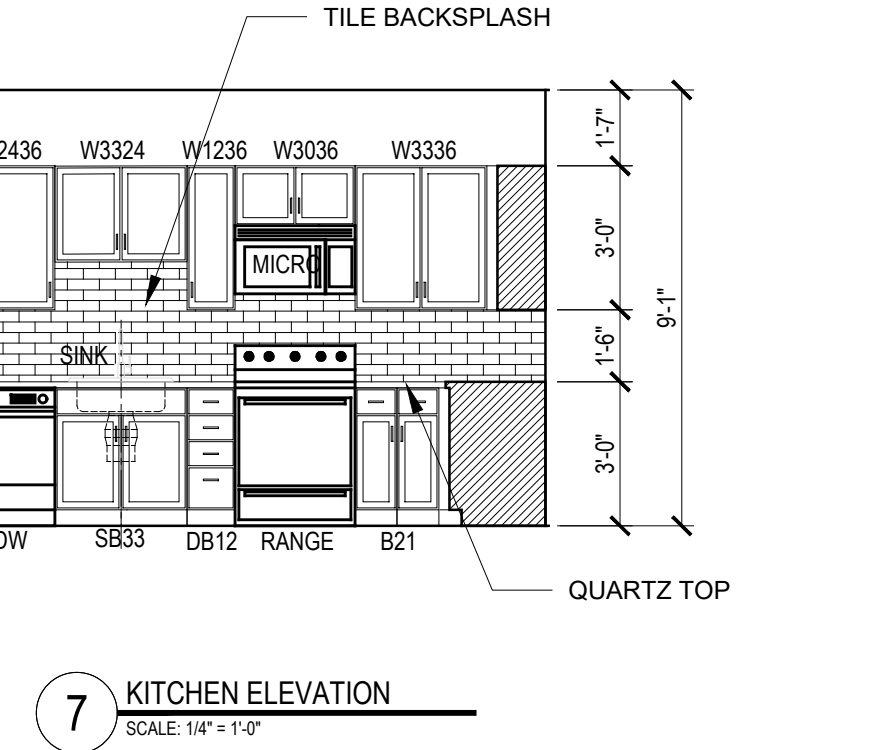
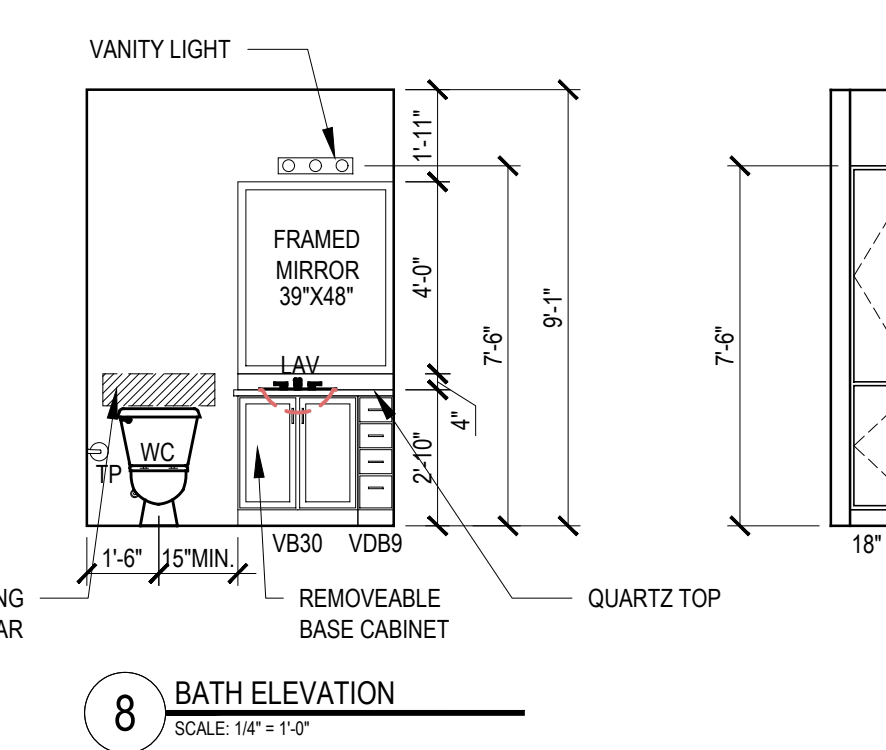
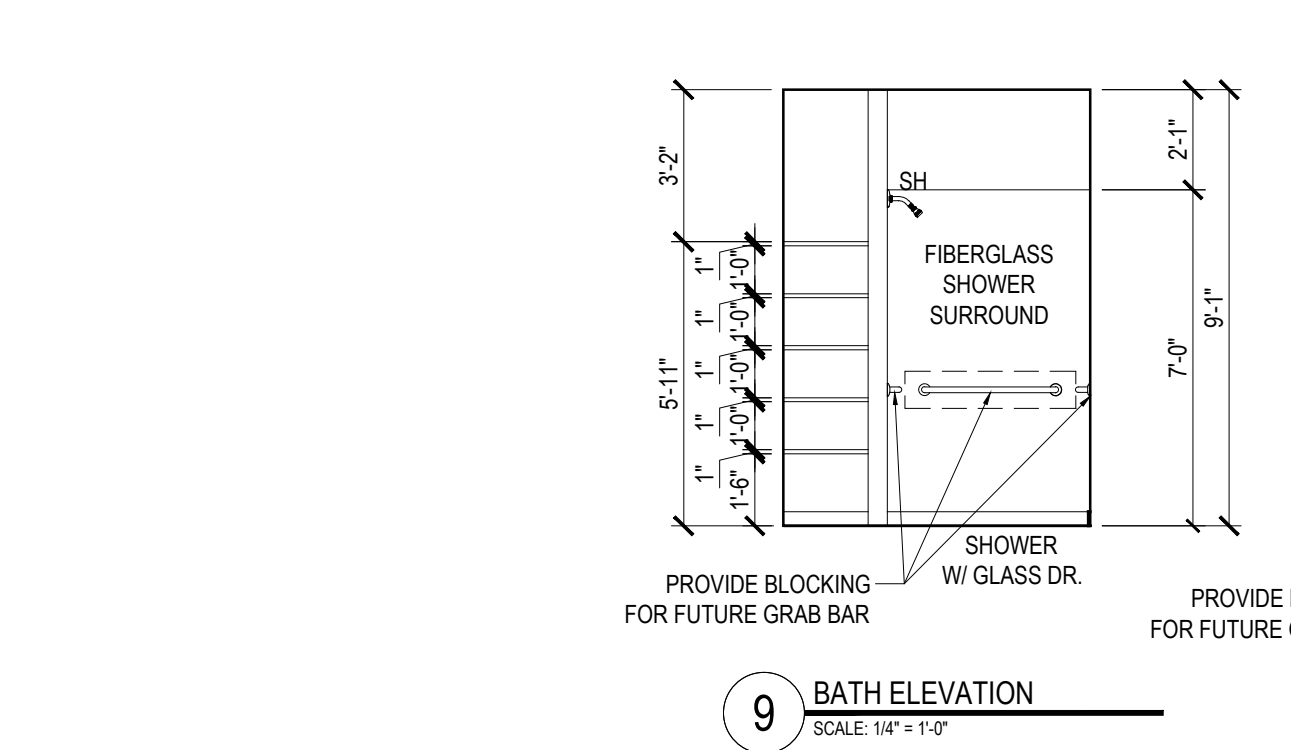
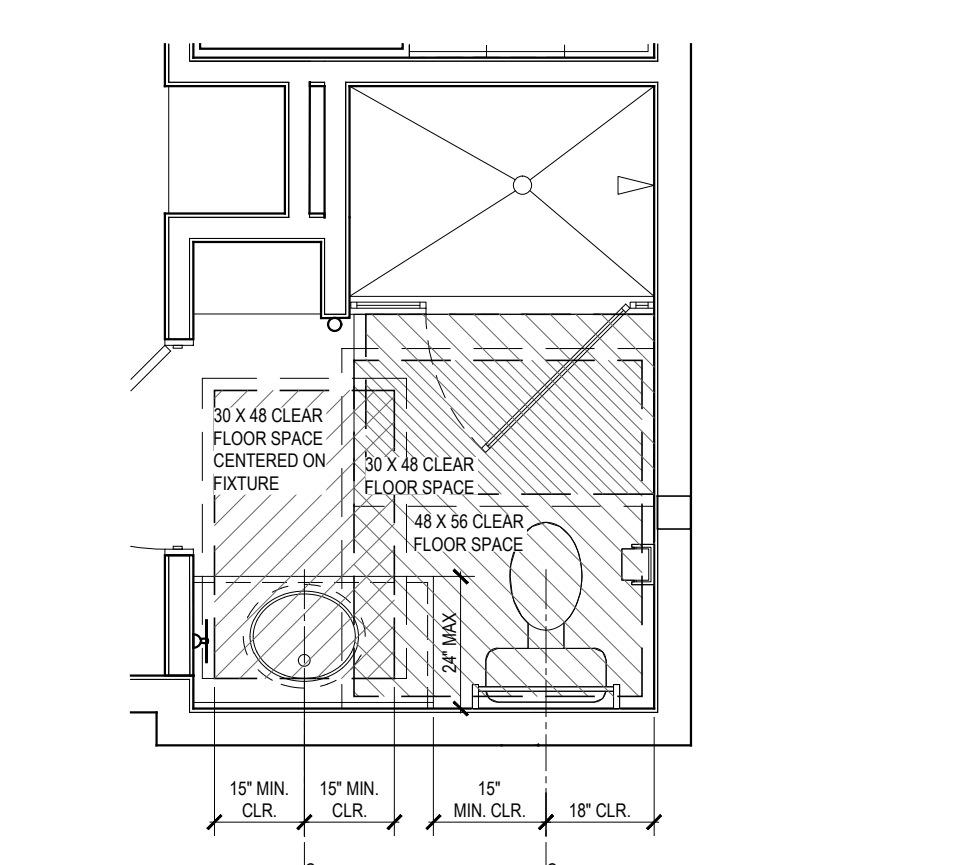
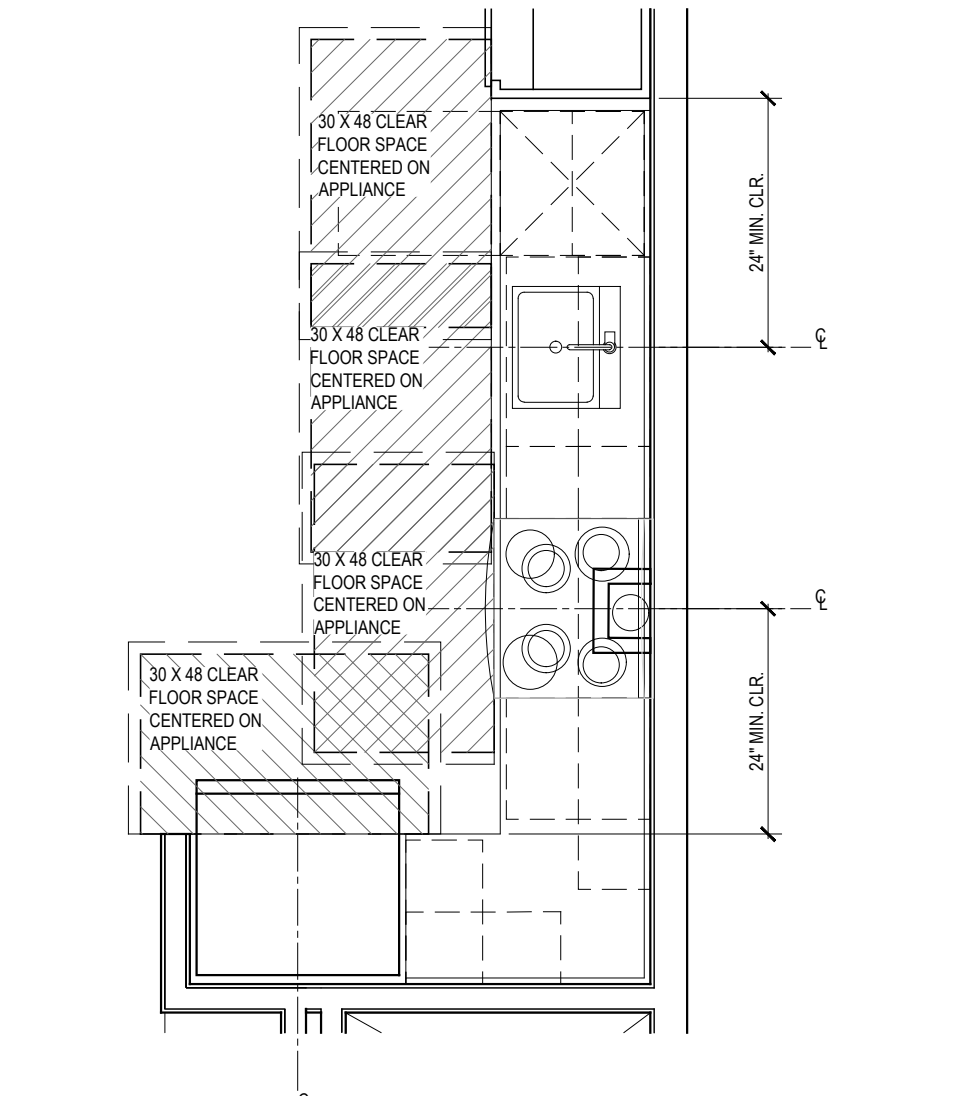
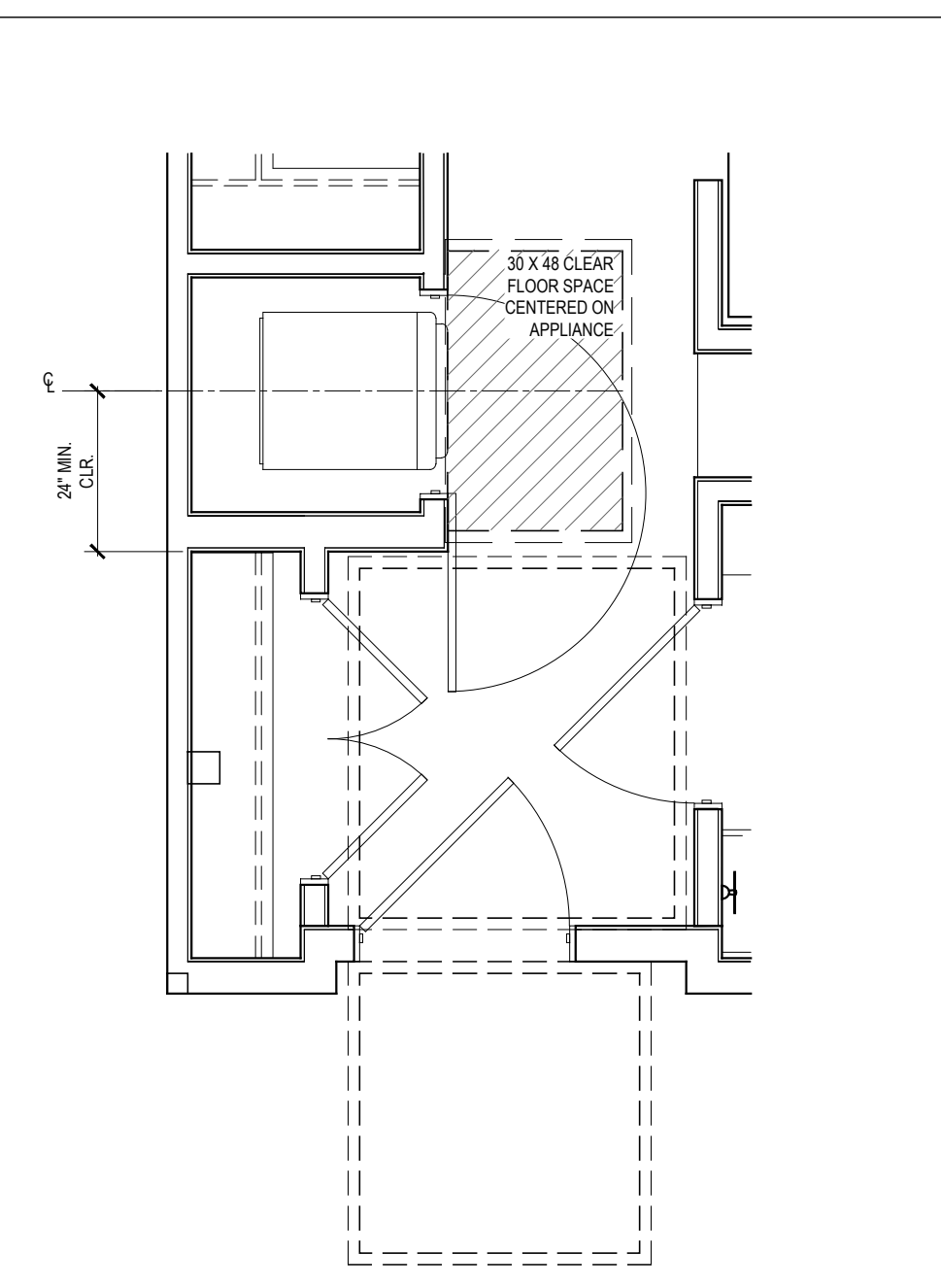
AHU = AIR HANDLER UNIT
CO = CASIED OPENING
CPT = CARPET
CSR = CURVED SHOWER ROD
CT = CERAMIC TILE
D = CLOTHES DRYER
DW = DISHWASHER
KS = KNEE SPACE

RH = ROBE HOOK
SH = SHOWER HEAD
SR = SHOWER ROD
SRO = SHEETROCK OPENING
T = TEMPERED GLASS
TB = TOWEL BAR
TP = TOILET PAPER DISPENSER
TR = TOWEL RING
V = VINYL

VP = VINYL PLANK
W = WASHER
WD = WASHER / DRYER
WH = WATER HEATER
WS = WORKSPACE
#S = # OF SHELVES
1R1S = DENOTES 1 ROD / 1 SHELF
2R2S = DENOTES 2 RODS / 2 SHELVES

GENERAL UNIT NOTES

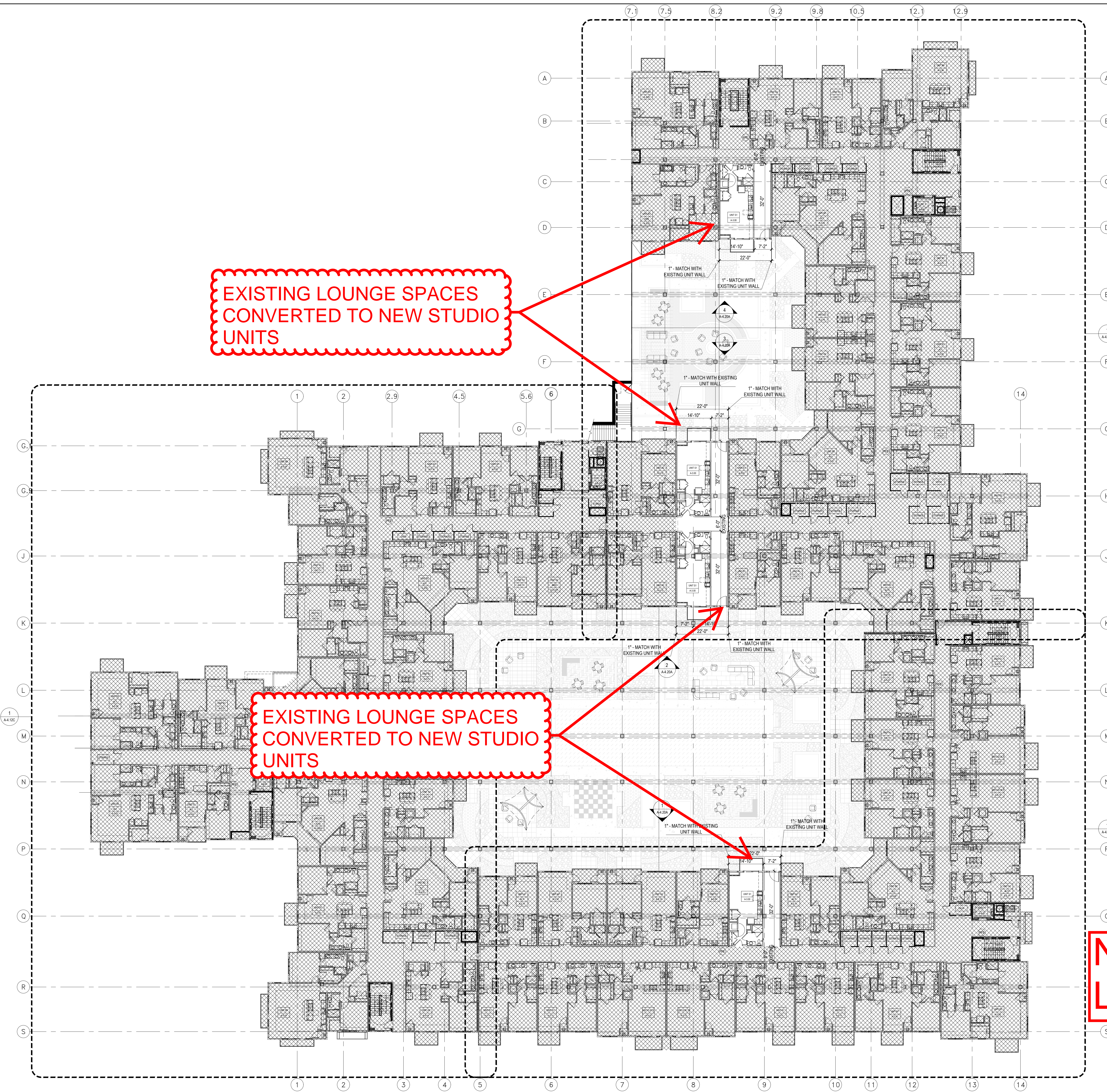
- REFER TO MEP DWGS FOR LOCATION OF SMOKE, CO & FIRE DETECTORS.
- REFER TO SHEET A1.02 FOR ABBREVIATIONS AND GENERAL PROJECT NOTES.
- REFER TO SHEET A1.02 FOR TYPICAL INTERIOR ELEVATION PROFILES & NOTES.
- REFER TO SHEET A1.05 FOR TYPICAL WALL ASSEMBLIES.
- REFER TO SHEET A2.01 FOR DOOR SCHEDULE & DETAILS.
- ALL INTERIOR DOORS SHALL ALLOW 3/4" AIRFLOW FOR RETURN AIR AT BOTTOM OF DOOR.
- NA
- ALL EXTERIOR WINDOWS SHALL MEET ALL FEDERAL, STATE AND ANY LOCAL GLAZING STANDARDS AND SLIDING GLASS DOORS SHALL HAVE PIN LOCKS OR CHARLEY BARS.
- NA
- REFER TO BUILDING PLANS FOR WALL TYPES.
- FOR DIMENSIONING PURPOSES, TYPICAL STUD WALLS ARE DIMENSIONED AS 3/2" THICK AND PLUMBING WALLS AS 5/2" THICK.
- REFER TO STRUCTURAL DRAWINGS FOR ANY ADDITIONAL 2X6 WALL LOCATIONS.
- PROVIDE MOISTURE RESISTANT GYPSUM DRYWALL IN ALL UNIT BATHROOM WALLS AND AT OTHER UNIT WET WALLS.
- NA
- PROVIDE SOUND BATTS IN ALL CORRIDOR AND TENANT SEPARATION WALLS.
- PROVIDE SOUND INSULATE WALLS AROUND ALL LAUNDRY ROOMS, PLUMBING, AND ALL HVAC CLOSETS.
- REFER TO STRUCTURAL DRAWINGS FOR SHEARWALL AND BEARING WALL LOCATIONS.
- VERTICAL MECHANICAL CHASES WITHIN UNITS ARE TO BE FIRE STOPPED PER LOCAL REQUIREMENTS.
- ALL DIMENSIONS ARE TO FACE OF STUD OR CENTER LINE OF OPENING, U.N.O.
- ALL ANGLES ARE 45° TO HORIZONTAL & VERTICAL DIRECTIONS, U.N.O. TYP. AT ALL UNITS.
- ALL DIMENSIONS AND NOTES STATING "CLEAR" IS FROM FACE OF FINISH.
- REFER TO A1.03 FOR ALL INTERIOR FAIR HOUSING ACT AND OTHER ACCESSIBILITY REQUIREMENTS.
- ALL TOWEL BARS ARE TO BE MOUNTED AT 45° A.F.F. AND TOILET PAPER DISPENSERS AT 18" A.F.F. UNLESS NOTED OTHERWISE.
- INTERIOR ELEVATIONS ARE FOR SCHEMATIC CABINET LAYOUT ONLY. CONTRACTOR TO VERIFY ALL DIMENSIONS, PROVIDE FILLERS AS REQUIRED, FILLERS ARE NOT TO EXCEED 2". REFER TO CABINET SHOP DRAWINGS.
- VANITY MIRRORS TO BE 42" HIGH AND 2" LESS THAN THE VANITY WIDTH (TYP.) AND TO BE MOUNTED WITH THE BOTTOM OF THE REFLECTING SURFACE NO MORE THAN 40" A.F.F. IN ANSI TYPE A UNITS.
- REFER TO EGRESS PLANS FIRE EXTINGUISHER SCHEDULE.
- VERIFY ALL TUB WALL LENGTHS AND DIMENSIONS WITH ACTUAL TUB PROVIDED. CONTRACTOR TO COORDINATE FRAMING, TUB MANUFACTURER AND TUB DETAILS.
- PROVIDE SOLID BLOCKING IN WALLS FOR FUTURE INSTALLATION OF GRAB BARS AS SHOWN ON A1.03, OR ALTERNATIVE MEANS OF REINFORCING THE CAVITY BETWEEN THE FIBERGLASS TUB AND THE WALL.
- SEE ARCHITECTURAL ELEVATION, MEP AND STRUCTURAL DRAWINGS FOR EXTERIOR FEATURES THAT MAY REQUIRE BLOCKING OR OTHER CONSIDERATIONS SPECIFIC TO THE UNIT LOCATION IN THE BUILDING, SUCH AS ATTACHED SIGNAGE, LIGHTING, AWNINGS, CANOPIES, TRELLISES, SHUTTERS, FIXTURES, BUILDOUTS, CORNICES, RAILINGS, LANDSCAPE FEATURES AND ADJACENT ATTACHED STRUCTURES.
- PROVIDE A HIGH OUTLET COVER SO THAT TV IN LIVING ROOM CAN BE MOUNTED AT 46" A.F.F. TO THE CENTER OF TV. REFER TO MEP AND TELECOM. PROVIDE 2x10 BLOCKING FOR TV MOUNTING.
- ALL EXTERIOR SLABS TO SLOPE DOWN 1/4" PER 1'-0" TO EDGE OF SLAB. LIGHT BROOM FINISH AT SLOPED SURFACES. VERIFY WITH STRUCTURE.
- REFER TO INTERIOR DESIGNER FINISH SCHEDULE FOR FINISHES, FOR ADDITIONAL ROOM FINISH NOTES AND SPECIFICATIONS.
- REFER TO INTERIOR DESIGNER DRAWINGS FOR EXACT MOLDING LOCATIONS, SIZES AND FINISHES.
- NA
- NA
- ALTHOUGH SYMBOLS HAVE BEEN REMOVED FOR CLARITY, FLOOR FINISHES EXTEND UNDER SHELVING, WASHER/DRYER, AND REFRIGERATOR. FLOOR FINISHES EXTEND UNDER ALL RAISED COUNTERS, AND DESK AND CABINETS INDICATED WITH "REMOVABLE FRONTS".
- ACCESSIBLE DIMENSIONS LABELED "CLR," "MIN," "MAX," ARE FROM FINISHED FACE TO FINISHED FACE.
- THE 18 INCHES FROM THE CENTERLINE OF THE TOILET TO THE WALL IS AN ABSOLUTE MEASUREMENT.



UNIT S1	
NET AREA	435 SQ. FT.
GROSS AREA	472 SQ. FT.
Nº OF UNITS	4

NEW UNIT LAYOUTS

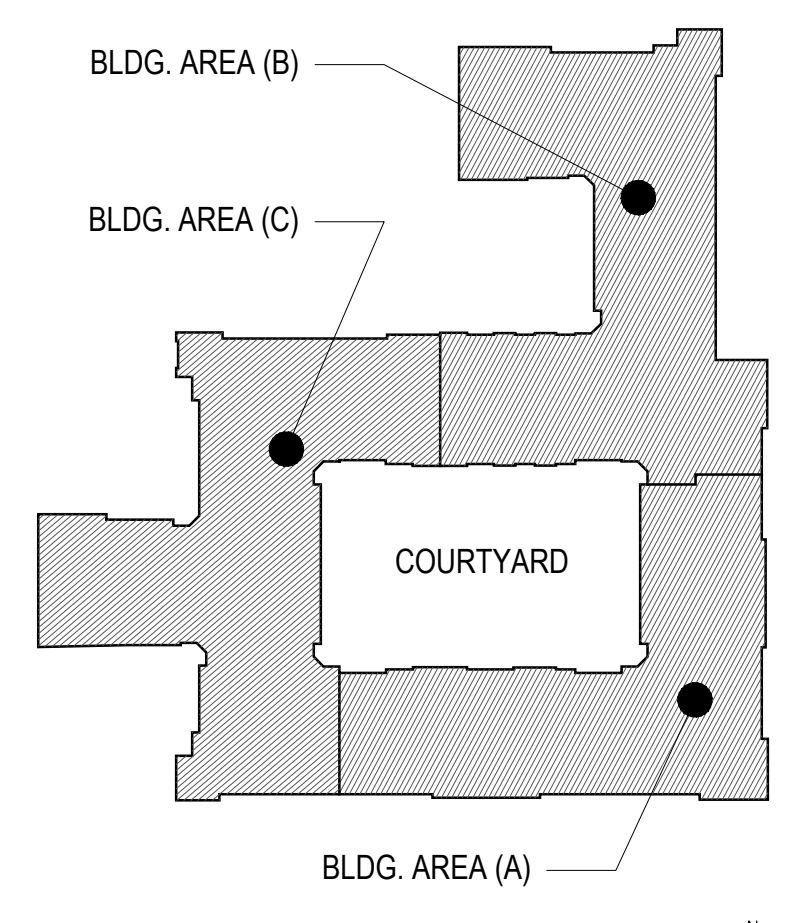
FILE: W:\2024\2007 - Rise at Ocus - Minneapolis Enhancements\04. CD\0101 DRAWINGS\2024\07\1412.dwg LAYOUT: A4.12 - OVERALL BLDG PLAN - LV.2
SCALE: 9/8 DATE/TIME: 11/14/2024 7:50pm
USER: mason PROJECT: RISE AT OCUS - MINNEAPOLIS ENHANCEMENTS



EXISTING LOUNGE SPACES
CONVERTED TO NEW STUDIO
UNITS

EXISTING LOUNGE SPACES
CONVERTED TO NEW STUDIO
UNITS

NEW UNIT
LOCATIONS



UNIT LEVEL KEY PLAN
N.T.S.

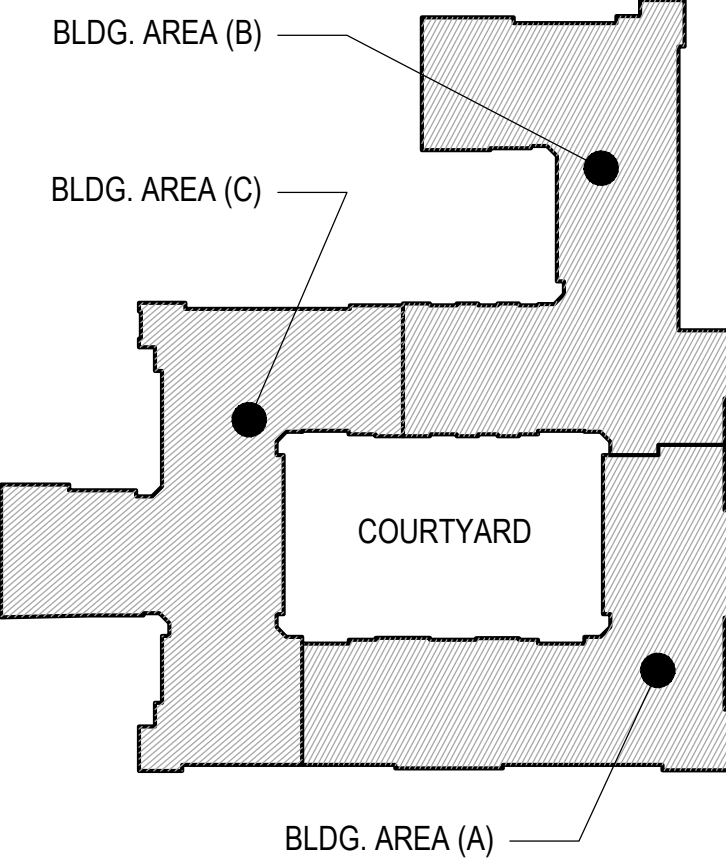
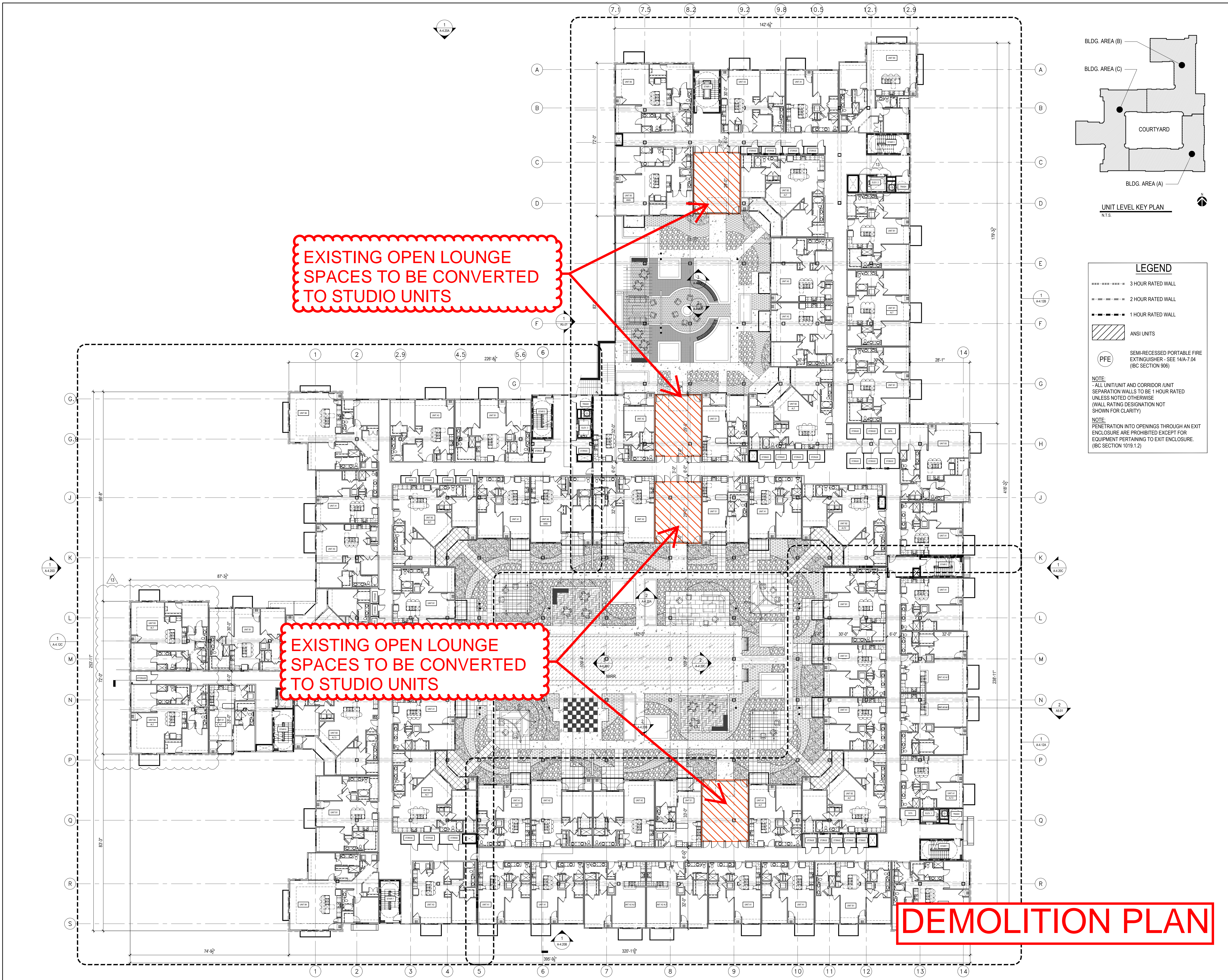
LEGEND

- 3 HOUR RATED WALL
- - - 2 HOUR RATED WALL
- - - 1 HOUR RATED WALL
- ANSI UNITS
- EXISTING BUILDING TO REMAIN
- PFE SEMI-RECESSED PORTABLE FIRE EXTINGUISHER - SEE 14/A-7.04 (IBC SECTION 906) - EXISTING TO REMAIN

NOTE:
- ALL UNIT AND CORRIDOR UNIT SEPARATION WALLS TO BE 1 HOUR RATED UNLESS NOTED OTHERWISE (WALL RATING DESIGNATION NOT SHOWN FOR CLARITY)

NOTE:
PENETRATION INTO OPENINGS THROUGH AN EXIT ENCLOSURE ARE PROHIBITED EXCEPT FOR EQUIPMENT PERTAINING TO EXIT ENCLOSURE. (IBC SECTION 1019.1.2)

1 OVERALL BLDG. PLAN - BUILDING LEVEL 2
SCALE: 1/8" = 1'-0"



UNIT LEVEL KEY PLAN
N.T.S.

LEGEND

	3 HOUR RATED WALL
	2 HOUR RATED WALL
	1 HOUR RATED WALL
	ANSI UNITS
	SEMI-RECESSED PORTABLE FIRE EXTINGUISHER - SEE 14/A-7.04 (IBC SECTION 906)

NOTE:
- ALL UNIT/UNIT AND CORRIDOR / UNIT SEPARATION WALLS TO BE 1 HOUR RATED UNLESS NOTED OTHERWISE (WALL RATING DESIGNATION NOT SHOWN FOR CLARITY)

NOTE:
PENETRATION INTO OPENINGS THROUGH AN EXIT ENCLOSURE ARE PROHIBITED EXCEPT FOR EQUIPMENT PERTAINING TO EXIT ENCLOSURE. (IBC SECTION 1019.1.2)

EXISTING OPEN LOUNGE SPACES TO BE CONVERTED TO STUDIO UNITS

EXISTING OPEN LOUNGE SPACES TO BE CONVERTED TO STUDIO UNITS

DEMOLITION PLAN

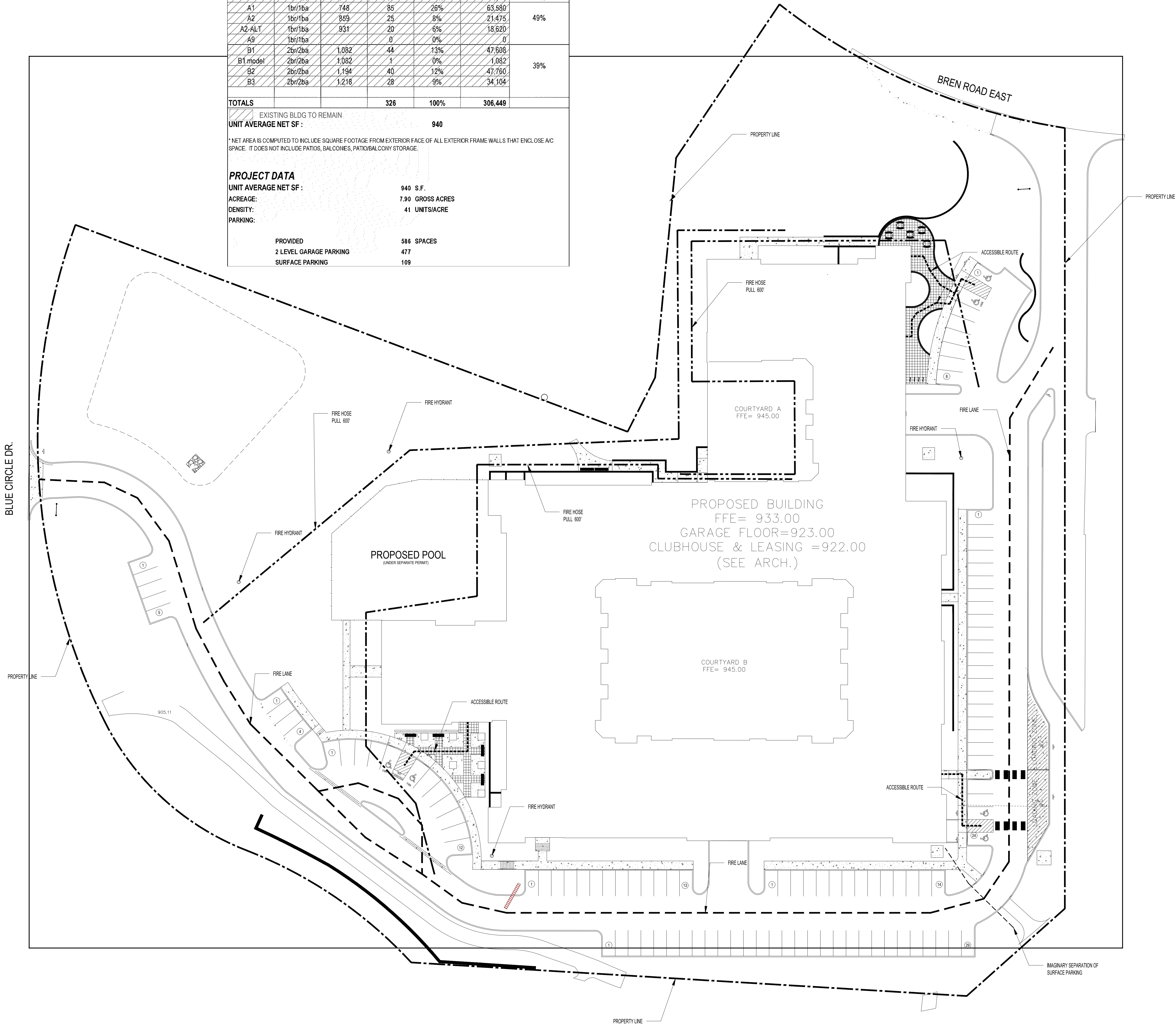
MINNETONKA SITE		LECESSE DEVELOPMENT		2024037		
UNIT TABULATION - 5 STORY				7/19/24		
UNIT NAME	UNIT TYPE	NET AREA(SF)	UNIT COUNT	PERCENTAGE	TOTAL AREA	% BREAKDOWN
S1	STUDIO	435	4	1%	1,740	1%
E1	1br/1ba	644	35	11%	22,540	11%
A1	1br/1ba	748	85	26%	63,580	
A2	1br/1ba	859	25	8%	21,475	49%
A2-ALT	1br/1ba	931	20	6%	18,620	
A9	1br/1ba	0	0	0%	0	
B1	2br/2ba	1,082	44	13%	47,608	
B1.model	2br/2ba	1,082	1	0%	1,082	39%
B2	2br/2ba	1,194	40	12%	47,760	
B3	2br/2ba	1,218	28	9%	34,104	
TOTALS			326	100%	306,448	

EXISTING BLDG TO REMAIN
UNIT AVERAGE NET SF : 940

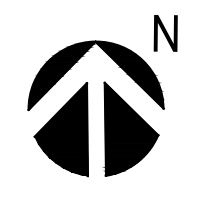
*NET AREA IS COMPUTED TO INCLUDE SQUARE FOOTAGE FROM EXTERIOR FACE OF ALL EXTERIOR FRAME WALLS THAT ENCLOSE A/C SPACE. IT DOES NOT INCLUDE PATIOS, BALCONIES, PATIO/BALCONY STORAGE.

PROJECT DATA
UNIT AVERAGE NET SF : 940 S.F.
ACREAGE: 7.90 GROSS ACRES
DENSITY: 41 UNITS/ACRE
PARKING:

PROVIDED	586 SPACES
2 LEVEL GARAGE PARKING	477
SURFACE PARKING	109



1 ARCHITECTURAL SITE PLAN
1" = 40'-0"



Designed by: _____
Architect of Record: RYAN MCCLEAN
Date Plotted: _____
Issue for Pricing / Bidding: XXXXXX
Issue for Permit Application: 24/07/24
Issue for Construction: XXXXXX

Revisions:

#	DATE	COMMENTS

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RIZE AT OPUS APARTMENTS - (ALTERATIONS)
10101 BREN ROAD E
MINNETONKA, MN 55343
VIRTUS REAL ESTATE CAPITAL

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.
Print Name: JAMES RYAN MCLEAN
Signature: _____
Date: 07.24.2024 License #: 60553

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ISSUED FOR PERMIT: 07-24-2024

SHEET CONTENTS:
ARCHITECTURAL SITE PLAN

SHEET NO. A-1.01

24037