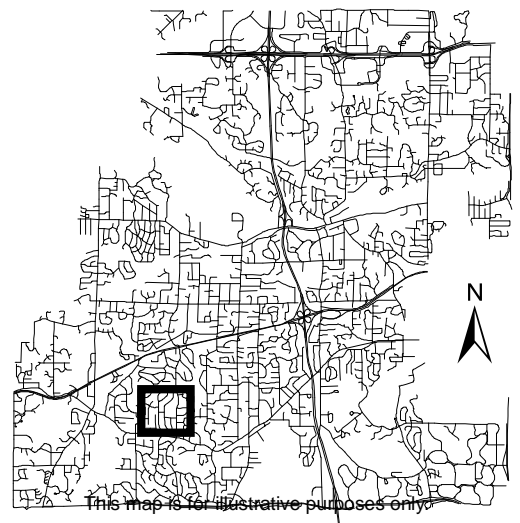


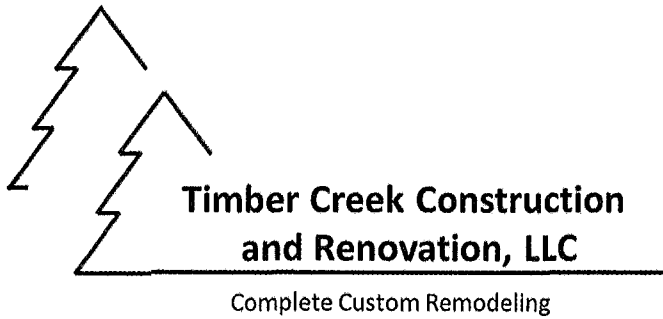


Location Map

Project: Christy Residence
Address: 5227 Kimberly Road



This map is for illustrative purposes only.



Greg Schneider
16785 County Road 53
Cologne, MN 55322

612-816-2025
gregtimbercreek@gmail.com

To whom it may concern,

With the assistance of Timber Creek, Alexander Christy wishes to expand his garage in order to replace the shed next to his existing garage at 5227 Kimberly Road in Minnetonka, Minnesota. The shed has served the property well beyond its intended life span, has become somewhat unsightly, and has become insufficient in size to facilitate storage of his recreational and lawncare equipment. Mr. Christy would like to eliminate the shed and expand the compacity of his existing garage by 300 square feet to replace the storage presently provided by the shed. This will improve appearance of the property, and will be in keeping with the rest of the neighborhood. While Minnetonka allows for accessory structures up to 1,000 square feet, it becomes highly impractical to build on the property an accessory structure of the size requested that is compliant with all the statutory requirements while still serving the intended purpose. Mr. Christy is requesting permission to expand his existing garage, rather than replacing the existing shed with another.

The garage expansion will be more aesthetically pleasing than another shed. The proposed expansion of the existing garage will of sufficient size for the intended purpose, accommodates the existing topography of the property, and complies with all requirements of applicable ordinances, except one. To get the expansion to fit on the property in congruence with the topographical and budgetary constraints, the expansion would not be able to comply with the 35-foot front setback. We believe there are two principal reasons that an Expansion Permit deviating from this one requirement should be granted.

The first is that the existing house is only 30' set back from the front property line and we are not proposing this addition any further forward than the exiting house. The front façade of the proposed garage expansion will be in the same vertical plane as the front façade of the existing home and garage. We do not seek to have the proposed garage any closer to the street than the existing structure. This will "balance" the house, produce an aesthetically pleasing result, and achieve the space Mr. Christy requires. We believe that the proposed design illustrates our desire to keep this addition in balance and that these changes will fit with the aesthetics of the neighborhood.

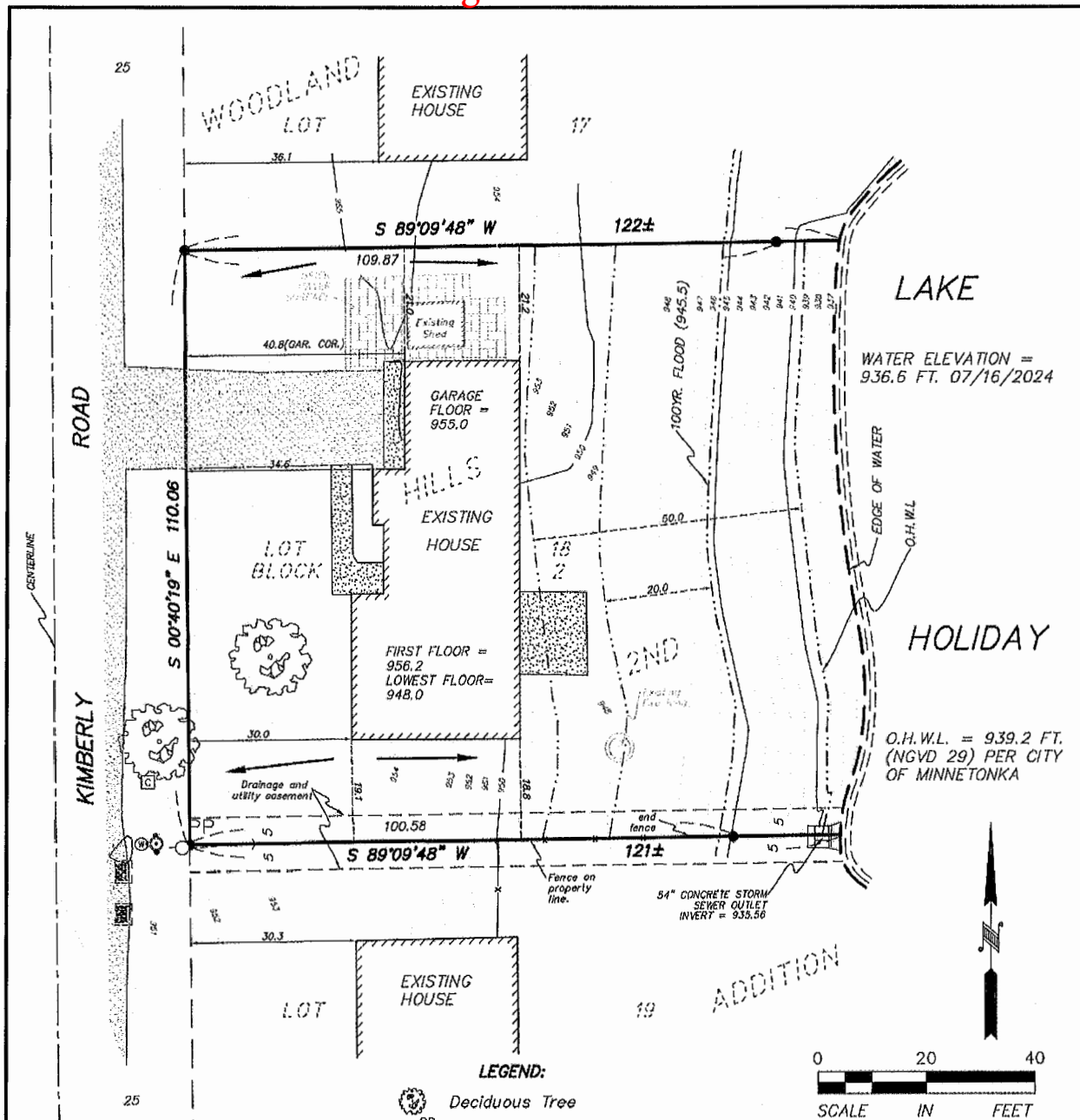
The second is that Mr. Christy's home, the existing garage, and the proposed garage expansion will be no closer to the street than his neighbors' homes and garages. It appears that this neighborhood was developed when different requirements were applicable as many of the properties on the east side of Kimberly Road do not appear conforming to the 35' front setback. Allowing the structures to be closer to the road than 35 feet keeps it further from Holiday Lake on the East. Considering these facts, we believe our request is consistent with the setbacks applicable when the neighborhood was developed, consistent with the setbacks of the existing neighborhood structures, and consistent with the intent underlying the existing rules.

Regards,

Greg Schneider

Timber Creek Construction and Renovation LLC

Existing Conditions



HARDCOVER CALCULATIONS:

House = 1,881 SQ.FT.
 Garage Apron = 80 SQ.FT.
 Sidewalk = 127 SQ.FT.
 Rear Patio = 187 SQ.FT.
 Shed = 88 SQ.FT.
 Paver Surface = 364 SQ.FT.
 Bituminous Driveway = 849 SQ.FT.

 TOTAL = 3,304 SQ.FT.
 LOT AREA (TO OHWL) = 12,728 SQ.FT.
 TOTAL EXISTING HARDCOVER = 26%

ADDRESS: 5227 Kimberly Rd.
 Minnetonka, MN 55345
PID Number: 2911722440004

LEGAL DESCRIPTION:
 Lot 18, Block 2, WOODLAND HILLS 2ND ADDITION,
 according to the recorded plat thereof, Hennepin
 County, Minnesota. containing 12,728± Sq. Ft. (OHWL)

I hereby certify that this survey was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Scott A. Gyllen

Scott A. Gyllen, LS
 License No. 23002
 8/27/2024
 Date

- LEGEND:**
- Deciduous Tree
 - Power Pole
 - Power Pole Guy Wire
 - Cable Pedestal
 - Water Shut Off Valve
 - Fire Hydrant
 - Storm Sewer Catch Basin
 - Bituminous Surface
 - Concrete Surface
 - Surface Drainage
 - Denotes Iron monument found
 - Denotes Iron monument set

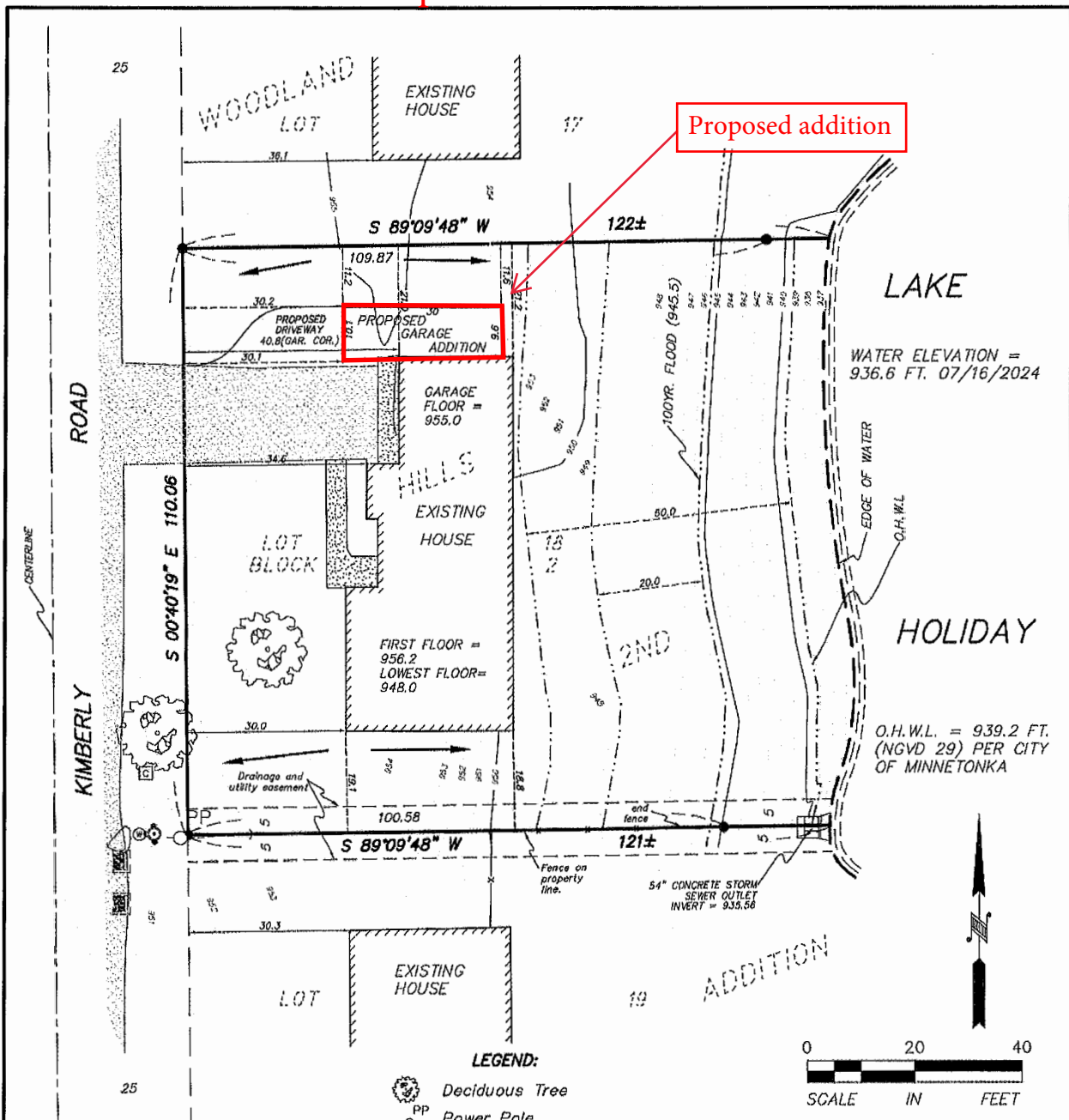
- BENCH MARKS:**
- Top nut hydrant SE quadrant of Dawn Dr. and Kimberly Road
Elevation = 961.87 NGVD 29 (City of Minnetonka)
 - Top nut hydrant SE quadrant of Dawn Dr. and Holiday Road
Elevation = 955.70 NGVD 29 (City of Minnetonka)
- Bearings shown are based on the Hennepin County Coordinate System NAD 83 1986 Adjustment.

SURVEYORS NOTE:
 This survey was prepared without the benefit of a title commitment. No search for easements or restrictions, recorded or unrecorded, was made by the surveyor.

CERTIFICATE OF SURVEY		
EXISTING CONDITIONS		
REQUESTED BY:		
ALEXANDER CHRISTY		
Revisions: 9/17/24 Surface drainage		
Drawn by: SG	Field work date: 07/16/2024	Job No: 2024-003 Book 2/ Page 47



Proposed Conditions



HARDCOVER CALCULATIONS:
 Existing House = 1,881 sq.ft.
 Proposed Garage Addition = 293 sq.ft.
 Garage Apron = 80 sq.ft.
 Sidewalk = 127 sq.ft.
 Existing Bituminous Driveway = 649 sq.ft.
 Proposed Driveway = 234 sq.ft.

 TOTAL = 3,264 sq.ft.
 LOT AREA (TO OHWL) = 12,728 sq.ft.
 TOTAL PROPOSED HARDCOVER = 26%

ADDRESS: 5227 Kimberly Rd.
 Minnetonka, MN 55345
PID Number: 2911722440004

LEGAL DESCRIPTION:
 Lot 18, Block 2, WOODLAND HILLS 2ND ADDITION,
 according to the recorded plat thereof, Hennepin
 County, Minnesota, containing 12,728± Sq. Ft. (OHWL)

I hereby certify that this survey was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Scott A. Gyllen
 Scott A. Gyllen, LS
 License No. 23002
 9/11/2024
 Date

- LEGEND:**
- Deciduous Tree
 - Power Pole
 - Power Pole Guy Wire
 - Cable Pedestal
 - Water Shut Off Valve
 - Fire Hydrant
 - Storm Sewer Catch Basin
 - Bituminous Surface
 - Concrete Surface
 - Surface Drainage
 - Denotes Iron monument found
 - Denotes Iron monument set

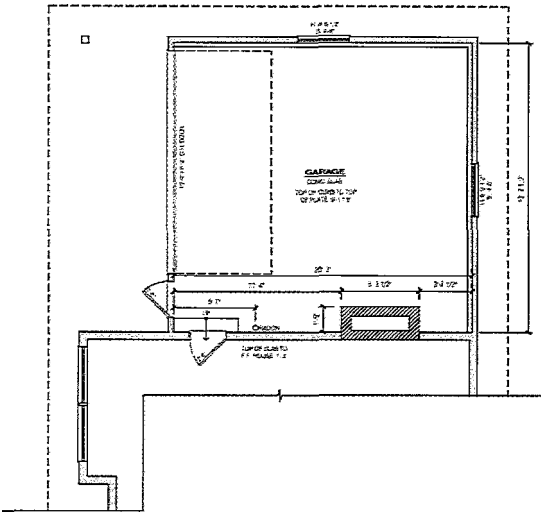
- BENCH MARKS:**
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Elevation = 961.87 NGVD 29 (City of Minnetonka)
 - Top nut hydrant SE quadrant of Dawn Dr. and Holiday Road
Elevation = 955.70 NGVD 29 (City of Minnetonka)
- Bearings shown are based on the Hennepin County Coordinate System NAD 83 1986 Adjustment.

SURVEYORS NOTE:
 This survey was prepared without the benefit of a title commitment. No search for easements or restrictions, recorded or unrecorded, was made by the surveyor.

CERTIFICATE OF SURVEY		
SITE PLAN		
REQUESTED BY:		
ALEXANDER CHRISTY		
Revisions: 9/11/2024 City comments 9/17/24 Surface Drainage		
Drawn by: SG	Field work date: 07/16/2024	Job No: 2024--003
Book 2 / Page 47 2024-003SURV.DWG		



Existing Floor Plan



DRAWING KEY	
EXISTING CONDITION	

As-Built - Main Level Plan
 DATE: 1-1-20

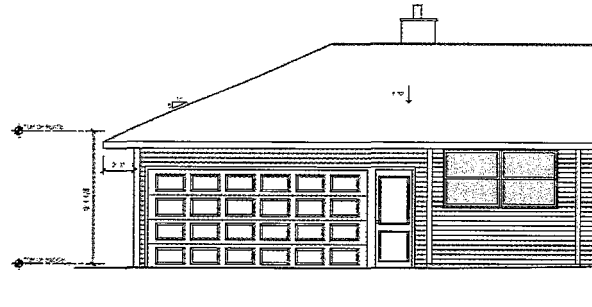


CHRISTY RESIDENCE
 5227 KIMBERLY RD MINNETONKA MN 55345

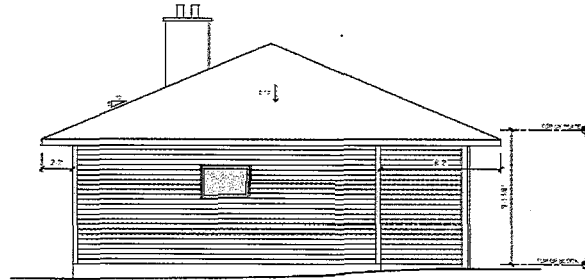
DATE	
BY	
CHECKED BY	
SCALE	

AB1.1
 AS-BUILT
 MAIN LEVEL

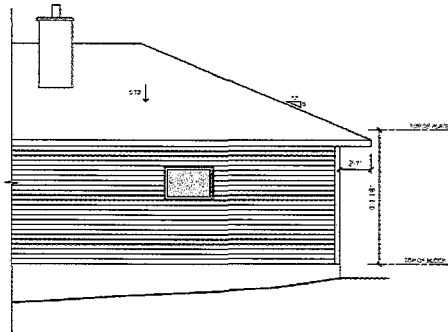
Existing Elevation



1
AB2.0
Existing Elevation - Front
1/2" = 1'-0"



2
AB2.0
Existing Elevation - Side
1/2" = 1'-0"



3
AB2.0
Existing Elevation - Rear
1/2" = 1'-0"



SCALE: AS SHOWN

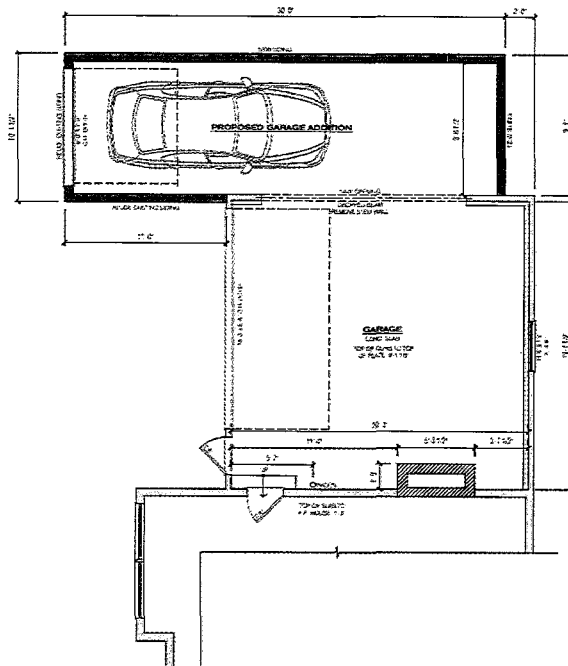
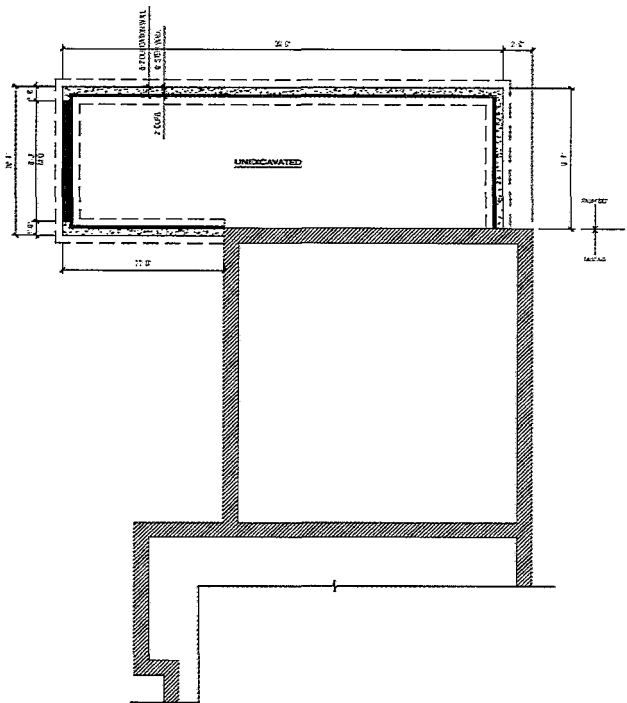
CHRISTY RESIDENCE
5227 KIMBERLY RD MINNETONKA MN 55345

DATE: 10/24/2024
PROJECT: 24-0015
DRAWING: EXISTING ELEVATIONS

SCALE: AS SHOWN

AB2.0
AS-BUILT
EXISTING ELEVATIONS

Proposed Floor Plan



DRAWING KEY	
EXISTING STRUCTURE	
PROPOSED	
FOUNDATION	

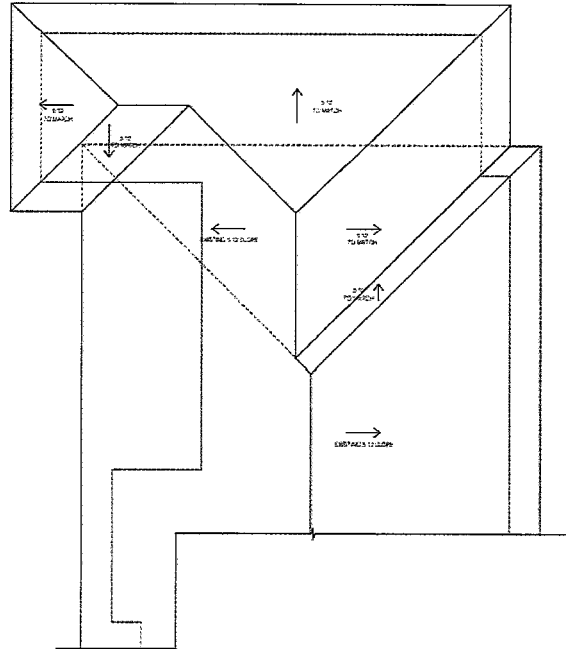


CHRISTY RESIDENCE
 5227 KIMBERLY RD MINNETONKA MN 55345

SHEET DATA	
DATE	

ATJ
 ARCHITECT

Roof Plan



DRAWING KEY	
EXIST'G STRUCTURE	
EXIST'G WALL	
NEW WALL	

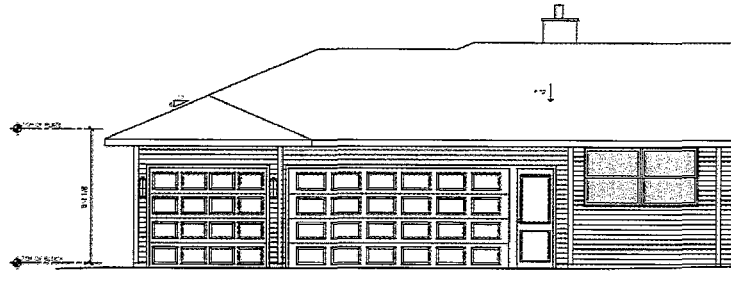
1 Roof Plan
1 of 1-2

CHRISTY RESIDENCE
5227 KIMBERLY RD MINNETONKA MN 55345

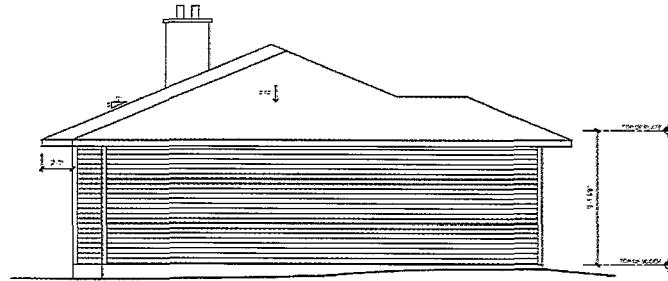
DATE: 11/11/11
BY: [Signature]

AT 2
ROOF PLAN

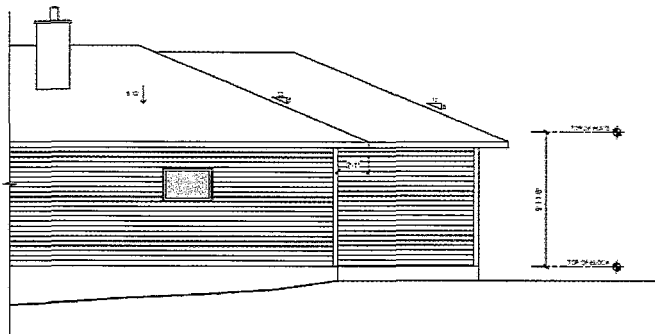
Proposed Elevations



1 Exterior Elevation - Front
1/4" = 1'-0"



2 Exterior Elevation - Side
1/4" = 1'-0"



3 Exterior Elevation - Rear
1/4" = 1'-0"



PLANNING
ARCHITECTURE, LLC

CHRISTY RESIDENCE
8227 KIMBERLY RD MINNETONKA, MN 55345

DATE: 10/12/2011
TIME: 10:00 AM

SCALE: 1/4" = 1'-0"

A2.0
EXTERIOR ELEVATIONS

