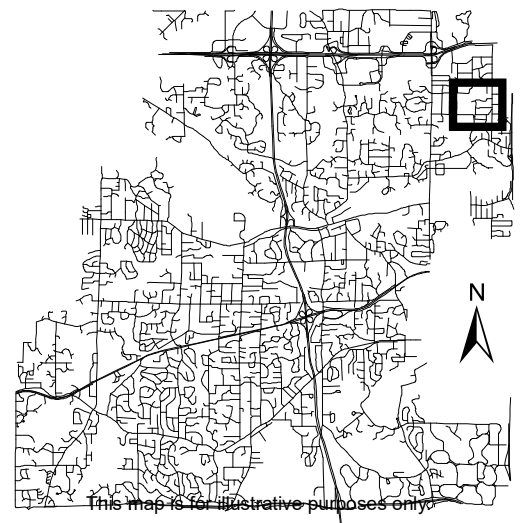




Location Map

Project: Muus Residence
Address: 2211 Windsor Lake Drive



This map is for illustrative purposes only.














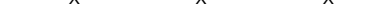

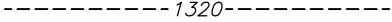
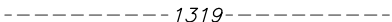
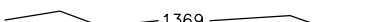
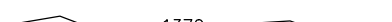
CERTIFICATE OF SURVEY

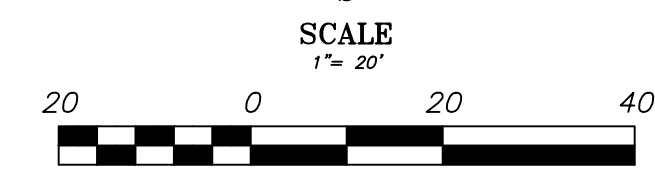
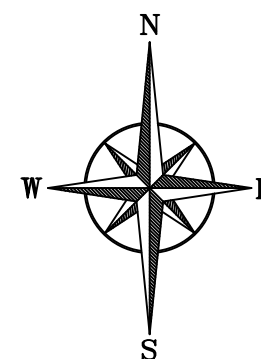
LOT 3, BLOCK 3, LAKE WINDSOR ADDITION
HENNEPIN COUNTY, MINNESOTA

LEGAL DESCRIPTION

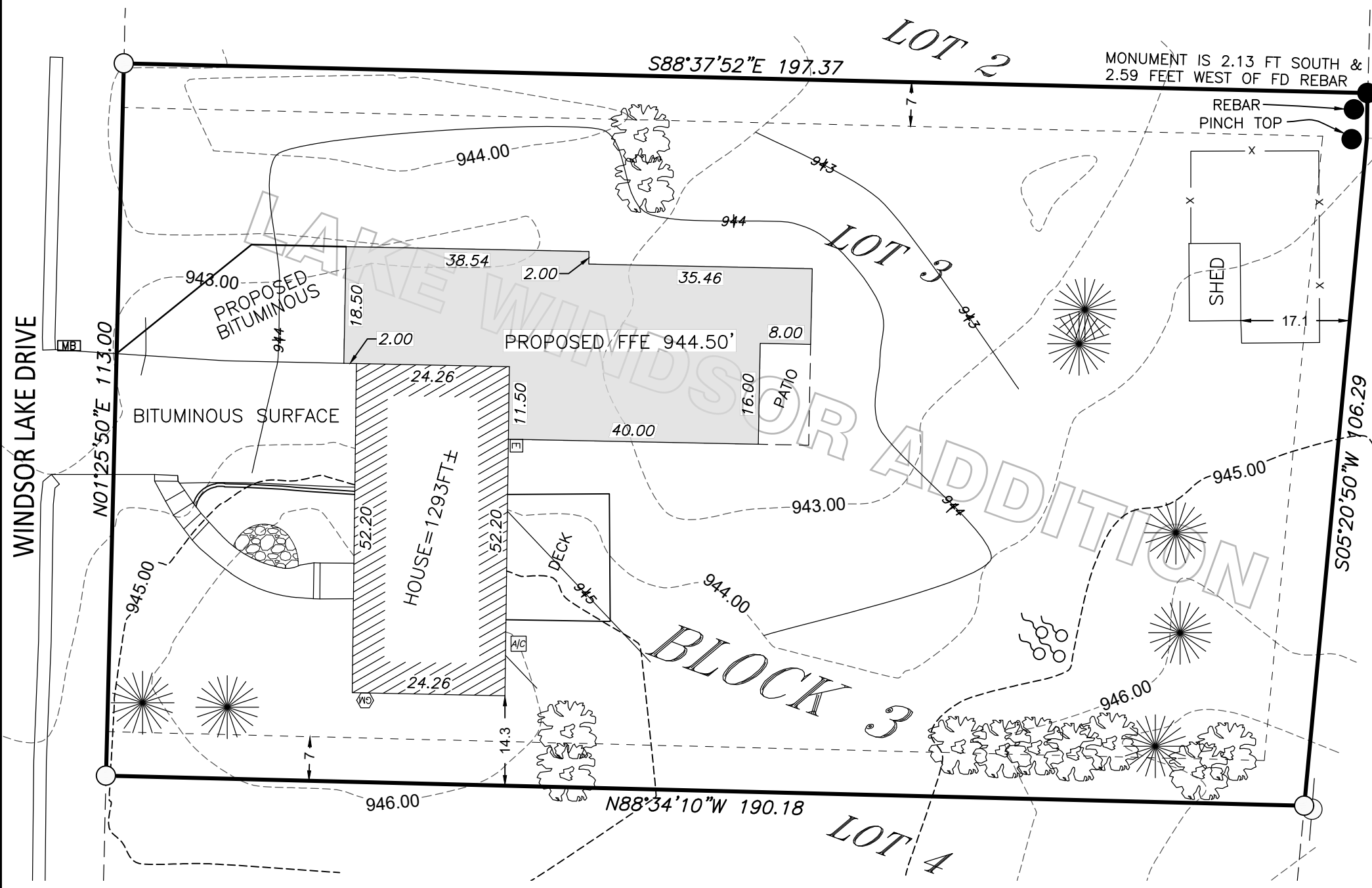
LOT 3, BLOCK 3, LAKE WINDSOR ADDITION
HENNEPIN COUNTY, MINNESOTA

LEGEND

-  IRON MONUMENT FOUND
-  IRON MONUMENT SET WITH CAP NO. (57991)
-  ELECTRIC METER
-  POWER POLE (PP)
-  AC UNIT
-  FLAG POLE
-  MAIL BOX
-  TREE-DECIDUOUS
-  TREE-EVERGREEN
-  PROPERTY BOUNDARY
-  EASEMENT
-  EXISTING LOT LINE/ADJOINERS
-  FENCE
-  RETAINING WALL
-  Ex-CONTOUR-MJR
-  Ex-CONTOUR-MNR
-  CONTOURS MNR - PROPOSED
-  CONTOURS MJR - PROPOSED
-  SPOT ELEVATION - PROPOSED



BEARINGS ARE BASED ON NAD83(2011)
HENNEPIN COUNTY COORDINATE SYSTEM




NORTHWESTERN SURVEYING AND ENGINEERING, INC. PREPARED THIS SURVEY WITHOUT THE BENEFIT OF CURRENT TITLE WORK. THE PROPERTY SHOWN IS BASED ON A LEGAL DESCRIPTION PROVIDED BY YOU THE CLIENT OR A GENERAL REQUEST AT THE APPROPRIATE COUNTY RECORDER'S OFFICE. EASEMENTS, SITE RESTRICTIONS OR ADJOINING DEED CONFLICTS MAY EXIST WHICH AFFECT SUBJECT PROPERTY AND ARE NOT SHOWN BY THIS SURVEY. WE RESERVE THE RIGHT TO REVISE THE SURVEY UPON RECEIPT OF A CURRENT TITLE COMMITMENT OR TITLE OPINION.



YARD HOMES
LOT 3, BLOCK 3,
LAKE WINDSOR ADDITION
HENNEPIN COUNTY, MN

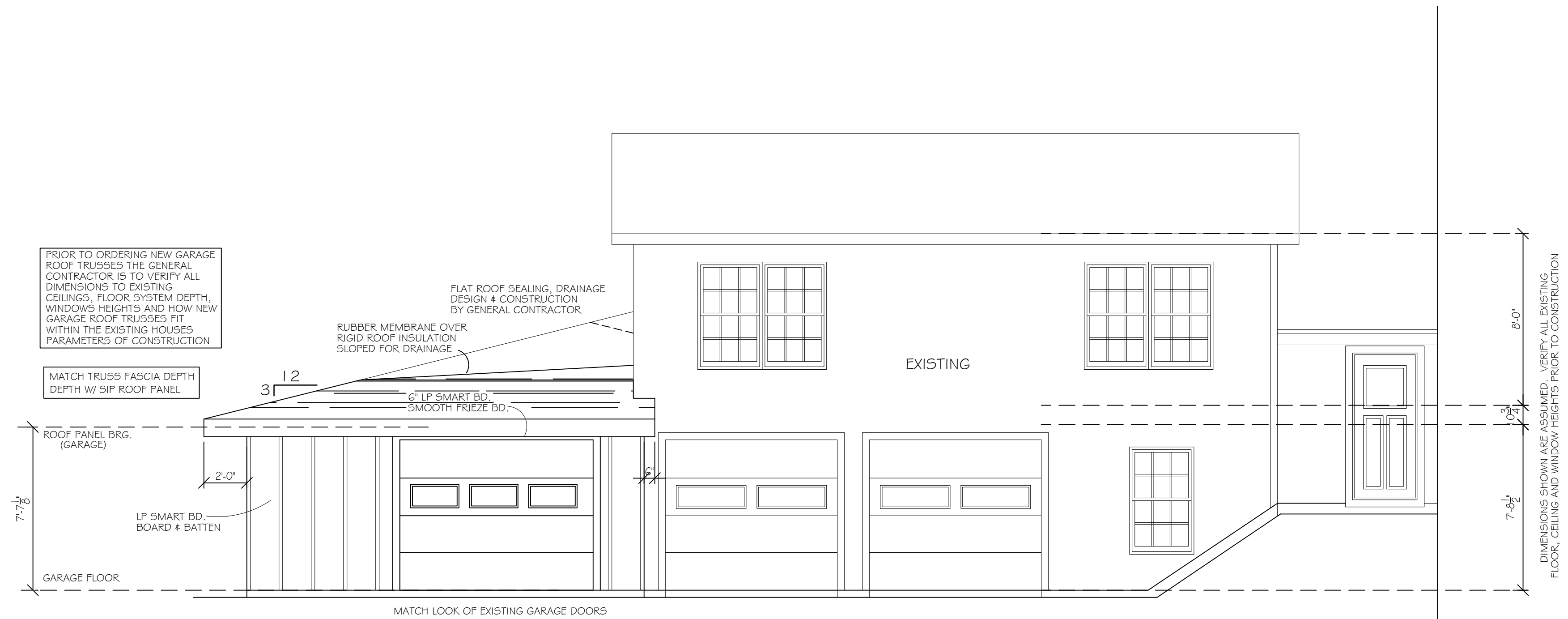
JOB#:	24758	DRAWN BY:	MMB
FILENAME:	24758 YARDHOMES_SURV		
REV#	DESCRIPTION	DATE	
REV 1	PROPOSED ADDITION	09/30/2024	

I HEREBY CERTIFY THAT THIS SURVEY, PLAN OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.


MATTHEW M. BOMSTAD (LIC. NO. 57991) DATE: 09/30/2024

PRELIMINARY PLAN/ NOT FOR CONSTRUCTION

NO.	REVISION DATE	BY
#1	00/00/2019	SP
#2		
#3		
#4		



4" LP SMART BD. SMOOTH WINDOW & DOOR TRIM
FRONT/ WEST ELEVATION
 SCALE 1/4" = 1'-0"

GENERAL CONTRACTOR TO VERIFY WITH TRUSS MANUFACTURE DESIGN OF ROOF TRUSSES PRIOR TO ORDERING ALL TRUSSES AND START OF CONSTRUCTION

PRIOR TO ORDERING NEW GARAGE ROOF TRUSSES THE GENERAL CONTRACTOR IS TO VERIFY ALL DIMENSIONS TO EXISTING CEILINGS, FLOOR SYSTEM DEPTH, WINDOWS HEIGHTS AND HOW NEW GARAGE ROOF TRUSSES FIT WITHIN THE EXISTING HOUSES PARAMETERS OF CONSTRUCTION

MATCH TRUSS FASCIA DEPTH DEPTH W/ SIP ROOF PANEL

FLAT ROOF SEALING, DRAINAGE DESIGN & CONSTRUCTION BY GENERAL CONTRACTOR

RUBBER MEMBRANE OVER RIGID ROOF INSULATION SLOPED FOR DRAINAGE

ROOF PANEL BRG. (GARAGE)

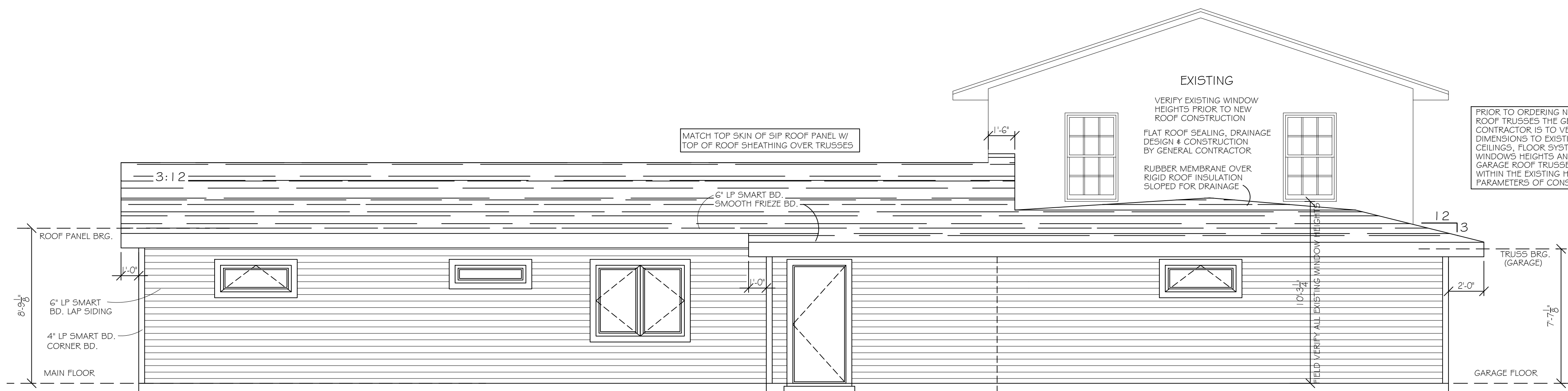
LP SMART BD. BOARD 4 BATTEN

GARAGE FLOOR

MATCH LOOK OF EXISTING GARAGE DOORS

EXISTING

DIMENSIONS SHOWN ARE ASSUMED. VERIFY ALL EXISTING FLOOR, CEILING AND WINDOW HEIGHTS PRIOR TO CONSTRUCTION



4" LP SMART BD. SMOOTH WINDOW & DOOR TRIM
LEFT/NORTH ELEVATION
 SCALE 1/4" = 1'-0"

GENERAL CONTRACTOR TO VERIFY WITH TRUSS MANUFACTURE DESIGN OF ROOF TRUSSES PRIOR TO ORDERING ALL TRUSSES AND START OF CONSTRUCTION

MATCH TOP SKIN OF SIP ROOF PANEL W/ TOP OF ROOF SHEATHING OVER TRUSSES

EXISTING

VERIFY EXISTING WINDOW HEIGHTS PRIOR TO NEW ROOF CONSTRUCTION
 FLAT ROOF SEALING, DRAINAGE DESIGN & CONSTRUCTION BY GENERAL CONTRACTOR
 RUBBER MEMBRANE OVER RIGID ROOF INSULATION SLOPED FOR DRAINAGE

PRIOR TO ORDERING NEW GARAGE ROOF TRUSSES THE GENERAL CONTRACTOR IS TO VERIFY ALL DIMENSIONS TO EXISTING CEILINGS, FLOOR SYSTEM DEPTH, WINDOWS HEIGHTS AND HOW NEW GARAGE ROOF TRUSSES FIT WITHIN THE EXISTING HOUSES PARAMETERS OF CONSTRUCTION

ROOF PANEL BRG.

6" LP SMART BD. LAP SIDING

4" LP SMART BD. CORNER BD.

MAIN FLOOR

6" LP SMART BD. SMOOTH FRIEZE BD.

TRUSS BRG. (GARAGE)

GARAGE FLOOR

FIELD VERIFY ALL EXISTING WINDOW HEIGHTS

STRUCTURAL DESIGN BY OTHERS
 STRUCTURAL MEMBERS SHOWN ON PLAN ARE FOR REFERENCE ONLY

SEE STRUCTURAL INSULATED PANEL(SIPS) MANUFACTURE FOR PANEL LAYOUT DESIGN AND STANDARD DETAILS FOR CONSTRUCTION

PROJECT LOCATION: 24175 ARAPAHOE ROAD
 OAK CREEK, MN 55XXX
 HENNEPIN COUNTY
 CODE: 2018 IRC, MINNESOTA 2020 RESIDENTIAL CODE
 ROOF SNOW LOADS=35 PSF
 GROUND SNOW LOADS=50 PSF
 SOIL BEARING CAP.: 1500 PSF (ASSUMED)
 FROST DEPTH=42" MIN.

- EXTERIOR NOTES**
- ELEVATIONS ARE DESIGNER'S INTERPRETATION AND FINAL ELEVATIONS MAY VARY FROM DRAWING.
- FLASHING NOTES**
- KICKOUT FLASHING TO BE INSTALLED AS NEEDED BY ROOFING CONTRACTOR
 - EXTERIOR WALL FINISHER TO VERIFY THAT KICKOUT FLASHING IS INSTALLED PRIOR TO FINISHING
 - CARPENTER TO FLASH ALL EXTERIOR WINDOWS & DOORS PER MN & IRC CODE REQUIREMENTS
- WINDOW NOTES**
- KOLBE WINDOWS
 - CODE MAX. U VALUE = 0.32 MAX. SHGC = 0.35
 - BUILDER TO PROVIDE WINDOW ORDER LIST WITH U FACTOR, SHGC, & STC RATING FOR EACH WINDOW & EXTERIOR DOOR
 - BUILDER TO VERIFY ALL WINDOW, DOOR & OPENING HDR. HTS.
 - WINDOW WELLS WITH A VERTICAL DEPTH OF MORE THAN 4" MUST BE EQUIPPED WITH AN APPROVED LADDER
 - ALL INTERIOR DOORS ARE 6'-8" TALL UNLESS NOTED OTHERWISE
- EXT. FINISHING NOTES**
- LP SMART BOARD LAP SIDING W/ 4" EXPOSURE (VERIFY LAP EXPOSURE W/ SIDING MANUFACTURER)
 - LP SMART BOARD SMOOTH FASCIA W/ DRIP UNLESS NOTED OTHERWISE(OPTION ALUM.)
 - LP SMART BOARD SMOOTH SOFFIT, NON VENTED (OPTION ALUM.)
 - 4" LP SMART BOARD SMOOTH WINDOW & DOOR TRIM
 - ARCHITECTURAL GRADE ASPHALT SHINGLES

RESIDENCE FOR:
 2211 WINDSOR LAKE DRIVE
 MINNETONKA, MN 55305

ELEVATIONS

DATE:

FINISHED SQ. FT. = 1710

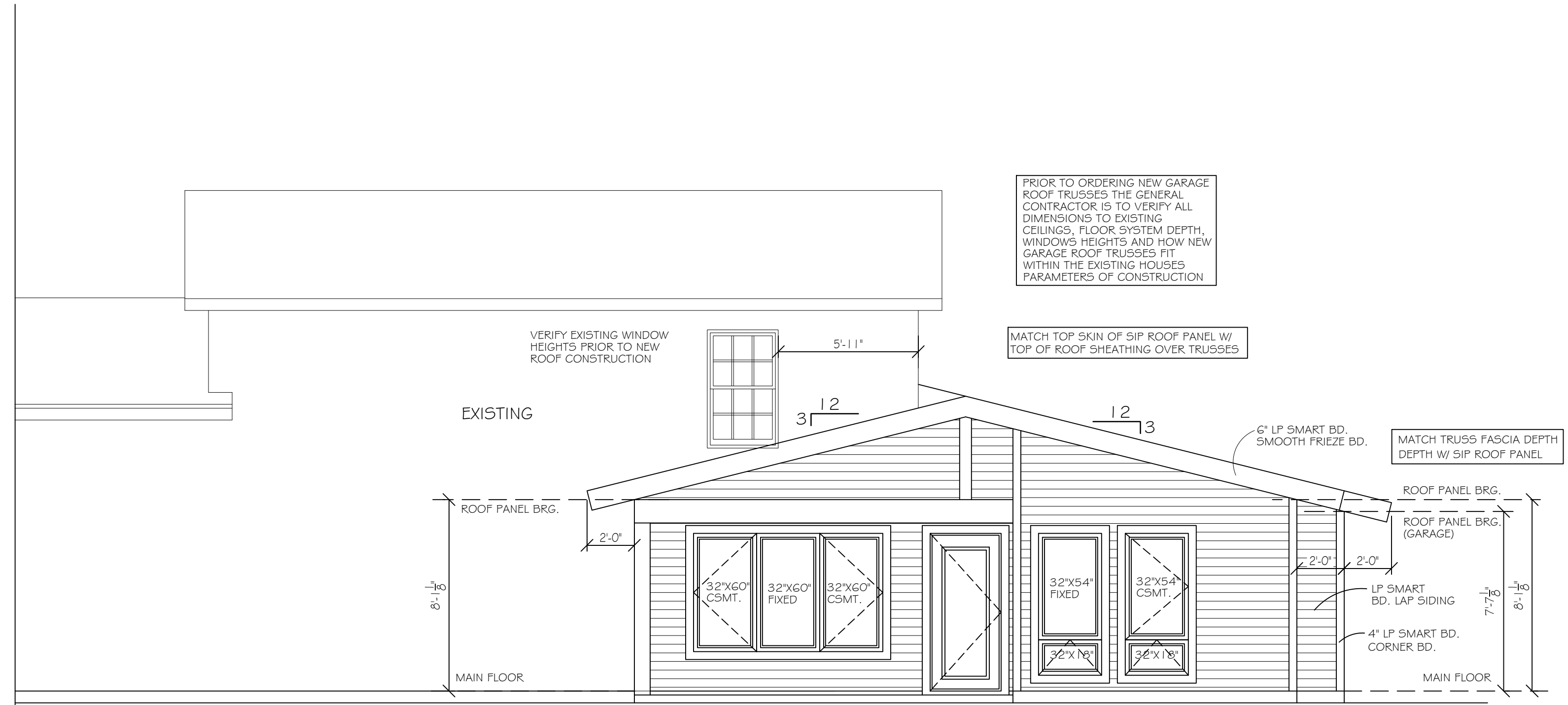
CHECKED BY: YARD HOME

JOB NO.

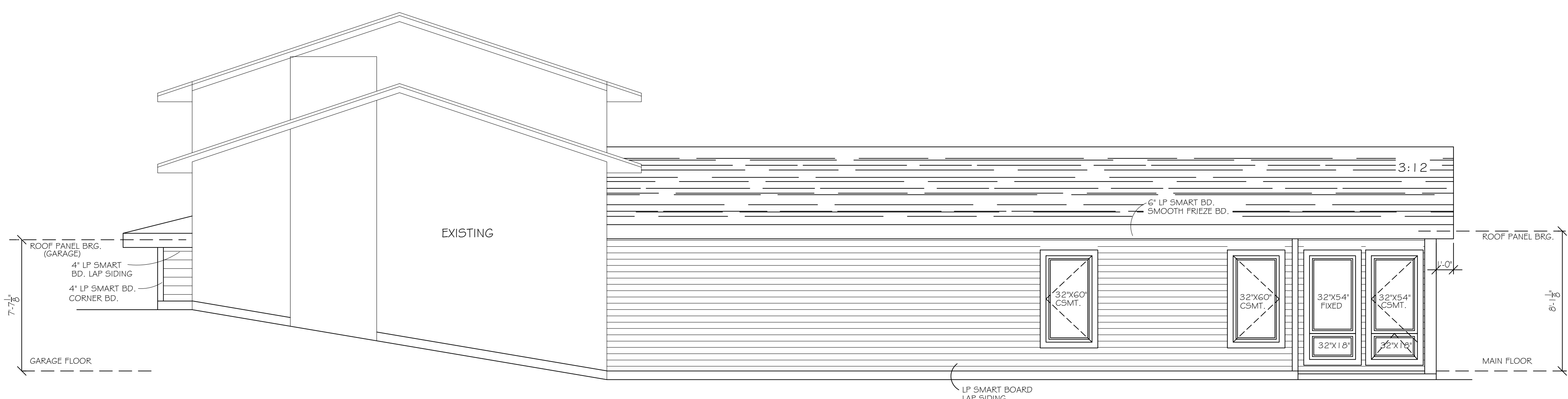
SHEET

PRELIMINARY PLAN/ NOT FOR CONSTRUCTION

NO.	REVISION DATE	BY
#1	00/00/2019	SP
#2		
#3		
#4		



4" LP SMART BD. SMOOTH WINDOW & DOOR TRIM
REAR/EAST ELEVATION
 SCALE 1/4" = 1'-0"



4" LP SMART BD. SMOOTH WINDOW & DOOR TRIM
RIGHT/SOUTH ELEVATION
 SCALE 1/4" = 1'-0"

EXTERIOR NOTES
 * ELEVATIONS ARE DESIGNERS INTERPRETATION AND FINAL ELEVATIONS MAY VARY FROM DRAWING.

FLASHING NOTES

- KICKOUT FLASHING TO BE INSTALLED AS NEEDED BY ROOFING CONTRACTOR
- EXTERIOR WALL FINISHER TO VERIFY THAT KICKOUT FLASHING IS INSTALLED PRIOR TO FINISHING
- CARPENTER TO FLASH ALL EXTERIOR WINDOWS & DOORS PER MN & IRC CODE REQUIREMENTS

WINDOW NOTES

- KOLBE WINDOWS
- CODE MAX. U VALUE = 0.32 MAX. SHGC = 0.35
- BUILDER TO PROVIDE WINDOW ORDER LIST WITH U FACTOR, SHGC, & STC RATING FOR EACH WINDOW & EXTERIOR DOOR
- BUILDER TO VERIFY ALL WINDOW, DOOR & OPENING HDR, HTS
- WINDOW WELLS WITH A VERTICAL DEPTH OF MORE THAN 4" MUST BE EQUIPPED WITH AN APPROVED LADDER
- ALL INTERIOR DOORS ARE 6'-8" TALL UNLESS NOTED OTHERWISE

EXT. FINISHING NOTES

- LP SMART BOARD LAP SIDING W/ 4" EXPOSURE (VERIFY LAP EXPOSURE W/ SIDING MANUFACTURER)
- LP SMART BOARD SMOOTH FASCIA W/ DRIP UNLESS NOTED OTHERWISE(OPTION ALUM.)
- LP SMART BOARD SMOOTH SOFFIT, NON VENTED (OPTION ALUM.)
- 4" LP SMART BOARD SMOOTH WINDOW & DOOR TRIM
- ARCHITECTURAL GRADE ASPHALT SHINGLES

RESIDENCE FOR:
 2211 WINDSOR LAKE DRIVE
 MINNETONKA, MN 55305

ELEVATIONS

DATE:

FINISHED SQ. FT. = 1710

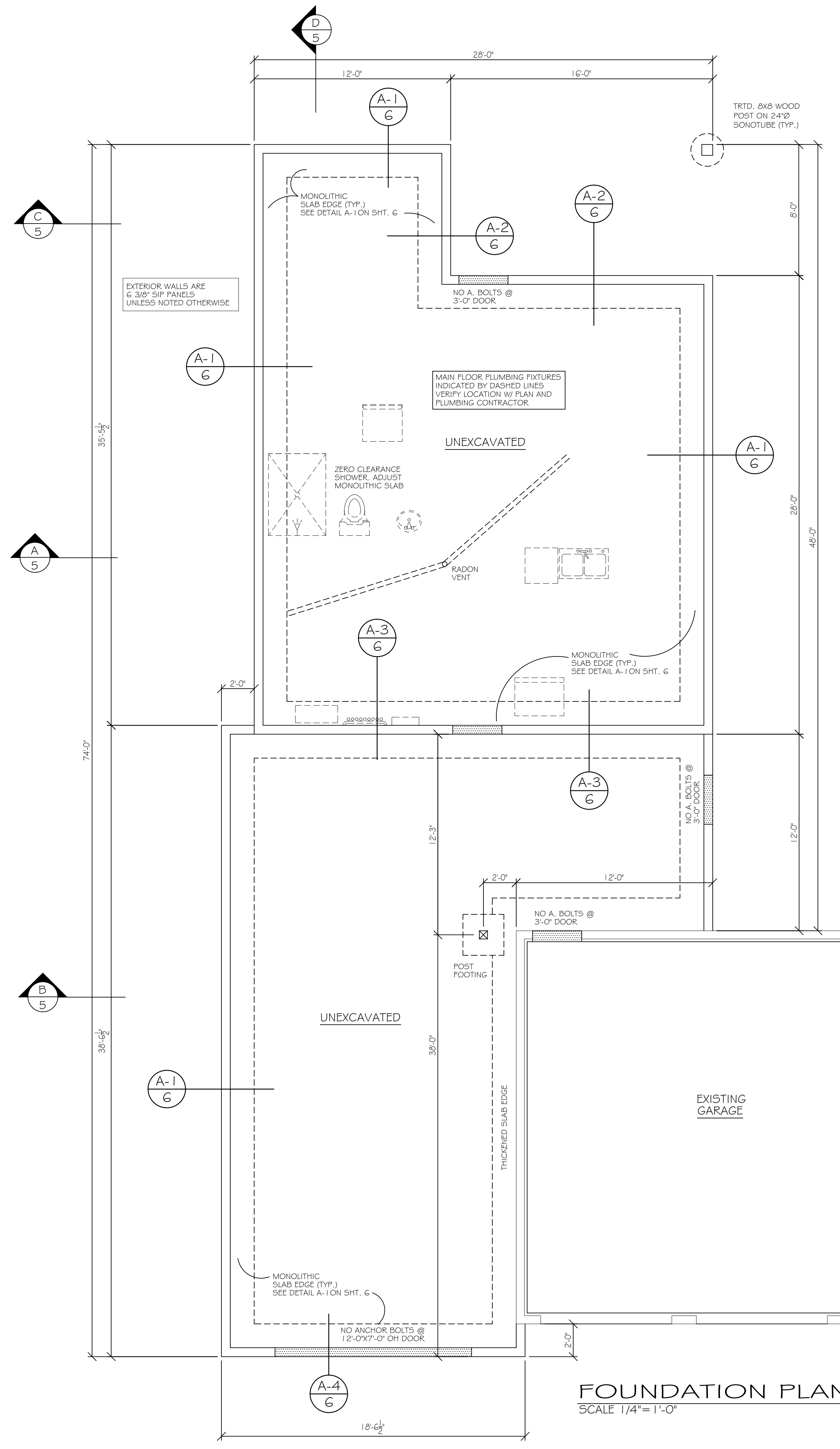
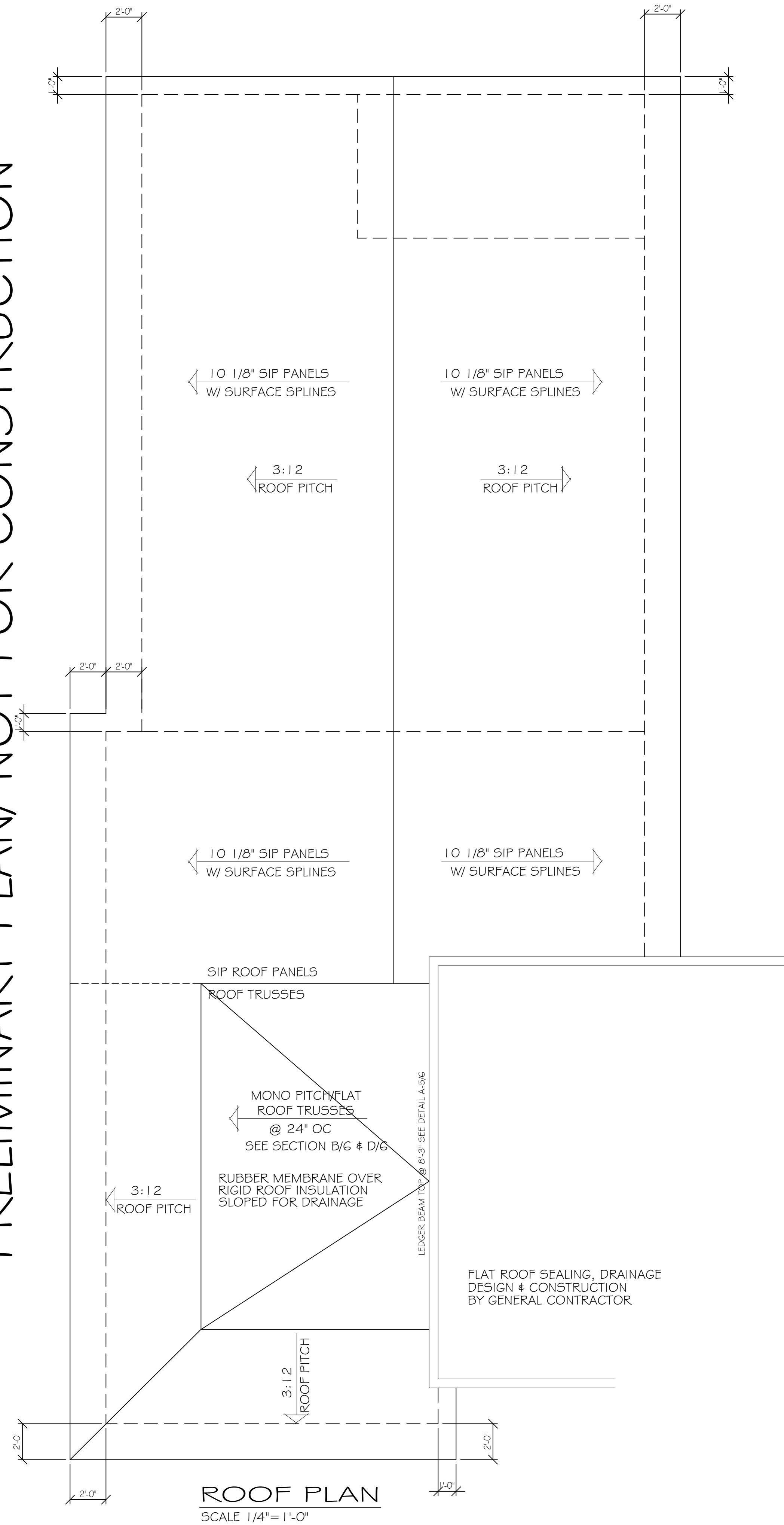
CHECKED BY: YARD HOME

JOB NO.

SHEET

2
 OF 6

PRELIMINARY PLAN/ NOT FOR CONSTRUCTION



NO.	REVISION DATE	BY
#1	00/00/2019	SP
#2		
#3		
#4		

RESIDENCE FOR:
 2211 WINDSOR LAKE DRIVE
 MINNETONKA, MN 55305

STRUCTURAL DESIGN BY OTHERS
 STRUCTURAL MEMBERS SHOWN ON
 PLAN ARE FOR REFERENCE ONLY

FOUNDATION PLAN
 SCALE: 1/4"=1'-0"
 EXTERIOR DIMENSION ARE FROM EXTERIOR WALLS AT EDGE OF SLAB ON GRADE

MONOLITHIC SLAB HOUSE	880 SLAB SQ. FT.
MONOLITHIC SLAB GARAGE	830 SLAB SQ. FT.

FOUNDATION NOTES:

- ASSUMED SOIL BEARING CAPACITY 1500 PSF
- MAINTAIN MIN. GRADE ABOVE EXTERIOR WALL FOOTINGS PER CODE FOR MONOLITHIC SLAB ON GRADE (VERIFY FOR CITY/COUNTY/STATE)
- CONCRETE CONTRACTOR TO VERIFY CONCRETE SLAB & FOOTING REQUIREMENTS WITH SITE CONDITIONS
- CONCRETE CONTRACTOR TO VERIFY ALL SLAB AND FOOTING REQUIREMENTS AT ALL UNBALANCED BACKFILL LOCATIONS
- PROVIDE 2-#4 REBAR AT ALL CONCRETE FOOTINGS (TYP.)

FOUNDATION

DATE:

FINISHED SQ. FT. = 1710

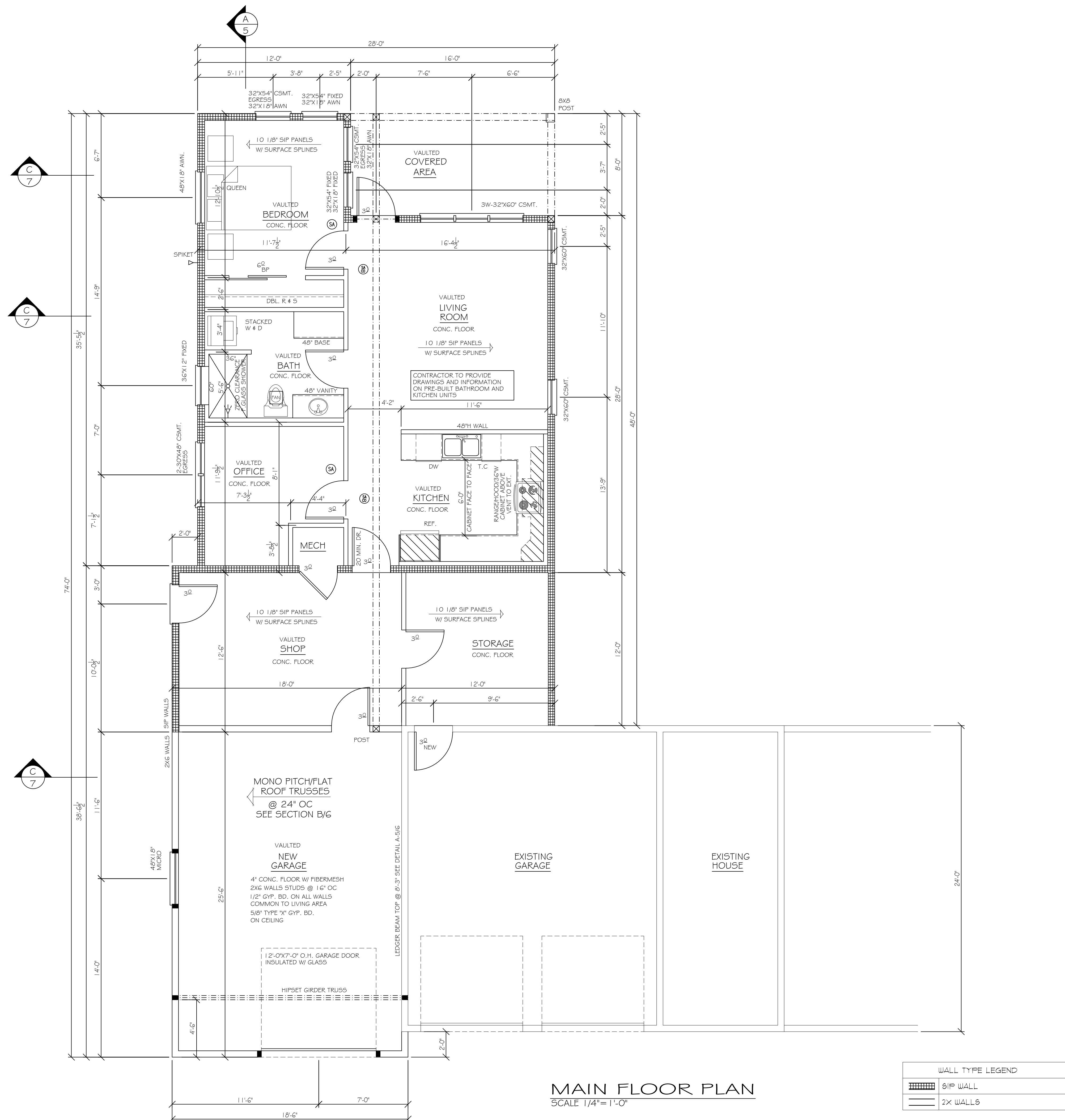
CHECKED BY: YARD HOME

JOB NO.

SHEET

3
OF 6

PRELIMINARY PLAN/ NOT FOR CONSTRUCTION



SEE STRUCTURAL INSULATED PANEL(SIP) MANUFACTURE FOR PANEL LAYOUT, DESIGN AND DETAILS REQUIRED FOR CONSTRUCTION

STRUCTURAL DESIGN BY OTHERS STRUCTURAL MEMBERS SHOWN ON PLAN ARE FOR REFERENCE ONLY

MAIN FLOOR PLAN
SCALE: 1/4"=1'-0"

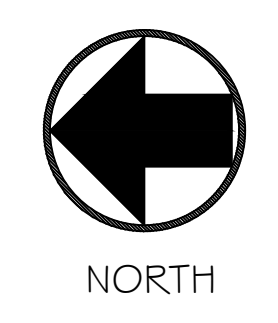
EXTERIOR DIMENSIONS ARE SHEATHING TO SHEATHING	
MAIN FLOOR FINISHED	880 SQ. FT.
GARAGE	830 SQ. FT.

- WINDOW & DOOR NOTES**
- KOLBE WINDOWS (OWNER/CONTRACTOR TO VERIFY WINDOW BRAND FOR CORRECT ROUGH OPENINGS)
 - CODE MIN. U VALUE = 0.32 MIN. SHGC = 0.35
 - ALL TOP OF WINDOWS SET @ 6"-8" UNLESS NOTED OTHERWISE
 - BUILDER TO PROVIDE WINDOW ORDER LIST WITH U FACTOR, SHGC, & STC RATING FOR EACH WINDOW & EXTERIOR DOOR
 - BUILDER TO VERIFY ALL WINDOW, DOOR & OPENING HDR. HTS.
 - FP = PROVIDE FALL PROTECTION @ OPERATING WINDOWS
 - ALL DOORS ARE 6'-8" TALL UNLESS NOTED OTHERWISE

- FRAMING NOTES**
- EXTERIOR WALLS ARE TO BE EMERCEPT 6" SIP PANELS SEE SECTIONS FOR WALL HEIGHTS.
 - ROOF STRUCTURE IS TO BE 10" SIP ROOF PANELS W/ SURFACE SPLINES SUPPORTED BY POSTS AND BEAMS (SEE PLAN FOR SIZES).
 - PROVIDE LV/L/S, SOLID BLOCKING AT ALL POINT LOADS, SUPPORT BEAMS, MICROLAMS, AND GIRDER TRUSSES TO FOUNDATION
 - ALL SPRAY FOAM INSULATION MUST BE COVERED BY MIN. 1/2" GYP. BD AT HABITABLE AREAS

- ROOF FRAMING NOTES**
- 10" SIP ROOF PANELS W/ SURFACE SPLINES
 - ROOF SUPPORT BEAMS AND POSTS ARE DESIGNED FOR GRAVITY LOAD ONLY AND MUST BE REVIEWED BY AN ENGINEER
 - ICE AND WATER RUBBER MEMBRANE CAN NOT BE APPLIED DIRECTLY TO THE OSB OF THE SIP ROOF PANEL. THE MEMBRANE CAN ONLY BE APPLIED DIRECTLY TO THE SIP ROOF PANEL AT THE EAVE AND 24" FROM THE EXTERIOR WALL SLOPING UP AND VALLEYS.
 - DOUBLE LAYER ROOFING FELT WITH ROOF PITCH BELOW 4:12

- SMOKE AND CARBON MONOXIDE DETECTORS**
- PROVIDE SMOKE DETECTORS IN EVERY BEDROOM & ANY CORRIDOR PROVIDING ACCESS TO BEDROOMS ON EACH FLOOR INCLUDING THE BASEMENT, & IN ANY ROOM THAT HAS A CEILING HEIGHT MORE THAN 24" HIGHER THAN A CORRIDOR PROVIDING ACCESS TO THE BEDROOMS.
 - PROVIDE CARBON MONOXIDE DETECTORS WITHIN 10'-0" OF ALL BEDROOMS



NO.	REVISION DATE	BY
#1	00/00/2019	SP
#2		
#3		
#4		

RESIDENCE FOR:
2211 WINDSOR LAKE DRIVE
MINNETONKA, MN 55305

MAIN FLOOR

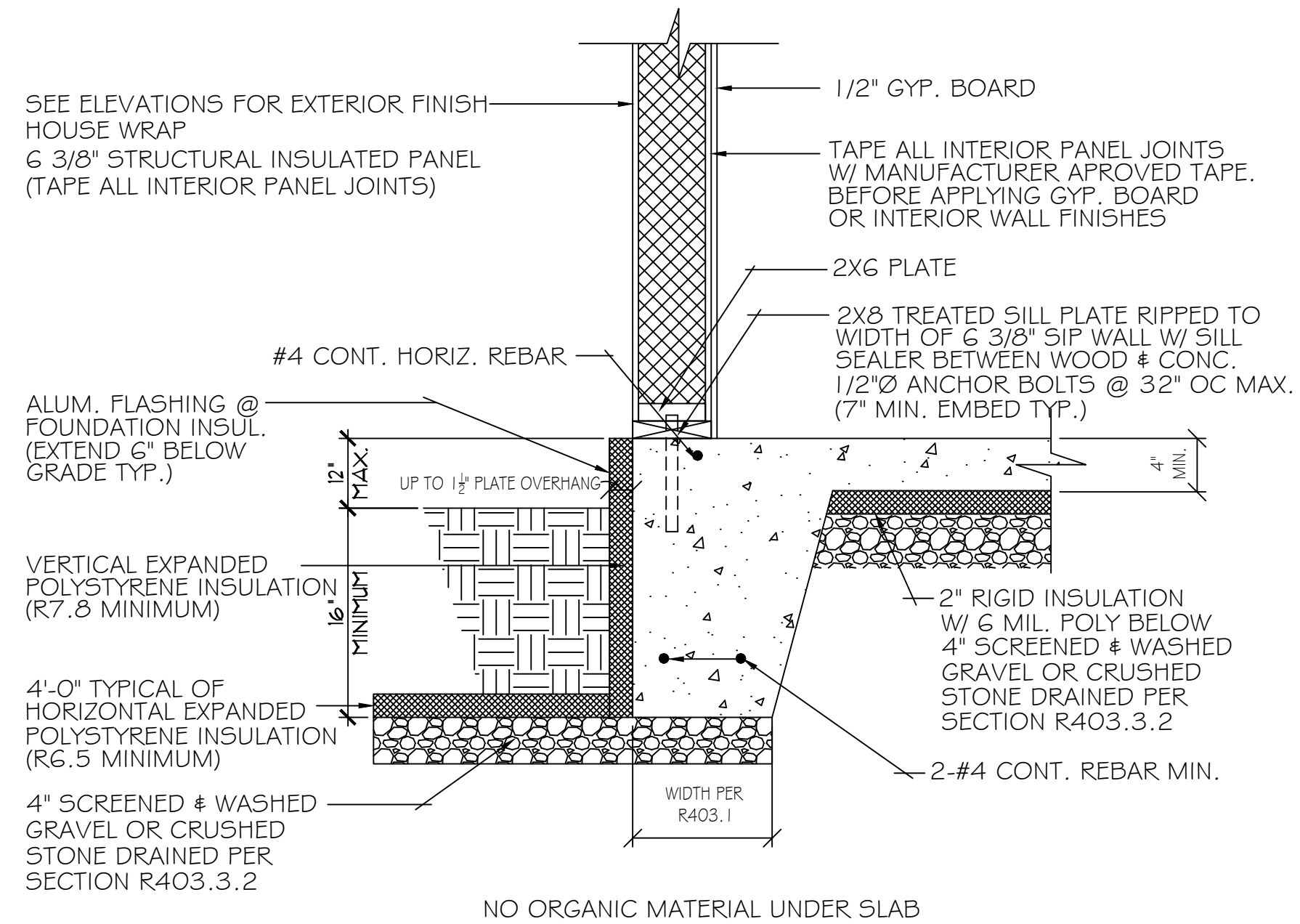
DATE:
FINISHED SQ. FT. = 1710

CHECKED BY: YARD HOME

JOB NO.
SHEET

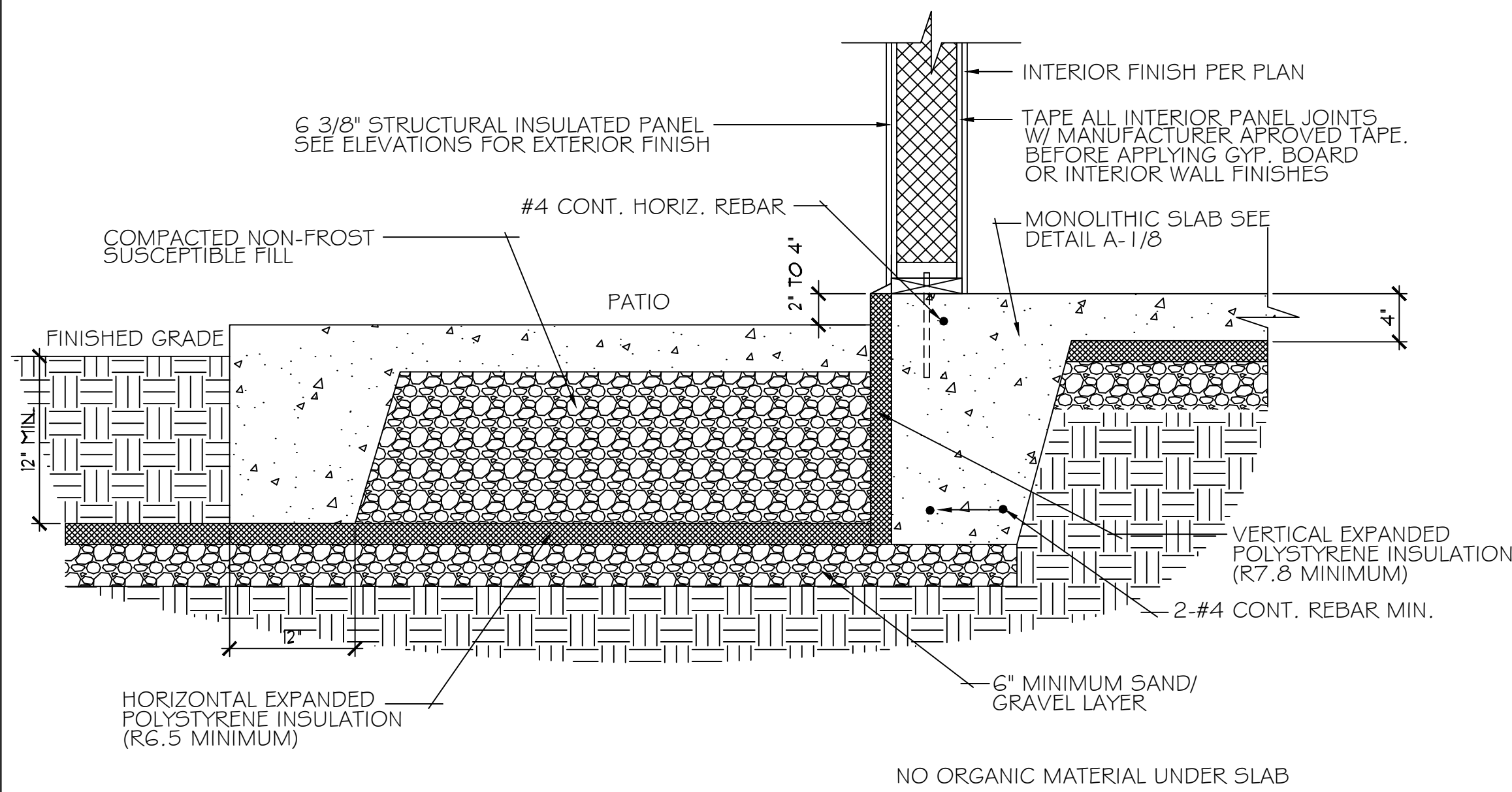
PRELIMINARY PLAN/ NOT FOR CONSTRUCTION

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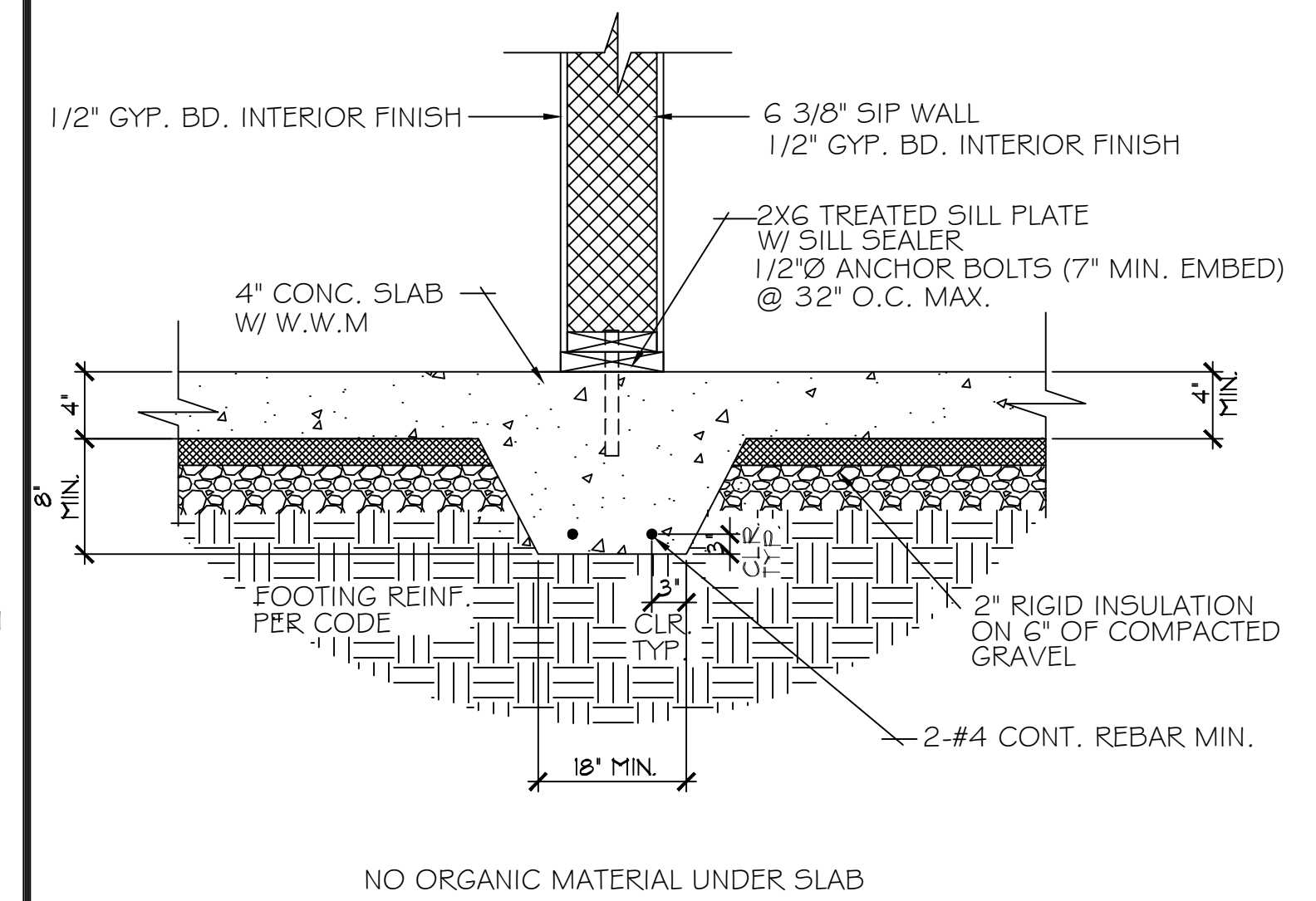


CONTRACTOR TO PROVIDE SPEC SHEET OF PRE-MANUFACTURED MONOLITHIC SLAB FORM SYSTEM "R-FORM" TO CITY IF USED

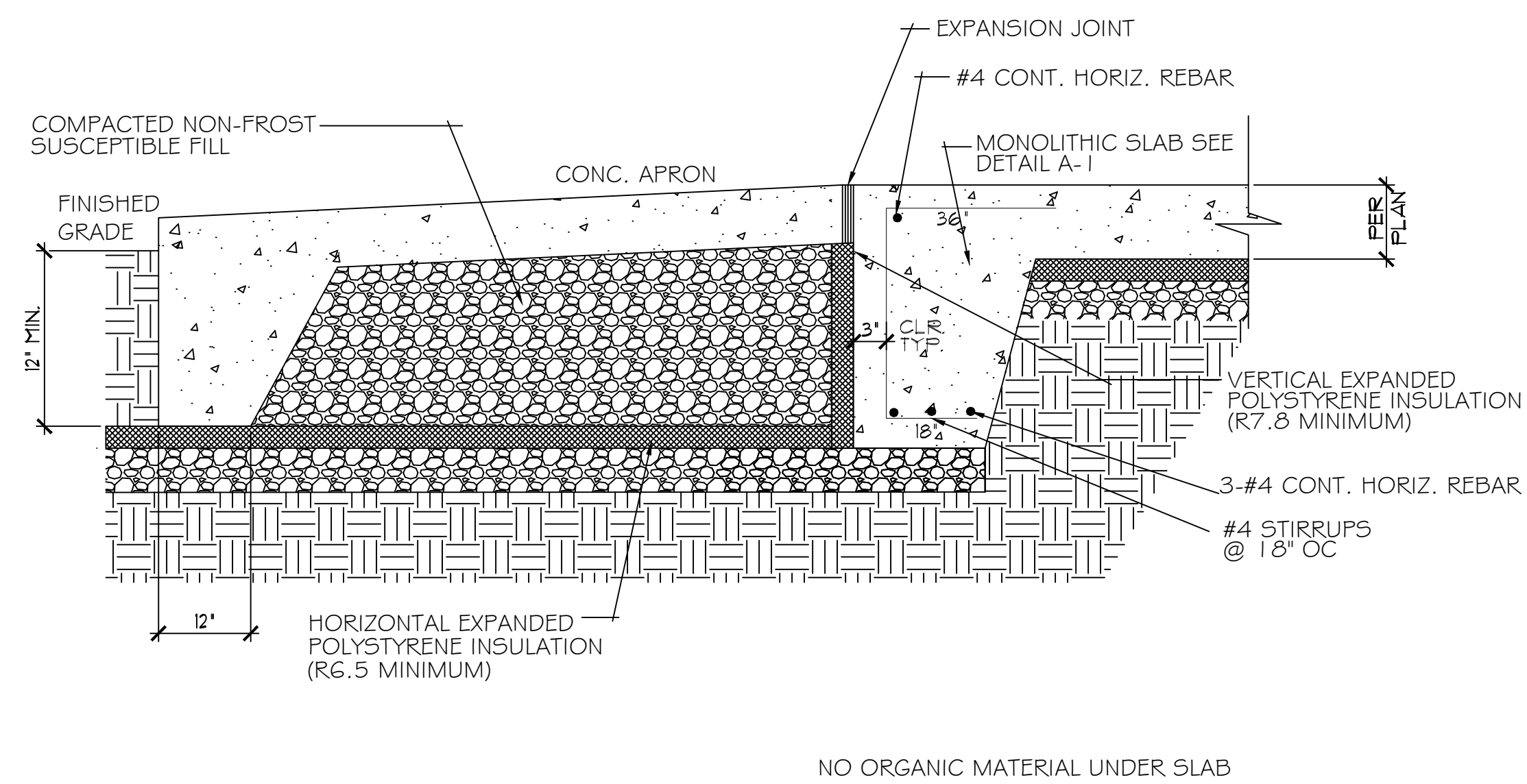
FOUNDATION @ EXTERIOR WALL DETAIL "A-1"
MONOLITHIC SLAB



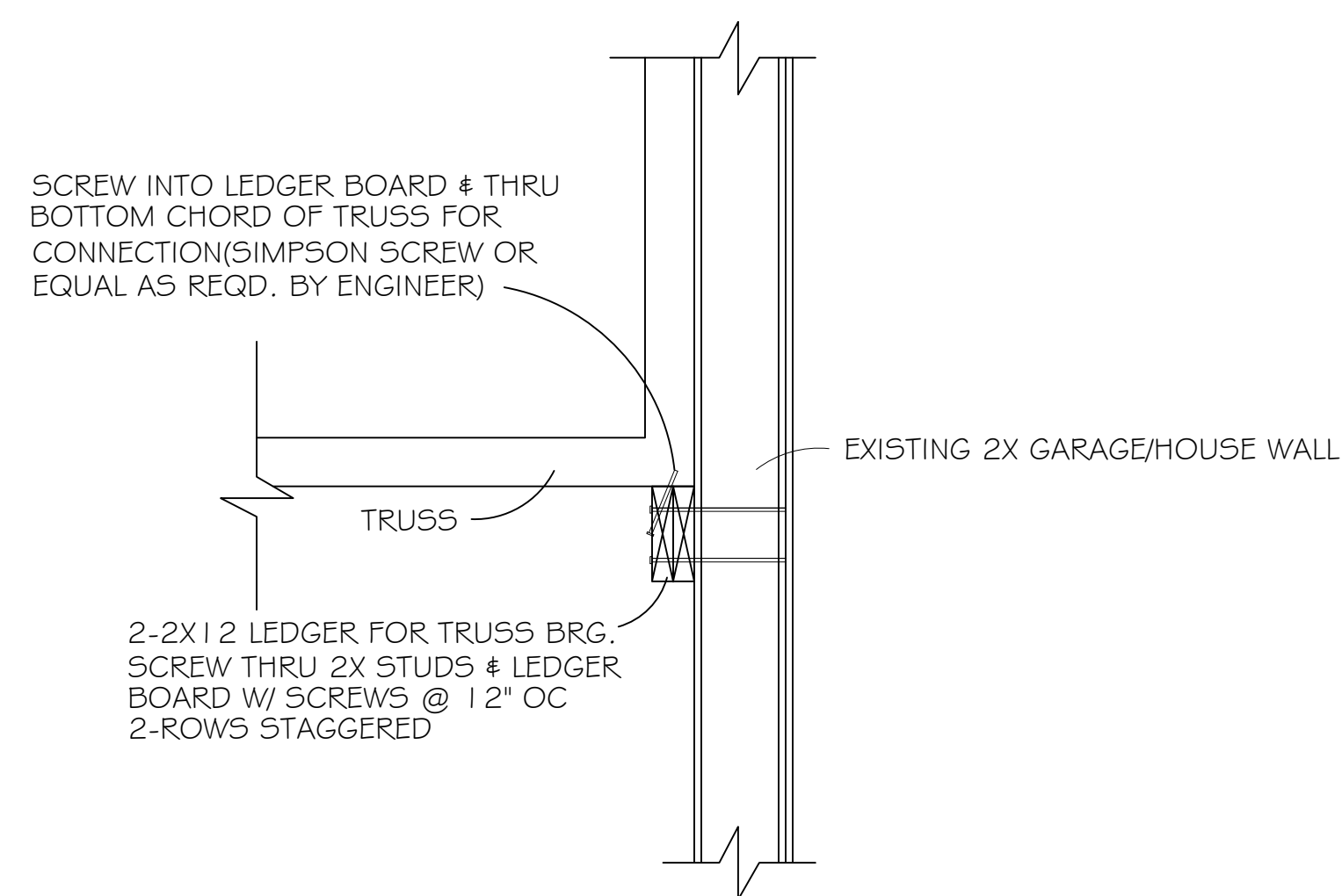
FOUNDATION @ BUILDING EXTERIOR WALL/PATIO "A-2"
MONOLITHIC SLAB



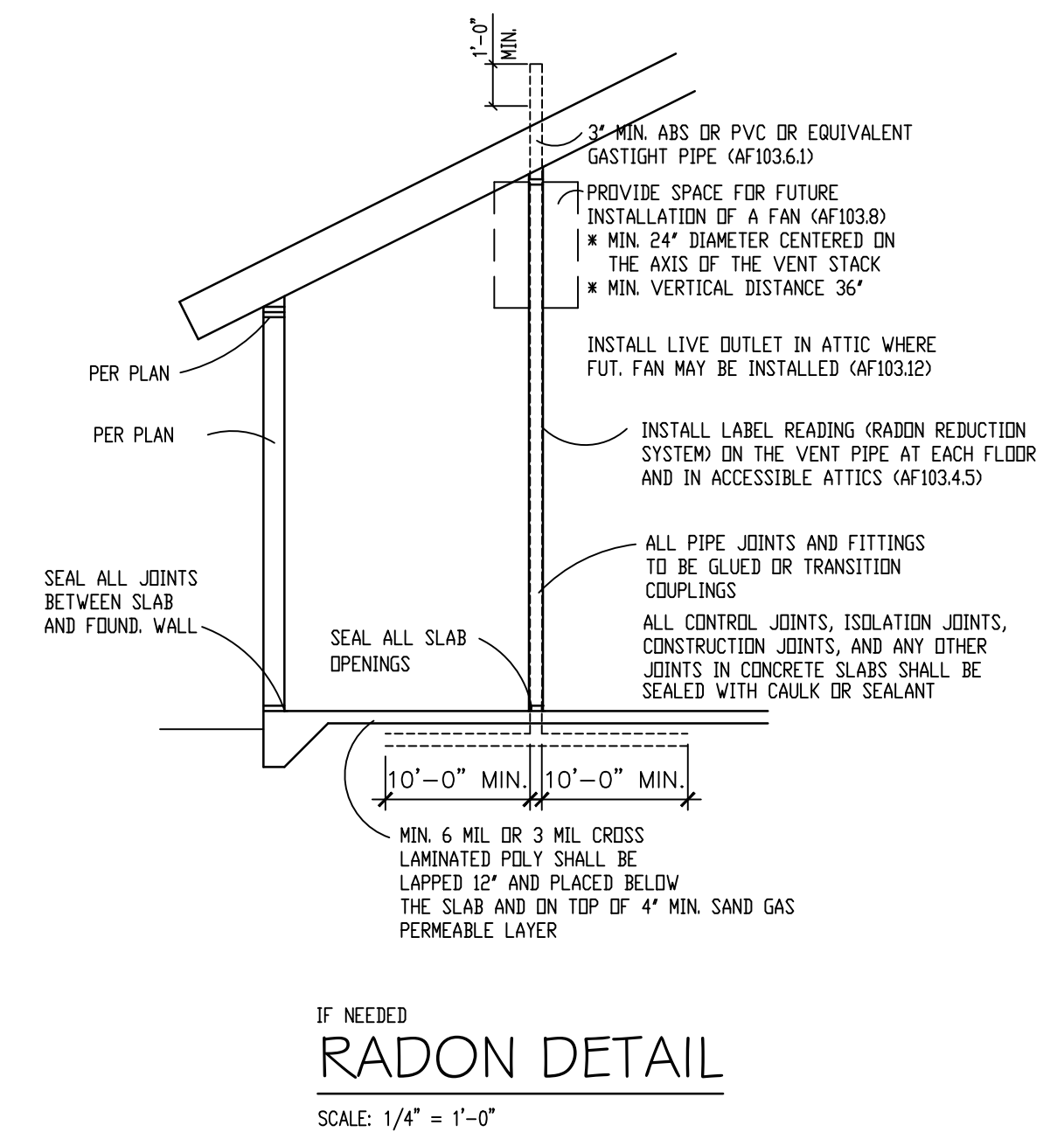
INTERIOR GARAGE/HOUSE WALL "A-3"
MONOLITHIC SLAB



FOUNDATION @ BUILDING & CONCRETE APRON "A-4"
MONOLITHIC SLAB



SECTION @ ROOF TRUSS BEARING/ LEDGER BEAM CONNECTION "A-5"



SEE STRUCTURAL INSULATED PANEL (SIP) MANUFACTURE FOR PANEL LAYOUT, DESIGN AND DETAILS REQUIRED FOR CONSTRUCTION

STRUCTURAL DESIGN BY OTHERS STRUCTURAL MEMBERS SHOWN ON PLAN ARE FOR REFERENCE ONLY

RESIDENCE FOR:
2211 WINDSOR LAKE DRIVE
MINNETONKA, MN 55305

BUILDING SECTIONS

DATE:

CHECKED BY: YARD HOME

JOB NO.

SHEET

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OF 6