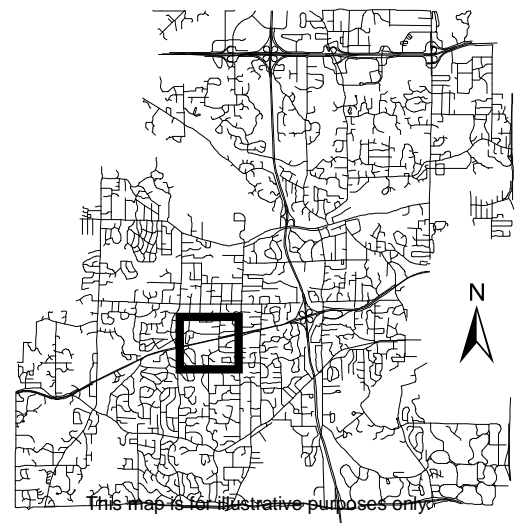




Location Map

Project: Louisiana Residence
Address: 4546 Highland Rd

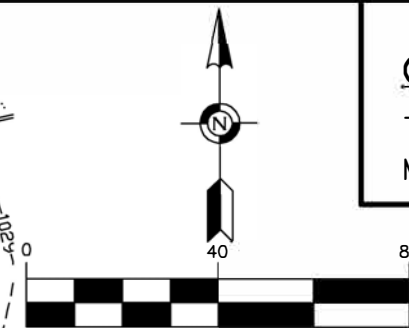


This map is for illustrative purposes only.

EXISTING TOPOGRAPHY

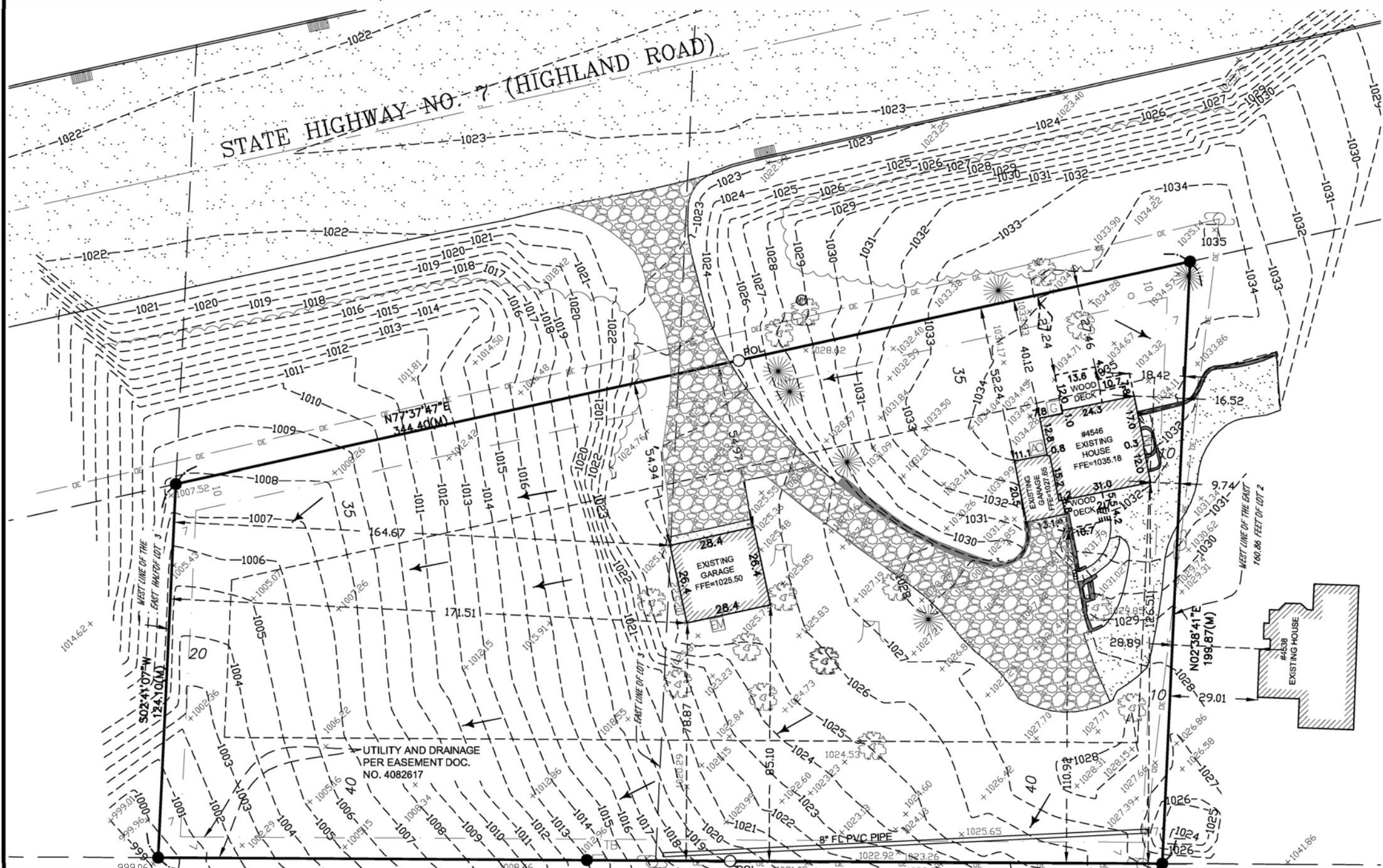
Call 48 Hours before digging
GOPHER STATE ONE CALL

Twin Cities Area 651-454-0002
MN. Toll Free 1-800-252-1166



LEGEND

- DENOTES FOUND PROPERTY IRON
- DENOTES SET 1/2" X 18" REBAR WITH PLASTIC CAP "PLS 25105"
- _{POL} DENOTES POINT ON LINE
- DENOTES BOUNDARY LINE
- - - DENOTES EASEMENT LINE
- - - DENOTES LOT LINE
- - - DENOTES SETBACK LINE
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- - - 999 DENOTES EXISTING CONTOUR LINE
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- ▨ DENOTES BITUMINOUS SURFACE
- ▩ DENOTES GARVEL SURFACE
- ▧ DENOTES BRICK PAVERS SURFACE
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- ⊠ DENOTES AIR CONDITIONER
- ⊠ DENOTES GAS METER
- ⊠_{TB} DENOTES TELEPHONE BOX
- ⊠ DENOTES STUMP
- ⊠ DENOTES CATCH BASIN
- ⊠ DENOTES MANHOLE (UNKNOWN UTILITY)
- DENOTES DRAINAGE FLOW



EXISTING

BUILDING SETBACKS
ZONING: R1 = SINGLE-FAMILY DISTRICT
HOUSE: FRONT = 35 FT
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REAR = 40 FT OR 20 % LOT DEPTH, WHICHEVER IS LESS

EXISTING HARDCOVER

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EXISTING GARAGE	999 SQ. FT.
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EXISTING BITUMINOUS SURFACE	1,407 SQ. FT.
EXISTING BRICK PAVER SURFACE	5 SQ. FT.
TOTAL IMPERVIOUS AREA	4,101 SQ. FT.
TOTAL LOT AREA	53,889 SQ. FT.
EXISTING HARDCOVER	7.6%

REFERENCE BENCHMARK
ELEVATION = 1015.13 (NGVD 29)
MNDOT DISK "FAHIL".

LEGAL DESCRIPTION
That part of Lot 2 lying South of the State Highway No. 7 and West of the East 160.86 feet thereof. Also the East One Half of Lot 3 lying South of said State Highway No. 7, Block 3, TONKAWOOD FARMS, Hennepin County, Minnesota, according to the recorded plat thereof.

NOTES

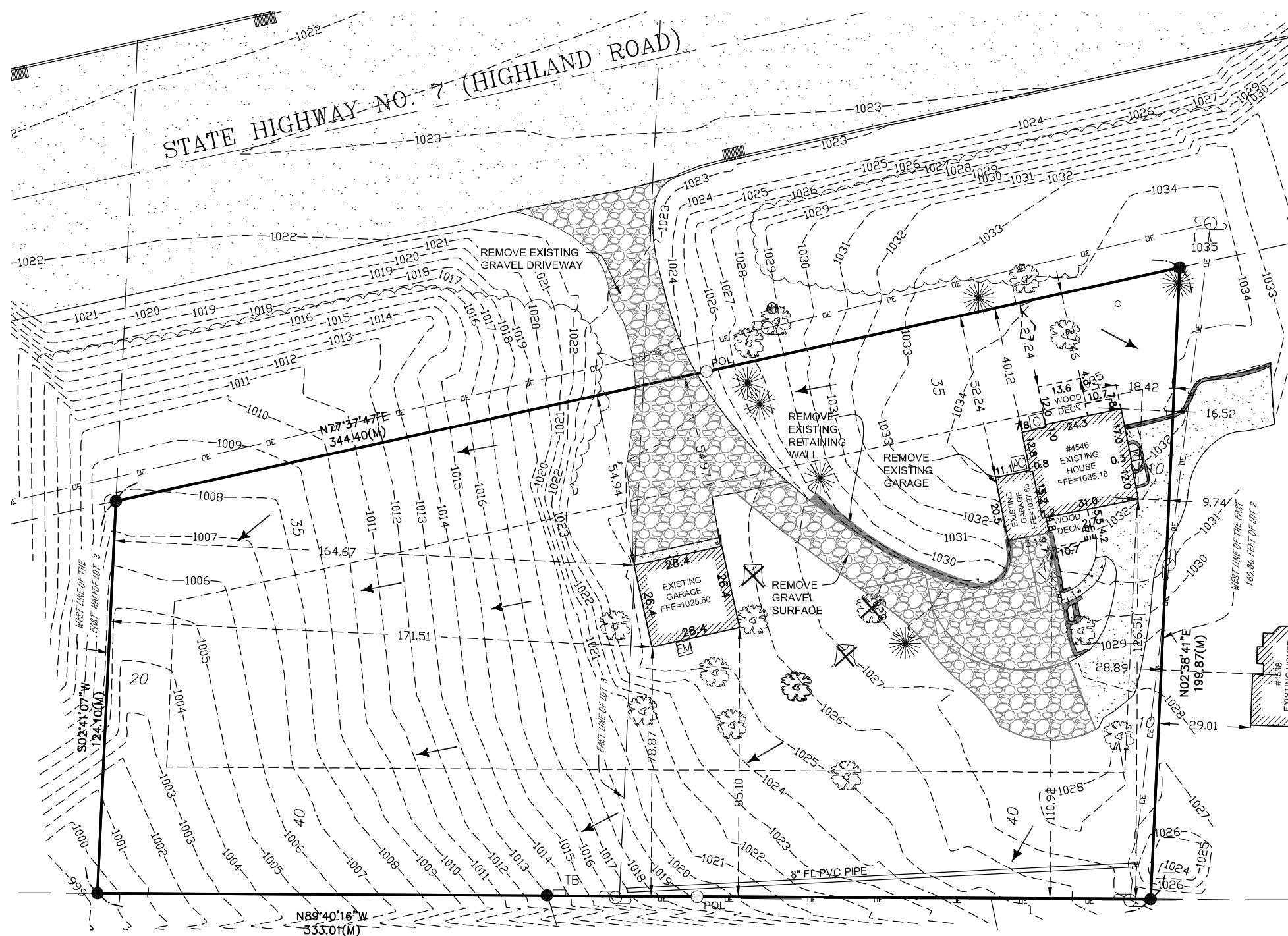
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NO.	DATE	DESCRIPTION	BY

DEMOLITION AND REMOVAL PLAN

Call 48 Hours before digging
GOPHER STATE ONE CALL

Twin Cities Area 651-454-0002
MN. Toll Free 1-800-252-1166



LEGEND

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- DENOTES STUMP
- DENOTES CATCH BASIN
- ⊕ DENOTES MANHOLE
- ← DENOTES DRAINAGE FLOW

REMOVAL LEGEND

- DENOTES REMOVE GRAVEL SURFACE
- ⊗ DENOTES STUMP TO BE REMOVE
- ☁ DENOTES DECIDUOUS TREE TO BE REMOVED

NOTES

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NO.	DATE	DESCRIPTION	BY

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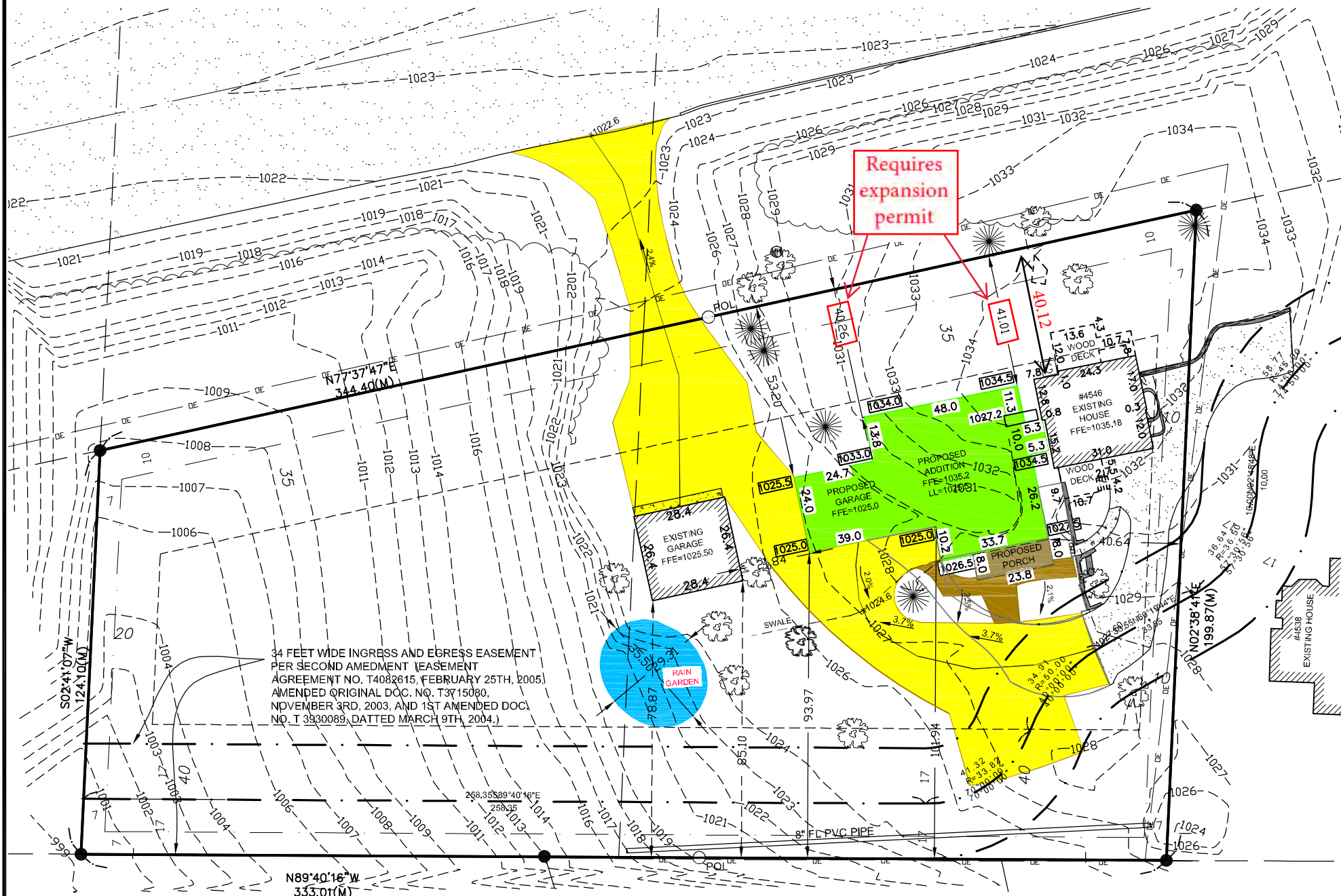
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SITE AND DIMENSION PLAN

Call 48 Hours before digging
GOPHER STATE ONE CALL
 Twin Cities Area 651-454-0002
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Requires expansion permit

LEGEND

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- MH DENOTES MANHOLE
- ← DENOTES DRAINAGE FLOW

PROPOSED LEGEND

- DENOTES PROPOSED ADDITION
- DENOTES PROPOSED PORCH
- DENOTES PROPOSED CONCRETE SIDEWALK
- DENOTES PROPOSED BITUMINOUS DRIVEWAY
- x 999.99 DENOTES PROPOSED SPOT ELEVATION
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34 FEET WIDE INGRESS AND EGRESS EASEMENT PER SECOND AMENDMENT LEASEMENT AGREEMENT NO. T4082615, FEBRUARY 25TH, 2005, AMENDED ORIGINAL DOC. NO. T3715080, NOVEMBER 3RD, 2003, AND 1ST AMENDED DOC. NO. T 3930089, DATED MARCH 9TH, 2004.

PROPOSED

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PROPOSED HARDCOVER

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PROPOSED PORCH	191 SQ. FT.
PROPOSED BITUMINOUS DRIVEWAY	5,944 SQ. FT.
PROPOSED CONCRETE SIDEWALK	349 SQ. FT.
PROPOSED CONCRETE STAIRS	51 SQ. FT.
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EXISTING WOOD DECK (REAR)	146 SQ. FT.
EXISTING CONC. SURFACE	421 SQ. FT.
EXISTING BITUMINOUS DRIVEWAY	824 SQ. FT.
EXISTING BRICK PAVER SURFACE	5 SQ. FT.
TOTAL IMPERVIOUS AREA	11,888 SQ. FT.
TOTAL LOT AREA	53,889 SQ. FT.
PROPOSED HARDCOVER	22.1%

REFERENCE BENCHMARK

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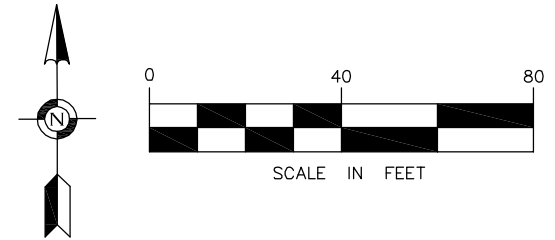
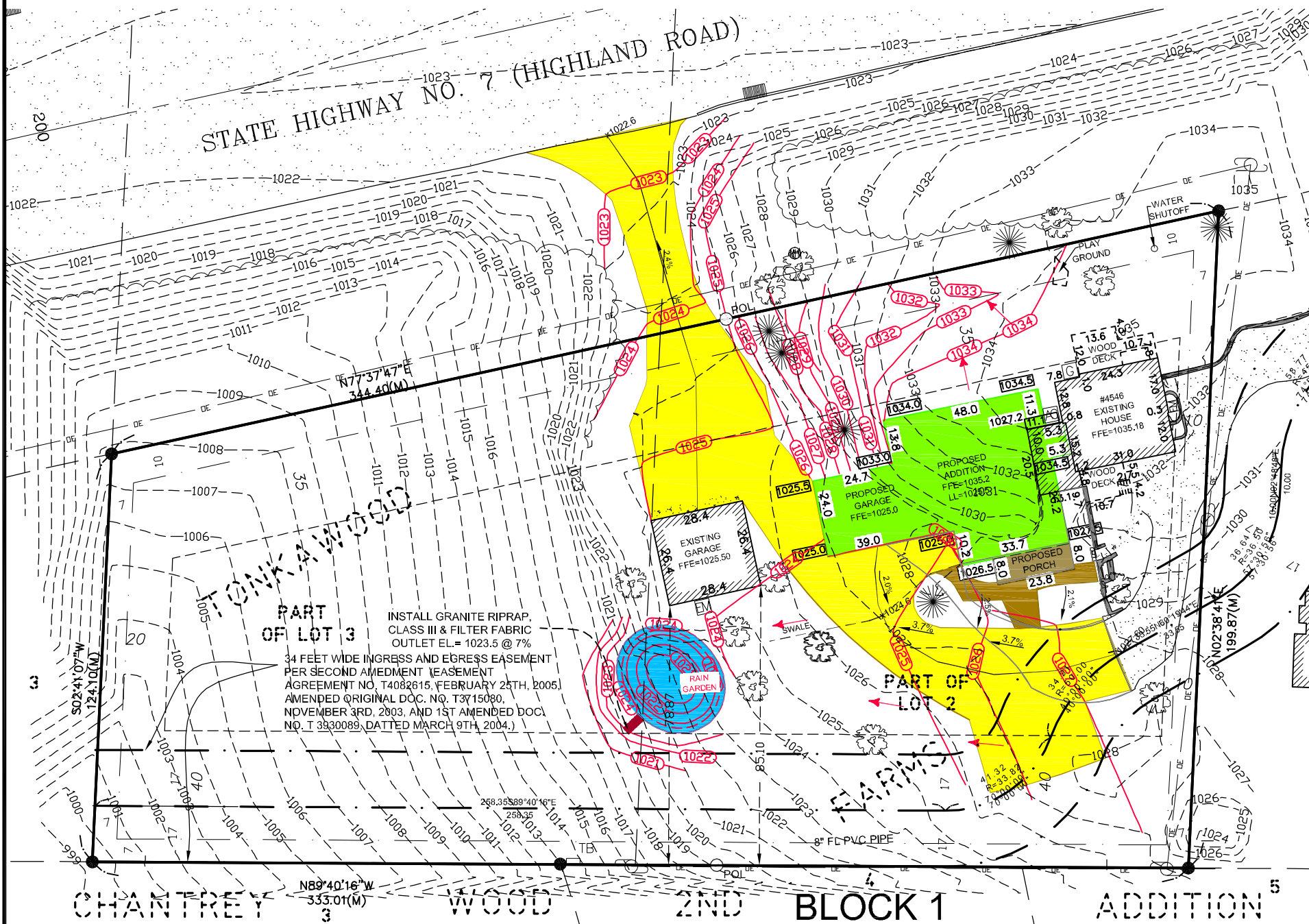
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GRADING AND DRAINAGE PLAN

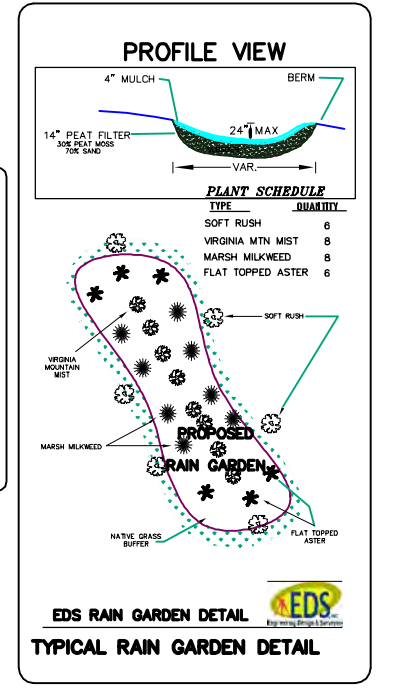
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PART OF LOT 3
 INSTALL GRANITE RIPRAP, CLASS III & FILTER FABRIC OUTLET EL. = 1023.5 @ 7%
 34 FEET WIDE INGRESS AND EGRESS EASEMENT PER SECOND AMENDMENT LEASEMENT AGREEMENT NO. T4082615, FEBRUARY 25TH, 2005; AMENDED ORIGINAL DOC. NO. T3715080, NOVEMBER 3RD, 2003, AND 1ST AMENDED DOC. NO. T 3830089, DATED MARCH 9TH, 2004.)

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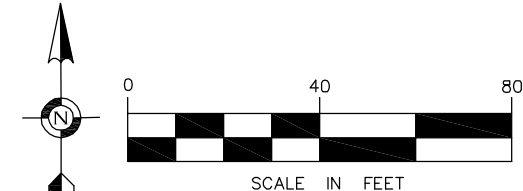
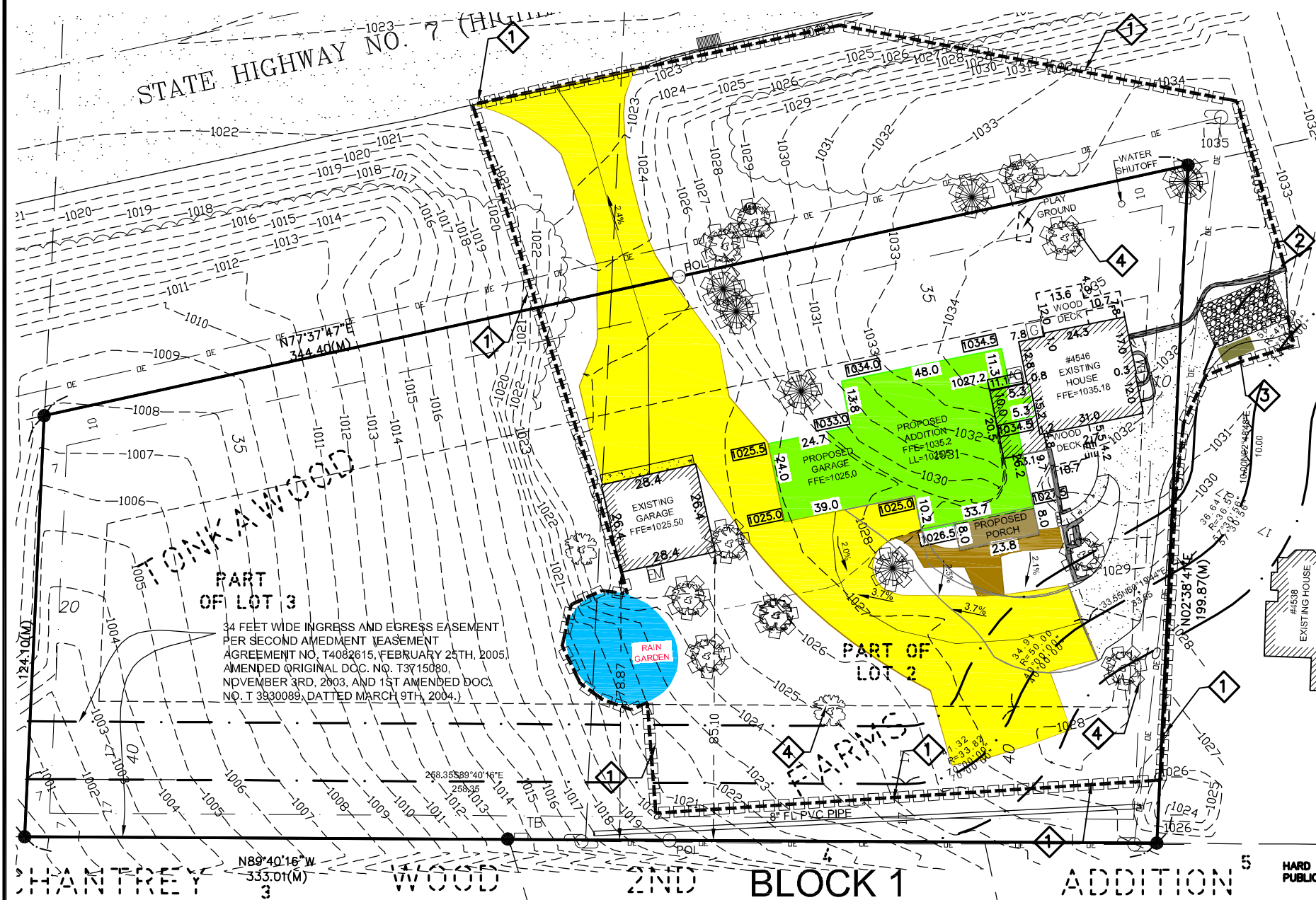
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NO.	DATE	DESCRIPTION	BY

EROSION CONTROL AND SEDIMENT PLAN

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 MN. Toll Free 1-800-252-1166



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- PROPOSED LEGEND**
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 - xxx.x DENOTES PROPOSED ELEVATION
 - DENOTES PROPOSED EROSION LOGS
 - DENOTES PROPOSED ROCK ENT.
 - xxx.x DENOTES PROPOSED CONTOUR
 - DENOTES PROPOSED TREE PROTECTION DEVICE

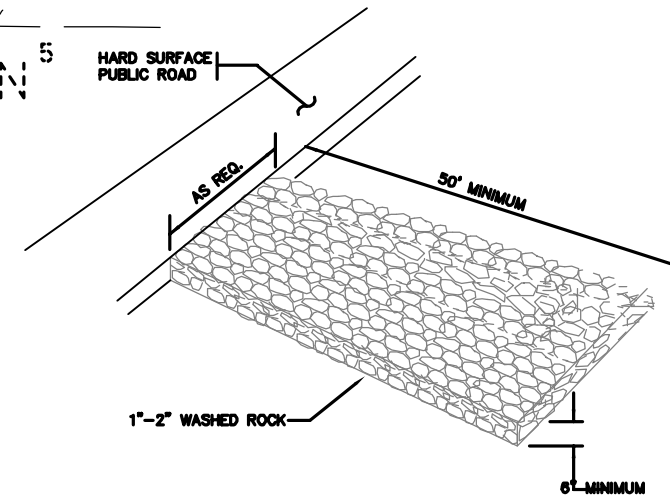
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NUMBERED NOTES

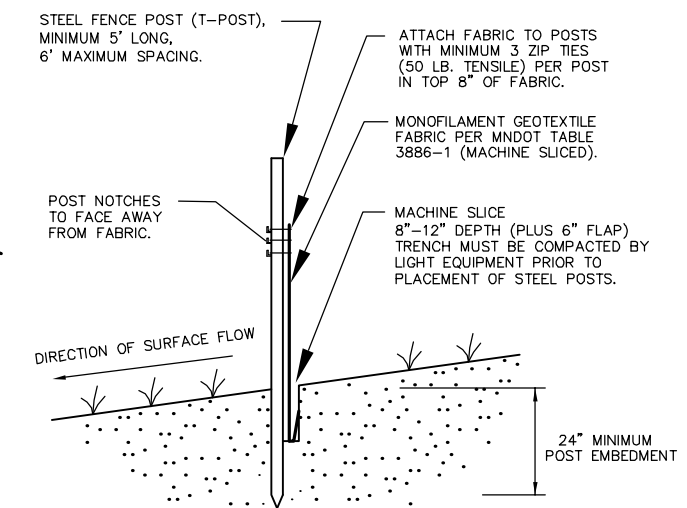
- ① INSTALL EROSION CONTROL LOGS PRIOR TO START OF SOIL DISTURBING ACTIVITIES.
- ② INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE PRIOR TO START OF SOIL DISTURBING ACTIVITIES.
- ③ INSTALL TEMPORARY CONCRETE WASHOUT PAD (OPTIONAL).
- ④ INSTALL TREE PROTECTION DEVICE.



TYPICAL EROSION LOGS
 NOT TO SCALE



TYPICAL ROCK SURFACE
 NOT TO SCALE



TYPICAL SILT FENCE CONSTRUCTION
 NOT TO SCALE

GRADING, DRAINAGE AND EROSION CONTROL NOTES

GRADING NOTES

1. CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
2. SUITABLE GRADING MATERIAL SHALL CONSIST OF ALL SOIL ENCOUNTERED ON THE SITE WITH EXCEPTION OF TOPSOIL DEBRIS, ORGANIC MATERIAL AND OTHER UNSTABLE MATERIAL. STOCKPILE TOPSOIL AND GRANULAR FILL AT LOCATIONS DIRECTED BY CONTRACTOR.
3. SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF THE EXISTING PAVEMENT.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
5. GRADES SHOWN ARE FINISHED GRADES, CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION.
6. ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OFF THE CONSTRUCTION SITE.
8. COMPLETION OF SITE GRADING OPERATIONS SHALL RESULT IN ALL AREAS BEING GRADED TO 'PLAN SUBGRADE ELEVATION'. THE PARKING LOT AND DRIVEWAY AREAS SHALL BE DETERMINED BY REFERRING TO THE SITE PLAN AND PAVEMENT SECTION DETAILS FOR LOCATION AND LIMITS OF BITUMINOUS PAVEMENT SECTIONS.
9. THE MINIMUM GRADED SLOPE FROM EDGE OF BUILDING SHALL BE 6 INCHES IN 10 FEET.
10. FINISHED GROUND AND SOD ELEVATION ADJACENT TO BUILDING SHALL BE 6" BELOW FLOOR ELEVATION. SLOPE GROUND AWAY FROM BUILDING A MINIMUM OF 6" IN 10 FEET BEYOND 10 FEET REFER TO PLAN GRADES.
11. CONTRACTOR IS RESPONSIBLE FOR GRADING AND SLOPING THE FINISHED GROUND SURFACE TO PROVIDE SMOOTH & UNIFORM SLOPES, WHICH PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND PREVENT PONDING IN LOWER AREAS. CONTACT ENGINEER IF FIELD ADJUSTMENTS TO GRADING PLANS ARE REQUIRED.
12. CONTRACTOR SHALL REMOVE ONLY THOSE TREES MARKED IN THE FIELD VERIFY WITH ENGINEER PRIOR TO REMOVAL.
13. ALL GRADING SHALL BE ACCORDING TO MnDOT 2105.
14. EXISTING CURB CUTS SHALL BE REMOVED AND REPLACED WITH CURB AND GUTTER PER CITY STANDARD DETAILS (AND SPECIFICATIONS) .

GRADING, TURF ESTABLISHMENT & EROSION CONTROL SPECIFICATIONS

TURF ESTABLISHMENT

ALL TURF ESTABLISHMENT SHALL BE ACCORDING TO MnDOT 2575 AND SHALL TAKE PLACE WITHIN 10 DAYS OF THE COMPLETED GRADING OPERATION.

TOPSOIL

CONTRACTOR SHALL STRIP, STOCKPILE AND RE-SPREAD SUFFICIENT TOPSOIL TO PROVIDE A MINIMUM 4 INCH DEPTH (COMPACTED) TO ALL DISTURBED AREAS, TO BE SODDED OR SEEDED.

SOD

SOD SHALL BE ACCORDING TO MnDOT 3878.

SEEDING

SEED MIX SHALL BE MnDOT 50B AT 100# PER ACRE. DORMANT SEEDING AFTER NOVEMBER 1, AT TWICE THE NORMAL RATE.

MULCHING

MULCH SHALL BE MnDOT TYPE 1. STRAW SHOULD BE SPREAD UNIFORMLY AT A RATE OF 2 TONS PER ACRE AND ANCHORED WITH EITHER NETTING OR A STRAIGHT DISC.

FERTILIZER

TYPE 20-0-10 AT 400# PER ACRE.

GRADING

ALL GRADING SHALL BE ACCORDING TO MnDOT 2105.

SEDIMENT & EROSION CONTROL NOTES

1. LARRY LOUSIANA IS RESPONSIBLE FOR THE CLEANLINESS OF THE SITE AND THE MAINTENANCE OF THE EROSION AND SEDIMENT CONTROLS AND CAN BE REACHED AT 612-999-5486.
2. THE STREET WILL BE SWEEPED CLEAN BEFORE THE END OF EACH DAY OF ACTIVE CONSTRUCTION, WHEN SEDIMENT IS TRACKED INTO THE STREET.
3. AREAS WITH SLOPES GREATER THAN 3 TO 1 AND AREAS NEXT TO WETLANDS/WATERBODIES GRADED OR EXPOSED DURING CONSTRUCTION SHALL BE PROTECTED WITH TEMPORARY VEGETATION, MULCHING, OR OTHER MEANS AS SOON AS PRACTICAL.
4. ALL EXPOSED SOIL AREAS WILL BE STABILIZED AS SOON AS PRACTICAL. UNWORKED SOILS THAT REMAIN EXPOSED AND NOT IN USE FOR LONGER THAN 14 DAYS WILL BE COVERED WITH TEMPORARY SEED (GRASS, OATS, OR WHEAT).
5. NO CONCRETE WASHOUT SHALL OCCUR ON SITE UNLESS IT IS DONE WITH AN APPROVED MINNESOTA POLLUTION CONTROL AGENCY (MPCA) DEVICE OR STANDARD.
6. STOCKPILES SHALL BE SURROUNDED WITH ADEQUATE PERIMETER CONTROL TO PREVENT SEDIMENTATION AND EROSION.
7. INLET PROTECTION FOR ALL STORM SEWER INLETS DOWNSTREAM OF THE SITE WITHIN ONE BLOCK OR AS DIRECTED BY THE CITY.
8. SITE SHALL BE KEPT CLEAN AT ALL TIMES AND REFUSE PROPERLY CONTROLLED.
9. TEMPORARY PUMPING SHALL NOT BE PERMITTED WITHOUT THE USE OF AN APPROVED MINNESOTA POLLUTION CONTROL AGENCY (MPCA) DEVICE OR STANDARD.
10. SOIL COMPACTION SHALL BE MINIMIZED; AREAS OF COMPACTED SOIL WILL BE REMOVED OR LOOSENED VIA TILLING TO A DEPTH OF NO LESS THAN 6-INCHES.
11. THE CONTRACTOR SHALL INSPECT ON A WEEKLY BASIS AND AFTER ANY RAINFALL GREATER THAN 1" ALL EROSION CONTROL DEVICES AND MAKE ANY REPAIRS IMMEDIATELY. AN INSPECTION LOG SHALL BE KEPT ON SITE DETAILING THESE INSPECTIONS AND REPAIRS PERFORMED.

GENERAL NOTES

1. ALL EROSION CONTROL MEASURES MUST BE INSTALLED AT THE INITIAL STAGES OF CONSTRUCTION AND MAINTAINED UNTIL ALL AREAS ALTERED HAVE BEEN RESTORED.
2. ALL REAR YARD AREAS OF LOTS AT SETBACK LINE ARE TO BE MULCHED AND SEEDED WITHIN 14 DAYS OF GRADING BY GRADING CONTRACTOR. ALL AREAS BETWEEN THE CURB AND SETBACK LINE ARE TO BE MULCHED AND SEEDED WITHIN 14 DAYS OF PRIVATE UTILITY INSTALLATION BY THE UTILITY CONTRACTOR.
3. STREET SWEEPING MUST BE UNDERTAKEN ON AN AS-NEEDED BASIS.
4. PERFORM SEEDING FOR FINAL STABILIZATION OF DISTURBED AREA AS FOLLOWS:
 - a. REPLACE TOPSOIL TO PROVIDE A UNIFORM THICKNESS. LOOSEN TOPSOIL TO MINIMUM DEPTH OF 3".
 - b. APPLY COMMERCIAL GRADE SLOW RELEASE FERTILIZER PER 1,000 SQUARE FEET.
 - c. INCORPORATE FERTILIZER INTO SOIL BY USE OF HARROW OR OTHER MEANS TO PLACE FERTILIZER BELOW GROUND LEVEL.



ENGINEERING DESIGN & SURVEYING
 6480 Wayzata Blvd. Minneapolis, MN 55426
 OFFICE: (763) 545-2800 FAX: (763) 545-2801
 EMAIL: info@edsmn.com WEBSITE: http://edsmn.com

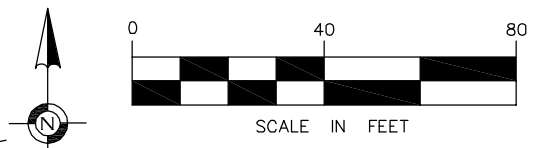
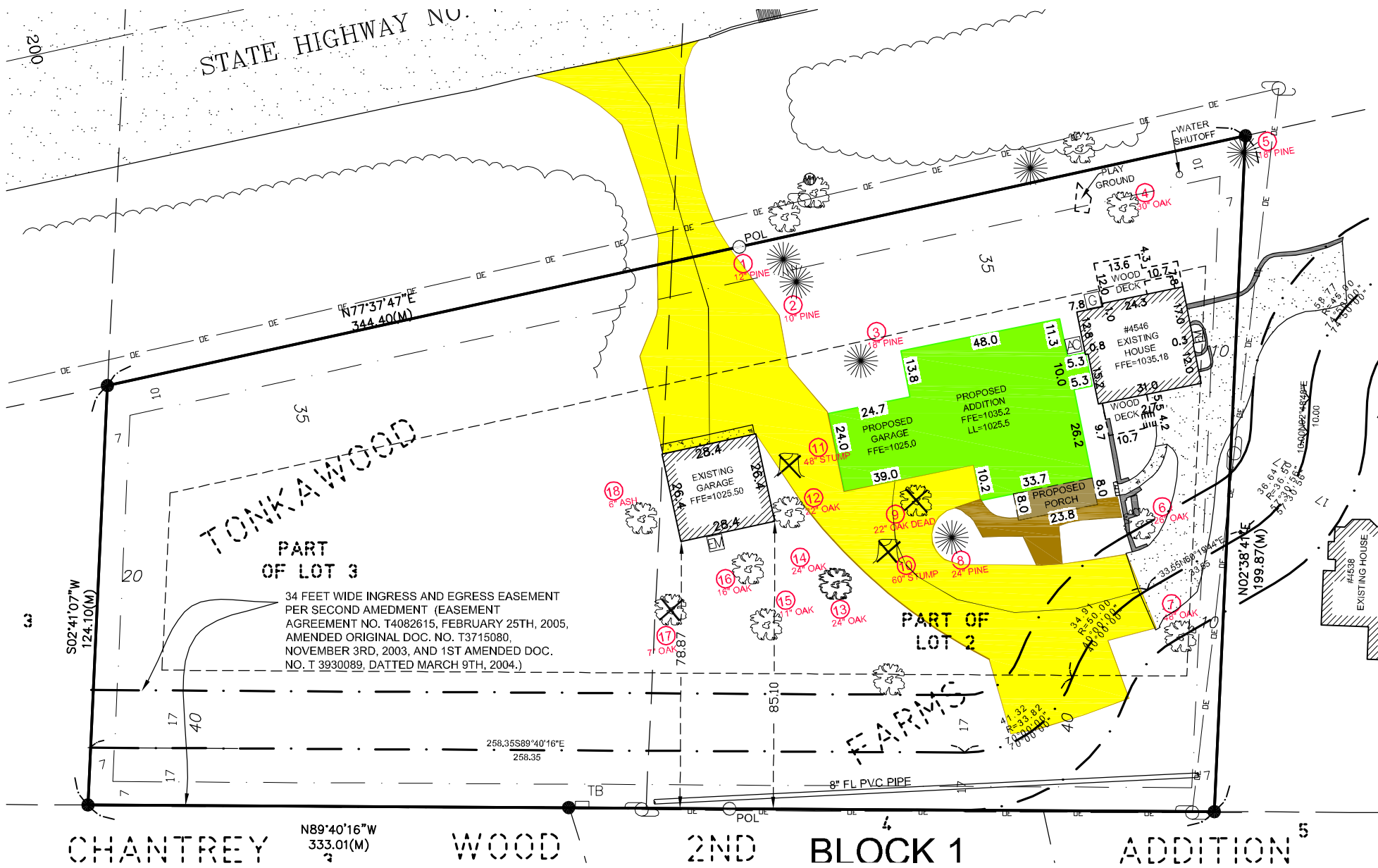
I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Vlad Sivriver
 VLADIMIR SIVRIVER L.S. NO. 25105 DATED: 10/29/2024

GRADING, DRAINAGE AND EROSION CONTROL NOTES	FIELD WORK DATE: 12/14/2023	DRAWN BY: IS	PROJECT NO.: 23-196
LOCATION: 4546 HIGHLAND ROAD MINNETONKA, MN 55345	FIELD BOOK NO.: EDS-15	CHECKED BY: VS	SHEET NO. C6

TREE PRESRVATION AND INVENTORY PLAN

Call 48 Hours before digging
GOPHER STATE ONE CALL
 Twin Cities Area 651-454-0002
 MN. Toll Free 1-800-252-1166



LEGEND

- DENOTES FOUND PROPERTY IRON
- DENOTES SET 1/2" X 18" REBAR WITH PLASTIC CAP "PLS 25105"
- POL DENOTES POINT ON LINE
- DENOTES BOUNDARY LINE
- - - DENOTES LOT LINE
- - - DENOTES SETBACK LINE
- x999.99 DENOTES EXISTING SPOT ELEVATION
- 999 DENOTES EXISTING CONTOUR LINE
- FFE DENOTES FINISH FLOOR ELEVATION
- DENOTES BITUMINOUS SURFACE
- DENOTES GARVEL SURFACE
- DENOTES BRICK PAVERS SURFACE
- DENOTES TREE LINE
- DENOTES DECIDUOUS TREE
- DENOTES CONIFEROUS TREE
- OE — DENOTES OVERHEAD ELECTRIC
- DENOTES ELECTRIC POWER POLE
- DENOTES RETAINING WALL
- (M) DENOTES MEASURED DISTANCE
- (P) DENOTES PLATTED DISTANCE
- EM DENOTES ELECTRIC METER
- AC DENOTES AIR CONDITIONER
- GM DENOTES GAS METER
- TB DENOTES TELEPHONE BOX
- DENOTES STUMP
- DENOTES CATCH BASIN
- MH DENOTES MANHOLE
- DENOTES DRAINAGE FLOW

TAG #	SPECIES	DIAMETER (Inches)	HEIGHT (Feet)	CONDITION	TYPE OF TREE	REMOVALS TREE YES/NOT	
1	PINE	12		8	SIGNIFICANT TREE	NO	
2	PINE	10		8	SIGNIFICANT TREE	NO	
3	PINE	18		8	HIGH PRIORITY TREE	NO	
4	OAK	30		8	HIGH PRIORITY TREE	NO	
5	PINE	18		8	HIGH PRIORITY TREE	NO	
6	OAK	26		8	HIGH PRIORITY TREE	NO	
7	OAK	48		8	HIGH PRIORITY TREE	NO	
8	PINE	24		8	HIGH PRIORITY TREE	NO	
9	OAK	22		8	DEAD/DYING/NOT PROTECTED BY ORDINANCE	YES	
10	STUMP	60		8	DEAD/DYING/NOT PROTECTED BY ORDINANCE	YES	
11	STUMP	48		8	DEAD/DYING/NOT PROTECTED BY ORDINANCE	YES	
12	OAK	22		8	HIGH PRIORITY TREE	NO	
13	OAK	24		8	HIGH PRIORITY TREE	NO	
14	OAK	24		8	HIGH PRIORITY TREE	NO	
15	OAK	11		8	HIGH PRIORITY TREE	NO	
16	OAK	16		8	HIGH PRIORITY TREE	NO	
17	OAK	7		8	SIGNIFICANT TREE	YES	
18	ASH	6		8	SIGNIFICANT TREE	NO	
						DEAD/DYING/NOT PROTECTED BY ORDINANCE	3
						SIGNIFICANT TREE	4
						HIGH PRIORITY TREE	11
						TOTAL DISTURBED	4
						TOTAL TREES	19
						%SAVED	79

BUILDING SETBACKS
 ZONING: R1 = SINGLE-FAMILY DISTRICT
 HOUSE: FRONT = 35 FT
 SIDE = SUM NOT LESS THAN 30 FT WITH A MINIMUM SETBACK OF 10 FT
 REAR = 40 FT OR 20 % LOT DEPTH, WHICHEVER IS LESS

REFERENCE BENCHMARK
 ELEVATION = 1015.13 (NGVD 29) MNDOT DISK "FAHIL".

LEGAL DESCRIPTION
 That part of Lot 2 lying South of the State Highway No. 7 and West of the East 160.86 feet thereof. Also the East One Half of Lot 3 lying South of said State Highway No. 7, Block 3, TONKAWOOD FARMS, Hennepin County, Minnesota, according to the recorded plat thereof.

TREE SURVEY NOTES

- 18 TREES WERE LOCATED WITHIN THE PARCEL
- ALL TREES 4 INCHES OR LARGER IN DIAMETER WERE LOCATED AT THE CHEST LEVEL APPROXIMATELY 4.5 FEET FROM THE GROUND LEVEL
- ALL DIAMETERS WERE MEASURED IN INCHES
- THE TRUE CENTER OF THE TREES WERE LOCATED BY USING THE DISTANCE OFFSET TOOL IN DECIMAL FEET
- MULTI STEM TREES ARE DESCRIBED WITH MULTIPLE DIAMETERS FOR ONE STEM. (EXAMPLE: 12 24" MAPLE)
- TREES SPECIES WERE IDENTIFIED TO THE BEST OF OUR KNOWLEDGE. (EXAMPLE 9"OAK)
- DEAD TREES WERE LABELED AS DEAD AT THE END OF THE DESCRIPTOR TO THE BEST OF OUR ABILITY. (EXAMPLE: 12" ASH DEAD)
- REMOVED TREES WERE LABELED AS REMOVE AT THE END OF THE DESCRIPTOR TO THE BEST OF OUR ABILITY. (EXAMPLE: 12" ASH DEAD)

TREE LEGEND

- ✗ DENOTES TREE TO BE REMOVED
- DENOTES TREE TO BE SAVED
- DENOTES TREE LABELED
- ✗ DENOTES STUMP TO BE REMOVED

PROPOSED ADDITION FOR: LOUISIANA RESIDENCE

4546 HIGHLAND ROAD MINNETONKA, MN 55345 HENNEPIN COUNTY



ANNA RYNDERS, RA
1261 BRIAR STREET
WAYZATA, MN 55391
E: ANNA@R2STUDIOSARCHITECTURE.COM
P: (612) 619-5110

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: *Anna Rynders*
TYPED NAME: ANNA RYNDERS
DATE: 05/31/24 LICENSE: 60582

GENERAL NOTES:	ABBREVIATIONS:	PROJECT INFORMATION:	DRAWING LIST:																						
<p>GENERAL CONDITIONS:</p> <p>A. These drawings are an instrument of service and remain the property of the Architect to use as he sees fit. These drawings shall not be used without the Architect's consent. Drawings shall not be used for issue of building permit unless signed and sealed by the Architect. Drawings shall not be prototyped without authorization from the Architect. Unless stated specifically by letter, these drawings may be used to construct only one of the structure/building delineated herein.</p> <p>B. These drawings represent an overall design concept. They are prepared with the intent to demonstrate the overall design arrangement and method of assembly of the various components. The drawings do not indicate extensive details. The Contractor shall have reviewed these plans, seen the subject property and be capable of executing the detail work necessary to achieve the intended result in a manner consistent with quality workmanship within the region. It is incumbent upon the Contractor to report in writing to the Architect prior to submission of the bid any questionable error or omission in intent or method of construction.</p> <p>C. These contract documents were prepared in accordance with the 2021 International Residential Code Minnesota Edition and the Minnesota State Uniform Construction Code as amended. The contractor shall conform to this and other applicable local, county, state and federal codes, laws, regulations, ordinances and requirements. All construction shall conform to accepted good practice as defined by the latest editions of "The National Building Code," 2021 International Residential Code Minnesota Edition and F.H.A. min. property standards. All are readily available to the trades.</p> <p>D. These contract documents were prepared to comply with the 2021 IECC</p> <p>E. Sleeping room windows shall comply with the requirements of the 2021 International Residential Code Minnesota Edition Section R310, Emergency Escape and Rescue Openings.</p> <p>F. It is understood that the Architect will not be responsible for any additional cost because of conditions uncovered during construction. These drawings are prepared based upon information supplied by the Owner including drawings, survey, etc.</p> <p>G. Modifications to these plans by the Owner or Contractor shall not be made without written permission by the Architect. A copy of such changes shall be filed with the construction official. Any modifications made without the Architect's written permission will be the sole responsibility of the party enacting such modifications.</p> <p>H. The Owner and Contractor shall hold harmless the Architect from and against all claims, damages, losses and expenses including legal fees arising out of or resulting from the performance of the work by the contractor.</p> <p>I. Construction shown and specified shall conform to all applicable building codes. Where local codes conflict with these drawings, code requirements take precedence.</p> <p>J. It is assumed that when a building permit is issued by the building inspector, that he has thoroughly examined the drawings and specifications according to the 2021 International Residential Code Minnesota Edition requirements. Any changes, additions, etc., made by any party other than the Architect during construction shall be the responsibility of the person making such changes.</p> <p>K. The following, unless provided for in these drawings, are to be furnished by the Owner: <ul style="list-style-type: none"> 1. Site grading, soil bearing capacity, drainage, and utilities. 2. Selection of interior material finishes, cabinetry and hardware. 3. Standards of quality and acceptable manufacturers for prefabricated items. </p> <p>L. The Contractor shall check and verify all the plans, dimensions and site conditions before proceeding with construction. DO NOT SCALE DRAWINGS. All written dimensions shall govern. Notify Architect of all deviations to the plan before proceeding with the work.</p> <p>M. Contractor or Owner shall obtain all necessary permits from the town and local authorities.</p> <p>N. All Contractors to provide all necessary barricades and safety precautions and to strictly adhere to local, state and O.S.H.A. safety requirements.</p> <p>O. All Contractors shall maintain Contractor's liability, property damage insurance and workman's compensations insurance to fully protect the Contractor and Owner against any claims. The Contractor shall furnish to the Owner certificates that these policies are in effect.</p> <p>P. The Contractors shall take necessary steps to protect the work and all materials and supplies on the construction site against loss or damage from fire, vandalism and malicious mischief at all times.</p> <p>Q. The Architect has prepared these drawings based on discussions with the Owners and the Architect's own knowledge of construction techniques and building codes. It is incumbent upon the Owner to review the final plans to insure his intent has been met and to notify the Architect immediately (before commencing construction) of any changes he desires.</p> <p>R. All Contractors and Subcontractors are responsible for adhering to the requirements as spelled out in these notes. All parties must carefully study all notes for items which may pertain to their trades. Failure to read the notes does not permit the Contractor to deviate from their requirements. These specifications are intended to supplement the working drawings, which together are to be used for performing the work. Where the specifications disagree with the drawings, the drawings shall supercede.</p> <p>S. All Contractors and Subcontractors on this project shall be responsible for the proper performance of their work, coordination with other trades, methods, safety and security on the job site. The Architectural office and its agents and employees are not responsible or liable for the above and shall be held harmless and indemnified by all Contractors and Subcontractors from any and all claims, losses, suits and legal action whatsoever arising from the performance of the work on this project.</p> <p>T. All materials and equipment shall be approved for use as required by governing Municipal, State and/or Federal agencies and shall bear all required conditions. All existing conditions and dimensions shall be verified by the contractor prior to the start of construction. The contractor shall report in writing any discrepancies to the Architect immediately upon discovery of such conditions.</p>	<p>ABBREVIATIONS:</p> <p>A. @ AT A.F.F. ABOVE FINISHED FLOOR AL ALUMINUM</p> <p>B. BD BOARD B.F.E. BASE FLOOD ELEVATION BLDG BUILDING BM BEAM BOT BOTTOM B.O.F. BOTTOM OF FOOTING BRG BEARING BSMT BASEMENT</p> <p>C. C.J. CEILING JOISTS CLG CEILING CLR CLEAR CMU CONCRETE MASONRY UNIT C.O. CLEAN OUT COMP COMPOSITE CONC CONCRETE CONT CONTINUOUS</p> <p>D. DIA DIAMETER DIM DIMENSION DIST DISTANCE DN DOWN</p> <p>E. EA EACH ELEV ELEVATION EQ EQUAL EQUIP EQUIPMENT EXSTG EXISTING EXT EXTERIOR</p> <p>F. F.F.E. FINISHED FLOOR ELEVATION F.J. FLOOR JOISTS FLR FLOOR FT FOOT/FEET FTG FOOTING</p> <p>G. GALV GALVANIZED GYP GYPSUM</p> <p>H. HDR HEADER HM HOLLOW METAL HVAC HEATING VENTILATION & AIR CONDITIONING HGT HEIGHT HORZ HORIZONTAL</p> <p>I. INSUL INSULATION</p> <p>J. JT JOINT JST JOISTS</p> <p>L. LT LIGHT</p> <p>M. MAX MAXIMUM MECH MECHANICAL MIN MINIMUM M.O. MASONRY OPENING</p> <p>N. N/A NOT APPLICABLE N.I.C. NOT IN CONTRACT NTS NOT TO SCALE</p> <p>O. O.C. ON CENTER OPNG OPENING OSB ORIENTED STRAND BOARD</p> <p>P. PLYWD PLYWOOD QC QUALITY CONTROL</p> <p>R. REF REFERENCE REQD REQUIRED RR ROOF RAFTERS RM ROOM RO ROUGH OPENING</p> <p>S. SF SQUARE FEET SIM SIMILAR SHR SHEAR STL STEEL STRUCT STRUCTURE</p> <p>T. THK THICK T.O. TOP OF T.O.FTG TOP OF FOOTING T.O.S. TOP OF STEEL TYP TYPICAL</p> <p>U. U.N.O. UNLESS NOTED OTHERWISE</p> <p>V. VERT VERTICAL</p> <p>W. W/ WITH W/O WITHOUT W.C. WATER CLOSET WD WOOD W/DW WINDOW W.I.C. WALK IN CLOSET W.W.M. WOVEN WIRE MESH</p>	<p>SITE INFORMATION: 4546 HIGHLAND ROAD MINNETONKA, MN 55345 HENNEPIN COUNTY</p> <p>AREA INFORMATION:</p> <table border="1"> <tr><td>EXISTING</td><td></td></tr> <tr><td>FIRST FLOOR</td><td>907 SF</td></tr> <tr><td>EXIST LOWER LEVEL</td><td>907 SF</td></tr> <tr><td></td><td>1815 SF</td></tr> <tr><td>ADDITION</td><td></td></tr> <tr><td>GARAGE</td><td>969 SF</td></tr> <tr><td>PROPOSED LOWER LEVEL</td><td>1847 SF</td></tr> <tr><td>FIRST FLOOR</td><td>2111 SF</td></tr> <tr><td>SECOND FLOOR</td><td>2049 SF</td></tr> <tr><td></td><td>6976 SF</td></tr> <tr><td></td><td>8791 SF</td></tr> </table> <p>BUILDING INFORMATION: TYPE OF CONSTRUCTION: V-B OCCUPANCY USE GROUP: R-5</p> <p>BUILDING CODE INFORMATION:</p> <p>2020 MINNESOTA CONSERVATION CODE FOR EXISTING BUILDINGS</p> <p>2020 MINNESOTA RESIDENTIAL CODE</p> <p>2020 MINNESOTA ENERGY CODE</p> <p>2020 MINNESOTA MECHANICAL AND FUEL GAS CODE</p> <p>2020 MINNESOTA PLUMBING CODE</p> <p>MINNESOTA ELECTRICAL CODE</p>	EXISTING		FIRST FLOOR	907 SF	EXIST LOWER LEVEL	907 SF		1815 SF	ADDITION		GARAGE	969 SF	PROPOSED LOWER LEVEL	1847 SF	FIRST FLOOR	2111 SF	SECOND FLOOR	2049 SF		6976 SF		8791 SF	<p>DRAWING LIST:</p> <p>G-101 COVER SHEET</p> <p>AD-101 DEMOLITION PLANS</p> <p>A-101 FOUNDATION PLAN</p> <p>A-101a ICF FOUNDATION WALL PLAN</p> <p>A-102 LOWER LEVEL PLAN</p> <p>A-103 FIRST FLOOR PLAN</p> <p>A-104 SECOND FLOOR PLAN</p> <p>A-105 ROOF PLAN</p> <p>A-201 EXTERIOR ELEVATIONS</p> <p>A-202 EXTERIOR ELEVATIONS</p> <p>A-301 BUILDING SECTIONS</p> <p>E-101 LOWER LEVEL ELECTRICAL PLAN</p> <p>E-102 FIRST FLOOR ELECTRICAL PLAN</p> <p>E-103 SECOND FLOOR ELECTRICAL PLAN</p>
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DESIGN LOADS:	NAILING SCHEDULE:	3D VISUALIZATION:																																																																																																																						
<p>1ST FLOOR</p> <table border="1"> <tr><td>LIVE LOAD</td><td>40 #/SF</td></tr> <tr><td>DEAD LOAD</td><td>15 #/SF</td></tr> <tr><td>TOTAL LOAD</td><td>55 #/SF</td></tr> </table> <p>2ND FLOOR</p> <table border="1"> <tr><td>LIVE LOAD</td><td>30 #/SF</td></tr> <tr><td>DEAD LOAD</td><td>15 #/SF</td></tr> <tr><td>TOTAL LOAD</td><td>45 #/SF</td></tr> </table> <p>ROOF ANGLE 26.5% D<45% D (118 MPH 3-SECOND GUST) IMPORTANT FACTOR 1.0</p> <p>WIND - COMPONENT & CLADDING</p> <table border="1"> <tr><td>ROOF ZONE 1</td><td>21.8/23.8</td></tr> <tr><td>ROOF ZONE 2</td><td>23.6/28.1</td></tr> <tr><td>ROOF ZONE 3</td><td>23.6/28.1</td></tr> <tr><td>WALL ZONE 4</td><td>20.4/24.2</td></tr> <tr><td>WALL ZONE 5</td><td>22.6/26.9</td></tr> </table> <p>WINDOWS TO HAVE DP 50 RATING</p>	LIVE LOAD	40 #/SF	DEAD LOAD	15 #/SF	TOTAL LOAD	55 #/SF	LIVE LOAD	30 #/SF	DEAD LOAD	15 #/SF	TOTAL LOAD	45 #/SF	ROOF ZONE 1	21.8/23.8	ROOF ZONE 2	23.6/28.1	ROOF ZONE 3	23.6/28.1	WALL ZONE 4	20.4/24.2	WALL ZONE 5	22.6/26.9	<table border="1"> <thead> <tr> <th>JOINT DESCRIPTION</th> <th># OF NAILS</th> <th>NAIL SPACING</th> </tr> </thead> <tbody> <tr><td>RAFTER TO TOP PLATE (TOE-NAILED)</td><td>(3) 8d COM.</td><td>PER RAFTER</td></tr> <tr><td>CEILING JOIST TO TOP PLATE (TOE-NAILED)</td><td>(3) 8d COM.</td><td>PER JOIST</td></tr> <tr><td>CEILING JOIST TO PARALLEL RAFTER (FACE-NAILED)</td><td>(5) 16d COM.</td><td>EACH LAP</td></tr> <tr><td>CEILING JOIST LAPS OVER PARTITIONS (FACE-NAILED)</td><td>(5) 16d COM.</td><td>EACH LAP</td></tr> <tr><td>COLLAR TIE TO RAFTER (FACE-NAILED)</td><td>(3) 16d COM.</td><td>EACH END</td></tr> <tr><td>RAFTER TIE TO RAFTER (FACE-NAILED)</td><td>(3) 16d COM.</td><td>EACH END</td></tr> <tr><td>BLOCKING TO RAFTER (TOE-NAILED)</td><td>(2) 8d COM.</td><td>EACH END</td></tr> <tr><td>RIM BOARD TO RAFTER (END-NAILED)</td><td>(2) 16d</td><td>EACH END</td></tr> <tr><td>TOP PLATE TO TOP PLATE (FACE-NAILED) MIN. SPLICE LENGTH 3'</td><td>(2) 16d</td><td>PER FOOT</td></tr> <tr><td>DOUBLE TOP PLATES @ INTERSECTIONS (FACE-NAILED)</td><td>(4) 16d</td><td>EACH SIDE JOINT</td></tr> <tr><td>STUD TO STUD (FACE-NAILED)</td><td>(2) 16d</td><td>24" O.C.</td></tr> <tr><td>HEADER TO HEADER (FACE-NAILED)</td><td>(1) 16d</td><td>16" O.C. - EDGES</td></tr> <tr><td>TOP OR BOTTOM PLATE TO STUD (TOE-NAILED)</td><td>(3) 8d COM.</td><td>PER 2X4 STUD</td></tr> <tr><td></td><td>(3) 16d COM.</td><td>PER 2X6 STUD</td></tr> <tr><td>BOTTOM PLATE TO FLOOR JOIST, TIM JOIST, END JOIST, BLOCKING (FACE NAIL)</td><td>(2) 16d</td><td>PER FOOT</td></tr> <tr><td>JOIST TO SILL, TOP PLATE, OR GIRDER (TOE-NAILED)</td><td>(4) 8d</td><td>PER JOIST</td></tr> <tr><td>BLOCKING TO JOIST (TOE-NAILED)</td><td>(2) 8d</td><td>EACH END</td></tr> <tr><td>BLOCKING TO SILL OR TOP PLATE (TOE-NAILED)</td><td>(3) 16d</td><td>PER BLOCK</td></tr> <tr><td>LEDGER STRIP TO BEAM (FACE-NAILED)</td><td>(3) 16d</td><td>EACH JOIST</td></tr> <tr><td>JOIST ON LEDGER TO BEAM (TOE-NAILED)</td><td>(3) 8d</td><td>PER JOIST</td></tr> <tr><td>RIM JOIST TO JOIST (END-NAILED)</td><td>(3) 16d</td><td>PER JOIST</td></tr> <tr><td>RIM JOIST TO SILL OR TOP PLATE (TOE-NAILED)</td><td>(2) 16d</td><td>PER FOOT</td></tr> <tr><td>ROOF SHEATHING - 5/8" PLYWOOD</td><td>(1) 8d</td><td>6" E / 12" F</td></tr> <tr><td>CEILING SHEATHING - GYPSUM WALLBOARD</td><td>5d COOLERS</td><td>7" E / 10" F</td></tr> <tr><td>WALL SHEATHING - 1/2" PLYWOOD</td><td>8d</td><td>6" E / 12" F</td></tr> <tr><td>WALL SHEATHING - GYPSUM WALLBOARD</td><td>5d COOLERS</td><td>7" E / 10" F</td></tr> <tr><td>FLOOR SHEATHING - 3/4" T&G PLYWOOD GLUED & NAILED</td><td>8d</td><td>6" E / 12" F</td></tr> <tr><td>ROOF TO WALL UPLIFT STRAPS (1-1/4" X 20 GAUGE STRAP)</td><td>(5) 8d COM. EA. END</td><td>PER MEMBER</td></tr> <tr><td>WALL TO WALL UPLIFT STRAPS (1-1/4" X 20 GAUGE STRAP)</td><td>(4) 8d COM. EA. END</td><td>PER MEMBER</td></tr> <tr><td>WALL TO FOUNDATION UPLIFT STRAPS (1-1/4" X 20 GAUGE STRAP)</td><td>(3) 8d COM. EA. END</td><td>PER MEMBER</td></tr> <tr><td>BOTTOM PLATE TO FOUNDATION</td><td>5/8" C.</td><td>48" O.C.</td></tr> </tbody> </table> <p>NOTE: ALL FASTENERS IN CONTACT WITH PRESSURE PRESERVATIVE TREATED WOOD SHALL BE STAINLESS STEEL OR HOT-DIP GALVANIZED</p>	JOINT DESCRIPTION	# OF NAILS	NAIL SPACING	RAFTER TO TOP PLATE (TOE-NAILED)	(3) 8d COM.	PER RAFTER	CEILING JOIST TO TOP PLATE (TOE-NAILED)	(3) 8d COM.	PER JOIST	CEILING JOIST TO PARALLEL RAFTER (FACE-NAILED)	(5) 16d COM.	EACH LAP	CEILING JOIST LAPS OVER PARTITIONS (FACE-NAILED)	(5) 16d COM.	EACH LAP	COLLAR TIE TO RAFTER (FACE-NAILED)	(3) 16d COM.	EACH END	RAFTER TIE TO RAFTER (FACE-NAILED)	(3) 16d COM.	EACH END	BLOCKING TO RAFTER (TOE-NAILED)	(2) 8d COM.	EACH END	RIM BOARD TO RAFTER (END-NAILED)	(2) 16d	EACH END	TOP PLATE TO TOP PLATE (FACE-NAILED) MIN. SPLICE LENGTH 3'	(2) 16d	PER FOOT	DOUBLE TOP PLATES @ INTERSECTIONS (FACE-NAILED)	(4) 16d	EACH SIDE JOINT	STUD TO STUD (FACE-NAILED)	(2) 16d	24" O.C.	HEADER TO HEADER (FACE-NAILED)	(1) 16d	16" O.C. - EDGES	TOP OR BOTTOM PLATE TO STUD (TOE-NAILED)	(3) 8d COM.	PER 2X4 STUD		(3) 16d COM.	PER 2X6 STUD	BOTTOM PLATE TO FLOOR JOIST, TIM JOIST, END JOIST, BLOCKING (FACE NAIL)	(2) 16d	PER FOOT	JOIST TO SILL, TOP PLATE, OR GIRDER (TOE-NAILED)	(4) 8d	PER JOIST	BLOCKING TO JOIST (TOE-NAILED)	(2) 8d	EACH END	BLOCKING TO SILL OR TOP PLATE (TOE-NAILED)	(3) 16d	PER BLOCK	LEDGER STRIP TO BEAM (FACE-NAILED)	(3) 16d	EACH JOIST	JOIST ON LEDGER TO BEAM (TOE-NAILED)	(3) 8d	PER JOIST	RIM JOIST TO JOIST (END-NAILED)	(3) 16d	PER JOIST	RIM JOIST TO SILL OR TOP PLATE (TOE-NAILED)	(2) 16d	PER FOOT	ROOF SHEATHING - 5/8" PLYWOOD	(1) 8d	6" E / 12" F	CEILING SHEATHING - GYPSUM WALLBOARD	5d COOLERS	7" E / 10" F	WALL SHEATHING - 1/2" PLYWOOD	8d	6" E / 12" F	WALL SHEATHING - GYPSUM WALLBOARD	5d COOLERS	7" E / 10" F	FLOOR SHEATHING - 3/4" T&G PLYWOOD GLUED & NAILED	8d	6" E / 12" F	ROOF TO WALL UPLIFT STRAPS (1-1/4" X 20 GAUGE STRAP)	(5) 8d COM. EA. END	PER MEMBER	WALL TO WALL UPLIFT STRAPS (1-1/4" X 20 GAUGE STRAP)	(4) 8d COM. EA. END	PER MEMBER	WALL TO FOUNDATION UPLIFT STRAPS (1-1/4" X 20 GAUGE STRAP)	(3) 8d COM. EA. END	PER MEMBER	BOTTOM PLATE TO FOUNDATION	5/8" C.	48" O.C.	
LIVE LOAD	40 #/SF																																																																																																																							
DEAD LOAD	15 #/SF																																																																																																																							
TOTAL LOAD	55 #/SF																																																																																																																							
LIVE LOAD	30 #/SF																																																																																																																							
DEAD LOAD	15 #/SF																																																																																																																							
TOTAL LOAD	45 #/SF																																																																																																																							
ROOF ZONE 1	21.8/23.8																																																																																																																							
ROOF ZONE 2	23.6/28.1																																																																																																																							
ROOF ZONE 3	23.6/28.1																																																																																																																							
WALL ZONE 4	20.4/24.2																																																																																																																							
WALL ZONE 5	22.6/26.9																																																																																																																							
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STUD TO STUD (FACE-NAILED)	(2) 16d	24" O.C.																																																																																																																						
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PROPOSED ADDITION FOR:
LOUISIANA RESIDENCE
4546 HIGHLAND ROAD
MINNETONKA, MN 55345
HENNEPIN COUNTY

ISSUED FOR PERMITS: 05/31/2024	REVISION LEGEND
No.	Date
	As Per.

COVER SHEET

JOB #: 2022
DWN: AR
CHK: AR
DATE: 10/08/2022
DRAWING NO.
G-101

PROPOSED ADDITION FOR:
LOUISIANA RESIDENCE
4546 HIGHLAND ROAD
MINNETONKA, MN 55345
HENNEPIN COUNTY

ISSUED FOR PERMITS: 05/31/2024

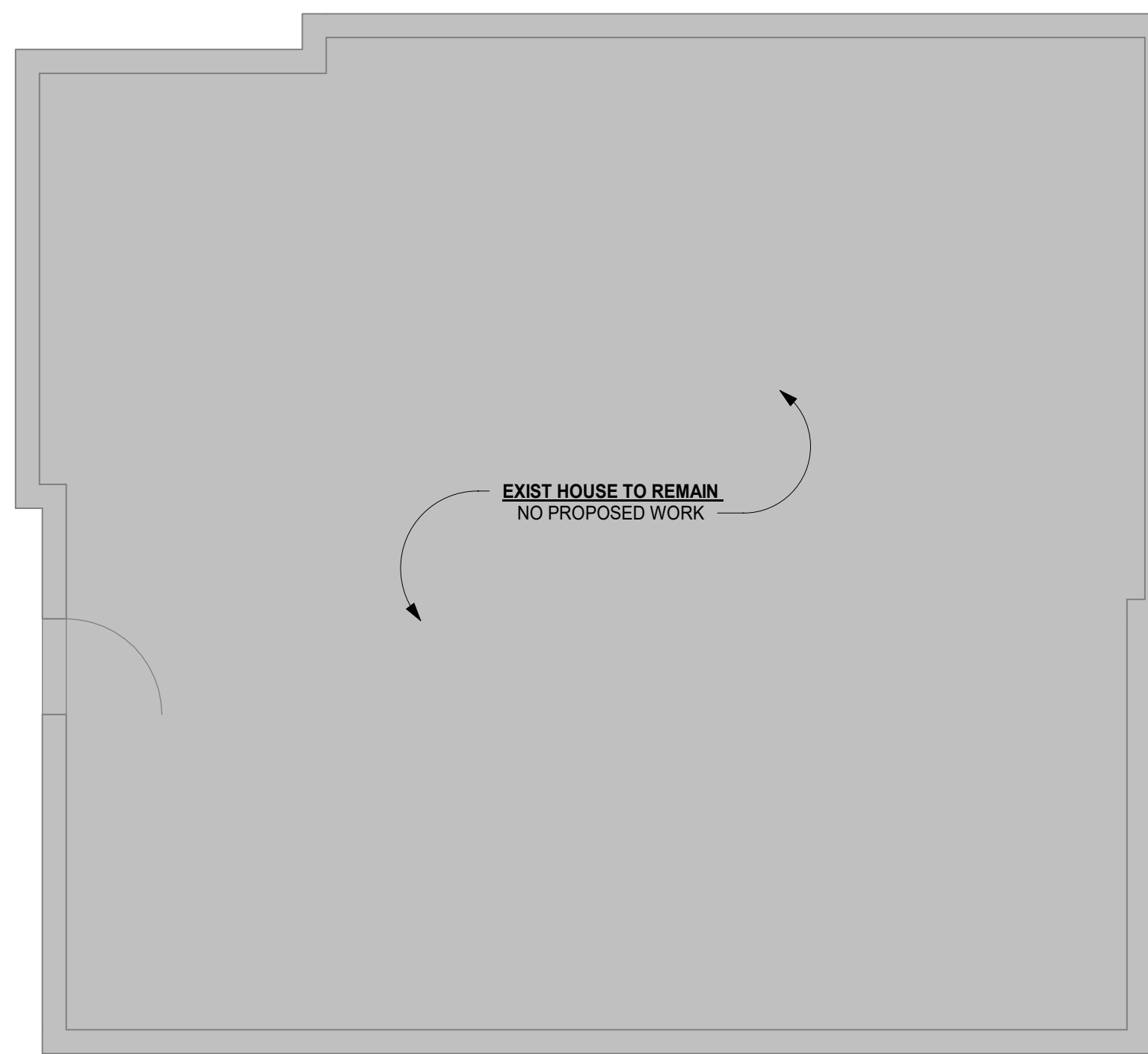
REVISION LEGEND

No.	Date	As Per

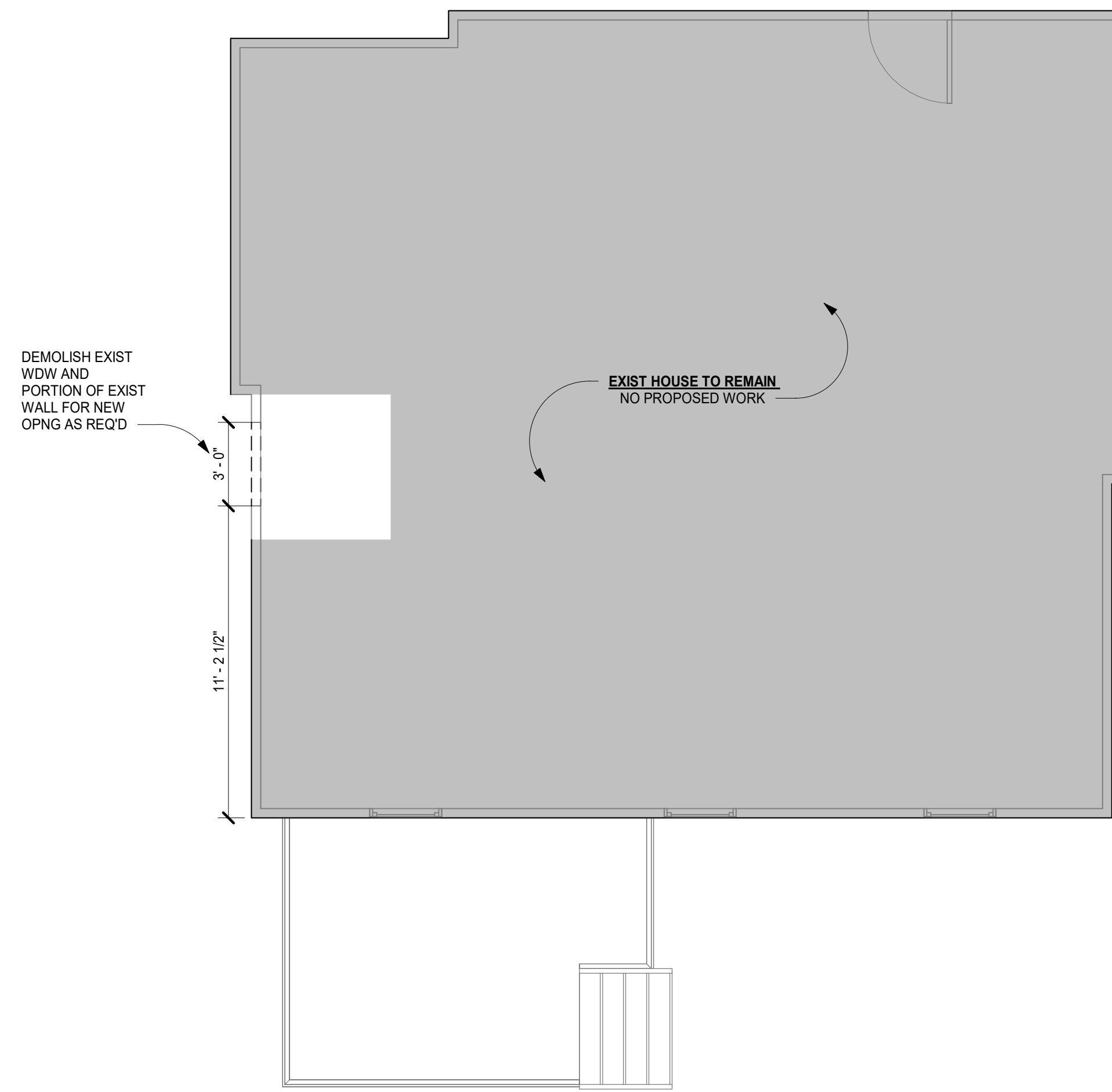
DEMOLITION PLANS

JOB #: 2022
DWN: AR
CHK: AR
DATE: 10/08/2022
DRAWING NO.

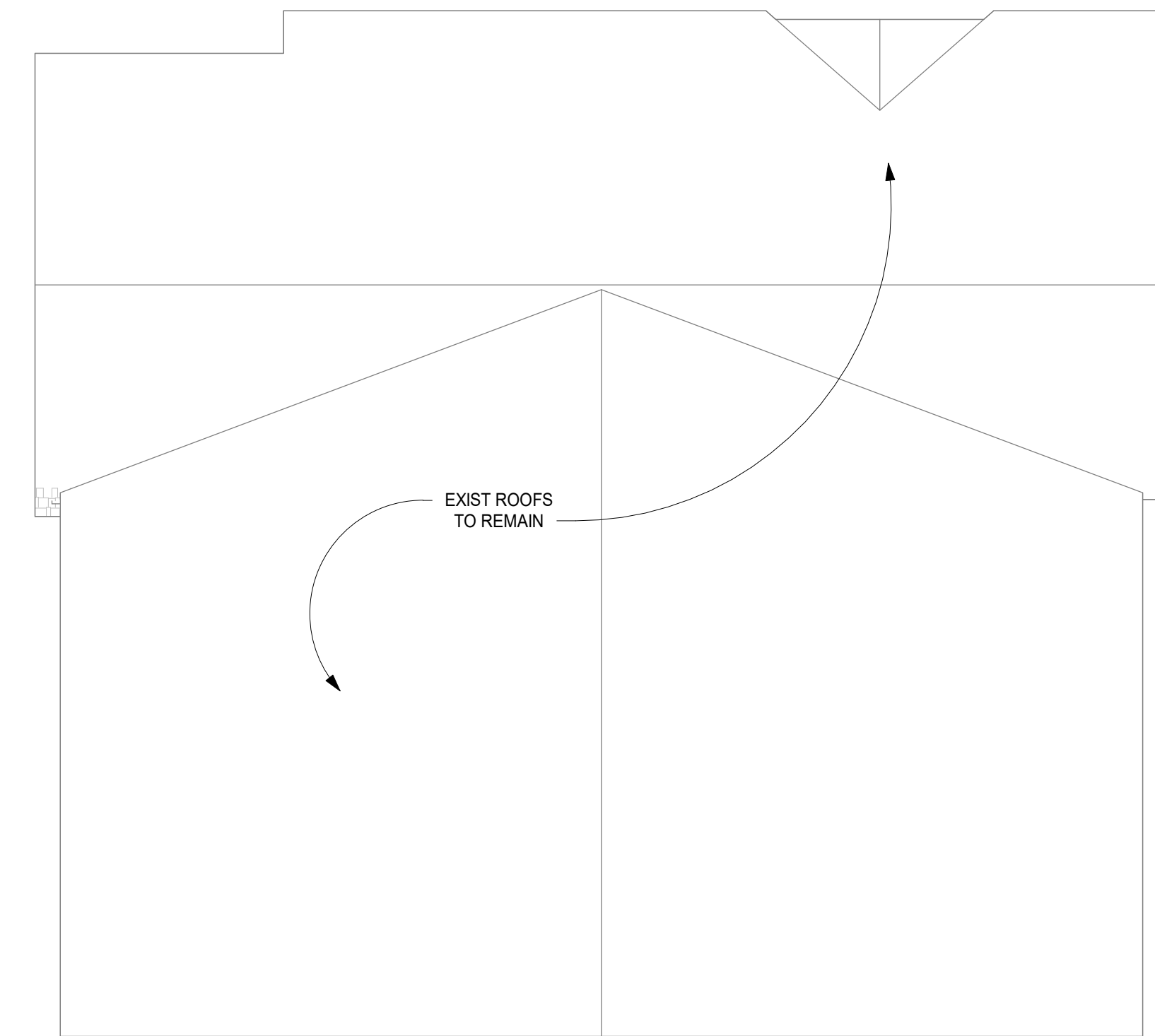
AD-101



2 PROPOSED LOWER LEVEL DEMOLITION PLAN
1/4" = 1'-0"



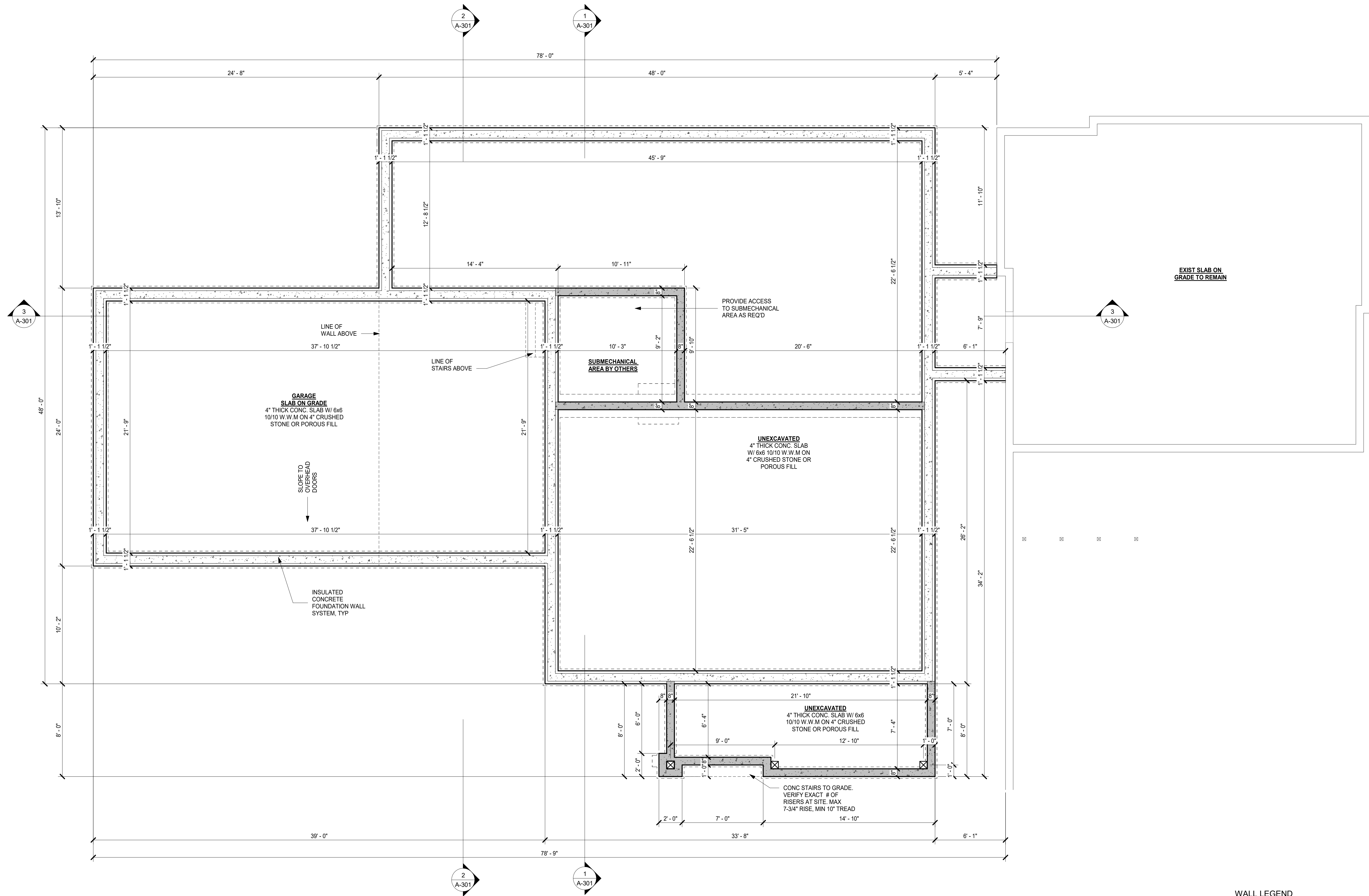
1 PROPOSED FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"



3 PROPOSED ROOF DEMOLITION PLAN
1/4" = 1'-0"

WALL LEGEND

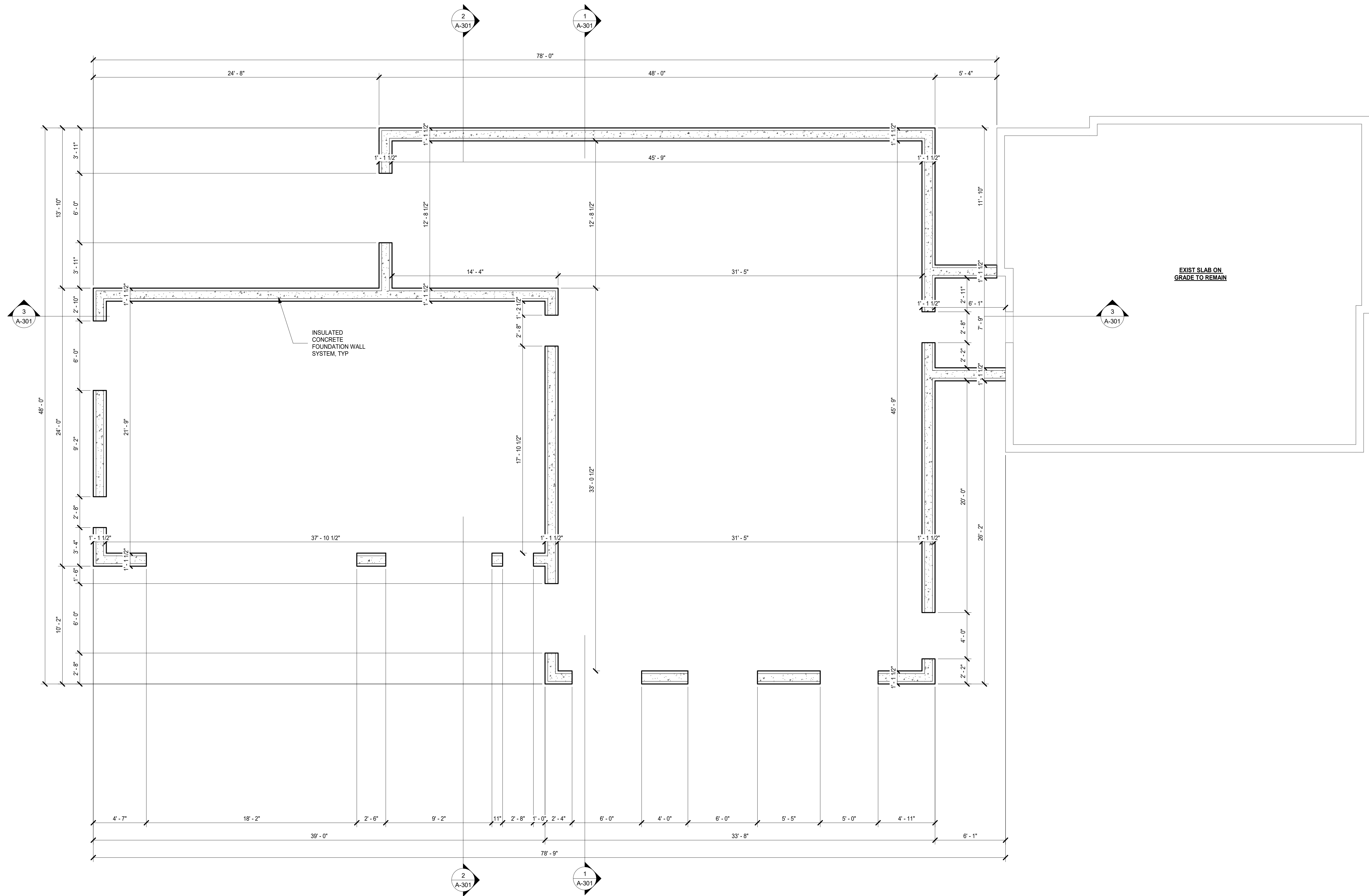
- EXISTING WALL TO REMAIN
- WALL TO BE DEMOLISHED



1 PROPOSED FOUNDATION PLAN
1/4" = 1'-0"

WALL LEGEND

	NEW POURED CONCRETE WALL
	NEW STUD WALL
	EXIST WALL TO REMAIN
	BEARING WALL ABOVE



1 ICF FOUNDATION WALL PLAN
1/4" = 1'-0"

PROPOSED ADDITION FOR:

LOUISIANA RESIDENCE
4546 HIGHLAND ROAD
MINNETONKA, MN 55345
HENNEPIN COUNTY

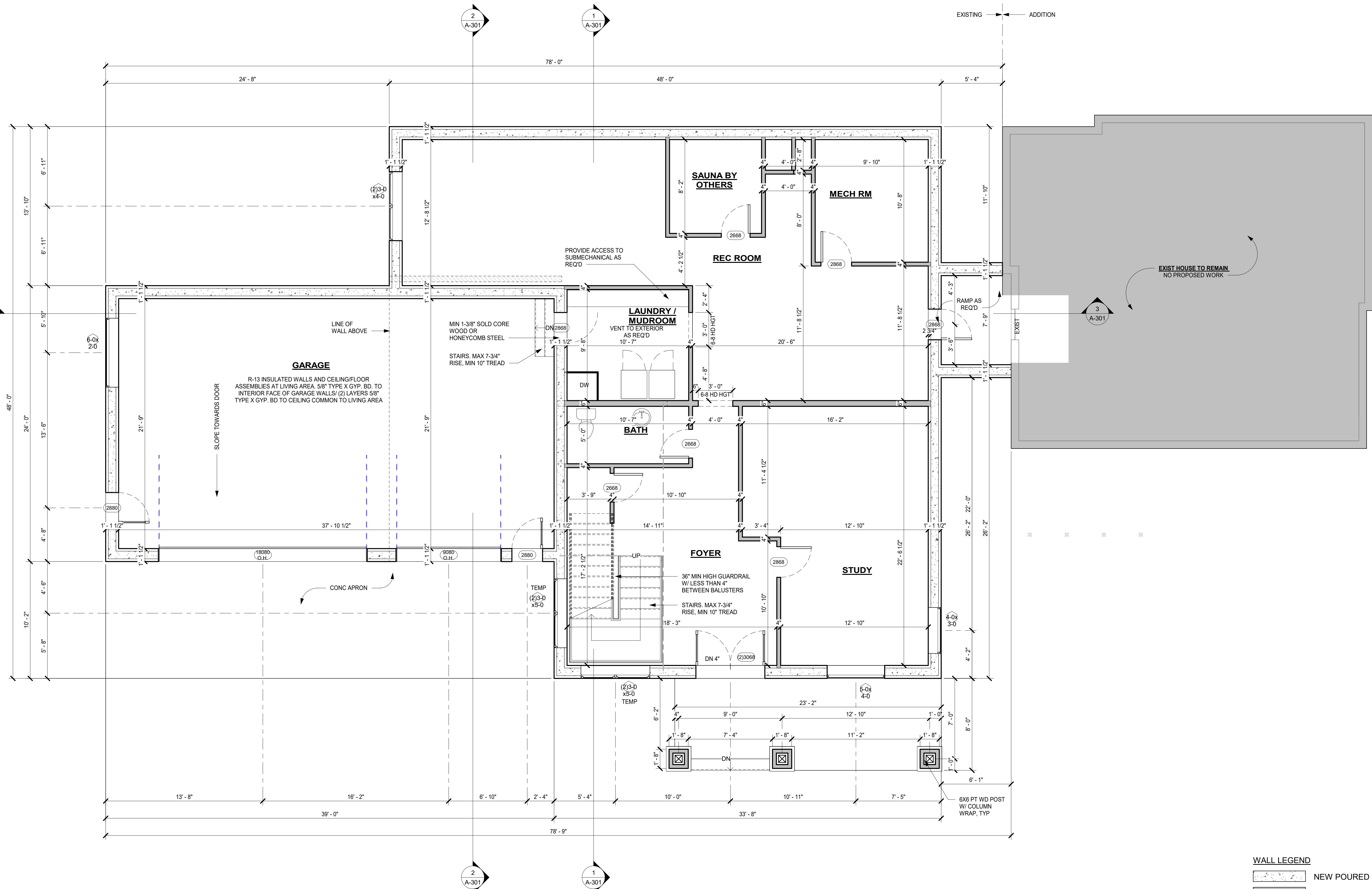
ISSUED FOR PERMITS: 05/31/2024

REVISION LEGEND	
No.	Date

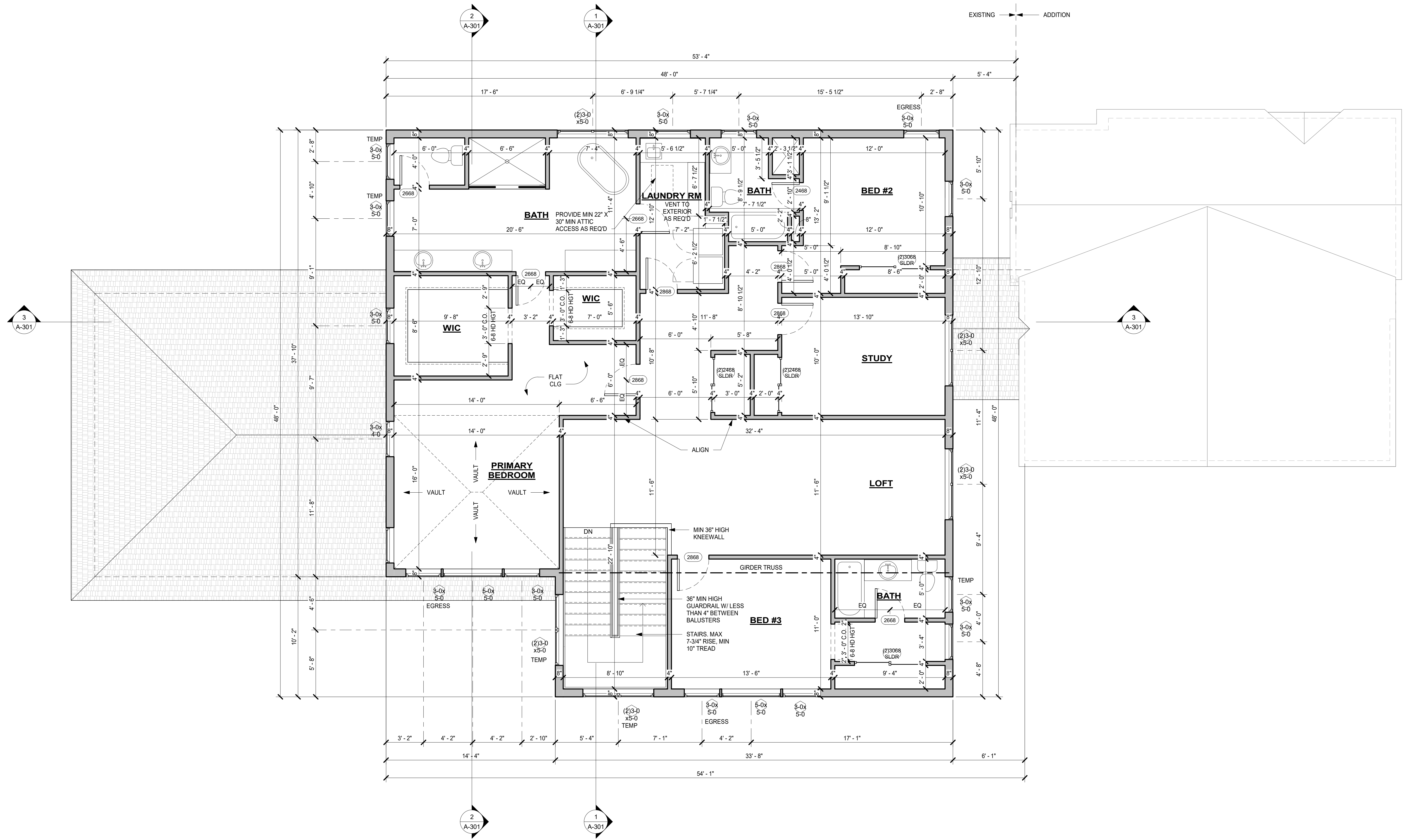
ICF FOUNDATION WALL PLAN

JOB #: 2022
DWN: AR
CHK: AR
DATE: 10/08/2022
DRAWING NO.

A-101a



5/31/2024 10:07:36 AM D:\Documents\Minnesota\R2 Studios\24-166_4546 Highland Road (Larry Louisiana)\4546 Highland Road.rvt



1 PROPOSED SECOND FLOOR
1/4" = 1'-0"

WALL LEGEND

	NEW FRAMED WALL
	EXIST WALL TO REMAIN

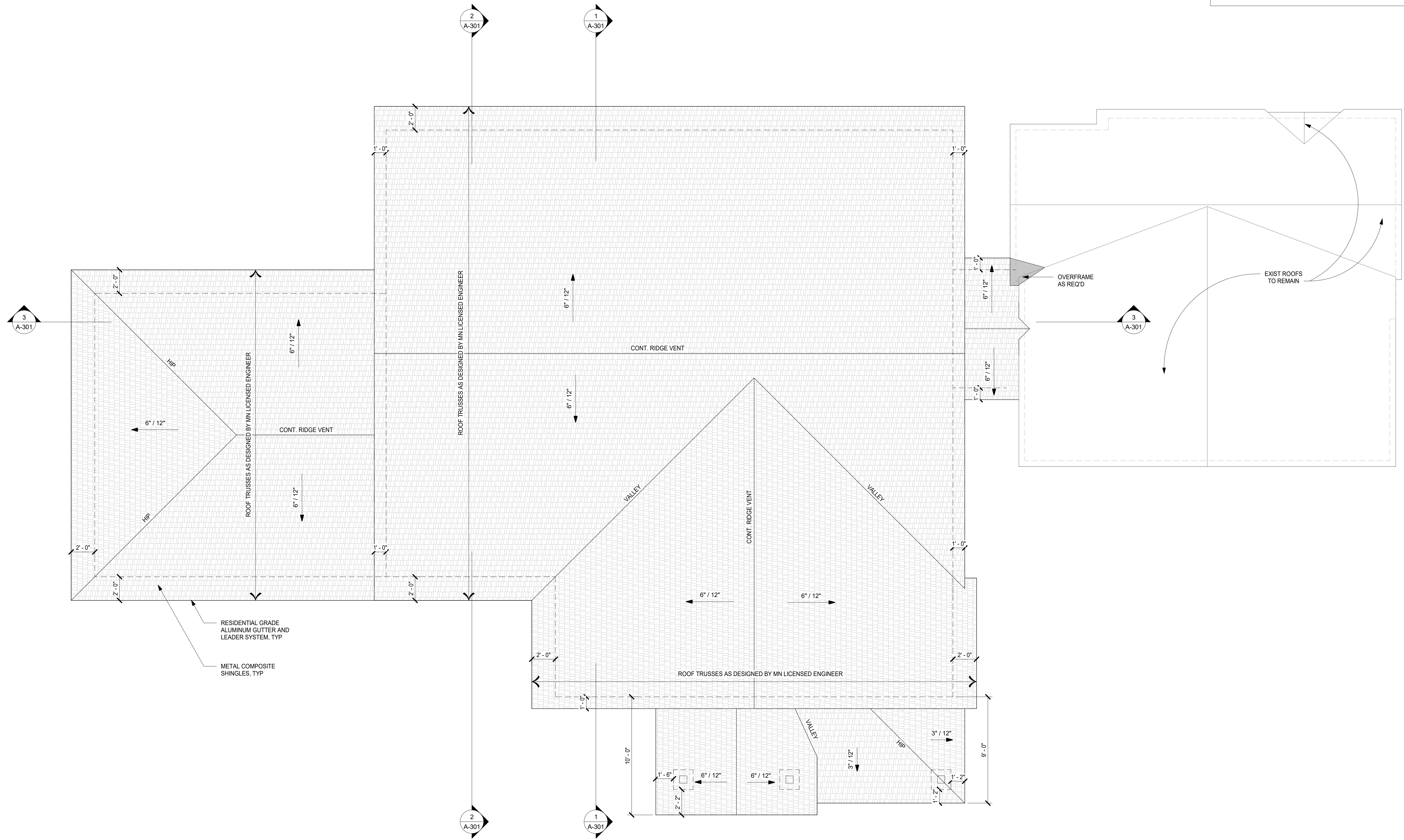
ROOF NOTES:
 INSTALL PRE-ENGINEERED ROOF TRUSS SYSTEM. SUBMIT ROOF TRUSS PLAN TO BUILDING DEPARTMENT FOR APPROVALS
 ADDITIONAL STRUCTURAL ELEMENTS MAY BE REQ'D OR ELEMENTS OMITTED UPON RECEIPT OF ENGINEER'S FINAL TRUSS LAYOUT.
 PROVIDE BLIND ALUM FLASHING AT ALL WALL/ROOF INTERSECTIONS AND VALLEYS.



ANNA RYNDERS, RA
 1261 BRIAR STREET
 WAYZATA, MN 55391
 E: ANNA@R2STUDIOSARCHITECTURE.COM
 P: (612) 619-5110

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: *Anna Rynders*
 TYPED NAME: ANNA RYNDERS
 DATE: 05/31/24 LICENSE: 60582



1 PROPOSED ROOF PLATE
 1/4" = 1'-0"

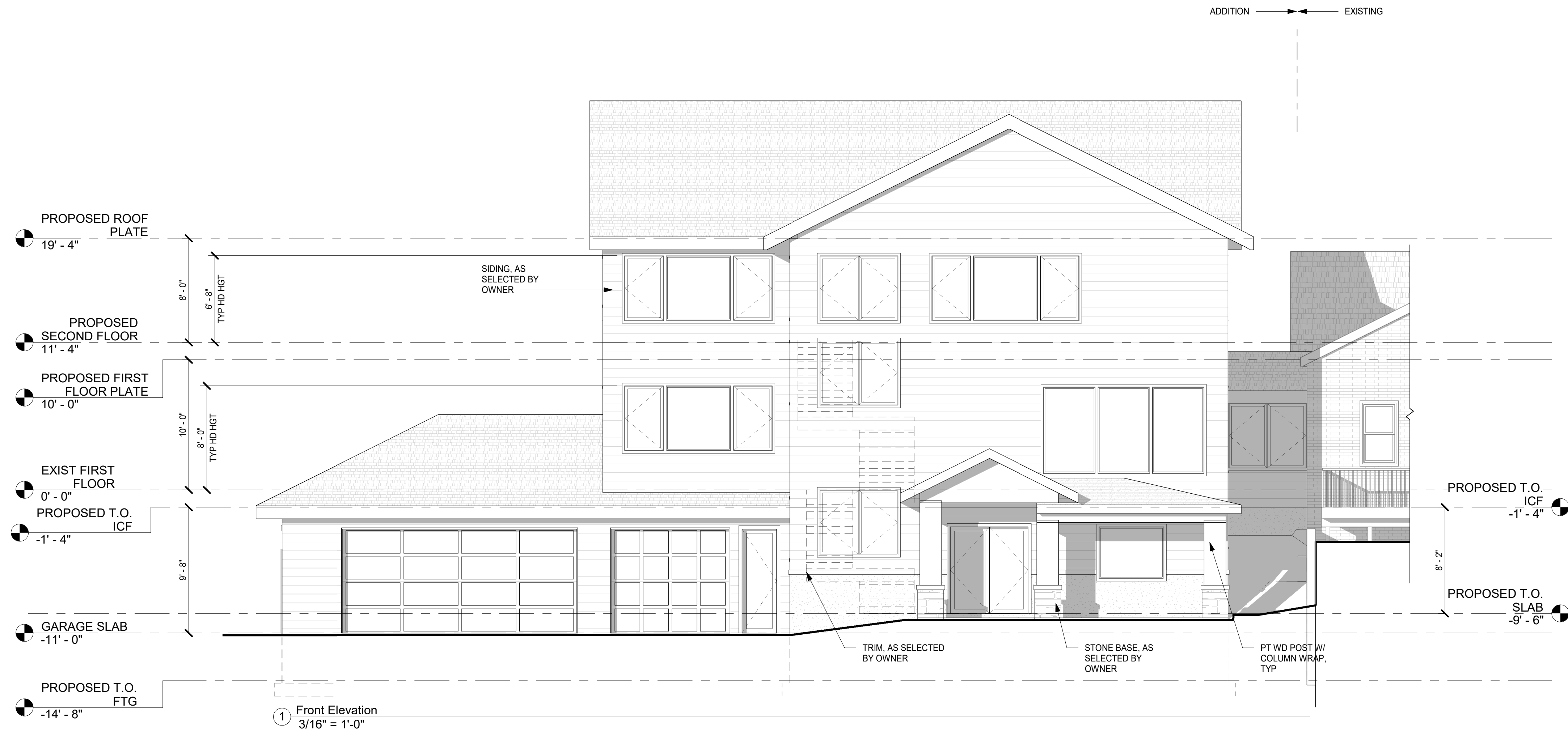
PROPOSED ADDITION FOR:
LOUISIANA RESIDENCE
 4546 HIGHLAND ROAD
 MINNETONKA, MN 55345
 HENNEPIN COUNTY

ISSUED FOR PERMITS: 05/31/2024
REVISION LEGEND
No. Date As Per:

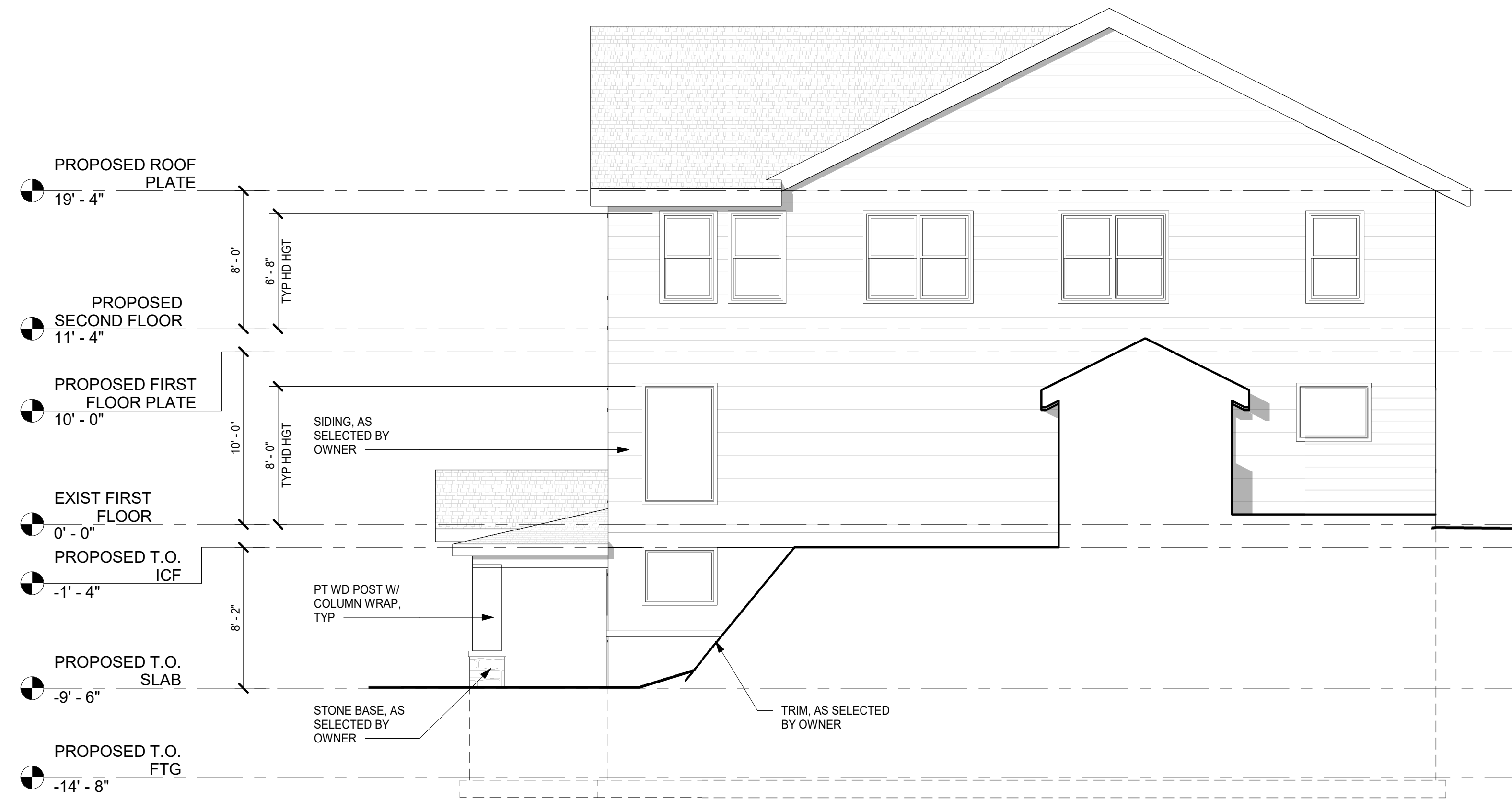
ROOF PLAN

JOB #: 2022
 DWN: AR
 CHK: AR
 DATE: 10/08/2022

DRAWING NO.
A-105



① Front Elevation
3/16" = 1'-0"



② Right Side Elevation
3/16" = 1'-0"

PROPOSED ADDITION FOR:
LOUISIANA RESIDENCE
4546 HIGHLAND ROAD
MINNETONKA, MN 55345
HENNEPIN COUNTY

ISSUED FOR PERMITS: 05/31/2024

REVISION LEGEND

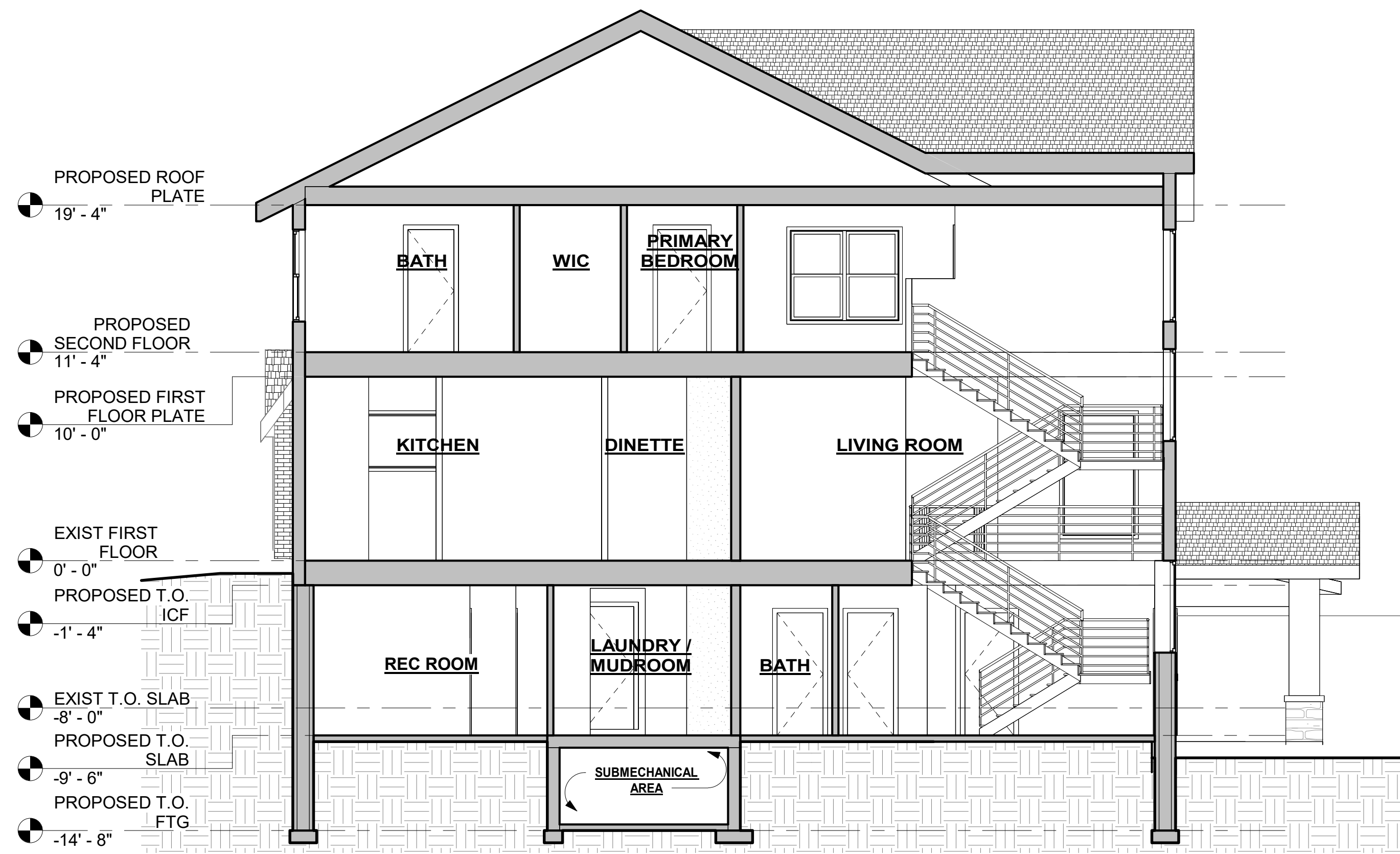
No.	Date	As Per.

EXTERIOR ELEVATIONS

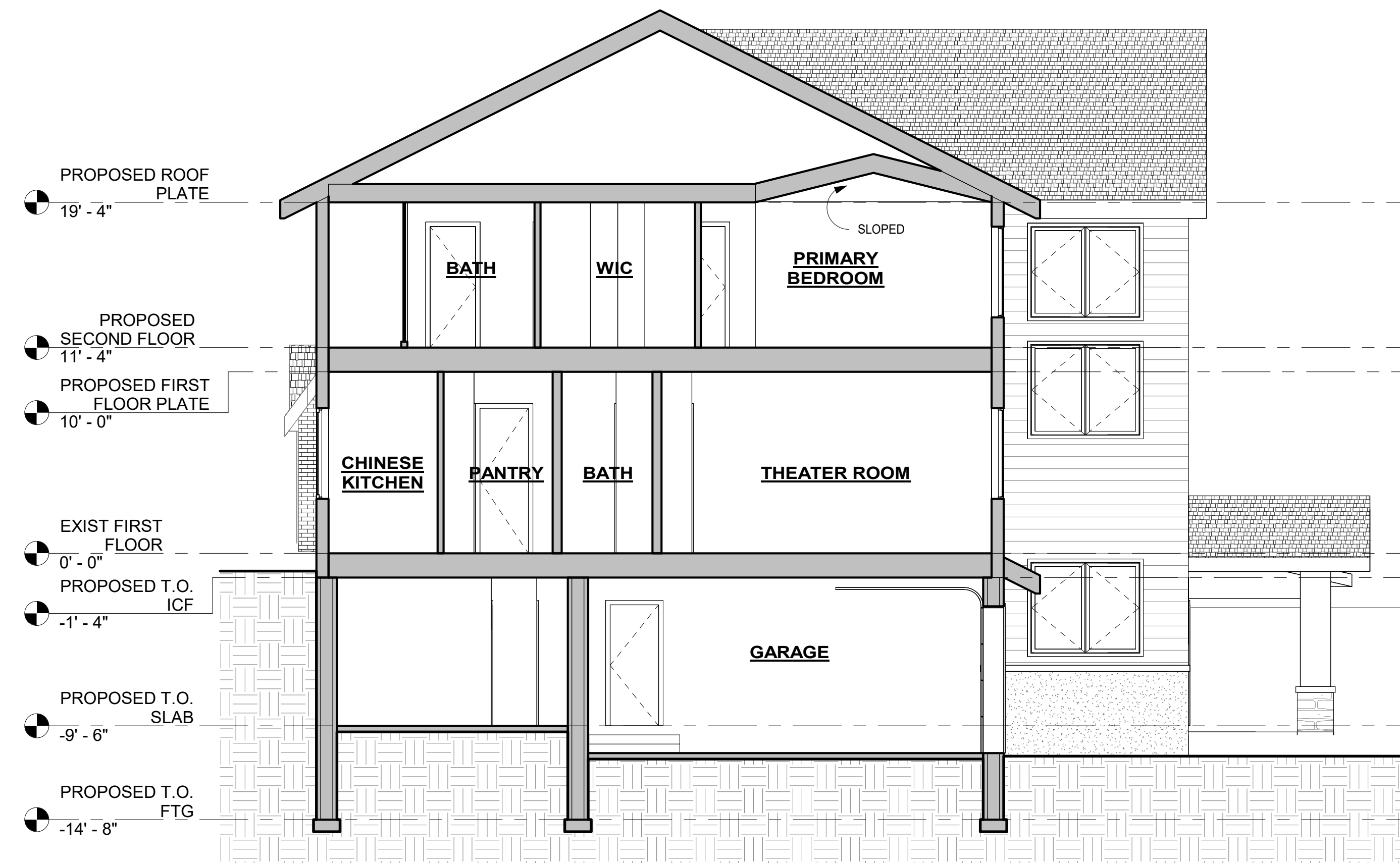
JOB #: 2022
DWN: AR
CHK: AR
DATE: 10/08/2022

DRAWING NO.

A-201



1 SCHEMATIC BUILDING SECTION 1
3/16" = 1'-0"



2 SCHEMATIC BUILDING SECTION 2
3/16" = 1'-0"



3 SCHEMATIC BUILDING SECTION 3
3/16" = 1'-0"

PROPOSED ADDITION FOR:
LOUISIANA RESIDENCE
4546 HIGHLAND ROAD
MINNETONKA, MN 55345
HENNEPIN COUNTY

ISSUED FOR PERMITS: 05/31/2024

REVISION LEGEND
No. | Date | As Per.

BUILDING SECTIONS

JOB #: 2022
DWN: AR
CHK: AR
DATE: 10/08/2022
DRAWING NO.

A-301














ELECTRICAL NOTES

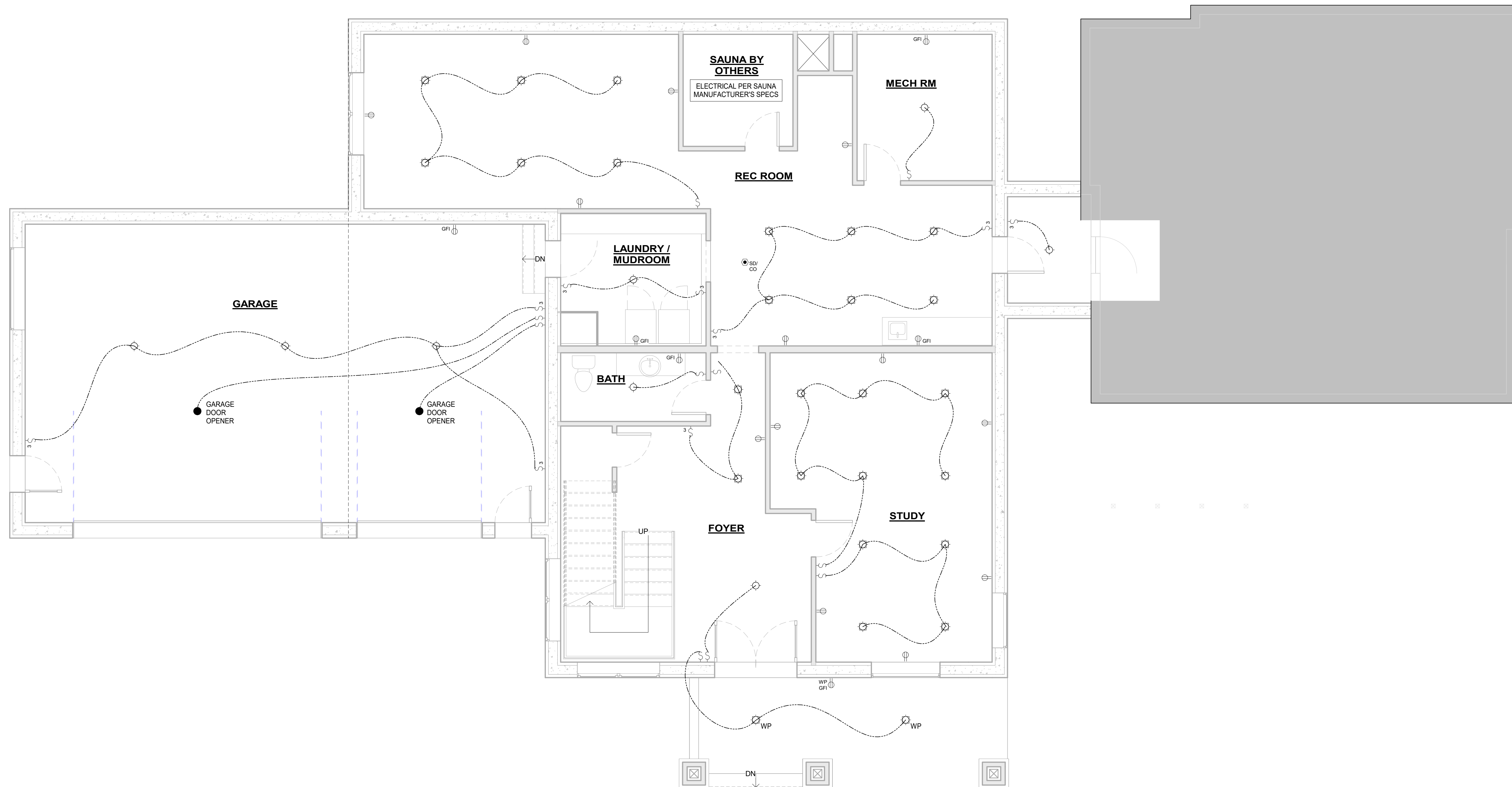
ELECTRICAL LAYOUT IS SUGGESTED ONLY. CONTRACTOR SHALL COORDINATE EXACT LAYOUT WITH OWNER PRIOR TO BEGINNING NEW WORK.

ELECTRICAL CONTRACTOR SHALL COORDINATE W/ OWNER FOR LOCATIONS OF POSSIBLE TELEPHONE JACKS, COAXIAL CABLE OUTLETS, CATEGORY 5 WIRING, ALARM SYSTEMS, ETC NOT SPECIFIED ON PLANS.

COORDINATE WITH HVAC CONTRACTOR FOR POWER HOOK-UP TO NEW AIR CONDITIONING CONDENSING UNITS.

ELECTRICAL LEGEND

-  CEILING MOUNTED LIGHT FIXTURE AND/ OR CEILING FAN
-  WALL MOUNTED LIGHT FIXTURE (WP= WEATHERPROOF)
-  PENDANT LIGHT FIXTURE
-  RECESSED LIGHT FIXTURE
-  SURFACE FLUORESCENT FIXTURE
-  GFCI-DUPLEX WALL RECEPTACLE
-  DUPLEX WALL RECEPTACLE
-  SMOKE DETECTOR- DIRECT WIRED
-  COMBINATION SMOKE DETECTOR / CARBON MONOXIDE DETECTOR
-  EXHAUST FAN -DUCT TO EXTERIOR
-  COMBINATION EXHAUST FAN / LIGHT FIXTURE- DUCT TO EXTERIOR
-  SINGLE POLE WALL SWITCH
-  THREE WAY WALL SWITCH



PROPOSED ADDITION FOR:
LOUISIANA RESIDENCE
4546 HIGHLAND ROAD
MINNETONKA, MN 55345
HENNEPIN COUNTY

ISSUED FOR PERMITS: 05/31/2024

REVISION LEGEND
No. | Date | As Per:

JOB #: 2022
DWN: AR
CHK: AR
DATE: 10/08/2022
DRAWING NO.

E-101

1 PROPOSED LOWER LEVEL ELECTRICAL PLAN
1/4" = 1'-0"

PROPOSED ADDITION FOR:
LOUISIANA RESIDENCE
4546 HIGHLAND ROAD
MINNETONKA, MN 55345
HENNEPIN COUNTY

ISSUED FOR PERMITS: 05/31/2024

REVISION LEGEND

No. | Date | As Per:

FIRST FLOOR
ELECTRICAL PLAN

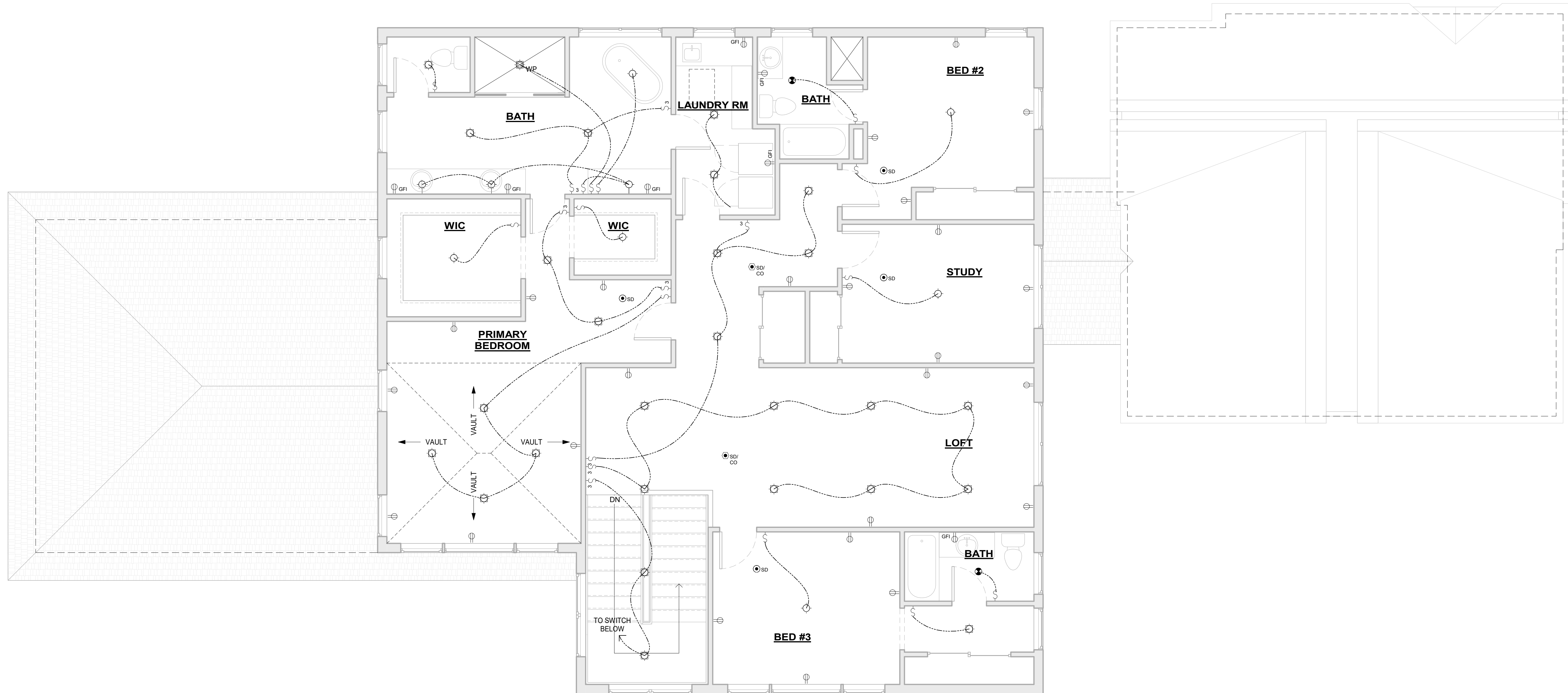
JOB #: 2022
DWN: AR
CHK: AR
DATE: 10/08/2022

DRAWING NO.

E-102



① FIRST FLOOR ELECTRICAL PLAN
1/4" = 1'-0"



1 PROPOSED SECOND FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

PROPOSED ADDITION FOR:
LOUISIANA RESIDENCE
4546 HIGHLAND ROAD
MINNETONKA, MN 55345
HENNEPIN COUNTY

ISSUED FOR PERMITS: 05/31/2024

REVISION LEGEND	
No.	Date / As Per.

SECOND FLOOR ELECTRICAL PLAN

JOB #: 2022
DWN: AR
CHK: AR
DATE: 10/08/2022
DRAWING NO.

E-103