

MINNETONKA PLANNING COMMISSION
April 26, 2018

Brief Description Items concerning Ridgedale Active Adult Apartments at 12421 Wayzata Blvd.:

- 1) Master Development Plan,
- 2) Site and Building Plan with variances, and
- 3) Preliminary and Final Plats

Recommendation Recommend the city council adopt the ordinance and resolution approving the proposal.

Introduction

The applicant, Trammell Crow, has submitted a formal application to redevelop a portion of the existing property at 12421 Ridgedale Drive, currently owned by J. C. Penney Properties. As proposed, portions of the existing parking lot would be removed and a new, six-story, 168-unit apartment building would be constructed. The apartment would have a mix of 1 and 2-bedroom apartments of various sizes. Parking would include 216 spaces, at a ratio of 1.29 parking stalls per unit. The project would also provide land for park purposes.

The proposal requires approval of: (1) master development plan; (2) site and building plan; (3) variances; and (4) preliminary and final plats.



Background

The Ridgedale Center Mall area has been a major commercial and economic center in Minnetonka serving the western suburban market area since its opening in 1973. For four decades, the mall served the areas retail and service commercial needs with little change in its original design.

On March 7, 2013, the city council approved the master development plan for Ridgedale Mall. The master development plan consists of three phases involving multiple parcels and owners:

- **Phase 1:** The first phase included construction of an 80,000 square foot addition to Macy's, updating the exterior of the Macy's store, as well as parking lot, stormwater and landscaping improvements on the north side of the site.
- **Phase 2:** The second phase consisted of demolishing the existing Macy's Men's and Home store, and constructing an addition to the mall and a new 140,000 square foot anchor department store. Phase 2 also included parking lot, stormwater, and landscaping improvements along the south side of the mall property.
- **Phase 3:** Phase 3 consists of three new freestanding pad sites on the northwest side of the mall, as well as the final parking lot and landscaping improvements.



Primary Issues Identified during Ordinance Introduction

The proposal represents the introduction of a non-commercial use on the mall property. During the development of the [Ridgedale Village Center Study](#), 800 residential housing units were identified for the area all of which was located at the periphery of the area, south or west of Ridgedale Drive. Albeit the locations for future residential, the plan demonstrates the need for housing to bring use diversity and vitality to this suburban mall.

The existing mall parking areas and perimeter road located south of J. C. Penney and Firestone would be removed to accommodate the apartment building. A new perimeter road would provide circulation around the apartment building and is designed to integrate with the proposed [Ridgedale Drive Reconstruction project](#). If approved, additional coordination will continue between the city and developer to plan, design and define limits of improvements between the proposed public and private projects.

The proposal also provides land for a future park. As identified during the concept plan review, a working group has been established to guide park planning efforts. The Ridgedale Village Center Study identified a park on the mall property. Park planning will likely continue for many months. The city council would ultimately review and approve a plan for the park.

Proposal Summary

The following is intended to summarize the applicant's proposal. Additional information associated with the proposal can be found in the "Supporting Information" section of this report.

- **Existing Site Conditions.**

The site contains parking and circulatory roads for the mall. There are no existing improved buildings. The highpoint of the site is along the northwest corner and slopes downward generally to the east. A sloped area separates the Firestone drive isles from the lower parking area.

- **Existing Zoning and Guide Plan Designation**

The property is currently zoned PID, Planned I-394 District. It is designated as mixed-use in the comprehensive guide plan. The existing PID zoning is consistent with the comprehensive plan guidance.

- **Building Design and Features**

As proposed, the building would have a 5-story north elevation and a 6-story south elevation. The flat roof designed building would be clad with exterior building materials including brick, cementitious, metal and laminate panels in a variety of white, brown, grey and black colors with white being the most predominant.

The building would be served by 212 underbuilding parking stalls on 2-levels, one at the grade of level 1 and a lower level. There are 4 covered parking stalls on the northwest side of the building at the main lobby entrance for a total of 216 on-site parking spaces.

- **Site Design**

The building has been sited to accommodate the western roundabout of the improved Ridgedale Drive. The Ridgedale Drive reconstruction project is planned to begin in 2019. The mall's exterior ring road has been reoriented to function with the roundabout and proposed development. Additional fill will be required on the northerly portion of the site to construct the access road.

Primary Questions and Analysis

A land use proposal is comprised of many details. In evaluating a proposal, staff first reviews these details and then aggregates them into a few primary questions or issues. The following outlines both the primary questions associated with the proposed project and staff's findings.

- **Is the proposed site and building design reasonable?**

Yes. High-density residential is a permitted use under PID zoning. The applicant has proposed a 6-story building, with underground parking. The proposal would have a 1.81 floor area ratio (FAR). Floor area ratio maximums in the PID are set by the designation in the comprehensive plan which ranges between 0.3 for retail to 0.75 for high-density residential. The PID does not list mixed use. Staff has generally used the specific use as an equivalent in the absence of a mixed use listing. Nonetheless, city code does allow floor area ratios of individual parcels in the PID to "...exceed these standards as long as the total average does not." As the Ridgedale Center mall was developed under a master development plan, the overall FAR is on the lower end of that range at 0.36 which is between the retail and service commercial FARs of 0.3 and 0.4. As such staff is comfortable with the FAR of the residential parcel.

- **Are the variances reasonable?**

Yes. The applicant is requesting variances for:

| Variance | Required | Proposed |
|------------------------------------|-----------------|--------------|
| Front yard setback (Ridgedale Dr.) | 60 ft | 15 ft |
| Side yard setback | | |
| West | 60 ft | 19 ft |
| East | 60 ft | 47 ft |
| Rear Yard Setback | 60 ft | 54 ft |
| Lot size | 3 acres | 2.38 |
| Hardcover | 60 percent max. | 80.5 percent |

The property line setback variances are reasonable as the setback distances are similar to the existing setbacks of other buildings within the area. In fact, the adjacent US Bank and Firestone properties have building setbacks less than 20 feet. In addition, in recent years, the city has approved multi-family residential projects with setbacks less than those proposed for the subject project. However, these applications have not required

variances because they were within PUD Districts, which allow flexible setbacks based on the city council's discretion.

The lot size variance is reasonable as the intent of the PID is to create parcels that are of reasonable size to provide development opportunities consistent with other development in the I-394 corridor. The parcel is reasonably sized to accommodate the proposed development.

The hardcover variance is reasonable as the greenspace in the 3 parcels included in the plat increased by 17.2 percent (76.7 percent existing to 59.5 percent proposed).

Staff Recommendation

Recommend the city council adopt the following, all associated with Ridgedale Active Adult Apartments, at 12421 Wayzata Blvd.:

- 1) Master Development Plan,
- 2) Site and Building Plan with variances, and
- 3) Preliminary and Final Plats

Originator: Loren Gordon, AICP, City Planner

Supporting Information

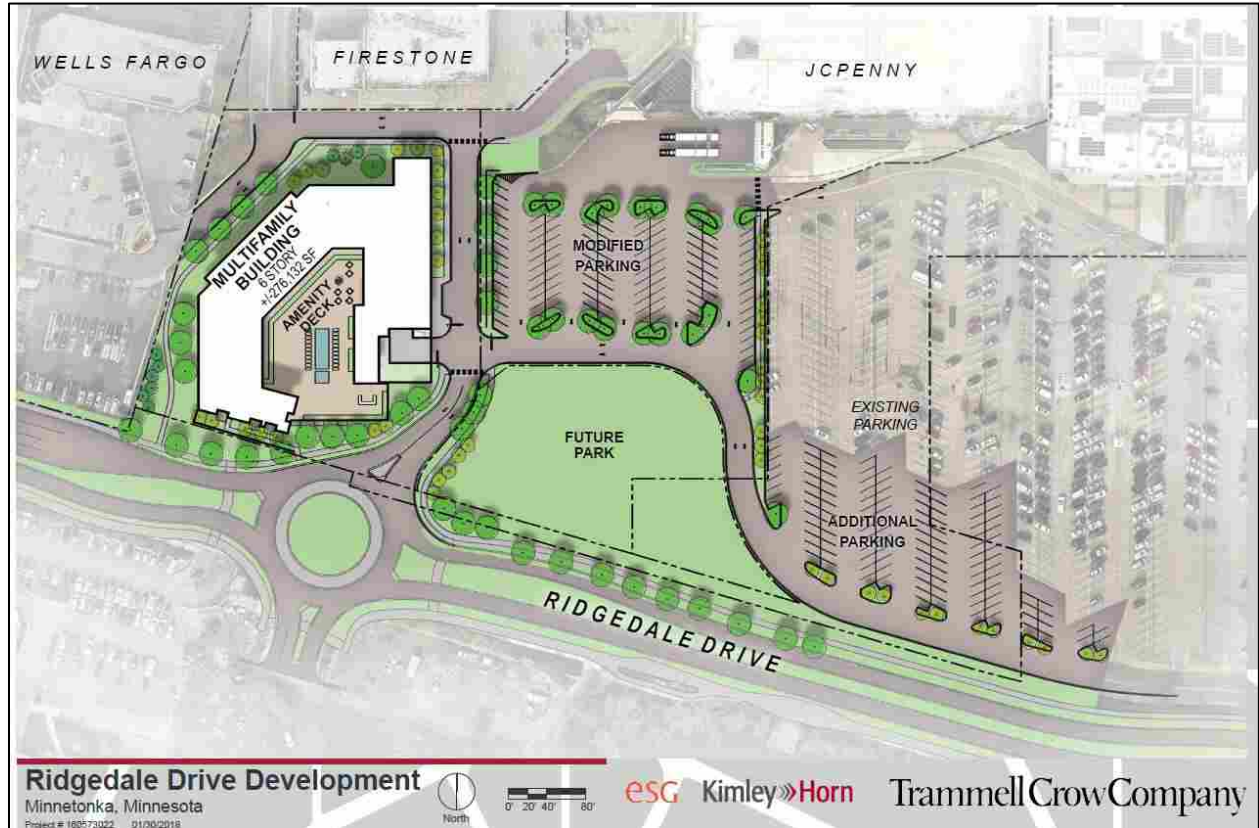
| | | |
|--------------------|-------------------------|--|
| Surrounding | Northerly: | Firestone and Ridgedale Center mall; guided mixed-use |
| Land Uses | Easterly: | Parking lot and Ridgedale Center mall; guided mixed-use |
| | Westerly: | US Bank; guided mixed-use |
| | Southerly: | Hennepin County Ridgedale Library and Service Center; guided institutional |
| Planning | Guide Plan designation: | Mixed-use |
| | Existing Zoning: | PID, Planned I-394 District |

Concept Plan Review

Prior to formal plan submission, the applicant presented a conceptual plan to the planning commission and city council for comments. A neighborhood meeting was also held. Comments from those meetings include the following.

- **Neighborhood Meeting.** The developer held a neighborhood meeting February 6, 2018. Approximately 9 people attended the meeting. Questions and comments included the following:
 - What are opportunities for additional density on the mall property?
 - What is the height relationship to the 1700 building?
 - Safety for pedestrian connections in the area.
 - Is there flexibility for a 5-story building?
 - What are views to residential neighborhoods to the south?
 - How do we plan for redevelopment? Don't want one-off development that is unorganized or unplanned.
- **Planning Commission Concept Plan Review.** The planning commission reviewed the concept plan at its Feb. 1, 2018 meeting. The planning commission had the following comments:
 - Why only build a 6-story building? Cost v. performance
 - What is the tallest building in the active adult market? 6 stories
 - What are the target market considerations? Lack of this market product in Minnetonka.
 - What happens in 30 years? Plan for a shaft in the building to accommodate a kitchen.
 - Do you work with cities on affordable housing in projects like this? Junior 1 bedroom unit is geared toward that market.
 - What is the parking count and guest parking accommodations? 1.1 spaces per unit. Guest parking also internal to the building.
 - What type of options are available for residents who don't drive? Shuttle service available for trips.
 - Rooftop space considered? Trying to keep the spaces centralized.
- **City Council Concept Plan Review.** The city council reviewed the concept plan at its Feb. 5, 2018 meeting. The city council had the following comments:
 - How did the 6-story building design come about?

- Will there be a rooftop amenity?
- Potential vehicle conflicts with site access and the roundabout?
- Are there considerations for affordable units?
- Consideration for more parking if the resident demographics changed?
- Is there a need for more parking?
- Is there a consideration for LEED?
- Is there flexibility for the location, design, shape and size of the park?
- Like the opportunity for a park at Ridgedale.
- Like the building design.



Ridgedale Active Adult Apartments Concept Plan

Introduction

An ordinance was introduced at the April 16, 2018 city council meeting to amend the Ridgedale Center Master Development Plan. At that time, the council generally noted that the formal proposal seems to reflect the previous concept plan review noting a few comments regarding inbound traffic from Ridgedale Drive and site parking.

City Actions

The project requires action on the following applications:

- **Master Development Plan.** The subject site is currently zoned PID, Planned I-394 District which requires city approval of a master development plan. The planning commission makes a recommendation to the city council, which has final authority to approve or deny the master development plan.

- **Site and Building Plan Review.** By city code, site and building plan review is required in conjunction with construction of a multi-family building. The planning commission makes a recommendation to the city council, which has final authority to approve or deny the site and building plan.
- **Preliminary and Final Plat.** The applicant has proposed to divide property owned by J. C. Penney and General Growth Properties into a buildable lot for residential and park parcels. The city council approves the platting of land. The planning commission makes a recommendation to the city council, which has final authority to approve or deny the platting.
- **Variances.** As proposed, front, side and rear yard setback variances would be required for the building. Because the variances are required for the approval of the site and building plan, the planning commission makes a recommendation to the city council, which has final authority to approve or deny the site and building plan.

Preliminary and Final Plats

The preliminary and final plat, Ridgedale Center Tenth Addition, creates two additional lots for the residential development and park. The 1.31 acre park would satisfy subdivision requirements for a minimum 10% land dedication.

Stormwater

As proposed, drainage from the site would be managed via an underground chamber facility. This system would capture rainwater on site for storage and infiltration. As a condition of approval, a final stormwater management plan and specifications must be submitted prior to issuance of a grading permit. The plans must meet the standards of the city's Water Resources Management Plan, incorporating rate control, volume control, and water quality treatment.

Stormwater reuse was considered for the proposed project; however, stormwater reuse was not found to be a reasonable option due to the limited green space on the site.

Solar Energy

The developer is continuing to review the possibility of incorporating rooftop solar panels. No decision has been made at this time.

Utilities

Access to public water and sanitary sewer facilities are available and are currently routed through the northern portion of the residential parcel. The building placement would cause the rerouting of these along the relocated roadway.

Sidewalks/Trails

The project proposes sidewalks throughout the site to allow pedestrians to walk from the improved Ridgedale Drive to the existing Firestone/J. C. Penney upper sidewalk as well as through the existing lower parking lot to the lower level J. C. Penney/Mall entry.

**Traffic and Parking
Review**

The city's traffic engineering consultant reviewed the proposal to ensure the proposed traffic and site plan design would not negatively impact the proposed Ridgedale Drive reconstruction project or the internal mall circulation system. The engineers concluded that the proposed project as designed, would not create negative traffic conditions. Specifically evaluated was in-bound traffic from Ridgedale Drive making a left turn into the parking garage.

The parking area located south of J. C. Penney would also be slightly reconfigured. The project demonstrates the circulation for cars and delivery vehicles at the loading docks is properly design to accommodate turning movements.

Parking

The project proposes a total of 216 total parking spaces, of which 212 are located in the building. At a 1.29 parking spaces per unit ratio, parking is between the two parking spaces per unit for multi-family developments and one space per unit for senior developments. As this project is a 50 years or older population, a blending of the standards is reasonable. That and the fact close and convenient parking exists on the mall suggests requiring two parking spaces per unit would be excessive.

Bike Facilities

The developer has stated the building will include bike facilities for resident and guests. Additional plans would be provided with the building permit for staff review.

NR Ordinances

There are 120 trees in the project area. Of those, 76 will be removed by the project, 26 will be saved and 18 will be removed due to the roadway.

This is an interesting site because the trees on the site were planted as part of a landscape plan for the development. We are regulating these trees under the tree ordinance in order to be fair to other members of the public who may have planted trees that were also regulated by the ordinance. An example is a private property owner who is subdividing their land and has planted trees on it and those trees were regulated under the tree ordinance.

There are 18 high priority trees on the site. They are removing 15 or 83% which does not meet the tree ordinance where the maximum high priority tree removal is 35%, otherwise it must be zoned a PUD. However the council can approve this tree loss if it determines that there is a greater public good such as:

- a. providing reasonable use or access to the property;
- b. providing affordable housing;
- c. allowing for the creation or rehabilitation of a public road or trail;
- d. providing for a public utility service, such as a transmission line, ponding or a water tower;

- e. allowing for the creation or rehabilitation of a public park; or
- f. enabling redevelopment in a designated redevelopment area.

This redevelopment meets the above criteria in items c, e, and f.

Comparable Projects With the increase in residential development in the Ridgedale area, staff has continued to track measurable project statistics of development.

| Name | Details | Stories | Height (ft.) | Density (units/acre) | Building Size (sq. ft.) | FAR | Hard surface (%) |
|---|--|---------|--------------|----------------------|-------------------------|------|------------------|
| Ridgedale Area Developments | | | | | | | |
| Ridgedale Active Adult Apartments (Proposed) | 168 units of age restricted (50+) | 6 | 60 | 71 | 187,862 | 1.81 | 80 |
| 1700 Plymouth 1700 Plymouth Rd | Mixed use building with 16,000 sq. ft. of retail and 120 units of market rate apartments | 6 | 76 | 59 | 155,000 | 1.7 | 85 |
| Cherrywood Pointe 2004 Plymouth Rd. | 100-unit senior apartments | 4 | 55 | 34 | 117,000 | 0.93 | 45 |
| The Ridge 12708 Wayzata Blvd. | 64-unit affordable apartment building | 4 | 40 | 37 | 113,000 | 1.5 | 64 |
| Ridgepoint 12600 and 12800 Marion Lane W | 274-unit senior apartments | 8 | 76 | 32 | 283,000 | 0.8 | |
| Ridgegate 1919 YMCA Lane | 60-unit market rate apartments | 3 | 42 | 15 | 68,000 | 0.4 | |

Motion Options

The planning commission has four options:

1. Concur with the staff recommendation. In this case, a motion should be made recommending the city council adopt the rezoning ordinance, preliminary and final plat resolution, and site and building plan resolution, with variances.
2. Disagree with staff's recommendation. In this case, a motion should be made recommending the city council deny the requested rezoning, preliminary and final plat, and final site and building plans, with variances. This motion must include a statement as to why denial is recommended.
3. Concur with some of staff's recommendations and disagree with the others. In this case, a motion should be made

recommending approval of the some and denial of the others. This motion must include a statement as to why denial is recommended.

4. Table the requests. In this case, a motion should be made to table the item. The motion should include a statement as to why the request is being tabled with direction to staff, the applicant, or both.

**Neighborhood
Comments**

At the time of publication of this report, the city had received one comment regarding the formal application. Notices were sent to 1,118 property owners.

Deadline for Action

July 10, 2018



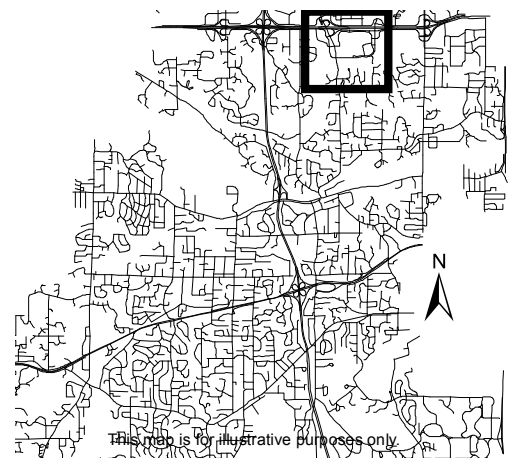
Subject Property



Location Map

Project: Ridgedale Active Adult Apts

Address: 12421 Wayzata Blvd



This map is for illustrative purposes only.

WELLS FARGO

FIRESTONE

JCPENNY

MULTIFAMILY BUILDING
6 STORY
+1,274,812SF

AMENITY DECK

MODIFIED PARKING

EXISTING PARKING

ADDITIONAL PARKING

FUTURE PARK

RIDGEDALE DRIVE

Ridgedale Drive Development

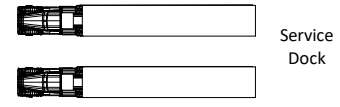
Minnetonka, Minnesota

Project # 160573022 03/09/2018



esg Kimley»Horn

Trammell Crow Company



NOTE: SEE LANDSCAPE PLAN FOR PLANTING LOCATIONS

March 9, 2018

1:50 SCALE



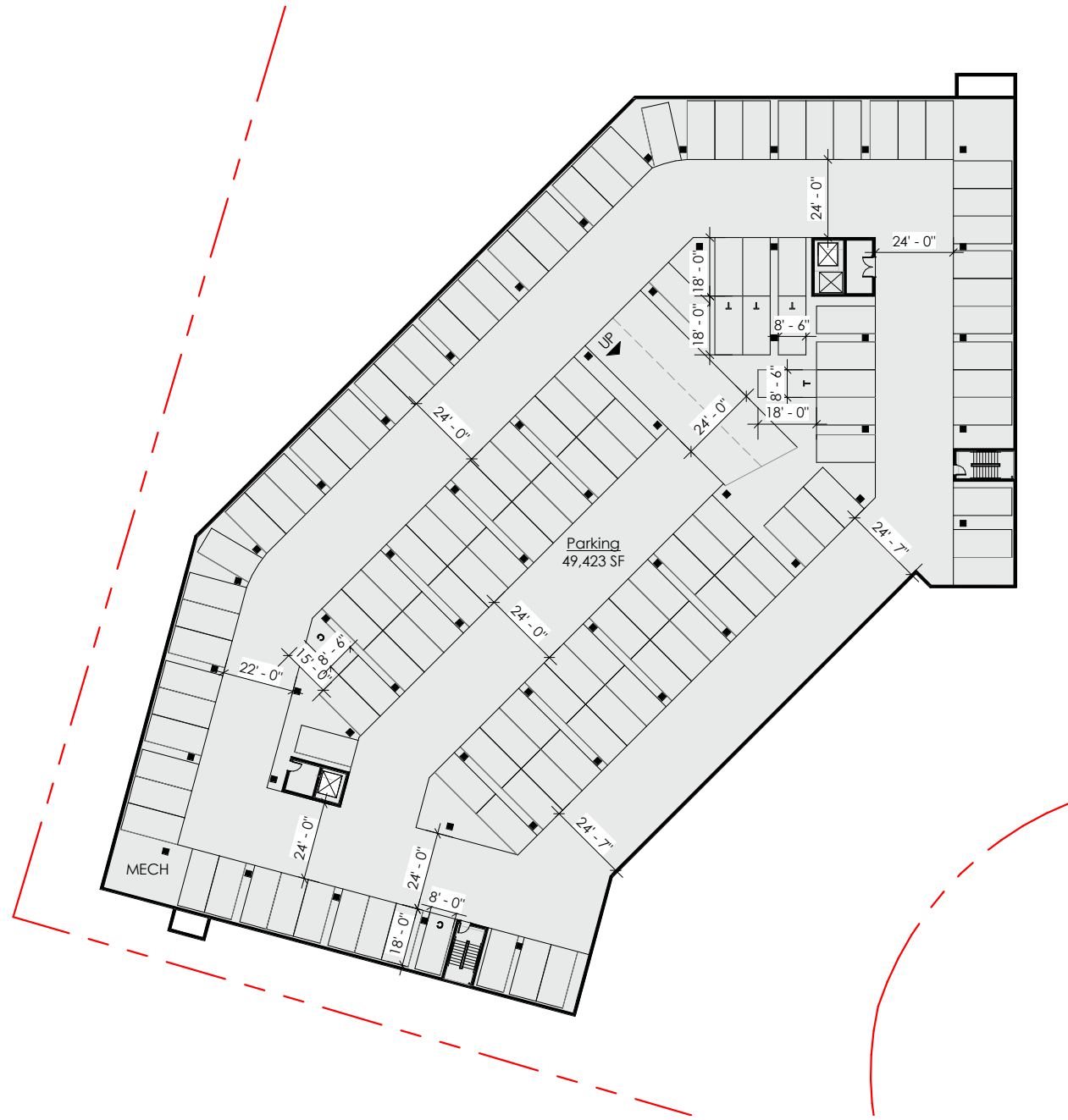
LEVEL 2 PLAN



LEVEL 3-6 PLAN

March 9, 2018

1:50 SCALE



LOWER LEVEL PLAN

March 9, 2018



1:50 SCALE



March 9, 2018



March 9, 2018



March 9, 2018



March 9, 2018



E1 - NORTH ELEVATION

E2 - NORTH/WEST ELEVATION



E3 - WEST ELEVATION

E4 - SOUTH ELEVATION



BRICK



ARCHITECTURAL METAL PANEL



HIGH PRESSURE LAMINATE PANEL OR METAL PANEL



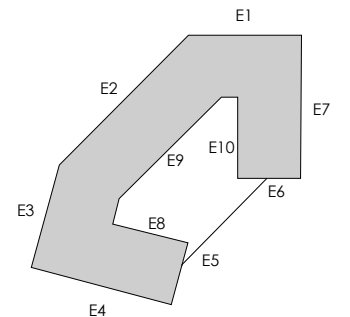
3 COLOR METAL PANEL BLEND



CEMENTITIOUS PANEL COLOR #1



CEMENTITIOUS PANEL COLOR #2



SCALE: 1"=30'

March 9, 2018



E5 - EAST ELEVATION

E6 - SOUTH/EAST ELEVATION

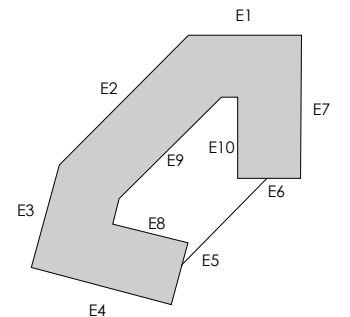
E7 - EAST/NORTH ELEVATION



E8 - NORTH COURTYARD ELEV

E9 - EAST COURTYARD ELEV

E10 - WEST COURTYARD ELEV



SCALE: 1"=30'

March 9, 2018

| BUILDING METRICS | | | | | | | | |
|------------------|-----------|-------------|-----------|--------|-------------|---------|---------|-----------|
| LEVEL | TOTAL GSF | PARKING GSF | OTHER GSF | STALLS | AMENITY GSF | APT GSF | APT RSF | APT UNITS |
| LEVEL P1 | 49,423 | 49,423 | | 129 | | | | |
| LEVEL 1 | 48,985 | 38,948 | 1,165 | 83 | | 8,872 | 6,506 | 8 |
| LEVEL 2 | 32,593 | | | | 12,283 | 20,310 | 16,791 | 20 |
| LEVEL 3 | 36,308 | | | | | 36,308 | 30,327 | 35 |
| LEVEL 4 | 36,308 | | | | | 36,308 | 30,327 | 35 |
| LEVEL 5 | 36,308 | | | | | 36,308 | 30,327 | 35 |
| LEVEL 6 | 36,308 | | | | | 36,308 | 30,327 | 35 |
| | 276,233 | 88,371 | 1,165 | 212 | 12,283 | 174,414 | 144,605 | 168 |

| | |
|---------------------------|------|
| GSF/STALL | 422 |
| STALLS/UNIT ENCLOSED | 1.26 |
| SURFACE STALLS | 4 |
| STALLS/UNIT INCL. SURFACE | 1.29 |

| | |
|---------|------|
| RSF AVG | 861 |
| EFF | 0.83 |

| UNIT METRICS | | | | | | | | | | | | |
|------------------|---|----|----|----|----|----|-------|-----|------|------|-----------|--|
| Level | 1 | 2 | 3 | 4 | 5 | 6 | TOTAL | % | Beds | Avg | Range | |
| Junior 1 Bedroom | 2 | 6 | 8 | 8 | 8 | 8 | 40 | 24% | 40 | 578 | 551-622 | |
| 1 Bedroom | 2 | 3 | 8 | 8 | 8 | 8 | 37 | 22% | 37 | 730 | 714-746 | |
| Large 1 Bedroom | 2 | 6 | 5 | 5 | 5 | 5 | 28 | 17% | 28 | 802 | 779-930 | |
| Junior 2 Bedroom | 1 | 0 | 4 | 4 | 4 | 4 | 17 | 10% | 34 | 1042 | 1018-1068 | |
| 2 Bedroom | 1 | 1 | 6 | 6 | 6 | 6 | 26 | 15% | 52 | 1126 | 1087-1172 | |
| Large 2 Bedroom | 0 | 4 | 4 | 4 | 4 | 4 | 20 | 12% | 40 | 1251 | 1227-1275 | |
| | 8 | 20 | 35 | 35 | 35 | 35 | 168 | | 231 | 861 | | |

| PARKING STALL BREAKDOWN | | | | |
|-------------------------------------|-------------------|------------------|-----------------|-------|
| | Level P1 Enclosed | Level 1 Enclosed | Level 2 Surface | Total |
| Standard Stalls | 123 | 75 | 3 | 201 |
| ADA Stalls | 0 | 5 | 1 | 6 |
| Compact Stalls | 2 | 2 | 0 | 4 |
| Buried Stalls (Marked T for Tandem) | 4 | 1 | 0 | 5 |
| | 129 | 83 | 4 | 216 |

**Zoning Summary: Ridgedale Active Adult Apartments
Minnetonka, MN**



| | Zoned PID (Planned I-394 District) | Detailed Requirements | Providing/Project as Proposed |
|--|--|--|---|
| USE | residential, office, retail | - | residential, office, retail (mixed) |
| LOT AREA, MIN. (SF) | 3 acres (130,680 SF) | 3 acres | 2.38 acres |
| BUILDING FOOTPRINT (SF) | N/A | - | 48,985 |
| DENSITY | N/A | - | 71 units/ac |
| HARDSURFACE COVERAGE (%), MAX. | 60% for high density (more than 12 units/ac); 50% for mid density* | 60.0% | 80.5% (in residential lot alone); 59.5% (overall area disturbed, includes park, JCP and mall parking lots) which is a reduction from 76.7% existing impervious coverage |
| FLOOR AREA RATIO (FAR)**, MAX. | 0.75 high density (more than 12 units/ac); .50 mid density* | 0.75 | 1.81 (excluding below-grade Level P1 and excluding interior parking/vehicular circulation on partially buried Level 1); 2.19 (conservative FAR that only excludes below-grade Level P1) |
| HEIGHT, MAX. | N/A (per staff, use average grade; height regulated by the combination of building setback, floor area ratio and hardsurface coverage requirements; City may establish stricter height restrictions based on the characteristics of a specific planned I-394 district project) | - | 60 FT 1 IN (from proposed average grade to top of parapet) |
| FLOODPLAIN SETBACK, MIN. | (w/in FEMA's Zone X (area of minimal flood); not w/in FEMA's Zone AE) | - | N/A |
| WETLAND SETBACK, MIN. | refer to overlay map (not available online) | - | N/A |
| SHORELAND SETBACK, MIN. | refer to overlay map (not available online) | - | N/A |
| (OTHER SETBACK, MIN.) | refer to overlay map (not available online) | - | N/A |
| FRONT SETBACK, MIN., BLDG -- Ridgedale Dr/south side (arterial street) | use property boundaries; 50 ft from arterial street; not less than height of bldg up to max. 100 ft (bldg) | min. 60 FT 1 IN (from proposed average grade) | 15 FT 8 IN (Ridgedale Dr side; depends on final plat) |
| SIDE SETBACK, MIN., BLDG -- west side (collector street) | use property boundaries; 35 ft from local or neighborhood collector street; not less than height of bldg up to max. 100 ft (bldg) | min. 60 FT 1 IN (from proposed average grade) | 19 FT 11 IN (west side; depends on final plat) |
| SIDE SETBACK, MIN., BLDG -- east side (collector streets) | use property boundaries; 35 ft from local or neighborhood collector street; not less than height of bldg up to max. 100 ft (bldg) | min. 60 FT 1 IN (from proposed average grade) | 47 FT 10 IN (east side; depends on final plat) |
| AGGREGATE SIDE SETBACK, MIN. | N/A | N/A | N/A |
| REAR SETBACK, MIN., BLDG -- north side (local street) | use property boundaries; 35 ft from local or neighborhood collector street; not less than height of bldg up to max. 100 ft (bldg) | min. 60 FT 1 IN (from proposed average grade) | 54 FT 9 IN (north side; depends on final plat) |
| PARKING, SPACES | Sec. 300.28, #12***, parking spaces required | spaces required: - if Senior Housing: 168 spaces min. - if Multi-Family Housing: 336 spaces min. - if Retail: 5 spaces min. - if Visitor pkg required: tbd by City staff - compact: 25% max. of required parking Min. required: 173-341 spaces | Proposed parking stalls: - ramp: 212 - surface: 4 Total: 216 (visitor parking to be determined by City staff) |
| PARKING, STALL DIMENSIONS | Sec. 300.28, #12***; pkg stall dimensions: - standard: min. 8.5x18 FT (90 degrees) - compact: 7.5x16 FT (90 degrees), 8x16.5 (75 deg), 8.5x17.5 (60 deg) | stall dimensions: - standard: min. 8.5x18 FT (90 degrees) - compact: 7.5x16 FT (90 degrees), 8x16.5 (75 deg), 8.5x17.5 (60 deg); - compact spaces: 25% of the total pkg spaces required | Proposed parking stalls: - proposing 1 compact stall that is 8.5x15 ft and doesn't comply and could be removed from totals provided |
| DRIVE AISLES | Sec. 300.28, #12***; drive aisle widths (90-degree pkg): - 22 FT aisle width = aisle serving 1 row of pkg - 24 FT = in a low-turnover pkg structure = office, industrial, residential complex - 26 FT aisle width = in pkg structures w/ high-turnover uses = retail uses & other w/ sim. traffic characteristics - the Planning Commission &/or City Council 'shall consider' compliance as well during Site & Building Plan Review | 90-degree pkg: - 22 FT aisle width = aisle serving 1 row of pkg - 24 FT = in a low-turnover pkg structure = office, industrial, residential complex - 26 FT aisle width = in pkg structures w/ high-turnover uses = retail uses & other w/ sim. traffic characteristics | Residential uses comply. |

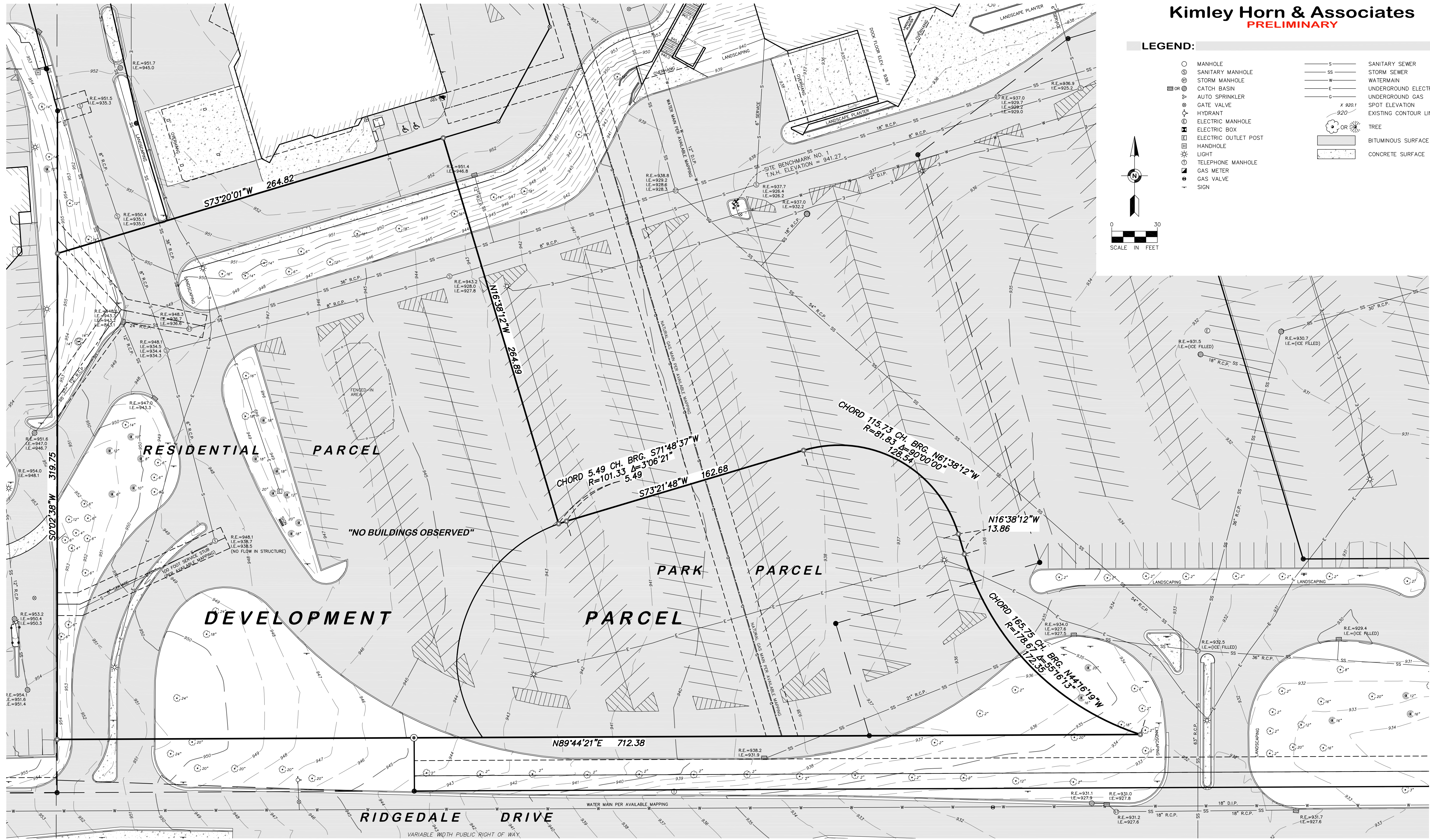
* medium density: 4-12 units/ac; high density: greater than 12 units/ac

** Ch. 3, Definitions: MF buildings -- the sum of the following as measured from exterior walls: the fully exposed gross horiz. area of a bldg and 1/2 of the gross horiz. area of any partially exposed level such as a walkout or lookout level, excluding interior parking spaces and vehicular circulation areas.

*** compact spaces can be 25% of the total pkg spaces required; 2 pkg spaces for each dwelling unit is required for just the MF component of the bldg; visitor spaces tbd by City staff; 1 for ea. unit if classified as 'senior housing;' plus retail: one space for each 250 square feet of gross floor area within the building with a minimum of five parking spaces; tbd ultimately by Planning Commission/staff through an overall Master Development Plan amendment

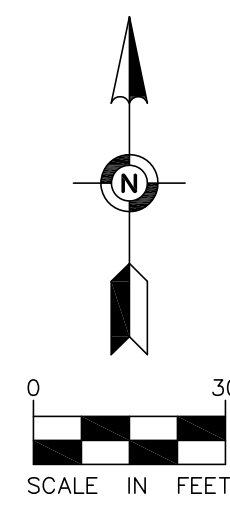
DEVELOPMENT PARCEL SITE IMPROVEMENTS

ALTA/NSPS LAND TITLE SURVEY FOR:
Kimley Horn & Associates
 PRELIMINARY



LEGEND:

- MANHOLE
- ⊙ SANITARY MANHOLE
- ⊙ STORM MANHOLE
- ⊙ CATCH BASIN
- ⊙ AUTO SPRINKLER
- ⊙ GATE VALVE
- ⊙ HYDRANT
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC BOX
- ⊙ ELECTRIC OUTLET POST
- ⊙ HANDHOLE
- ⊙ LIGHT
- ⊙ TELEPHONE MANHOLE
- ⊙ GAS METER
- ⊙ GAS VALVE
- ⊙ SIGN
- S — SANITARY SEWER
- SS — STORM SEWER
- W — WATERMAIN
- E — UNDERGROUND ELECTRIC
- G — UNDERGROUND GAS
- SPOT ELEVATION
- x 920.1 — EXISTING CONTOUR LINE
- OR ○ TREE
- ▭ BITUMINOUS SURFACE
- ▭ CONCRETE SURFACE



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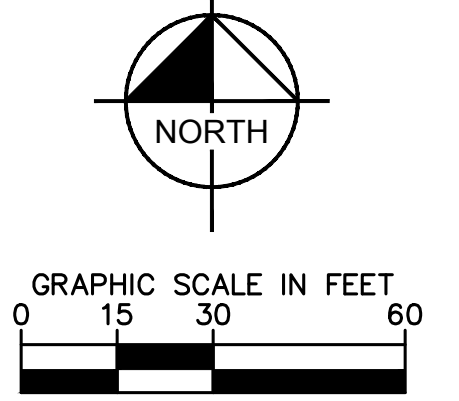
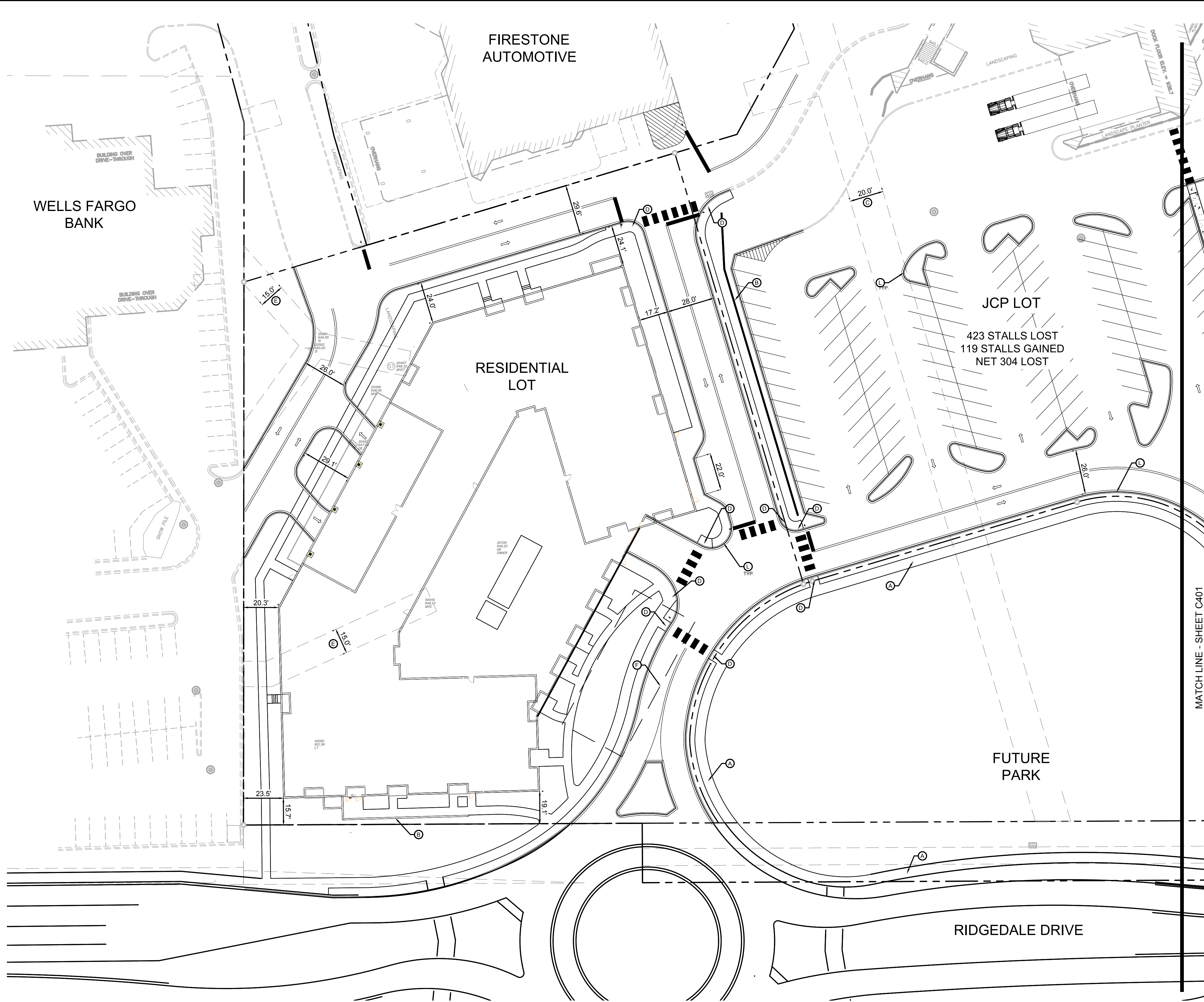
PRELIMINARY
ALTA/NSPS
LAND TITLE SURVEY

SURVEY FOR:
Kimley Horn & Associates

PROPERTY ADDRESS:
 12421 Wayzata Boulevard
 Minnetonka, Minnesota 55305

Egan, Field & Nowak, Inc.
 land surveyors since 1872
 1229 Tyler Street NE, Suite 100
 Minneapolis, Minnesota 55413
 PHONE: (612) 466-3300
 FAX: (612) 466-3383
 WWW.EFNSURVEY.COM
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LEGEND

| | |
|--|--------------------------|
| | PROPERTY LINE |
| | RETAINING WALL |
| | PROPOSED CURB AND GUTTER |

KEYNOTE LEGEND

| | |
|-----|---|
| (A) | CONCRETE SIDEWALK |
| (B) | RETAINING WALL |
| (C) | EXISTING GAS EASEMENT |
| (D) | ACCESSIBLE CURB RAMP |
| (E) | EXISTING STORM SEWER EASEMENT |
| (F) | UNDERGROUND STORM WATER MANAGEMENT SYSTEM |
| (G) | - NOT USED - |
| (H) | - NOT USED - |
| (I) | - NOT USED - |
| (J) | - NOT USED - |
| (K) | - NOT USED - |
| (L) | B612 CURB & GUTTER (TYP.) |
| (M) | - NOT USED - |
| (N) | - NOT USED - |
| (O) | - NOT USED - |
| (P) | - NOT USED - |

- SITE PLAN NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - ALL INNER CURBED RADII ARE TO BE 3' AND OUTER CURBED RADII ARE TO BE 10' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
 - ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY EFN DATED 03/06/2018.
KIMLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED THEREIN.
 - PYLON / MONUMENT SIGNS SHALL BE CONSTRUCTED BY OTHERS. SIGNS ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIZE, LOCATION AND ANY REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE PYLON / MONUMENT SIGN.
 - CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
 - NO PROPOSED LANDSCAPING SUCH AS TREES OR SHRUBS, ABOVE AND UNDERGROUND STRUCTURES, OR OTHER OBSTRUCTIONS SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHTS OF WAY UNLESS SPECIFICALLY NOTED ON PLANS OTHERWISE.
 - REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
 - REFER TO FINAL PLAT OR ALTA SURVEY FOR EXACT LOT AND PROPERTY BOUNDARY DIMENSIONS.
 - ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
 - ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
 - ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
 - FOR OFFSITE IMPROVEMENTS, SEE THE <RIDGEDALE> IMPROVEMENTS PLANS.

PROPERTY SUMMARY

| | |
|-------------|-----------|
| RESIDENTIAL | 2.37 AC ± |
| JCP | 7.44 AC ± |
| PARK | 1.31 AC ± |

PRELIMINARY - NOT FOR CONSTRUCTION

RIDGEDALE ACTIVE ADULT APARTMENTS
PREPARED FOR
TRAMMELL CROW COMPANY
MINNETONKA, MN

SHEET NUMBER
C400

| | |
|-------------|------------|
| KHA PROJECT | 160573022 |
| DATE | 03/09/2018 |
| SCALE | AS SHOWN |
| DESIGNED BY | JNL |
| DRAWN BY | LEC |
| CHECKED BY | JNL |

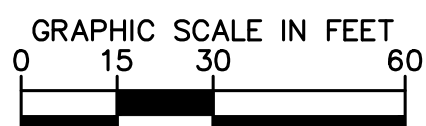
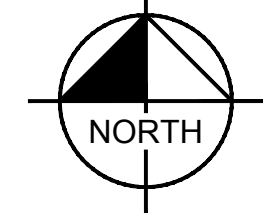
EVERY COUNTY HAS THIS AS AN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

JONATHAN N. LIBBY
DATE: 03/09/2018 LIC. NO. 51278

Kimley»Horn
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2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114
PHONE: 651-445-4197
WWW.KIMLEY-HORN.COM

| NO. | REVISIONS | DATE | BY |
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LEGEND

- PROPERTY LINE
- ==== RETAINING WALL
- ==== PROPOSED CURB AND GUTTER

KEYNOTE LEGEND

- (A) CONCRETE SIDEWALK
- (B) RETAINING WALL
- (C) EXISTING GAS EASEMENT
- (D) ACCESSIBLE CURB RAMP
- (E) EXISTING STORM SEWER EASEMENT
- (F) UNDERGROUND STORM WATER MANAGEMENT SYSTEM
- (G) -- NOT USED --
- (H) -- NOT USED --
- (I) -- NOT USED --
- (J) -- NOT USED --
- (K) -- NOT USED --
- (L) B612 CURB & GUTTER (TYP.)
- (M) -- NOT USED --
- (N) -- NOT USED --
- (O) -- NOT USED --
- (P) -- NOT USED --

SITE PLAN NOTES

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11. REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
12. REFER TO FINAL PLAT OR ALTA SURVEY FOR EXACT LOT AND PROPERTY BOUNDARY DIMENSIONS.
13. ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
14. ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
15. ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
16. FOR OFFSITE IMPROVEMENTS, SEE THE <RIDGEDALE> IMPROVEMENTS PLANS.

| PROPERTY SUMMARY | |
|------------------|-----------|
| RESIDENTIAL | 2.37 AC ± |
| JCP | 7.44 AC ± |
| PARK | 1.31 AC ± |

PRELIMINARY - NOT FOR CONSTRUCTION
RIDGEDALE ACTIVE ADULT APARTMENTS
 PREPARED FOR **TRAMMELL CROW COMPANY**
 MINNETONKA, MN

SITE PLAN

SHEET NUMBER **C401**

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| DATE | 03/09/2018 |
| DESIGNED BY | JNL |
| DRAWN BY | LEC |
| CHECKED BY | JNL |

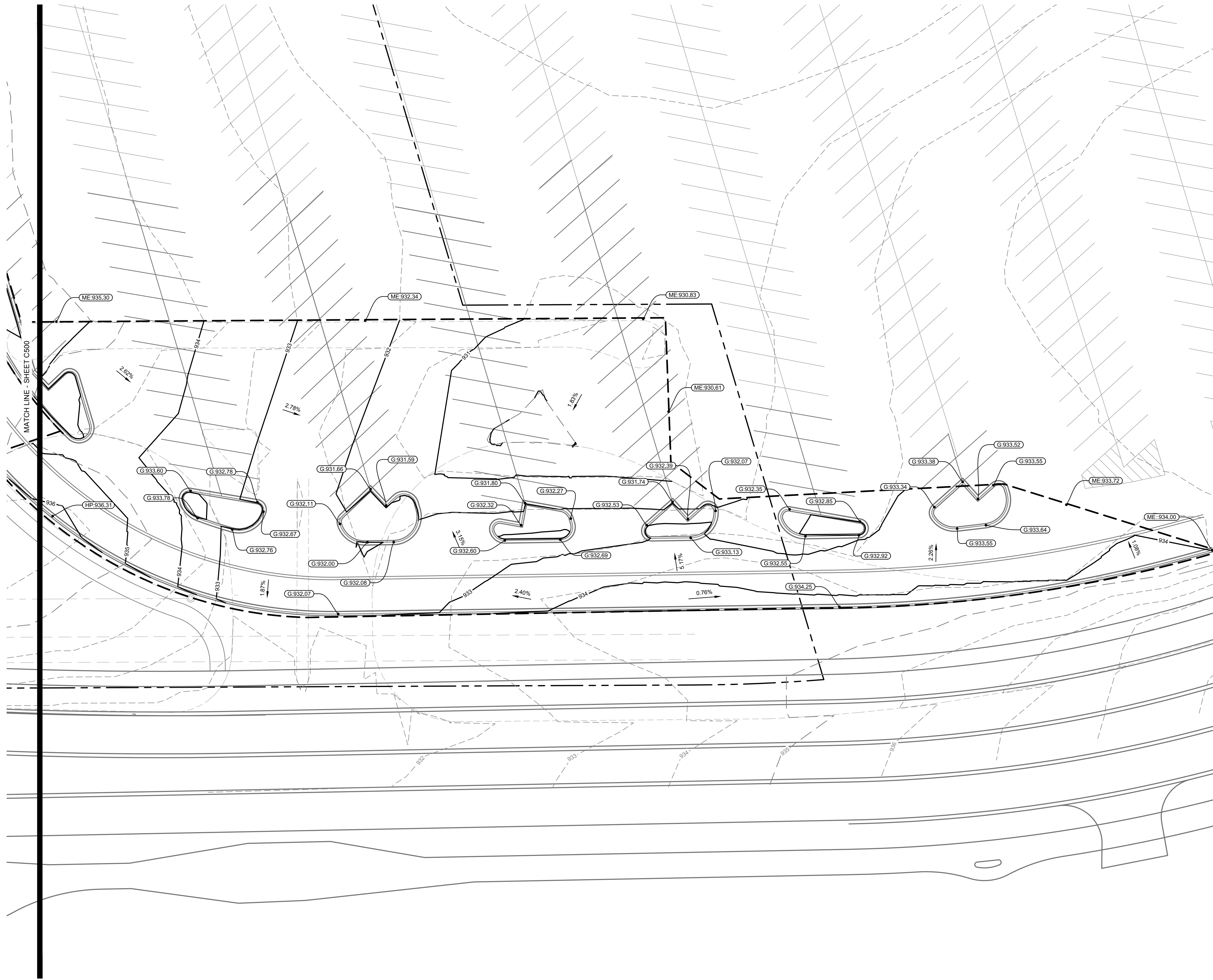
KHA PROJECT 160573022
 DATE 03/09/2018
 SCALE AS SHOWN
 DESIGNED BY JNL
 DRAWN BY LEC
 CHECKED BY JNL

I hereby certify that this is an original copy of the drawings and specifications or reports was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the state of Minnesota.
 JONATHAN N. LIBBY
 MN LIC. NO. 51278
 DATE: 03/09/2018

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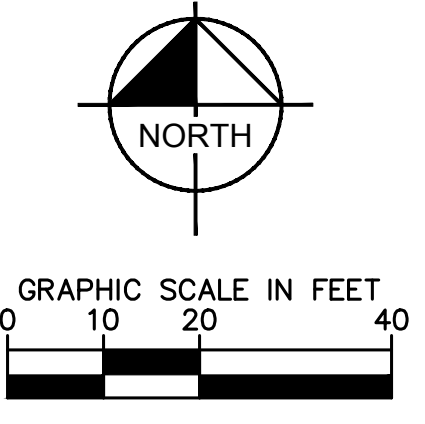
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LEGEND

- PROPERTY LINE
- LIMITS OF DISTURBANCE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED STORM MANHOLE (SOLID CASTING)
- PROPOSED STORM MANHOLE (ROUND INLET CASTING)
- PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
- PROPOSED STORM SEWER CLEANOUT
- PROPOSED FLARED END SECTION
- PROPOSED RIPRAP
- PROPOSED STORM SEWER
- PROPOSED SPOT ELEVATION
- PROPOSED HIGH POINT ELEVATION
- PROPOSED LOW POINT ELEVATION
- PROPOSED GUTTER ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED FLUSH PAVEMENT ELEVATION
- MATCH EXISTING ELEVATION
- PROPOSED EMERGENCY OVERTFLOW
- PROPOSED DRAINAGE DIRECTION
- PROPOSED ADA SLOPE

- GRADING PLAN NOTES**
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF MINNETONKA, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
 - CONTRACTOR TO CALL GOPHER STATE CALL ONE @ <1-800-252-1166> AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
 - STORM SEWER PIPE SHALL BE AS FOLLOWS:
RCP PER ASTM C-76
HDPE: 6" - 10" PER AASHTO M-252
HDPE: 12" OR GREATER PER ASTM F-2306
PVC SCH. 40 PER ASTM D-3034
STORM SEWER FITTINGS SHALL BE AS FOLLOWS:
RCP PER ASTM C-76, JOINTS PER ASTM C-361, C-990, AND C-443
HDPE PER ASTM 3212
PVC PER ASTM D-3034, JOINTS PER ASTM D-3212
 - CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
 - SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
 - CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
 - GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
 - ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
 - REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING / STRUCTURE NOTATION.
 - CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
 - INSTALL A MINIMUM OF <4" CLASS 5> AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
 - UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF <4" OF TOPSOIL>.
 - ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED.
 - GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATEMENTAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
 - MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
 - CONTRACTOR TO PROVIDE 3" INSULATION BY 5" WIDE CENTERED ON STORM PIPE IF LESS THAN 4" OF COVER IN PAVEMENT AREAS AND LESS THAN 3" OF COVER IN LANDSCAPE AREAS.
 - ROOF DRAIN INVERT CONNECTIONS AT THE BUILDING SHALL BE AT ELEVATION <XXX.XX> OR LOWER UNLESS NOTED OTHERWISE. REFERENCE MEP PLANS FOR ROOF DRAIN CONNECTION.
 - ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
 - ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
 - MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
 - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM GUTTER.



PRELIMINARY - NOT FOR CONSTRUCTION

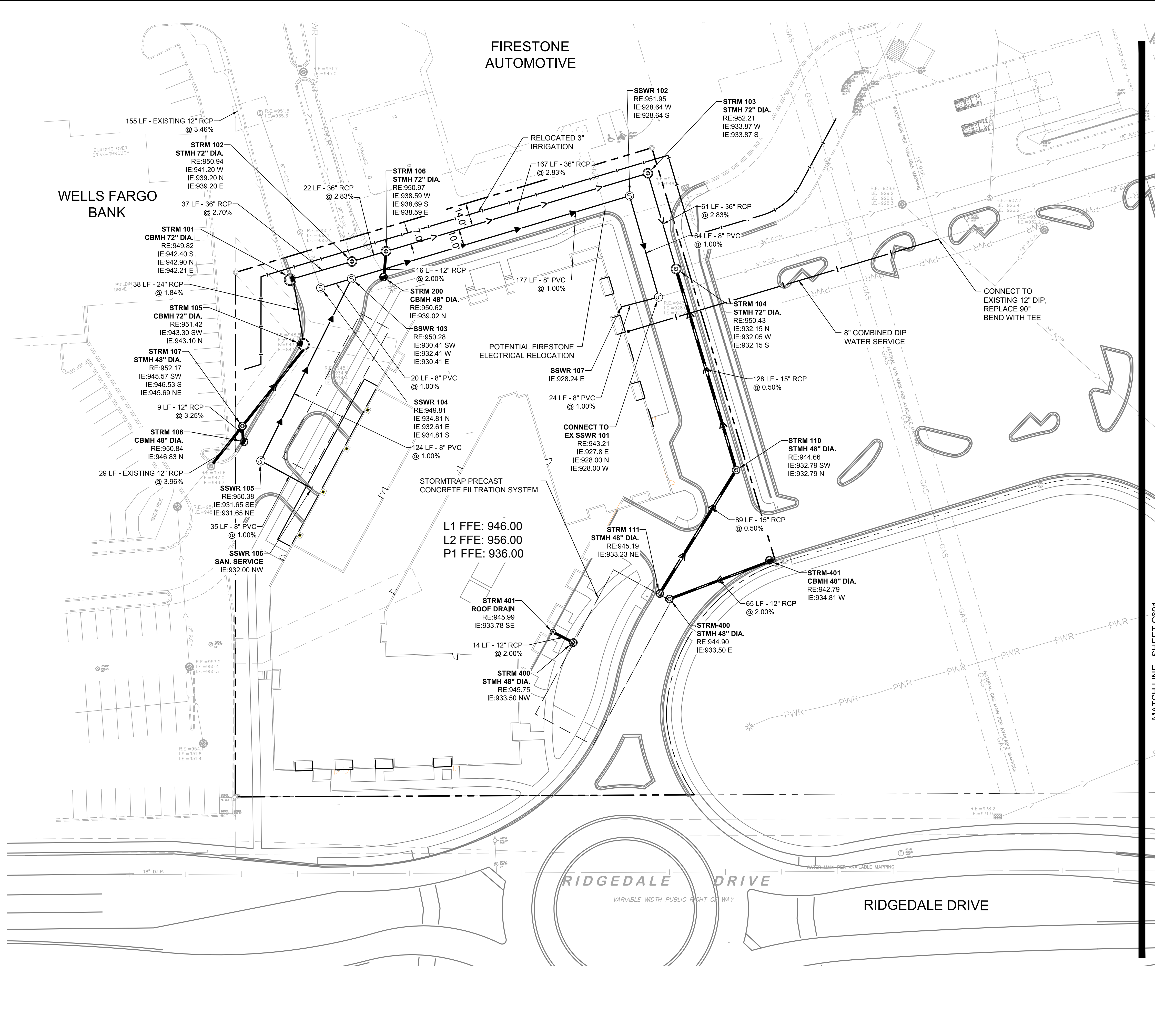
RIDGEDALE ACTIVE ADULT APARTMENTS
PREPARED FOR
TRAMMELL CROW COMPANY
MINNETONKA, MN

Kimley-Horn
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2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114
PHONE: 651-445-4197
WWW.KIMLEY-HORN.COM

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|---------------|------------|
| PROJECT NO. | 1605730022 |
| DATE | 03/09/2018 |
| SCALE | AS SHOWN |
| DESIGNED BY | JNL |
| DRAWN BY | LEC |
| CHECKED BY | JNL |
| DATE | 03/09/2018 |
| MIN. LIC. NO. | 51276 |
| REVISIONS | |
| BY | |
| DATE | |

SHEET NUMBER
C501

K:\TWC_LDEVES\ridgedale\CADD\plansheets\C6-UTILITY PLAN.dwg March 09, 2018 - 2:48pm
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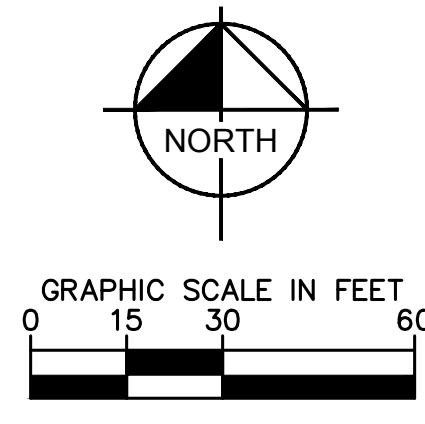


LEGEND

- PROPOSED REDUCER
- PROPOSED TEE
- PROPOSED GATE VALVE
- PROPOSED HYDRANT
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY CLEANOUT
- PROPOSED STORM MANHOLE (SOLID CASTING)
- PROPOSED STORM MANHOLE (ROUND INLET CASTING)
- PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
- PROPOSED WATERMAIN
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED TELEPHONE
- PROPOSED GAS MAIN

- ### UTILITY PLAN NOTES
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
 - SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
 8" PVC SDR35 PER ASTM D-3034, FOR PIPES LESS THAN 12' DEEP
 8" PVC SDR26 PER ASTM D-3034, FOR PIPES MORE THAN 12' DEEP
 6" PVC SCHEDULE 40 PER ASTM D-3034
 DUCTILE IRON PIPE PER AWWA C150
 - WATER LINES SHALL BE AS FOLLOWS:
 6" AND LARGER, PVC C-900 PER ASTM D 2241
 CLASS 200 UNDER COUNTY ROADS, OTHERWISE CLASS 150
 4" AND LARGER DUCTILE IRON PIPE PER AWWA C150
 SMALLER THAN 3" PIPING SHALL BE COPPER TUBE TYPE "K" PER ANSI B16.22 OR PVC, 200 P.S.I., PER ASTM D1784 AND D2241.
 - MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
 - ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL OR COBALT BLUE BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.
 - ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE).
 - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 7'-5" COVER ON ALL WATERLINES.
 - IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES, OR ANY OBSTRUCTION (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE SCH. 40 OR C900 WITH MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18" VERTICAL SEPARATION, MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
 - LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
 - TOPS OF MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS, IN GREEN AREAS, WITH WATERTIGHT LIDS.
 - ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
 - EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
 - REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
 - CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY OF MINNETONKA AND/OR STATE OF MN WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
 - CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
 - CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
 - BACKFLOW DEVICES (DDCV AND PRZ ASSEMBLIES) AND METERS ARE LOCATED IN THE INTERIOR OF THE BUILDING. REF. ARCH / MEP PLANS.
 - ALL ONSITE WATERMANS AND SANITARY SEWERS SHALL BE PRIVATELY OWNED AND MAINTAINED.
 - ALL WATERMAIN STUBOUTS SHALL BE MECHANICALLY RESTRAINED WITH REACTION BLOCKING.

MATCH LINE - SHEET C601



PRELIMINARY - NOT FOR CONSTRUCTION

RIDGEDALE ACTIVE ADULT APARTMENTS
 PREPARED FOR TRAMMELL CROW COMPANY
 MINNETONKA, MN

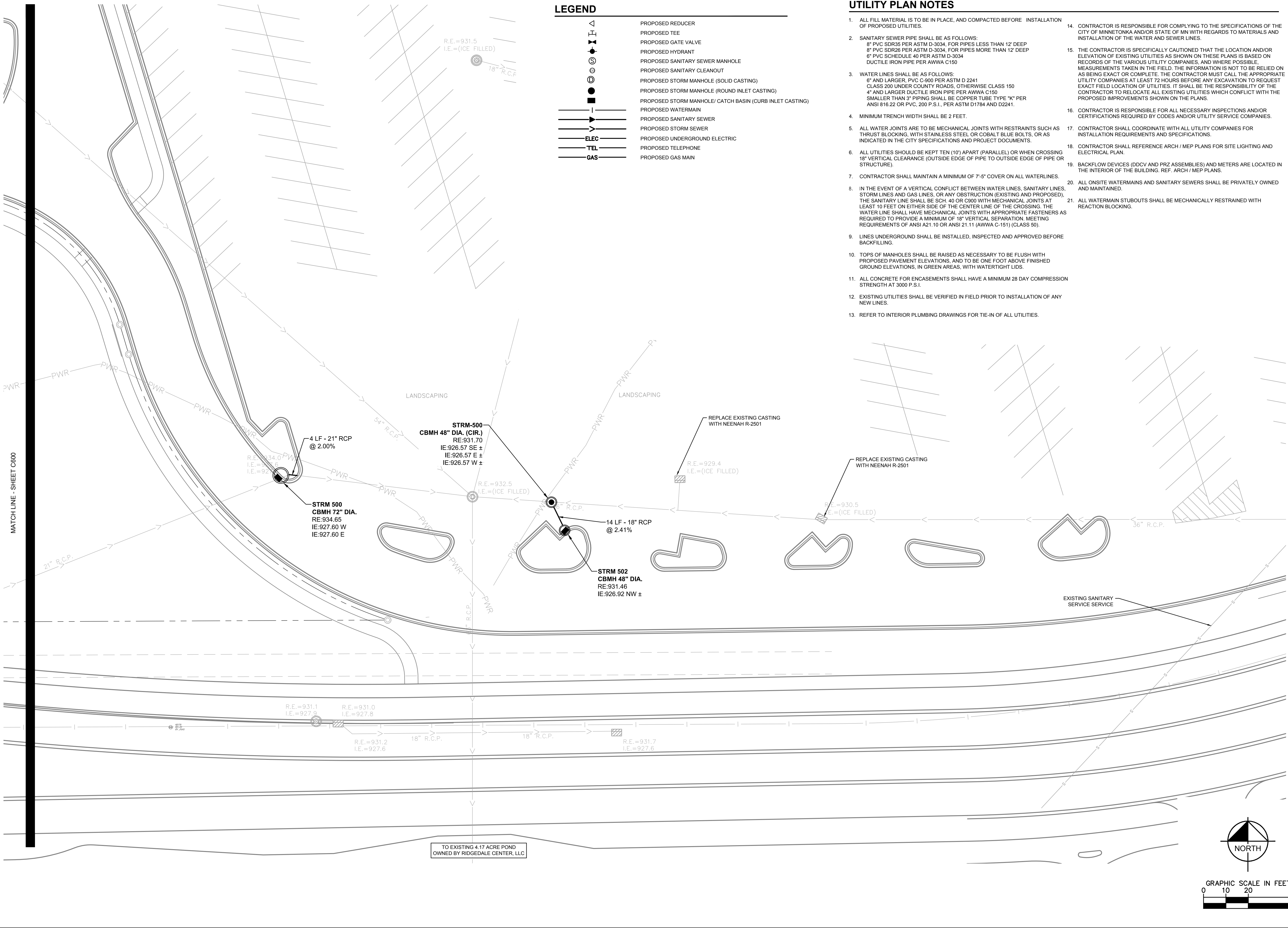
Kimley»Horn
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 2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114
 PHONE: 651-454-1177
 WWW.KIMLEY-HORN.COM

JONATHAN N. LIBBY
 MN LIC. NO. 51278
 DATE: 03/09/2018

| No. | REVISIONS | DATE | BY |
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| | | | |
| | | | |

UTILITY PLAN

SHEET NUMBER
C600



PRELIMINARY - NOT FOR CONSTRUCTION

RIDGEDALE ACTIVE
ADULT APARTMENTS
PREPARED FOR
TRAMMELL CROW
COMPANY

MINNETONKA MN

UTILITY PLAN

THESE PLANS AND SPECIFICATIONS OR REPORTS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

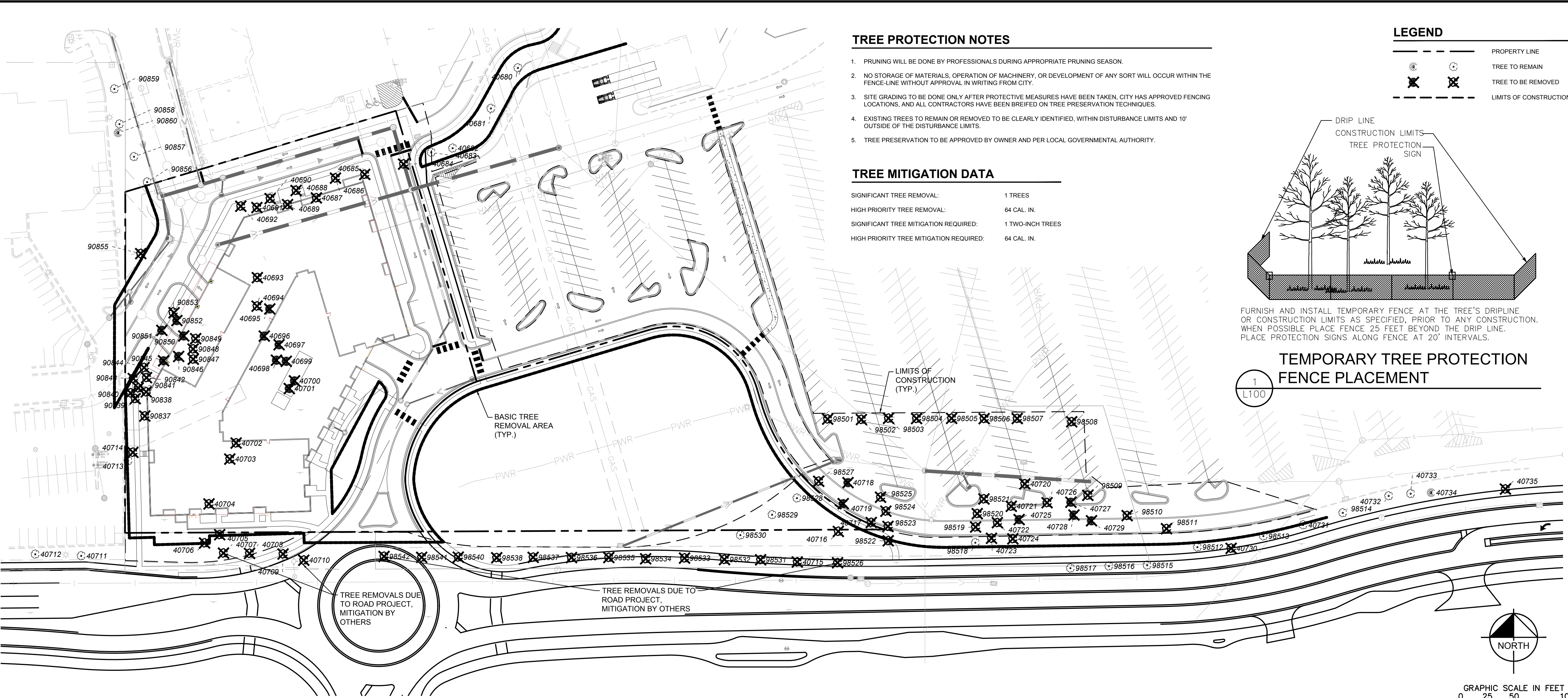
JONATHAN N. LIBBY
MINN.
LIC. NO. 51278

| | |
|-------------|------------|
| KHA PROJECT | 160573022 |
| DATE | 03/09/2018 |
| SCALE | AS SHOWN |
| DESIGNED BY | JNL |
| DRAWN BY | LEC |
| CHECKED BY | JNL |

Kimley»Horn
© 2017 KIMLEY-HORN AND ASSOCIATES, INC.
2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114
PHONE: 651-445-4197
WWW.KIMLEY-HORN.COM

| No. | REVISIONS | DATE | BY |
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TREE PROTECTION NOTES

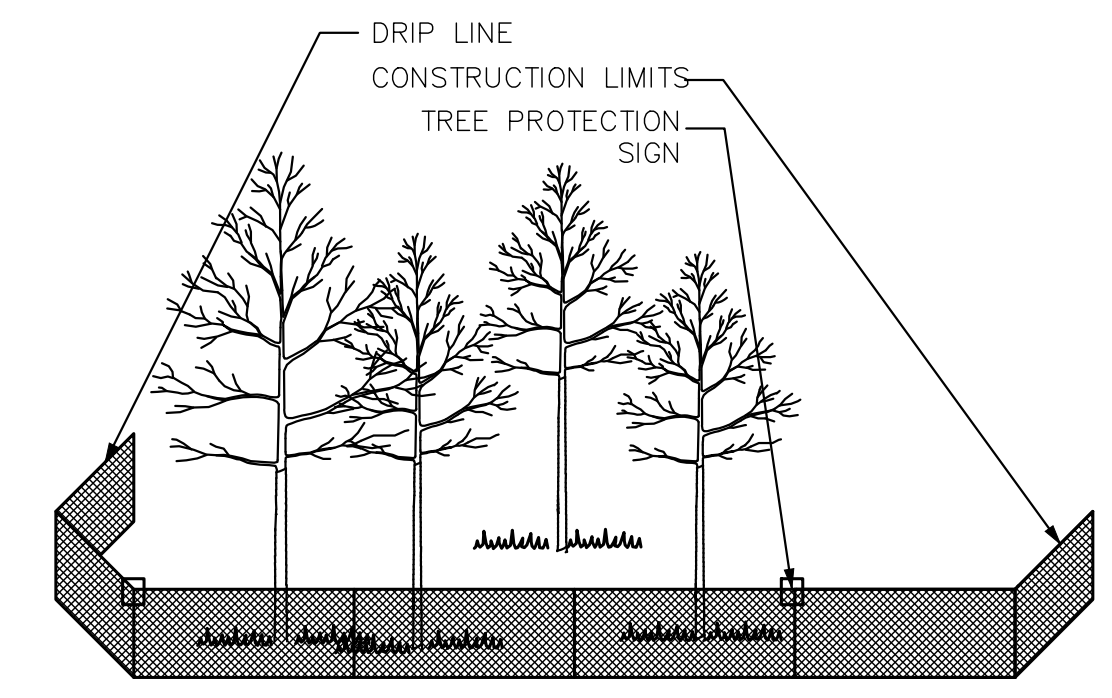
1. PRUNING WILL BE DONE BY PROFESSIONALS DURING APPROPRIATE PRUNING SEASON.
2. NO STORAGE OF MATERIALS, OPERATION OF MACHINERY, OR DEVELOPMENT OF ANY SORT WILL OCCUR WITHIN THE FENCE-LINE WITHOUT APPROVAL IN WRITING FROM CITY.
3. SITE GRADING TO BE DONE ONLY AFTER PROTECTIVE MEASURES HAVE BEEN TAKEN. CITY HAS APPROVED FENCING LOCATIONS, AND ALL CONTRACTORS HAVE BEEN BRIEFED ON TREE PRESERVATION TECHNIQUES.
4. EXISTING TREES TO REMAIN OR REMOVED TO BE CLEARLY IDENTIFIED, WITHIN DISTURBANCE LIMITS AND 10' OUTSIDE OF THE DISTURBANCE LIMITS.
5. TREE PRESERVATION TO BE APPROVED BY OWNER AND PER LOCAL GOVERNMENTAL AUTHORITY.

TREE MITIGATION DATA

| | |
|---|------------------|
| SIGNIFICANT TREE REMOVAL: | 1 TREES |
| HIGH PRIORITY TREE REMOVAL: | 64 CAL. IN. |
| SIGNIFICANT TREE MITIGATION REQUIRED: | 1 TWO-INCH TREES |
| HIGH PRIORITY TREE MITIGATION REQUIRED: | 64 CAL. IN. |

LEGEND

- PROPERTY LINE
- TREE TO REMAIN
- TREE TO BE REMOVED
- LIMITS OF CONSTRUCTION



FURNISH AND INSTALL TEMPORARY FENCE AT THE TREE'S DRIPLINE OR CONSTRUCTION LIMITS AS SPECIFIED, PRIOR TO ANY CONSTRUCTION. WHEN POSSIBLE PLACE FENCE 25 FEET BEYOND THE DRIPLINE. PLACE PROTECTION SIGNS ALONG FENCE AT 20' INTERVALS.

TEMPORARY TREE PROTECTION FENCE PLACEMENT

1
L100

| TAG # | SPECIES | CAL. IN. / HT. | MULTI-STEM | STATUS |
|-------|---------|----------------|------------|---------|
| 40680 | | 18 | | SAVED |
| 40681 | | 16 | | SAVED |
| 40682 | | 18 | | SAVED |
| 40683 | | 14 | | SAVED |
| 40684 | | 16 | | REMOVED |
| 40685 | | 18 | | REMOVED |
| 40686 | | 16 | | REMOVED |
| 40687 | | 12 | | REMOVED |
| 40688 | | 6 | | REMOVED |
| 40689 | | 6 | | REMOVED |
| 40690 | | 14 | | REMOVED |
| 40691 | | 14 | | REMOVED |
| 40692 | | 16 | | REMOVED |
| 40693 | | 16 | | REMOVED |
| 40694 | | 18 | | REMOVED |
| 40695 | | 18 / 7.5 | | REMOVED |
| 40696 | | 18 / 7.5 | | REMOVED |
| 40697 | | 18 / 7.5 | | REMOVED |
| 40698 | | 20 / 8.3 | | REMOVED |
| 40699 | | 12 / 5.0 | | REMOVED |
| 40700 | | 20 / 8.3 | | REMOVED |
| 40701 | | 18 / 7.5 | | REMOVED |
| 40702 | | 24 | | REMOVED |
| 40703 | | 18 | | REMOVED |
| 40704 | | 24 | | REMOVED |

| TAG # | SPECIES | CAL. IN. / HT. | MULTI-STEM | STATUS |
|--------|---------|----------------|------------|---------|
| M40705 | | 20 | | REMOVED |
| M40706 | | 24 | | REMOVED |
| 40711 | | 14 | | SAVED |
| 40712 | | 14 | | SAVED |
| 40713 | | 6 | | SAVED |
| 40714 | | 6 | 3 | REMOVED |
| M40716 | | 20 | | REMOVED |
| 40717 | | 18 | | REMOVED |
| 40718 | | 20 / 8.3 | | REMOVED |
| 40719 | | 16 / 6.7 | | REMOVED |
| 40720 | | 8 | 2 | REMOVED |
| 40721 | | 16 | | REMOVED |
| 40722 | | 12 | 2 | REMOVED |
| 40723 | | 20 | | REMOVED |
| 40724 | | 16 | | REMOVED |
| 40725 | | 16 / 6.7 | | REMOVED |
| 40726 | | 20 | | REMOVED |
| 40727 | | 12 / 5.0 | | REMOVED |
| 40728 | | 16 / 6.7 | | REMOVED |
| 40729 | | 16 / 6.7 | | REMOVED |
| 40731 | | 18 | | SAVED |
| 40732 | | 18 | | SAVED |
| 40733 | | 16 | | SAVED |
| 40734 | | 16 | | SAVED |
| 40735 | | 18 | | REMOVED |

| TAG # | SPECIES | CAL. IN. / HT. | MULTI-STEM | STATUS |
|--------|------------|----------------|------------|---------|
| 90837 | Crab Apple | 6 | 2 | REMOVED |
| 90838 | Crab Apple | 6 | 3 | REMOVED |
| 90839 | Crab Apple | 4 | 3 | REMOVED |
| 90840 | Crab Apple | 6 | 2 | REMOVED |
| 90841 | | 4 | 2 | REMOVED |
| 90842 | | 6 | | REMOVED |
| 90843 | | 12 | | REMOVED |
| 90844 | | 6 | 3 | REMOVED |
| 90845 | | 6 / 2.5 | 2 | REMOVED |
| 90846 | | 10 / 4.2 | | REMOVED |
| 90847 | Crab Apple | 6 | 2 | REMOVED |
| 90848 | Crab Apple | 6 | 2 | REMOVED |
| 90849 | Crab Apple | 6 | 3 | REMOVED |
| 90850 | | 8 / 3.3 | | REMOVED |
| 90851 | | 12 / 5.0 | | REMOVED |
| 90852 | | 10 / 4.2 | | REMOVED |
| 90853 | | 14 | | REMOVED |
| M90855 | | 14 | | REMOVED |
| 90856 | | 14 | | SAVED |
| 90857 | | 12 | | SAVED |
| 90858 | | 14 | | SAVED |
| 90859 | | 14 | | SAVED |
| 90860 | | 10 / 4.2 | | SAVED |
| 98501 | | 2 | | REMOVED |
| 98502 | | 2 | | REMOVED |

| TAG # | SPECIES | CAL. IN. / HT. | MULTI-STEM | STATUS |
|--------|---------|----------------|------------|---------|
| 98503 | | 2 | | REMOVED |
| 98504 | | 2 | | REMOVED |
| 98505 | | 2 | | REMOVED |
| 98506 | | 2 | | REMOVED |
| 98507 | | 2 | | REMOVED |
| 98508 | | 2 | | REMOVED |
| 98509 | | 3 | | REMOVED |
| 98510 | | 3 | | REMOVED |
| 98511 | | 3 | | REMOVED |
| 98512 | | 3 | | SAVED |
| 98513 | | 3 | | SAVED |
| 98514 | | 3 | | SAVED |
| 98515 | | 3 | | SAVED |
| 98516 | | 3 / 3.3 | | SAVED |
| 98517 | | 3 | | SAVED |
| 98518 | | 2 | | SAVED |
| 98519 | | 2 | | REMOVED |
| 98520 | | 2 | | REMOVED |
| 98521 | | 2 | | REMOVED |
| M98522 | | 2 | | REMOVED |
| 98523 | | 2 | | REMOVED |
| 98524 | | 2 | | REMOVED |
| 98525 | | 2 | | REMOVED |
| 98527 | | 2 | | REMOVED |
| 98528 | | 2 | | SAVED |

| TAG # | SPECIES | CAL. IN. / HT. | MULTI-STEM | STATUS |
|--------|---------|----------------|------------|---------|
| 98529 | | 2 | | SAVED |
| 98530 | | 2 | | SAVED |
| *40707 | | 20 | | REMOVED |
| *40708 | | 20 | | REMOVED |
| *40709 | | 20 | | REMOVED |
| *40710 | | 20 | | REMOVED |
| *40715 | | 12 | | REMOVED |
| *40730 | | 6 | | REMOVED |
| *98526 | | 2 | | REMOVED |
| *98531 | | 2 | | REMOVED |
| *98532 | | 2 | | REMOVED |
| *98533 | | 2 | | REMOVED |
| *98534 | | 2 | | REMOVED |
| *98535 | | 2 | | REMOVED |
| *98536 | | 2 | | REMOVED |
| *98537 | | 2 | | REMOVED |
| *98538 | | 2 | | REMOVED |
| *98540 | | 2 | | REMOVED |
| *98541 | | 2 | | REMOVED |
| *98542 | | 2 | | REMOVED |

NOTE:
* DENOTES TREE REMOVALS DUE TO ROAD PROJECT, MITIGATION BY OTHERS.
M - DENOTES MITIGATION REQUIRED, OUTSIDE BASIC TREE REMOVAL AREA

PRELIMINARY - NOT FOR CONSTRUCTION

RIDGEDALE ACTIVE ADULT APARTMENTS
 PREPARED FOR
TRAMMELL CROW COMPANY
 MINNETONKA, MN

KHA PROJECT: 160573022
 DATE: 03/09/2018
 SCALE: AS SHOWN
 DESIGNED BY: RAH
 DRAWN BY: RAH
 CHECKED BY: RAH

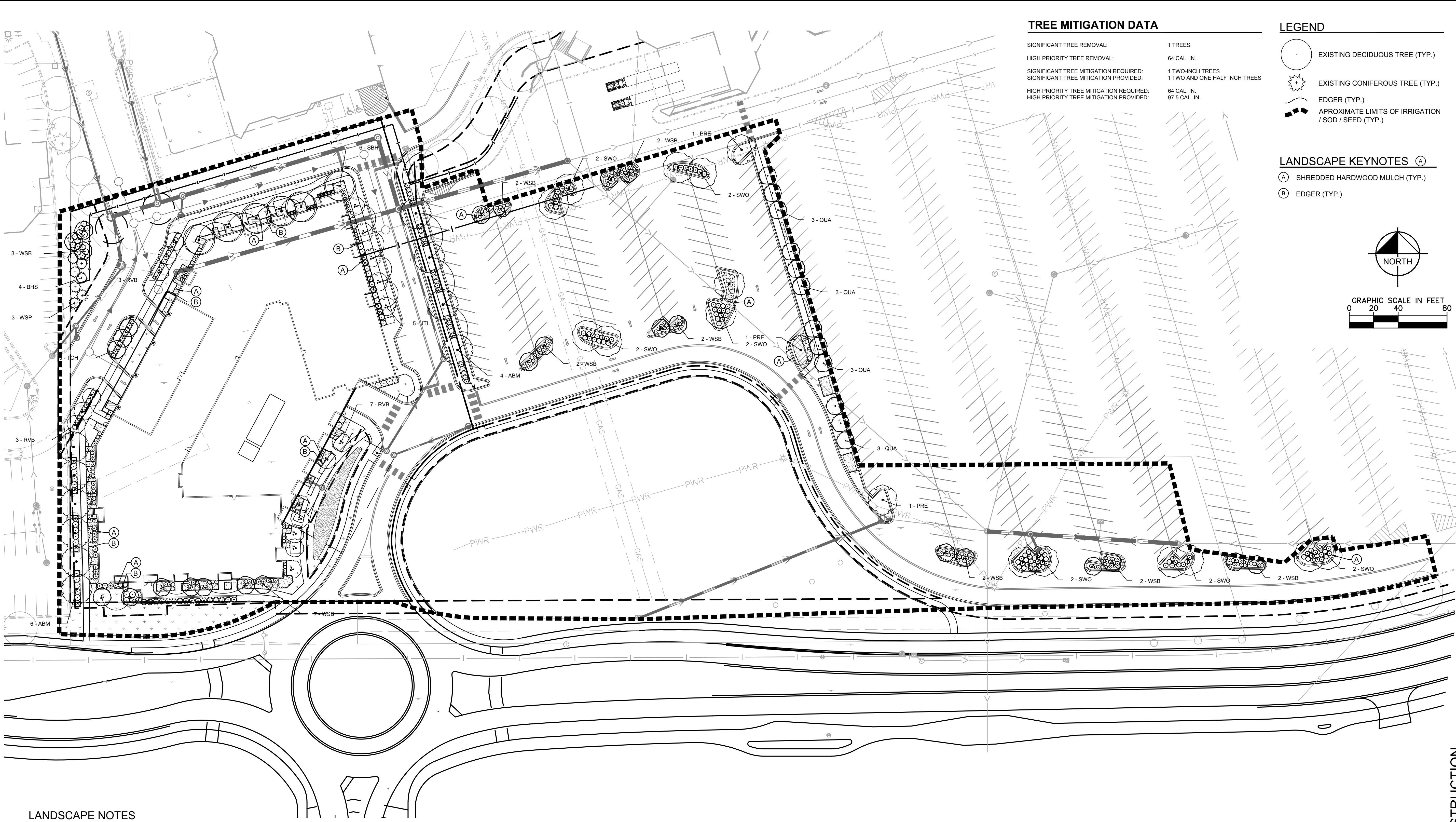
THIS REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 RYAN A. HYLLESTED, P.E.
 MN LIC. NO. 53828
 DATE: 03/09/2018

Kimley Horn
 2017 KIMLEY-HORN AND ASSOCIATES, INC.
 2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114
 PHONE: 651-445-4197
 WWW.KIMLEY-HORN.COM

| No. | REVISIONS | DATE | BY |
|-----|-----------|------|----|
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SHEET NUMBER
L100

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TREE MITIGATION DATA

| | |
|---|-------------------------------|
| SIGNIFICANT TREE REMOVAL: | 1 TREES |
| HIGH PRIORITY TREE REMOVAL: | 64 CAL. IN. |
| SIGNIFICANT TREE MITIGATION REQUIRED: | 1 TWO-INCH TREES |
| SIGNIFICANT TREE MITIGATION PROVIDED: | 1 TWO AND ONE HALF INCH TREES |
| HIGH PRIORITY TREE MITIGATION REQUIRED: | 64 CAL. IN. |
| HIGH PRIORITY TREE MITIGATION PROVIDED: | 97.5 CAL. IN. |

LEGEND

- EXISTING DECIDUOUS TREE (TYP.)
- EXISTING CONIFEROUS TREE (TYP.)
- EDGER (TYP.)
- APPROXIMATE LIMITS OF IRRIGATION / SOD / SEED (TYP.)

LANDSCAPE KEYNOTES

- (A) SHREDDED HARDWOOD MULCH (TYP.)
- (B) EDGER (TYP.)

LANDSCAPE NOTES

1. CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL 811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
2. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
5. CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
6. ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
ALL PLANTS SHALL BE FREE FROM NOTICEABLE SAPS, HOLES, OR DEFORMITIES.
ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.
CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
7. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
8. PLANTS TO BE INSTALLED AS PER MNLA & ANSI STANDARD PLANTING PRACTICES.
9. PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
10. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
11. OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
12. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
13. WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
14. STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
15. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
16. BACKFILL SOIL AND TOPSOIL TO ADHERE TO MNDOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
17. MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF SHREDDED HARDWOOD MULCH. SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND COLORED RED, OR APPROVED EQUAL. ROCK MULCH TO BE BUFF LIMESTONE, 1 1/2" TO 3" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPAR, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
18. EDGING TO BE COMMERCIAL GRADE VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING OR SPADED EDGE, AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE, FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
19. ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. PARKING LOT ISLANDS TO BE SODDED WITH SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MNDOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
20. PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
21. CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
22. REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
23. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.

PRELIMINARY - NOT FOR CONSTRUCTION

RIDGEDALE ACTIVE ADULT APARTMENTS
PREPARED FOR
TRAMMELL CROW COMPANY
MINNETONKA, MN

LANDSCAPE PLAN

| | |
|-------------|------------|
| KHA PROJECT | 160573022 |
| DATE | 03/09/2018 |
| SCALE | AS SHOWN |
| DESIGNED BY | RAH |
| DRAWN BY | RAH |
| CHECKED BY | RAH |

THESE CONCEPTS AND DESIGN PRESENTATIONS ARE PRELIMINARY AND NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

Kimley-Horn
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| No. | REVISIONS | DATE | BY |
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K:\TWC_LDEVESG\hedge\cadd\plansheets\1-LANDSCAPE DETAILS.dwg March 09, 2018 - 2:57pm

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Table with 7 columns: PLANT SCHEDULE RESIDENTIAL LOT, CONIFEROUS TREES, ORNAMENTAL TREES, OVERSTORY TREES, CONIFEROUS SHRUBS, DECIDUOUS SHRUBS, PERENNIALS, SOD/SEED. Each row includes botanical and common names, quantities, and spacing details.

CONCEPT PLANT SCHEDULE

SAVANNA GRASS MIX SEEDING RATE: BROADCAST: 3 LBS./ 10,000 SQ. FT. DRILL: 8-10 LBS./ACRE ASCLEPIAS SYRIACA / COMMON MILKWEED 1,088 SF

Table with 7 columns: PLANT SCHEDULE PARKING LOT, ORNAMENTAL TREES, OVERSTORY TREES, CONIFEROUS SHRUBS, DECIDUOUS SHRUBS, PERENNIALS, SOD/SEED. Each row includes botanical and common names, quantities, and spacing details.

PRELIMINARY - NOT FOR CONSTRUCTION

RIDGEDALE ACTIVE ADULT APARTMENTS PREPARED FOR TRAMMELL CROW COMPANY MINNETONKA MN

SHEET NUMBER L102

KHA PROJECT 160573022 DATE 03/09/2018 SCALE AS SHOWN DESIGNED BY RAH DRAWN BY RAH CHECKED BY RAH

LANDSCAPE SCHEDULES

THIS REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

RYAN A. HYLLESTED, P.E. DATE: 03/09/2018 LIC. NO. 53828 MN

Kimley-Horn & Associates, Inc.

2017 KIMLEY-HORN AND ASSOCIATES, INC. 2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114 PHONE: 651-445-4197 WWW.KIMLEY-HORN.COM

Table with 2 columns: No., REVISIONS. Includes a grid for tracking changes.

RIDGEDALE CENTER TENTH ADDITION

R.T. DOC. NO. _____

KNOW ALL PERONS BY THESE PRESENTS: That J.C. Penny Properties, Inc., a Delaware corporation, and Ridgedale Center, LLC, a Delaware limited liability company, fee owners of the following described property situated in the County of Hennepin, State of Minnesota to wit:

Lot 1, Block 1, RIDGEDALE CENTER EIGHTH ADDITION

Tract A except that part embraced within Lot 2, Block 1, Ridgedale Center Seventh Addition

Have caused the same to be surveyed and platted as RIDGEDALE CENTER TENTH ADDITION and do hereby donate and dedicate to the public for public use forever the roads, streets, lanes, walkways, parks and the easements for drainage and utility purposes as shown on this plat.

In witness whereof said J.C. Penny Properties, Inc., a Delaware corporation, has caused these presents to be signed by its proper officer this _____ day of _____, 201__.

J.C. Penny Properties, Inc.

by _____
XXXXXXXXXXXXXXXXXXXX

STATE OF _____
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____, 201__, by XXXXX XXXXX, president of J.C. Penny Properties, Inc., a Delaware corporation, on behalf of the corporation.

Notary Public, _____ County, _____
My Commission Expires _____

And in witness whereof said Ridgedale Center, LLC, a Delaware limited liability company has caused these presents to be signed by its proper officer this _____ day of _____, 201__.

Ridgedale Center LLC

by _____
XXXXXXXXXXXXXXXXXXXX

STATE OF _____
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____, 201__, by XXXXX XXXXX, president of Ridgedale Properties LLC, a Delaware limited liability company, on behalf of the company.

Notary Public, _____ County, _____
My Commission Expires _____

I, Christopher A. Terwedo do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on the plat have been or will be correctly set within one year as indicated on the plat; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on the plat; that all public ways are shown and labeled on the plat.

Dated this _____ day of _____, 201__.

Christopher A. Terwedo, Licensed Land Surveyor
Minnesota License No. 53536

STATE OF MINNESOTA
COUNTY OF HENNEPIN

This instrument was acknowledged before me this _____ day of _____, 201__, by Christopher A. Terwedo, a Licensed Land Surveyor.

Notary Public, _____ County, _____
My Commission Expires January 31, 20__

MINNETONKA, MINNESOTA

This plat of RIDGEDALE CENTER TENTH ADDITION was approved and accepted by the City Council of Minnetonka, Minnesota, at a regular meeting thereof held this _____ day of _____, 201__. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the City or the prescribed 30 day period has elapsed without receipt of such comments and recommendations, as provided by Minn. Statutes, Section 505.03, Subd. 2.

CITY COUNCIL OF MINNETONKA, MINNESOTA

By _____ Clerk
Mayor

RESIDENT AND REAL ESTATE SERVICES
Hennepin County, Minnesota

I hereby certify that taxes payable in 201__ and prior years have been paid for land described on this plat.
Dated this _____ day of _____, 201__.

Mark V. Chaplin, County Auditor by _____ Deputy

SURVEY DIVISION
Hennepin County, Minnesota

Pursuant to MINN. STAT. Sec. 383B.565 (1969), this plat has been approved this _____ day of _____, 201__.

Chris F. Mavis, County Surveyor by _____

REGISTRAR OF TITLES, Hennepin County, Minnesota

I hereby certify that the within RIDGEDALE CENTER TENTH ADDITION was filed in this office this _____ day of _____, 201__, at o'clock__m.

Martin McCormick, Registrar of Titles by _____ Deputy

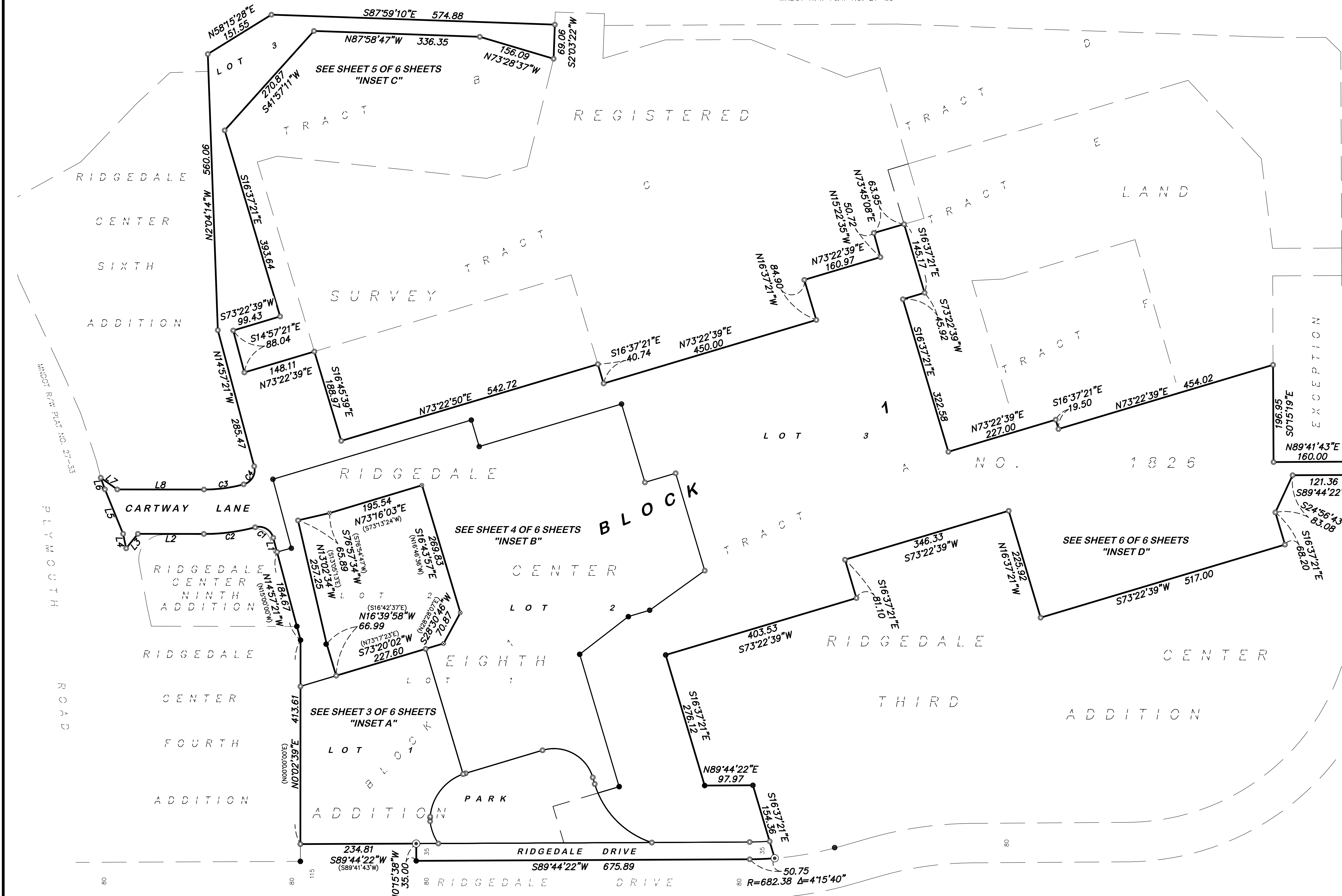
RIDGEDALE CENTER TENTH ADDITION

R.T. DOC. NO. _____

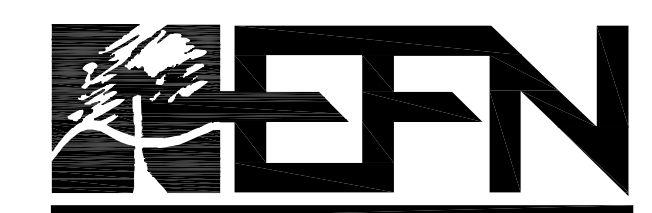
INTERSTATE HIGHWAY NO. 394
MNDOT R/W PLAT NO. 27-35

| Curve Table | | | |
|--------------|--------|--------|-----------|
| Curve Number | Length | Radius | Delta |
| C1 | 47.12 | 30.00 | 90°00'00" |
| C2 | 105.08 | 400.00 | 15°03'08" |
| C3 | 81.44 | 310.00 | 15°03'08" |
| C4 | 47.12 | 30.00 | 90°00'00" |

| Line Table | | |
|-------------|--------|-------------|
| Line Number | Length | Direction |
| L1 | 29.86 | N14°49'57"W |
| L2 | 133.77 | N89°54'13"W |
| L3 | 37.73 | S39°03'44"W |
| L4 | 30.00 | N11°58'14"W |
| L5 | 97.27 | N22°11'18"W |
| L6 | 25.00 | N19°45'14"W |
| L7 | 40.92 | S54°49'50"E |
| L8 | 175.65 | S89°54'13"E |



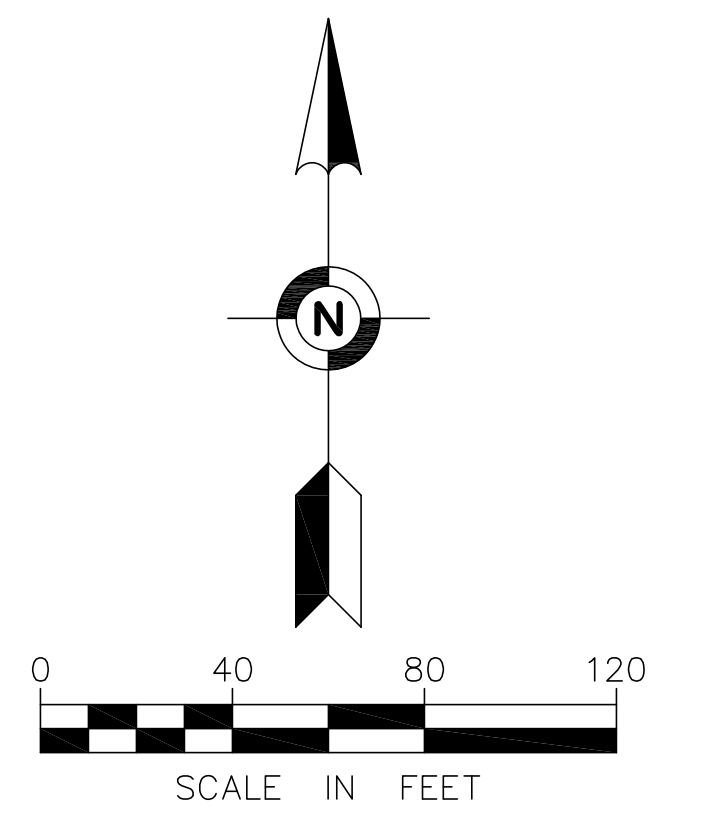
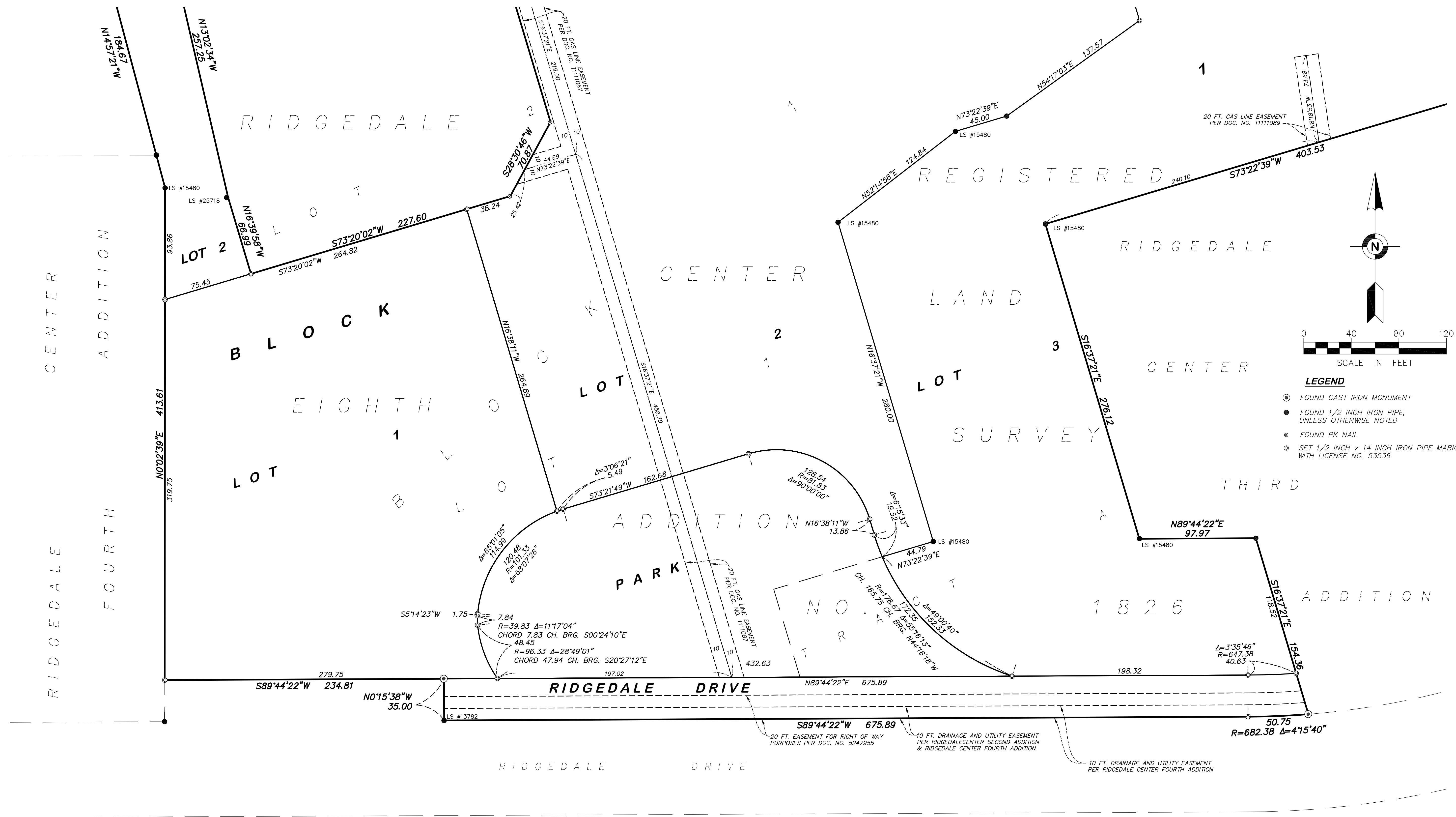
- LEGEND**
- FOUND CAST IRON MONUMENT
 - FOUND 1/2 INCH IRON PIPE, UNLESS OTHERWISE NOTED
 - ⊙ FOUND PK NAIL
 - ⊙ SET 1/2 INCH x 14 INCH IRON PIPE MARKED WITH LICENSE NO. 53536



(N00°00'00"E) BEARING PER RIDGEDALE EIGHTH ADDITION

RIDGEDALE CENTER TENTH ADDITION

R.T. DOC. NO. _____



- LEGEND**
- ⊙ FOUND CAST IRON MONUMENT
 - FOUND 1/2 INCH IRON PIPE, UNLESS OTHERWISE NOTED
 - ⊙ FOUND PK NAIL
 - ⊙ SET 1/2 INCH x 14 INCH IRON PIPE MARKED WITH LICENSE NO. 53536

"INSET A"

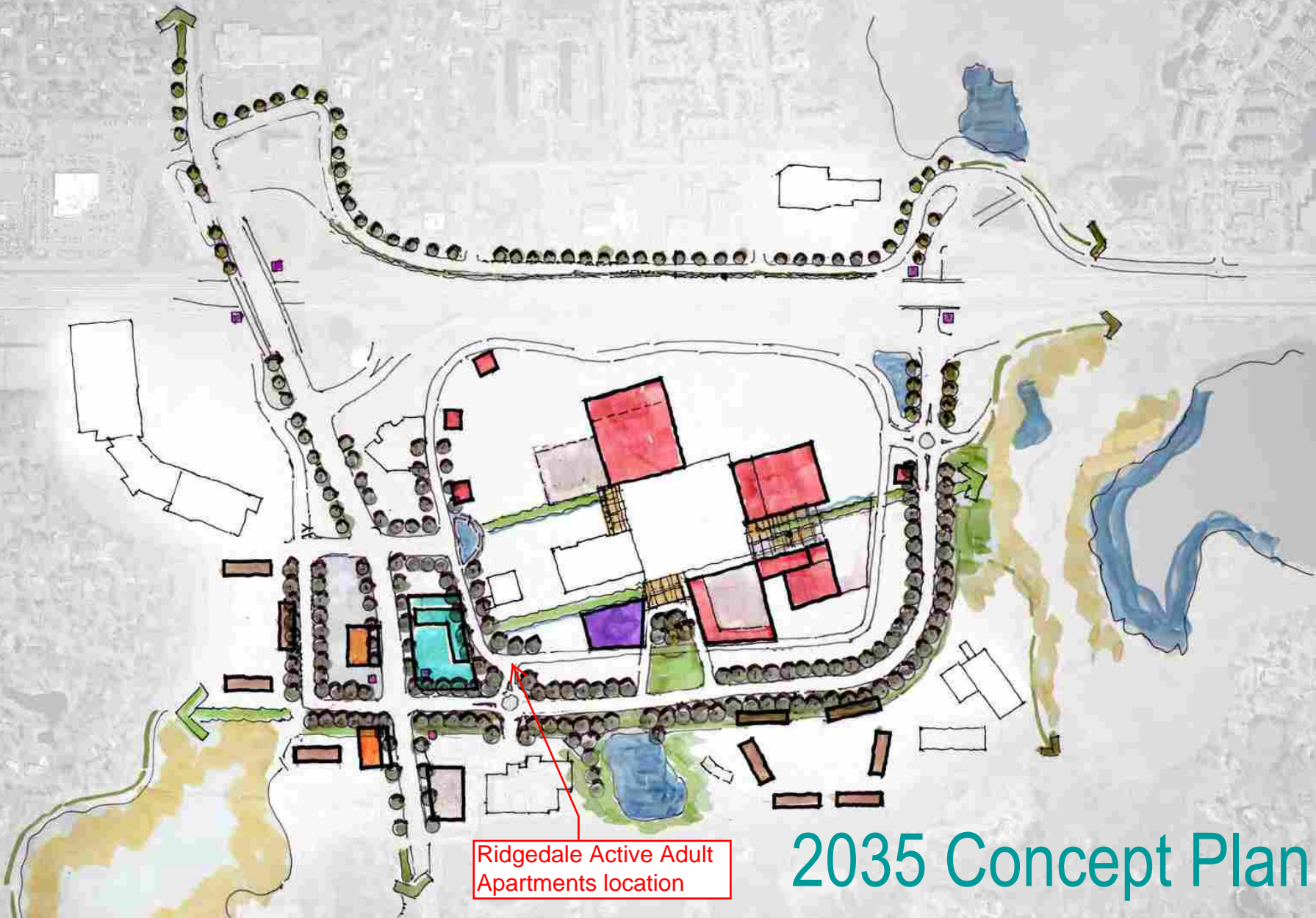


Ridgedale: A Vision for 2035

City of Minnetonka

September 2012

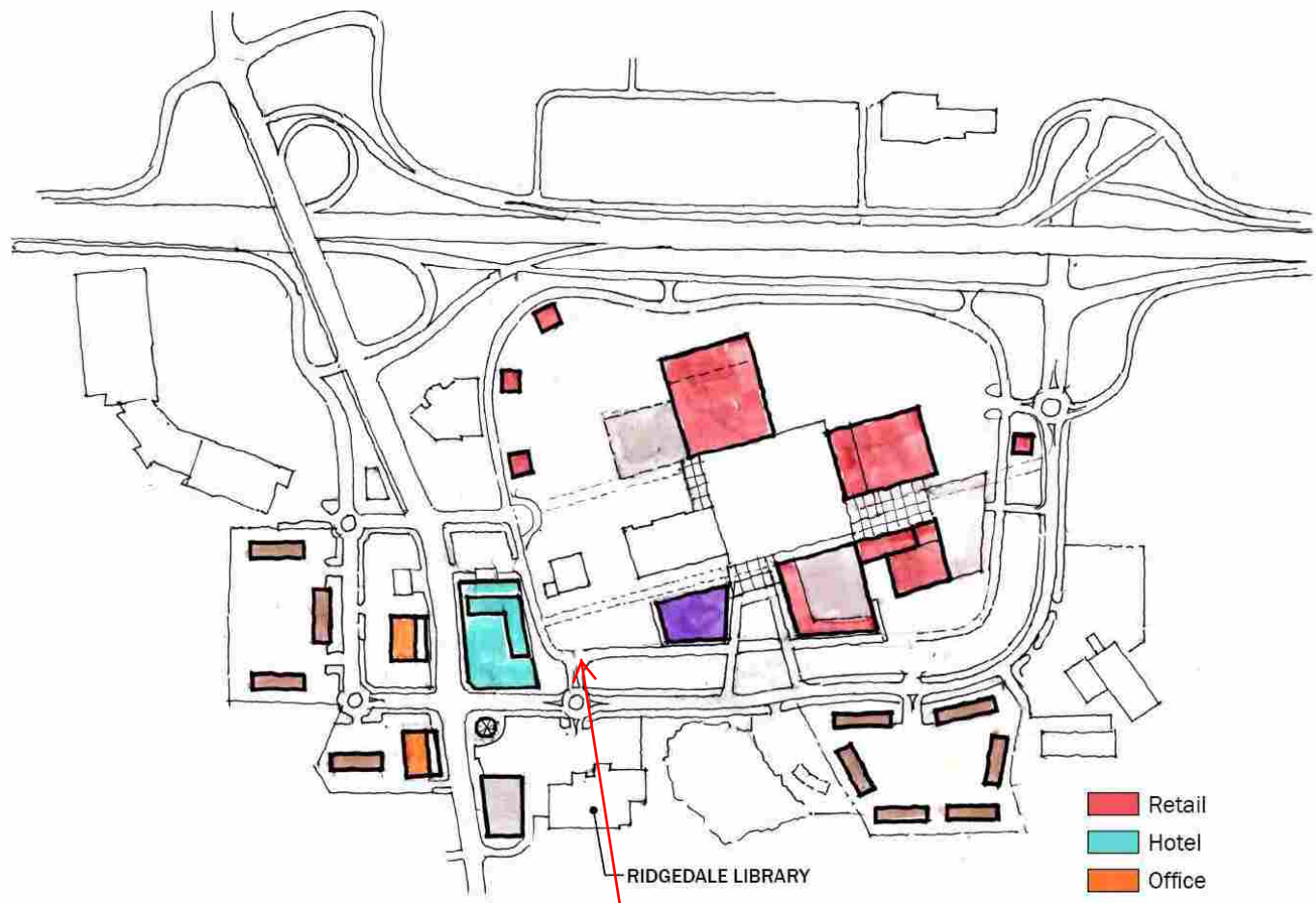




Ridgedale Active Adult
Apartments location

2035 Concept Plan

2035 Concept Plan: Potential New Development

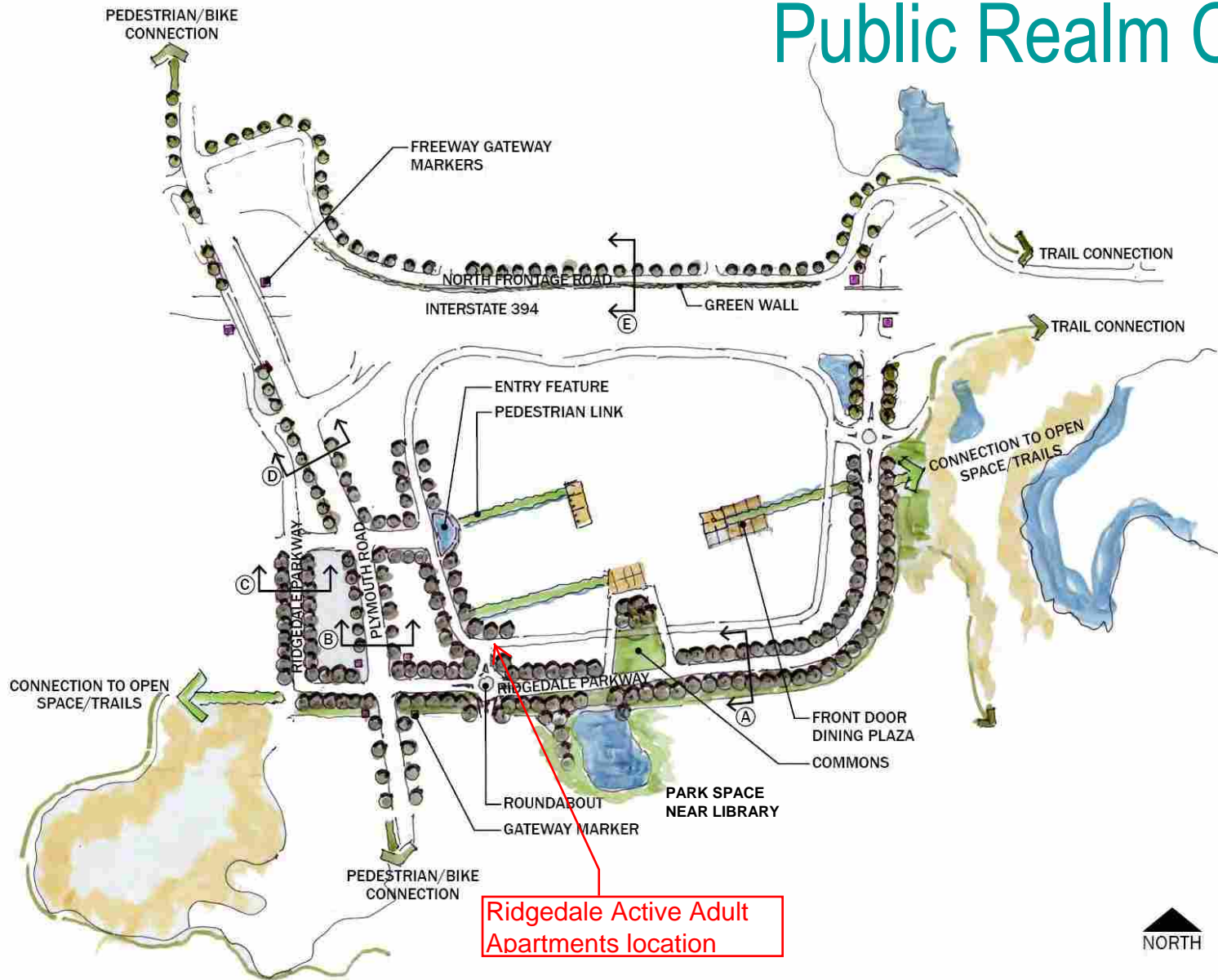


Ridgedale Active Adult Apartments location

- Retail
- Hotel
- Office
- Residential
- Community
- Parking Structure



Public Realm Concept



Chair Kirk noted that existing parking problems for surrounding uses should not prevent a new use from being approved. The conditional use permit would require a parking agreement for additional parking stalls.

Chair Kirk asked for comments on the appropriateness of the use at the proposed location. Sewall felt that the use and location would be reasonable.

Schack stated that the success of Gold Nugget is a testament to the need for a restaurant of this type in the area. She did not think that the addition of the proposal would even meet that demand. The site is currently vacant. The proposal would be a definite improvement. The patio would be shielded by the building. It would not create a nuisance issue. She is comfortable with the use.

Powers stated that the positives would outweigh the possible negatives. Everyone would benefit. He supports the proposal.

O'Connell felt that the use would be reasonable for the site. It would look better than what is currently there.

Sewall commended the applicant for vetting the parking options before the meeting.

Powers liked the owner's presentation. He thought it was smart of the owners to look for parking alternatives.

Knight liked the use. He lives two blocks north and would walk to the restaurant, even in the winter. He looked forward to a new restaurant in the area.

Schack noted that Station Pizza is located in her back yard. When its application was reviewed, there was a lot of concern expressed by neighbors regarding parking and traffic. She has not experienced any trouble with parking. It has not been an issue. The whole neighborhood walks there in the winter as well.

Knight moved, second by Powers, to recommend that the city council adopt the resolution approving a conditional use permit with variances and an expansion permit for a restaurant with outdoor seating area at 5445 Eden Prairie Road.

Powers, Schack, Sewall, Knight, O'Connell, and Kirk voted yes. Motion carried.

Chair Kirk stated that this item is tentatively scheduled to be reviewed by the city council on Feb. 26, 2018.

9. Other Business

- A. Concept plan review for Ridgedale Active Adult Apartments at 12421 Wayzata Blvd.**

Chair Kirk introduced the proposal and called for the staff report.

Gordon reported. Staff recommends that the planning commissioners provide comments and feedback on the identified key issues and others the commissioners deem appropriate. The discussion is intended to assist the applicant with future direction that may lead to the preparation of more detailed development plans.

Schack asked if residents provided positive feedback at the neighborhood meeting. Gordon answered in the affirmative. Those present liked the residential density located closer to the mall rather than at the edges.

Sewall asked if JCPenney would subdivide the site. Gordon answered that the intent would be for the applicant to purchase the land from JCPenney. A plat would be part of a formal application review process.

Chair Kirk noted that the proposed park would be an amenity for the public. Gordon agreed.

Chair Kirk drives Ridgedale Drive every day. He supports adding controlled-turn lanes rather than the current uncontrolled-turn lanes.

Johnny Carlson, of Trammell Crow, applicant, introduced himself and Lukas Van Sistine, architect for the project. Mr. Carlson said that:

- Gordon has done a great job reviewing the design.
- Trammel Crow is the nation's most active developer. He primarily focuses on multi-family housing. He has a lot of experience in the Midwest. He is a native of Minnetonka.
- Each project is designed to fit in the community.
- He reviewed some of Trammel Crow's developments including The Island Residences at Carlson Center.
- The development would be geared to active seniors with an age restriction of 55 years and older. Housekeeping, transportation, and meals may be paid for separately. There would be a full-time activities director.
- The units would be more expensive than market-rate apartments, but less than independent living. Rent for a one-bedroom unit would be about \$2,200.
- Residents who require more care would move off site.

Mr. Van Sistine stated that:

- He is excited about the project because there is a lot of parking space around the mall.

- He reviewed the floor plans. Levels one and two would walkout at grade. The building would appear to be six stories on the low side and five stories on the high side.
- There would be a sidewalk all around the building.
- The enclosed parking would be buried into the grade.
- There would be space for residents to form a community within the building.
- The renderings are conceptual. The neighboring office buildings would be taken into consideration. A more contemporary building would be appropriate. Something similar to the Nordstrom building with striated precast and different textures is being considered. The base would be brick.

Mr. Carlson explained the traffic pattern.

Powers asked why the height would be limited to six stories. Mr. Carlson said that the feasibility to fund operation of the site was considered along with the height of the surrounding buildings. All of the active-adult buildings developed by Trammell Crow have been six-stories tall.

Schack asked if there is a conversion plan for when senior housing is no longer in such demand. Mr. Carlson answered that the use would not provide senior care, but would fit a niche for active adults. The residents would be able to walk to the library, mall, and restaurants. The census data supports a strong demand for this type of use for a long time.

Wischnack noted that out of 24,000 households in Minnetonka, 13,000 are single-family units and 7,000 are in multi-unit structures. The number of households that are multi-family in Minnetonka equal nearly 30 percent.

Mr. Carlson explained that the smallest unit would be 566 square feet. That would be made as affordable as possible with rent around \$2,000. There would be small, medium, and large sizes of one-bedroom units and small, medium, and large sizes of two-bedroom units.

In response to Chair Kirk's question, Mr. Carlson stated that the guest parking would be self-contained. There would be a few stalls near the drop-off area. There would be 168 units, with approximately 160 occupied at the same time. The units typically have 1.1 number of vehicles per unit which would equal 176 stalls. The proposal includes 216 parking stalls, which would leave 40 stalls for staff and visitors.

Knight liked the view of the patio area around the pool. He asked if there would be community space on the roof. Mr. Carlson said that the amenities work best when they are all located in the same area. Most of the units would have a balcony.

Chair Kirk invited those present to provide input.

Tristan Lundblad, 1801 Welland Avenue, stated that he is in favor of the project. He wanted to make sure that the building standards would be maintained. He looked forward to working with Trammell Crow to make sure that the labor force would be union members. He wants the building to be standing and viable in 35 years. He thanked commissioners for volunteering their time and being active in the community.

Tom Tart, 1807 Timberline Trail, thanked staff for their time. He asked what type of framing would be used.

Chair Kirk thanked those who spoke.

Mr. Van Sistine explained that the framing would be wood, traditional framing for a building this size. The podium level would use precast floors.

Sewall stated that the more he thought about it, the more it made sense to him to locate multi-family housing near Ridgedale. The proposal would support Ridgedale Shopping Center. He liked locating the housing on the south end. He liked the green area and park. The proposal would be an asset to the mall and surrounding area. The mass would be appropriate inside the ring surrounding the mall. He suggested that a separate dog run/space be included.

Schack agreed with Sewall. She liked the location of the density inside the ring. She recommended that the building be constructed to provide the possibility of being converted to provide housing with no age restriction. She would like to see some continuity around the mall to provide walkability and tie it all together.

Powers likes adding high density in the Ridgedale area. There is a limited amount of space to go vertical. This is the place to do it. He would like the proposed building to be taller. There is a huge demand. The space is precious. He would be opposed to decreasing the height. Anything that gets seniors out of single-family houses would benefit Minnetonka. He liked the proposal.

Knight concurred. He liked the idea of building inside the mall's ring. The parking lots are huge. He asked where snow would be piled. He liked the proposal. He could envision himself living there. The restructuring of the drive aisles on Ridgedale Drive may block off the loading dock to JCPenneys. He was a little concerned with the tight turns for a large truck. The park is a good idea.

Gordon noted that if a round-about would be used, it would be designed correctly.

Chair Kirk noted that snow could be hauled away. Apartments now surround Southdale Center. This proposal would be more attractive than those apartments. He thought there might be a better way to decrease the appearance of the mass created by the horseshoe shape. He liked the proposed landscaping. The exterior white looks urban and hip, but he recommended breaking up the appearance of the exterior mass.

Chair Kirk stated that this item is tentatively scheduled to be reviewed by the city council on Feb. 5, 2018.

10. Adjournment

Sewall moved, second by Knight, to adjourn the meeting at 9:16 p.m. Motion carried unanimously.

By: _____
Lois T. Mason
Planning Secretary

spend those funds effectively. Wischnack said occasionally the city will receive funds back like in a situation where the estimated award is higher than the actual award. Currently the city had money to spend that would be awarded on a first come, first serve basis.

Wiersum said the staff report included a lot of information about the city administering the program internally versus transitioning to have Hennepin County do so. He asked if the administrative fees had increased or remained the same. Wischnack said the fees had increased. City staff had struggled with keeping up with all the compliance requirements. If the city had kept the administrative duties, it was likely more staff time would have been needed for that purpose.

Bergstedt said things had been streamlined by having the county administer the program rather than requiring individual cities do a request for proposal. Wiersum agreed.

Wiersum opened the public hearing at 7:32 p.m. No one spoke. He closed the public hearing at 7:32 p.m.

Acomb moved, Ellingson seconded a motion to adopt resolution 2018-010 approving the proposed allocation for 2018 Urban Hennepin County Community Development (CDBG) program funds; authorize the negotiation and execution of a sub-recipient agreement with Urban Hennepin County and any third party agreements; and approve funding for HOME line in the amount of \$5,200 from the Development Account for 2018. All voted "yes." Motion carried.

14. Other Business:

A. Concept plan review for Ridgedale Active Adult Apartments at 12421 Wayzata Blvd.

Gordon gave the staff report.

Acomb asked for more information about the housing study and what it showed about housing in the city for people over the age of 55. Gordon said there were a couple of groups in the senior market. One group included housing without services for active adults. Acomb noted the study showed the city was about 200 units short for active adults. Wischnack said the study showed the city was short 659 units for all seniors.

Johnny Carlson with Trammell Crow showed photos of other projects the company had done. He presented details about the type of housing and how it differed from other types of senior housing. The project architect, Lukas Van Sistine, from ESG Architects, presented information about the design.

Bergstedt said one of the first questions asked at the planning commission meeting was how the six story building was arrived at. Carlson said the key thing was looking at how tall the other buildings in the area were. This was a Carlisle

prototype being built in other parts of the country and was used to determine the right unit count. The site also was looked at to determine what was appropriate. Another factor was keeping the rents as low as possible.

Calvert said she watched the planning commission review and took to heart some of the questions that were asked. She asked if a rooftop amenity was being looked at. Carlson said if a market rate apartment building was being looked at rather than age restricted housing, a sky deck would be included. The goal in this case was to get all the amenities in one spot to create daily interaction between the residents. Creating a rooftop amenity with the others on the ground would bifurcate the space. He said a rooftop amenity would still be looked at as the plan moves forward.

Calvert said looking at where vehicles pull into the parking lot from the roundabout, there was an immediate turn into the parking area. She said she had some concern with this. Gordon said staff would like to study the intersection further. Calvert said she was really excited about the additional green space. She liked how Sistine had explained the inspiration for the exterior of the building. It was a lot of mass with a very smooth surface. It differed from a retail space. There was a visual breakup that broke up the mass.

Acomb asked if there was consideration for affordable units within the project. Carlson said affordable units had been incorporated in other Trammell Crow market rate buildings. He said this was a different rent check considering the different things residents would be paying for. Financially it would be difficult to include affordable units. Acomb said looking at other active adult projects like one in Edina, affordable units were included. Carlson said Edina had an ordinance requiring affordable units. He said while Minnetonka did not have a similar ordinance, the goal for this plan was to drive the rents as low as possible. Wischnack clarified Edina has a housing policy and not an ordinance requiring affordable units. Minnetonka has a housing resolution with similar language.

Calvert noted there was a demographic bubble throughout the country. The type of resident living in this building would be different in 10, 20 or 30 years. She asked if there had been any consideration given to the need for more parking and some of the other things that would change in 30 years when a younger demographic occupied the building. Carlson said this was being viewed as a building that could be converted to independent living in the future. The amenity space was more geared toward this than for a younger demographic.

Ellingson said it was an interesting concept. He noted currently this part of the parking lot often had few cars parked in it. He questioned if the mall needed the parking. Carlson said he was working with all the retailers, the anchors and General Growth. The current parking ratio was being looked at as well as where it was headed in the future. The least parking demand was in the southwest corner. He indicated the mall owners and the tenants supported the project.

Calvert asked Carlson if any of his projects had a sustainable building component including LEED certification. Carlson said Trammel Crow would

consider incorporating sustainability for this project. The certification typically is part of the design process. The goal in this case would be to deliver a sustainable project. Sometimes a project is designed using the LEED certification requirements but the actual certification is not pursued.

Acomb asked if there was any flexibility to the location, design, shape and size of the park area. Carlson said the original plan presented to staff had the building shifted to the east. The building was shifted west when staff indicated a city goal would be to have a park and change the roundabout access. The goal was to get the largest park possible and maximize the walkability to the park and to the mall. He said the shape of the park would likely continue to evolve through the process. Wischnack noted General Growth owned the eastern portion so that piece would have to be negotiated with them. Acomb said the location and size of the park didn't fully meet the city's vision. She said she spoke with Wagner and he shared that concern.

Bergstedt said over the last year, as the council looked at various projects, they had discussed the huge need for some type of park or open space. He said this was an opportunity to reach a piece of that goal. He didn't think the city should be too prescriptive without considering all the options and ensuring the overall area flowed better. He said the park idea was great but it was a starting point. He thought the concept met some of the vision for the Ridgedale area with higher density, higher height and a quality development.

Acomb agreed and said she was thrilled to see density built in the parking lot. She was fine with the architecture and the setbacks. Her concern was related to affordability and wanting that to be included in the project.

Calvert said agreed with Bergstedt and Acomb. She was glad to see the higher height which was restricted in other parts of the Ridgedale area. She liked many things about the project but agreed with Acomb's comments about including some affordable units. She was excited to see there was a possibility to include some LEED building practices. The added green space, whatever it ended up being, would be great.

Dr. Mark Stesin, 2000 Norway Pine Circle, said he was speaking on behalf of a coalition of five neighborhoods: his street, Dwight Lane, Austrian Pines, Sherwood Place and Sherwood Forest. The consensus was strong support for the city's effort to bring in high density housing. The assumption was all the new buildings would be compliant with the comprehensive guide plan and also be sensitive to those who had lived in the city for the last 20 to 30 years. The coalition of neighbors support this concept plan. The project was very appropriate for the space. The park space and size of the building were appropriate. The physical density was not an issue. The more important issue was the activity density. With 165 units there would be a lot of activity on a relatively small space. He said the property was far enough away from the neighborhoods that the activity density would not be much of an issue.

Annette Bertelsen, 13513 Larkin Drive, said she and her neighbors liked the apartment concept quite a bit. As far as the density they support this level of density. She said there were many neighborhoods that were engaged in the discussion about the Ridgedale area. Now that there was the first housing proposal for the inner circle, the neighbors were very excited about the land use and proposed density. She said when the city first presented the Ridgedale vision study, residents saw vignettes of a park adjacent to the mall. This excited them. People began to brainstorm ideas about synergy between events at the mall and events at the park. As the discussion about the park continued, she would like to see pros and cons discussed about the location. She said it was easy to forget that Ridgedale wasn't just a commercial hub. For many it was part of the fabric of their neighborhood. She suggested having neighborhood residents be part of the park committee along with councilmembers, planning commissioners and park board members. She volunteered to be the neighborhood representative.

Calvert said one of the things she really liked about the location of the building was that it was at the south end of the mall away from the freeway. She said it was a huge benefit to the building's residents.

Wiersum said this was an intriguing project. He appreciated the information about what an active adult apartment was and thought it was a niche that made sense in the community. He truly valued the social aspect for those who lived in the city but were looking to downsize. He agreed with the comments about the location of the building. He thought along with the improvements to Ridgedale Drive, this would be a very beautiful area of the city. Architecturally, he particularly liked the large windows that were shown. He thought the contemporary look and design would play very well. He said a park in Ridgedale was an important amenity. He spoke with Wagner earlier in the day and Wagner said one thing he wanted the others to be mindful of was the Sears location at the mall would redevelop in the fairly near future. The city could delay decisions and end up with nothing because it was always hoping for what may be available tomorrow. On the other hand, the council shouldn't be too afraid of that and not aim as high as it could for the park. It was important to keep an open mind to the possibilities for a park in the Ridgedale area. He recommended Wagner be the council representative on the committee because this was in his ward, but given Wagner's travel schedule that Acomb be appointed as the alternate.

15. Appointments and Reappointments:

A. Appointments and reappointments to Minnetonka boards and commissions

In addition to the appointments and reappointments listed in the council packet, Wiersum noted he was nominating Yunker to chair the EDAC.

Wiersum moved, Bergstedt seconded a motion to approve the appointments and reappointments to various advisory boards, commissions and committees. All voted "yes." Motion carried.

From: Joan Trowbridge
To: [Loren Gordon](#)
Subject: Public hearing about Ridgedale active adult apartments 12421 Wayzata Blvd
Date: Tuesday, April 17, 2018 4:02:18 AM

I live in the adjoining neighborhood on Dwight Lane. My concern with a six story structure is several. First it would change the feeling of the area near the public library and Ymca. I feel a low rise building is more appropriate there. The volume of traffic and personal feeling of safety walking the neighborhood is also a concern. I am not sure if there will be a noise factor as well. I am concerned about environmental impact as well as this is an area with wildlife, trees, and ecosystems that I believe the neighborhood should be careful to preserve. Thank you for your attention to this matter. Unfortunately I cannot be at the upcoming planning and city council meetings. Yours Joan Trowbridge

Sent from my iPhone

Ordinance No. 2018-

An ordinance amending the existing Ridgedale Center Master Development Plan for Ridgedale Active Adult Apartments located at 12421 Wayzata Blvd.

The City Of Minnetonka Ordains:

Section 1.

- 1.01 This ordinance hereby amends the existing Ridgedale Center master development plan. (Project 03046.12a). Adoption is based on the findings in the April 26, 2018, staff report.
- 1.02 The property covered by this amendment is located at 12421 Wayzata Boulevard and is legally described as:

Lot 1, Block 1, RIDGEDALE CENTER TENTH ADDITION

Section 2.

- 2.01 This ordinance is based on the following findings:
1. The proposal would meet the required standards and ordinances for a site and building plan approval.

Section 3.

- 3.01 Approval is subject to the following conditions:
1. The site must be developed and maintained in substantial conformance with the following plans, unless modified by the conditions below:
 - Civil site plan, dated March 9, 2018
 - Utility plan, dated March 9, 2018
 - Grading and Drainage plan, dated March 9, 2018
 - Building elevations, dated March 9, 2018
 - Overall landscape plan, dated March 9, 2018

The above plans are hereby adopted as the master development plan and as final site and building plans.

2. The master development plan adopts the approvals and conditions identified in Resolution 2018-

Section 4. A violation of this ordinance is subject to the penalties and provisions of Chapter XIII of the city code.

Section 5. This ordinance is effective immediately.

Adopted by the city council of the City of Minnetonka, Minnesota, on May 14, 2018.

Brad Wiersum, Mayor

ATTEST:

David E. Maeda, City Clerk

ACTION ON THIS ORDINANCE:

Date of introduction: April 16, 2018

Date of adoption:

Motion for adoption:

Seconded by:

Voted in favor of:

Voted against:

Abstained:

Absent:

Ordinance adopted.

Date of publication:

I certify that the foregoing is a correct copy of an ordinance adopted by the city council of the City of Minnetonka, Minnesota at a regular meeting held on May 14, 2018.

David E. Maeda, City Clerk

Resolution No. 2018-

**Resolution approving final site and building plans with variances for
Ridgedale Active Adult Apartments at 12421 Wayzata Blvd.**

Be it resolved by the City Council of the City of Minnetonka, Minnesota, as follows:

Section 1. Background.

1.01 Trammell Crow has requested approval of final site and building plans for Ridgedale Active Adult Apartments.

1.02 The property is located at 12421 Wayzata Blvd. It is legally described as:

Lot 1, Block 1, RIDGEDALE CENTER TENTH ADDITION, HENNEPIN COUNTY, MINNESOTA.

1.03 On April 26, 2018, the planning commission held a hearing on the proposal. The applicant was provided the opportunity to present information to the commission. The commission considered all of the comments received and the staff report, which are incorporated by reference into this resolution. The commission recommended that the city council approve the final site and building plans.

Section 2. Site Plan Standards and Findings.

2.01 The proposal would meet site and building plan standards outlined in the City Code §300.27, Subd.5.

1. The proposal is consistent with zoning ordinance standards.
2. The proposed building and parking lot would be appropriately located to accommodate proposed Ridgedale Drive improvements and site circulation at Ridgedale Center mall.
3. As new construction, the building code would require use of energy saving features.
4. The proposal would visually and physically alter the site and Ridgedale Drive corridor. However, any redevelopment of the subject property consistent with its high-density residential designation would result in such

changes. The changes are consistent with the Ridgedale Village Center Study which envisions additional commercial intensity and residential housing units.

Section 3. Findings.

3.01 The proposal would meet site and building plan standards outlined in the City Code §300.27, Subd. 5.

1. Consistency with the elements and objectives of the city's development guides, including the comprehensive plan and water resources management plan;

Finding: The proposal would result in a high-density residential development consistent with the site's mixed use designation. Further, the proposal has been reviewed by city planning, engineering, and natural resources staff and found to be generally consistent with the city's development guides, including the water resources management plan.

2. Consistency with the ordinance;

Finding: The proposal meets the standards of the PID zoning district and applicable performance standards.

3. Preservation of the site in its natural state to the extent practicable by minimizing tree and soil removal and designing grade changes to be in keeping with the general appearance of neighboring developed or developing areas;

Finding: The proposed building and parking lot would be appropriately located to accommodate proposed Ridgedale Drive improvements and site circulation at Ridgedale Center mall. The proposed development would increase the vitality and general appearance of the area.

4. Creation of a harmonious relationship of buildings and open spaces with natural site features and with existing and future buildings having a visual relationship to the development;

Finding: The building placement, connections to sidewalks and provision of park land would create harmonious relationships in the area that currently do not exist.

5. Creation of a functional and harmonious design for structures and site features, with special attention to the following:

- a) an internal sense of order for the buildings and uses on the site and provision of a desirable environment for occupants, visitors and the general community;

Finding: The site and building are well organized to provide a desirable place to live. The building is a high quality design which adds value to the living experience for residents. Indoor and outdoor site amenities create an enjoyable environment.

b) the amount and location of open space and landscaping;

Finding: The project proposes additional open space, landscaping and 1.31 acres of land for park purposes.

c) materials, textures, colors and details of construction as an expression of the design concept and the compatibility of the same with the adjacent and neighboring structures and uses; and

Finding: Building materials are comprised of high quality brick, stone and engineered materials. Colors and textures are compatibly designed with adjacent development the surrounding environment. The building design is similar to the adjacent multi-story condominium buildings.

d) vehicular and pedestrian circulation, including walkways, interior drives and parking in terms of location and number of access points to the public streets, width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic and arrangement and amount of parking.

Finding: The proposed street and sidewalk plan integrate with proposed improvements of Ridgedale Drive adding to additional circulation through the mall property. Parking areas are appropriately designed to accommodate car and truck movements.

6. promotion of energy conservation through design, location, orientation and elevation of structures, the use and location of glass in structures and the use of landscape materials and site grading.

Finding: The building is designed and situated appropriately on the property to take advantage of southern exposure for added winter energy considerations. As site landscaping matures, summer heat gain will be reduced over time.

7. protection of adjacent and neighboring properties through reasonable provision for surface water drainage, sound and sight buffers, preservation of views, light and air and those aspects of design not adequately covered by other regulations which may have substantial effects on neighboring land uses.

Finding: The building is sited with the consideration of setbacks and views. Proposed landscaping will buffer adjacent properties while allowing views, light and movement of air. Surface water management systems will improve the surface water runoff quality which benefits the natural

environment.

- 3.02 The proposal meets the variance standard outlined in City Code §300.07 Subd. 1(a):
1. PURPOSE AND INTENT OF THE ZONING ORDINANCE: The proposal would be consistent with the zoning ordinance including standards for site and building plan approval.
 2. CONSISTENT WITH COMPREHENSIVE PLAN: The proposal would be consistent with the comprehensive plan guidance for high density residential land use on the property.
 3. PRACTICAL DIFFICULTIES: There are practical difficulties in complying with the ordinance:
 - a. REASONABLENESS: The proposed variances are reasonable. The proposed variances are consistent with the increased intensity of development identified in the Ridgedale Village Center Study.
 - b. UNIQUE CIRCUMSTANCE: The property is located in the Ridgedale Village Center which is identified in the city's comprehensive plan. Reduced setbacks, increased development intensity consistent with development at the mall is a unique circumstance in the city.
 - c. CHARACTER OF LOCALITY: There are other high density residential buildings in the area with similar building setbacks and intensity. The proposed development would not detract from this character.

Section 4. City Council Action.

- 4.01 The above-described site and building plans, with variances, are hereby approved subject to the following conditions:
1. Subject to staff approval, Ridgedale Active Adult Apartments must be developed and maintained in substantial conformance with the following plans, except as modified by the conditions below:
 - Civil site plan, dated March 9, 2018
 - Utility plan, dated March 9, 2018
 - Grading and Drainage plan, dated March 9, 2018
 - Building elevations, dated March 9, 2018
 - Overall landscape plan, dated March 9, 2018
 2. A grading permit is required. Unless authorized by appropriate staff, no site work may begin until a complete grading permit application has been submitted, reviewed by staff, and approved.

- a) The following must be submitted for the grading permit to be considered complete.
 - 1) An electronic PDF copy of all required plans and specifications.
 - 2) Three full size sets of construction drawings and project specifications.
 - 3) Final site, grading, stormwater management, utility, landscape, tree mitigation, and natural resource protection plans, and a stormwater pollution prevention plan (SWPPP) for staff approval.
 - a. Final site plan must:
 1. Add fire hydrant near NE corner of the building.
 2. Add a stop sign bar at the parking garage exist driveway as it intersects the private street.
 3. Incorporate design elements and features that are consistent with Ridgedale Public Realm Guidelines.
 - b. Final stormwater management plan must meet the requirements of the city's Water Resources Management Plan, Appendix A. Design. The plan must include a narrative, impervious surface information, soil boring data, and modeling demonstrating rate control and water quality treatment and:
 1. The underground stormwater facilities must be located outside the proposed street.
 2. The applicant must verify that all underground stormwater facilities are pressure rated to accommodate 10,800 lbs/sq. ft.
 3. The applicant must have a third party inspector verify that the underground stormwater facilities are installed properly and meet the pressure testing requirements outlined above.

4. STRM 400 and STRM 111 should be relocated to avoid short-circuiting the underground stormwater facility.
 5. The underground stormwater chamber and associated piping will be private facilities; a stormwater maintenance and easement agreement will be required over the chamber; plantings within the easement must be consistent with council policy 11.3 regarding private use of city easements.
 6. Submission of NPDES permit coverage.
- c. Final utility plan must:
7. Add a gate valve to the building water service lateral.
 8. Sanitary service connections from the building to MH 103 and MH 107 must meet plumbing code requirements. Confirm number of fixture units. Also, check rim elevation of Ex. MH 101.
 9. Confirm service location of 12425. It appears that it may need to be reconnected between MH 102 and 103.
- d. Final landscaping and tree mitigation plans must:
1. Demonstrate how the landscape plan meets the required 2% of the project value.
 2. Reduce the overall number of whitespire birch (they specified 24) and substitute at east half with another genus.
 3. Substitute the river birch proposed to be planted on the underground stormwater chamber with ornamental trees or bushes.
 4. Include rain sensors on any irrigation systems.
 5. Coordinate with city staff on a planting plan that incorporates design and planting

schemes consistent with the Ridgedale Public Realm Guidelines.

- e. Final grading plan must incorporate all proposed changes to the driveway and parking lot on the adjacent property to the north and the 2000 Plymouth Road owner must agree to this plan.
- 4) A sequencing plan for review and approval of the city engineer. The plan must notate the series of construction events that will occur involving driveway construction and sanitary sewer and water main connections and disconnections. The number of events in which disturbances to the street and utilities occur must be minimized. For example, multiple crews may be required to disconnect water services simultaneously.
 - 5) The following documents for the review and approval of the city attorney:
 - a. Make any necessary amendments to operating agreement or easements to reflect and accommodate the changes.
 - b. Stormwater maintenance agreements over all stormwater facilities.
 - 6) Individual letters of credit or cash escrow for 125% of a bid cost or 150% of an estimated cost to construct parking lot and utility improvements, comply with grading permit, tree mitigation requirements, landscaping requirements, and to restore the site. One itemized letter of credit is permissible, if approved by staff.
 - a. The city will not fully release the letters of credit or cash escrow until:
 - A final as-built survey has been submitted;
 - An electronic CAD file or certified as-built drawings for public infrastructure in microstation or DXF and PDF format have been submitted;
 - Vegetated ground cover has been established; and
 - Required landscaping or vegetation has survived one full growing season.

- 7) Cash escrow in an amount to be determined by city staff. This escrow must be accompanied by a document prepared by the city attorney and signed by the builder and property owner. Through this document the builder and property owner will acknowledge:
 - The property will be brought into compliance within 48 hours of notification of a violation of the construction management plan, other conditions of approval, or city code standards; and
 - If compliance is not achieved, the city will use any or all of the escrow dollars to correct any erosion or grading problems.
 - 8) Evidence that an erosion control inspector has been hired to monitor the site through the course of construction. This inspector must provide weekly reports to natural resource staff in a format acceptable to the city. At its sole discretion, the city may accept escrow dollars, in an amount to be determined by natural resources staff, to contract with an erosion control inspector to monitor the site throughout the course of construction.
 - 9) A construction management plan. The plan must be in a city approved format and must outline minimum site management practices and penalties for non-compliance.
 - 10) Evidence of closure/capping of any existing wells, septic systems, and removal of any existing fuel oil tanks.
 - 11) The city will assign the property with a Ridgedale Drive address.
 - 12) All required administration and engineering fees.
 - 13) A development agreement to address planning, design, and implementation of improvements as they relate to Ridgedale Drive and the park.
- b) Prior to issuance of the grading permit:
- 1) Obtain and submit a permit from the Minnesota Department of Health.
 - 2) Obtain and submit a sanitary sewer extension permit from the Minnesota Pollution Control Agency.

- 3) Install a temporary rock driveway, erosion control, tree and wetland protection fencing and any other measures identified on the SWPPP for staff inspection. These items must be maintained throughout the course of construction.
 - 4) Schedule and hold a preconstruction meeting with engineering, planning, and natural resources staff as determined by city staff.
4. Prior to issuance of a building permit:
- a) Submit the following documents:
 - 1) Proof of subdivision registration and transfer of NPDES permit.
 - 2) A snow removal and salting application rate plan.
 - 3) A construction management plan. This plan must be in a city approved format and outline minimum site management practices and penalties for non-compliance. If the builder is the same entity doing grading work on the site, the construction management plan submitted at the time of grading permit may fulfill this requirement.
 - b) Submit a final material and color palate board for staff review and approval.
 - c) Submit cash escrow in an amount to be determined by city staff. This escrow must be accompanied by a document prepared by the city attorney and signed by the builder and property owner. Through this document the builder and property owner will acknowledge:
 - The property will be brought into compliance within 48 hours of notification of a violation of the construction management plan, other conditions of approval, or city code standards; and
 - If compliance is not achieved, the city will use any or all of the escrow dollars to correct any erosion and/or grading problems.

If the builder is the same entity doing grading work on the site, the cash escrow submitted at the time of grading permit may fulfill this requirement.
 - d) Submit all required hook-up fees.

5. Retaining walls over four feet in height must be engineered and must include guard rails. Submit plans signed by a licensed structural engineer.
6. During construction the street must be kept free of debris and sediment.
7. The property owner is responsible for replacing any required landscaping that dies.

Adopted by the City Council of the City of Minnetonka, Minnesota, on May 14, 2018.

Brad Wiersum, Mayor

Attest:

David E. Maeda, City Clerk

Action on this resolution:

Motion for adoption:

Seconded by:

Voted in favor of:

Voted against:

Abstained:

Absent:

Resolution adopted.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the City Council of the City of Minnetonka, Minnesota, at a duly authorized meeting held on May 14, 2018.

David E. Maeda, City Clerk

Resolution No. 2018-

Resolution approving the preliminary and final plat of RIDGEDALE CENTER TENTH ADDITION at 12421 Wayzata Blvd.

Be it resolved by the City Council of the City of Minnetonka, Minnesota, as follows:

Section 1. Background.

- 1.01 The applicants, Trammell Crow, has requested preliminary and final plat approval for RIDGEDALE CENTER TENTH ADDITION.
- 1.02 The property is located at 12421 Wayzata Blvd. It is legally described as follows:

Lot 1, Block 1, RIDGEDALE CENTER TENTH ADDITION, HENNEPIN COUNTY, MINNESOTA.
- 1.03 On April 26, 2018, the planning commission held a hearing on the proposed plats. The applicant was provided the opportunity to present information to the commission. The commission considered all of the comments received and the staff report, which are incorporated by reference into this resolution. The commission recommended that the city council grant preliminary and final plat approval.

Section 2. General Standards.

- 2.01 City Code §400.030 outlines general design requirements for residential subdivisions. These standards are incorporated by reference into this resolution.

Section 3. Findings.

- 3.01 The preliminary and final plat would meet the design standards as outlined in City Code §400.030.

Section 4. Council Action.

- 4.01 The above-described preliminary plat is hereby approved, subject to the following conditions:

1. Prior to release of the final plat for recording:
 - a) Submit the following:
 - 1) Two sets of mylars for city signatures.
 - 2) An electronic CAD file of the plat in microstation or DXF.
 - 3) Title evidence that is current within thirty days before release of the final plat for the city attorney's review and approval.
 - b) This resolution must be recorded with Hennepin County.
2. Subject to staff approval, RIDGEDALE CENTER TENTH ADDITION must be developed and maintained in substantial conformance with the following plans, except as modified by the conditions below:
 - Civil site plan, dated March 9, 2018
 - Utility plan, dated March 9, 2018
 - Grading and Drainage plan, dated March 9, 2018
 - Building elevations, dated March 9, 2018
 - Overall landscape plan, dated March 9, 2018
3. Prior to issuance of a building permit, submit the following documents:
 - a) A letter from the surveyor stating that boundary and lot stakes have been installed as required by ordinance.
 - b) Proof of subdivision registration and transfer of NPDES permit if applicable.
4. Unless the city council approves a time extension, the final plat must be recorded by May 14, 2019.

Adopted by the City Council of the City of Minnetonka, Minnesota, on May 14, 2018.

Brad Wiersum, Mayor

Attest:

David E. Maeda, City Clerk

Action on this resolution:

Motion for adoption:

Seconded by:

Voted in favor of:

Voted against:

Abstained:

Absent:

Resolution adopted.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the City Council of the City of Minnetonka, Minnesota, at a duly authorized meeting held on May 14, 2018.

David E. Maeda, City Clerk