

WELLS FARGO

FIRESTONE

JCPENNY

MULTIFAMILY BUILDING
6 STORY
+1,274,812SF

AMENITY DECK

MODIFIED PARKING

FUTURE PARK

EXISTING PARKING

ADDITIONAL PARKING

RIDGEDALE DRIVE

Ridgedale Drive Development

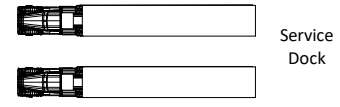
Minnetonka, Minnesota

Project # 160573022 03/09/2018



esg Kimley»Horn

Trammell Crow Company



NOTE: SEE LANDSCAPE PLAN FOR PLANTING LOCATIONS

March 9, 2018

1:50 SCALE



LEVEL 2 PLAN

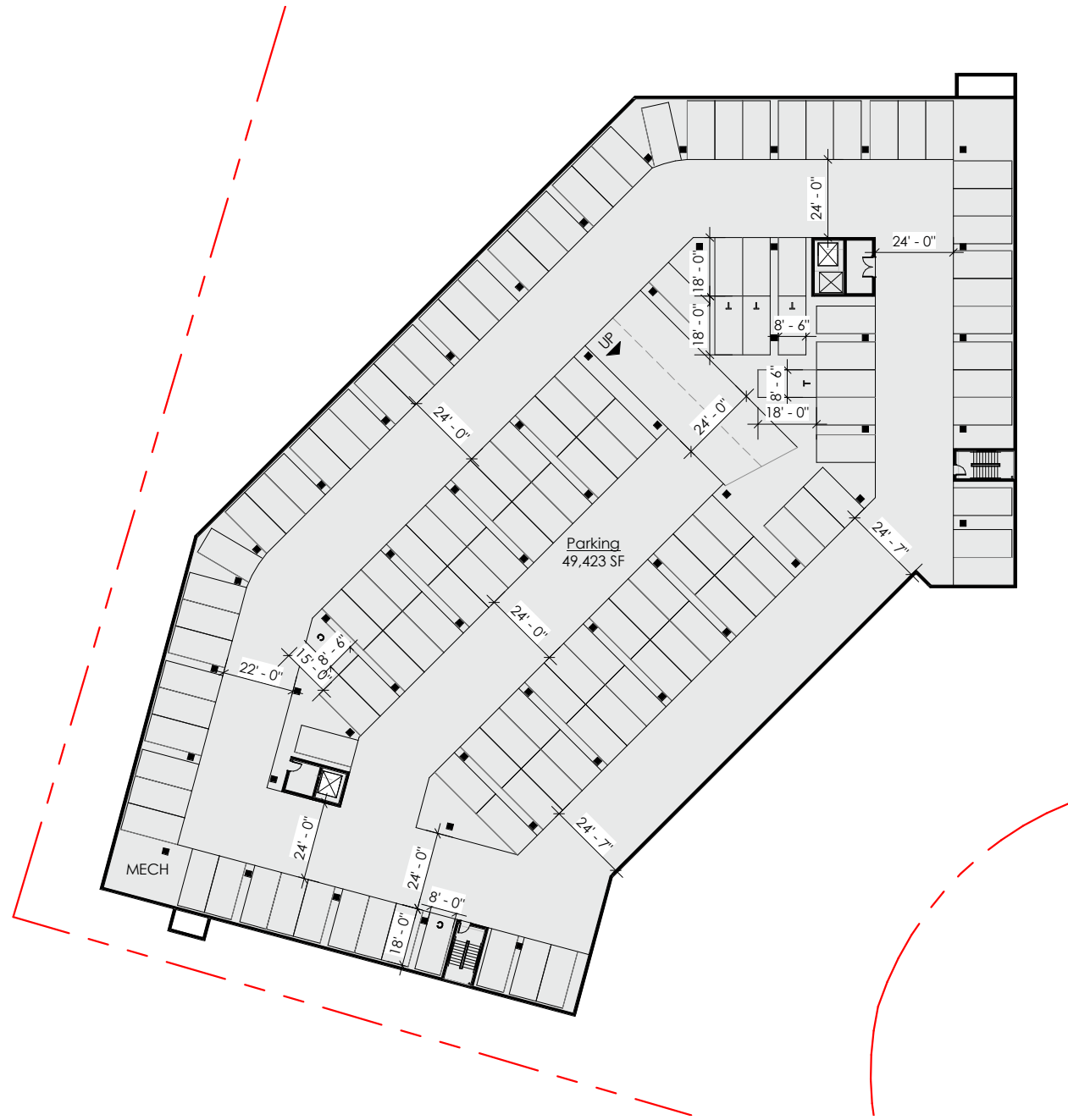


LEVEL 3-6 PLAN

March 9, 2018



1:50 SCALE



LOWER LEVEL PLAN

March 9, 2018



1:50 SCALE



March 9, 2018



March 9, 2018



March 9, 2018



March 9, 2018



E1 - NORTH ELEVATION

E2 - NORTH/WEST ELEVATION



E3 - WEST ELEVATION

E4 - SOUTH ELEVATION



BRICK



ARCHITECTURAL METAL PANEL



HIGH PRESSURE LAMINATE PANEL OR METAL PANEL



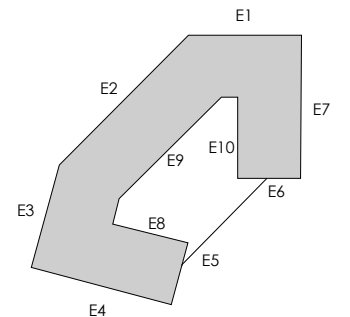
3 COLOR METAL PANEL BLEND



CEMENTITIOUS PANEL COLOR #1



CEMENTITIOUS PANEL COLOR #2



SCALE: 1"=30'

March 9, 2018



E5 - EAST ELEVATION

E6 - SOUTH/EAST ELEVATION

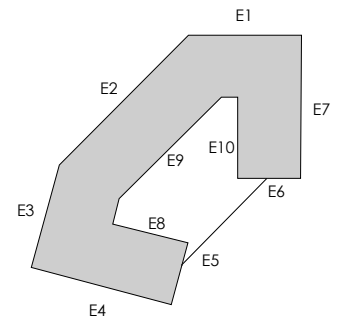
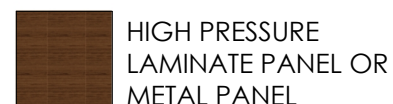
E7 - EAST/NORTH ELEVATION



E8 - NORTH COURTYARD ELEV

E9 - EAST COURTYARD ELEV

E10 - WEST COURTYARD ELEV



SCALE: 1"=30'

March 9, 2018

BUILDING METRICS							
LEVEL	TOTAL GSF	PARKING GSF	STALLS	AMENITY GSF	APT GSF	APT RSF	APT UNITS
LEVEL P1	49,423	49,423	129				
LEVEL 1	48,985	40,113	83		8,872	6,506	8
LEVEL 2	32,593			12,283	20,310	16,791	20
LEVEL 3	36,308				36,308	30,327	35
LEVEL 4	36,308				36,308	30,327	35
LEVEL 5	36,308				36,308	30,327	35
LEVEL 6	36,308				36,308	30,327	35
	276,233	89,536	212	12,283	174,414	144,605	168

GSF/STALL	422
STALLS/UNIT ENCLOSED	1.26
SURFACE STALLS	4
STALLS/UNIT INCL. SURFACE	1.29

RSF AVG	861
EFF	0.83

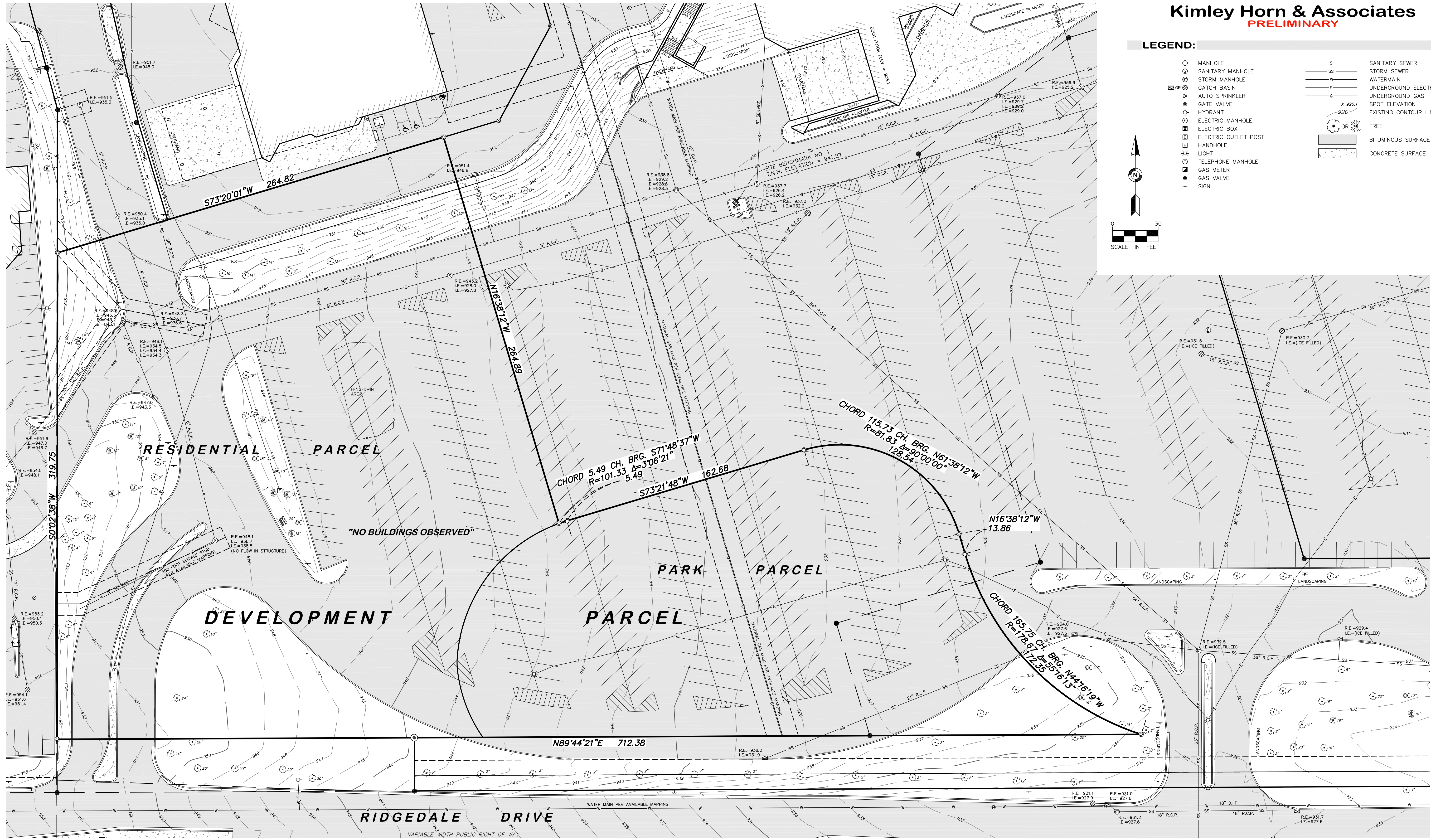
UNIT METRICS												
Level	1	2	3	4	5	6	TOTAL	%	Beds	Avg	Range	
Junior 1 Bedroom	2	6	8	8	8	8	40	24%	40	578	551-622	
1 Bedroom	2	3	8	8	8	8	37	22%	37	730	714-746	
Large 1 Bedroom	2	6	5	5	5	5	28	17%	28	802	779-930	
Junior 2 Bedroom	1	0	4	4	4	4	17	10%	34	1042	1018-1068	
2 Bedroom	1	1	6	6	6	6	26	15%	52	1126	1087-1172	
Large 2 Bedroom	0	4	4	4	4	4	20	12%	40	1251	1227-1275	
	8	20	35	35	35	35	168		231	861		

PARKING STALL BREAKDOWN				
	Level P1 Enclosed	Level 1 Enclosed	Level 2 Surface	Total
Standard Stalls	123	75	3	201
ADA Stalls	0	5	1	6
Compact Stalls	2	2	0	4
Buried Stalls (Marked T for Tandem)	4	1	0	5
	129	83	4	216

March 9, 2018

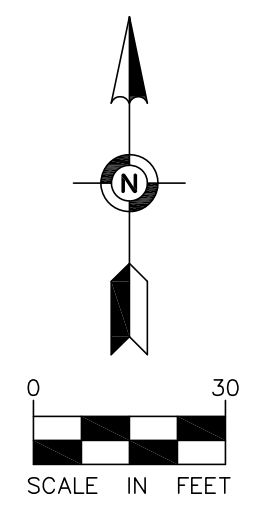
DEVELOPMENT PARCEL SITE IMPROVEMENTS

ALTA/NSPS LAND TITLE SURVEY FOR:
Kimley Horn & Associates
 PRELIMINARY



LEGEND:

- MANHOLE
- ⊙ SANITARY MANHOLE
- ⊙ STORM MANHOLE
- ⊙ CATCH BASIN
- ⊙ AUTO SPRINKLER
- ⊙ GATE VALVE
- ⊙ HYDRANT
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC BOX
- ⊙ ELECTRIC OUTLET POST
- ⊙ HANDHOLE
- ⊙ LIGHT
- ⊙ TELEPHONE MANHOLE
- ⊙ GAS METER
- ⊙ GAS VALVE
- ⊙ SIGN
- S — SANITARY SEWER
- SS — STORM SEWER
- W — WATERMAIN
- E — UNDERGROUND ELECTRIC
- G — UNDERGROUND GAS
- x 920.1 — SPOT ELEVATION
- — — — — EXISTING CONTOUR LINE
- OR ○ TREE
- ▭ BITUMINOUS SURFACE
- ▭ CONCRETE SURFACE



FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS	
2792	58	CT, DV	NO.	DATE
DRAWING NAME:		DRAWN BY:	DESCRIPTION	
37646.dwg		PMD		
JOB NO. 37646		CHECKED BY:		
FILE NO. 3711		ER		

PRELIMINARY
ALTA/NSPS
LAND TITLE SURVEY

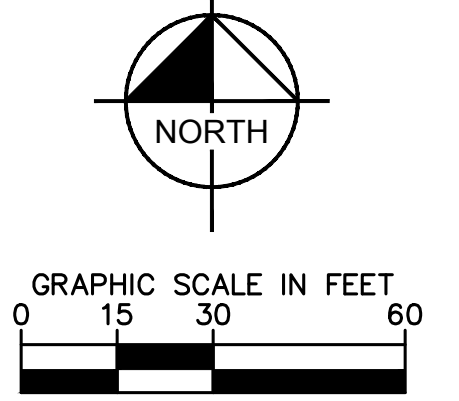
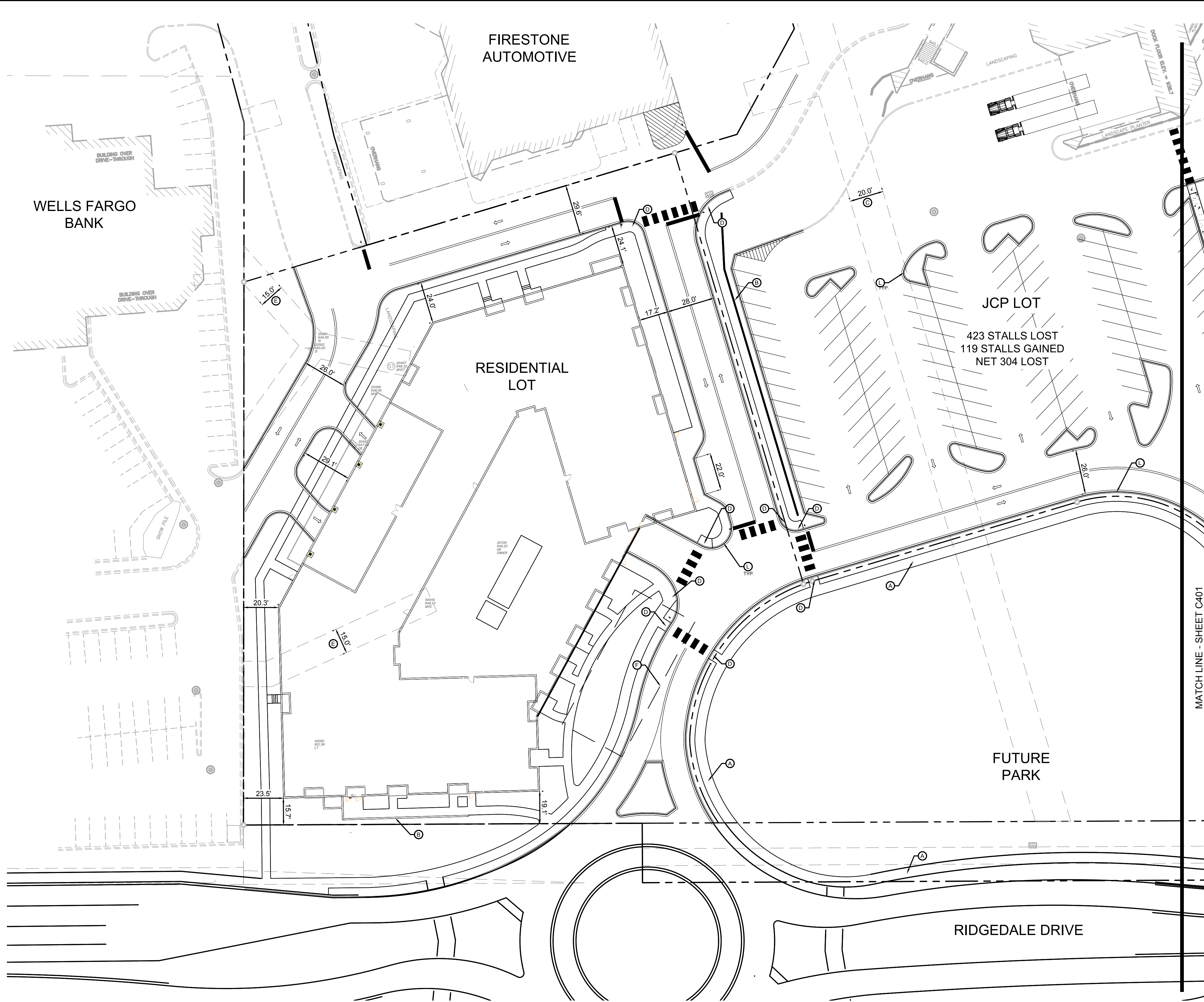
SURVEY FOR:
Kimley Horn & Associates

PROPERTY ADDRESS:
 12421 Wayzata Boulevard
 Minnetonka, Minnesota 55305

Egan, Field & Nowak, Inc.
 land surveyors since 1872

1229 Tyler Street NE, Suite 100
 Minneapolis, Minnesota 55413
 PHONE: (612) 466-3300
 FAX: (612) 466-3383
 WWW.EFNSURVEY.COM
 COPYRIGHT © 2018 BY EGAN, FIELD & NOWAK, INC.

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND

	PROPERTY LINE
	RETAINING WALL
	PROPOSED CURB AND GUTTER

KEYNOTE LEGEND

(A)	CONCRETE SIDEWALK
(B)	RETAINING WALL
(C)	EXISTING GAS EASEMENT
(D)	ACCESSIBLE CURB RAMP
(E)	EXISTING STORM SEWER EASEMENT
(F)	UNDERGROUND STORM WATER MANAGEMENT SYSTEM
(G)	- NOT USED -
(H)	- NOT USED -
(I)	- NOT USED -
(J)	- NOT USED -
(K)	- NOT USED -
(L)	B612 CURB & GUTTER (TYP.)
(M)	- NOT USED -
(N)	- NOT USED -
(O)	- NOT USED -
(P)	- NOT USED -

- SITE PLAN NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS. PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - ALL INNER CURBED RADII ARE TO BE 3' AND OUTER CURBED RADII ARE TO BE 10' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
 - ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY EFN DATED 03/06/2018.
KIMLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED THEREIN.
 - PYLON / MONUMENT SIGNS SHALL BE CONSTRUCTED BY OTHERS. SIGNS ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIZE, LOCATION AND ANY REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE PYLON / MONUMENT SIGN.
 - CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
 - NO PROPOSED LANDSCAPING SUCH AS TREES OR SHRUBS, ABOVE AND UNDERGROUND STRUCTURES, OR OTHER OBSTRUCTIONS SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHTS OF WAY UNLESS SPECIFICALLY NOTED ON PLANS OTHERWISE.
 - REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
 - REFER TO FINAL PLAT OR ALTA SURVEY FOR EXACT LOT AND PROPERTY BOUNDARY DIMENSIONS.
 - ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
 - ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
 - ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
 - FOR OFFSITE IMPROVEMENTS, SEE THE <RIDGEDALE> IMPROVEMENTS PLANS.

PROPERTY SUMMARY

RESIDENTIAL	2.37 AC ±
JCP	7.44 AC ±
PARK	1.31 AC ±

PRELIMINARY - NOT FOR CONSTRUCTION

RIDGEDALE ACTIVE ADULT APARTMENTS
PREPARED FOR
TRAMMELL CROW COMPANY
MINNETONKA, MN

SHEET NUMBER
C400

KHA PROJECT	160573022
DATE	03/09/2018
SCALE	AS SHOWN
DESIGNED BY	JNL
DRAWN BY	LEC
CHECKED BY	JNL

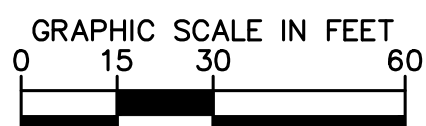
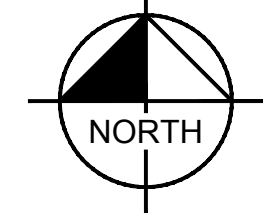
EVERY ENTITY THAT THIS IS AN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

JONATHAN N. LIBBY
MINN. LIC. NO. 51278
DATE: 03/09/2018

Kimley»Horn
© 2017 KIMLEY-HORN AND ASSOCIATES, INC.
2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114
PHONE: 651-445-4197
WWW.KIMLEY-HORN.COM

NO.	REVISIONS	DATE	BY

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND

- PROPERTY LINE
- ==== RETAINING WALL
- ==== PROPOSED CURB AND GUTTER

KEYNOTE LEGEND

- (A) CONCRETE SIDEWALK
- (B) RETAINING WALL
- (C) EXISTING GAS EASEMENT
- (D) ACCESSIBLE CURB RAMP
- (E) EXISTING STORM SEWER EASEMENT
- (F) UNDERGROUND STORM WATER MANAGEMENT SYSTEM
- (G) -- NOT USED --
- (H) -- NOT USED --
- (I) -- NOT USED --
- (J) -- NOT USED --
- (K) -- NOT USED --
- (L) B612 CURB & GUTTER (TYP.)
- (M) -- NOT USED --
- (N) -- NOT USED --
- (O) -- NOT USED --
- (P) -- NOT USED --

SITE PLAN NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS. PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL INNER CURBED RADII ARE TO BE 3' AND OUTER CURBED RADII ARE TO BE 10' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
4. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
5. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
7. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY EFN DATED 03/06/2018.
KIMLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED THEREIN.
8. PYLON / MONUMENT SIGNS SHALL BE CONSTRUCTED BY OTHERS. SIGNS ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIZE, LOCATION AND ANY REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE PYLON / MONUMENT SIGN.
9. CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
10. NO PROPOSED LANDSCAPING SUCH AS TREES OR SHRUBS, ABOVE AND UNDERGROUND STRUCTURES, OR OTHER OBSTRUCTIONS SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHTS OF WAY UNLESS SPECIFICALLY NOTED ON PLANS OTHERWISE.
11. REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
12. REFER TO FINAL PLAT OR ALTA SURVEY FOR EXACT LOT AND PROPERTY BOUNDARY DIMENSIONS.
13. ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
14. ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
15. ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
16. FOR OFFSITE IMPROVEMENTS, SEE THE <RIDGEDALE> IMPROVEMENTS PLANS.

PROPERTY SUMMARY	
RESIDENTIAL	2.37 AC ±
JCP	7.44 AC ±
PARK	1.31 AC ±

No.	REVISIONS	DATE	BY

Kimley»Horn
 © 2017 KIMLEY-HORN AND ASSOCIATES, INC.
 2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114
 PHONE: 651-445-4197
 WWW.KIMLEY-HORN.COM

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
160573022	03/09/2018	AS SHOWN	JNL	LEC	JNL

DESIGNED BY: JONATHAN N. LIBBY
 DATE: 03/09/2018
 MINN. LIC. NO.: 51278

SITE PLAN

RIDGEDALE ACTIVE ADULT APARTMENTS
 PREPARED FOR
TRAMMELL CROW COMPANY
 MINNETONKA, MN

PRELIMINARY - NOT FOR CONSTRUCTION

SHEET NUMBER
C401

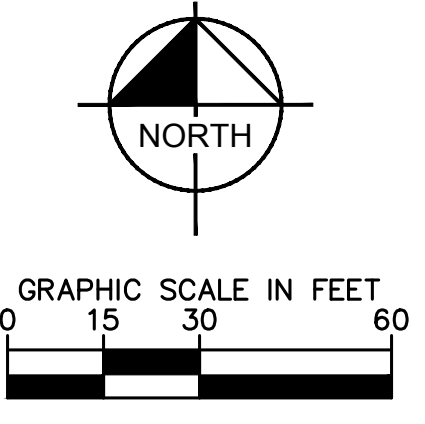
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



L1 FFE: 946.00
L2 FFE: 956.00
P1 FFE: 936.00

LEGEND	
	PROPERTY LINE
	LIMITS OF DISTURBANCE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED STORM MANHOLE (SOLID CASTING)
	PROPOSED STORM MANHOLE (ROUND INLET CASTING)
	PROPOSED STORM MANHOLE/CATCH BASIN (CURB INLET CASTING)
	PROPOSED STORM SEWER CLEANOUT
	PROPOSED STORM SEWER FLARED END SECTION
	PROPOSED STORM SEWER RIPRAP
	PROPOSED STORM SEWER
	PROPOSED SPOT ELEVATION
	PROPOSED HIGH POINT ELEVATION
	PROPOSED LOW POINT ELEVATION
	PROPOSED GUTTER ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED FLUSH PAVEMENT ELEVATION
	MATCH EXISTING ELEVATION
	PROPOSED EMERGENCY OVERFLOW
	PROPOSED DRAINAGE DIRECTION
	PROPOSED ADA SLOPE

- ### GRADING PLAN NOTES
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF MINNETONKA, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
 - CONTRACTOR TO CALL GOPHER STATE CALL ONE @ <1-800-252-1166> AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
 - STORM SEWER PIPE SHALL BE AS FOLLOWS:
RCP PER ASTM C-76
HDPE: 6" - 10" PER AASHTO M-252
HDPE: 12" OR GREATER PER ASTM F-2306
PVC SCH. 40 PER ASTM D-3034
STORM SEWER FITTINGS SHALL BE AS FOLLOWS:
RCP PER ASTM C-76, JOINTS PER ASTM C-361, C-990, AND C-443
HDPE PER ASTM 3212
PVC PER ASTM D-3034, JOINTS PER ASTM D-3212
 - CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
 - SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
 - CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
 - GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
 - ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
 - REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING / STRUCTURE NOTATION.
 - CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
 - INSTALL A MINIMUM OF <4" CLASS 5> AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
 - UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF <4" OF TOPSOIL>.
 - ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED.
 - GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
 - MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
 - CONTRACTOR TO PROVIDE 3" INSULATION BY 5" WIDE CENTERED ON STORM PIPE IF LESS THAN 4" OF COVER IN PAVEMENT AREAS AND LESS THAN 3" OF COVER IN LANDSCAPE AREAS.
 - ROOF DRAIN INVERT CONNECTIONS AT THE BUILDING SHALL BE AT ELEVATION <XXX.XXX> OR LOWER UNLESS NOTED OTHERWISE. REFERENCE MEP PLANS FOR ROOF DRAIN CONNECTION.
 - ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
 - ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
 - MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
 - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM GUTTER.



Kimley»Horn

© 2017 KIMLEY-HORN AND ASSOCIATES, INC.
2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114
PHONE: 651-945-4197
WWW.KIMLEY-HORN.COM

NO.	REVISIONS	DATE	BY

THIS PROJECT WAS PREPARED BY AN ENGINEER OR ARCHITECT AS SPECIFIED IN THE TITLE BLOCK OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER OR ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

JONATHAN N. LIBBY, P.E.
MN LIC. NO. 51276
DATE: 03/09/2018

GRADING PLAN

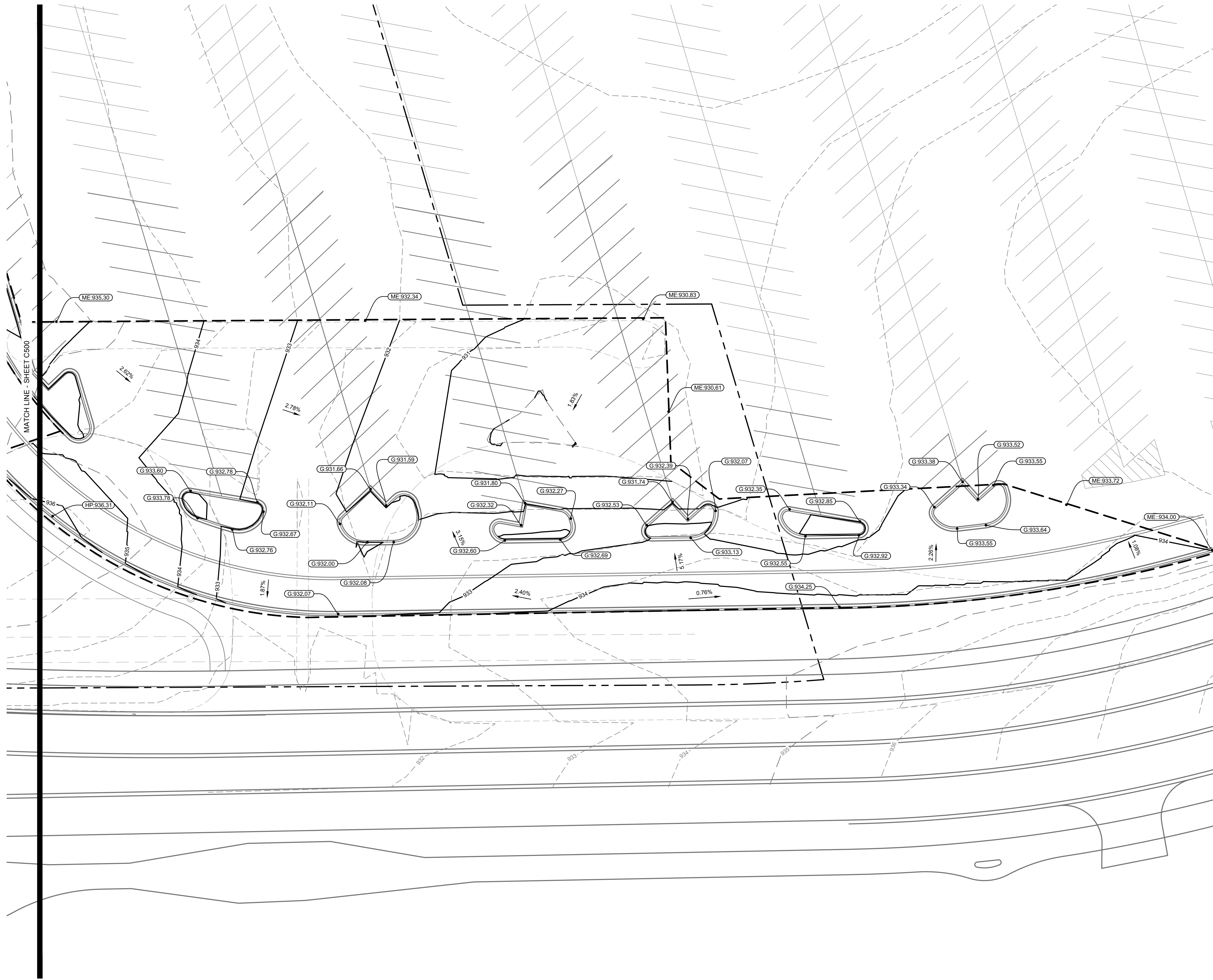
RIDGEDALE ACTIVE ADULT APARTMENTS
PREPARED FOR TRAMMELL CROW COMPANY
MINNETONKA, MN

PRELIMINARY - NOT FOR CONSTRUCTION

RIDGEDALE ACTIVE ADULT APARTMENTS
PREPARED FOR TRAMMELL CROW COMPANY
MINNETONKA, MN

SHEET NUMBER
C500

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND	
	PROPERTY LINE
	LIMITS OF DISTURBANCE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED STORM MANHOLE (SOLID CASTING)
	PROPOSED STORM MANHOLE (ROUND INLET CASTING)
	PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
	PROPOSED STORM SEWER CLEANOUT
	PROPOSED FLARED END SECTION
	PROPOSED RIPRAP
	PROPOSED STORM SEWER
	PROPOSED SPOT ELEVATION
	PROPOSED HIGH POINT ELEVATION
	PROPOSED LOW POINT ELEVATION
	PROPOSED GUTTER ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED FLUSH PAVEMENT ELEVATION
	MATCH EXISTING ELEVATION
	PROPOSED EMERGENCY OVERTFLOW
	PROPOSED DRAINAGE DIRECTION
	PROPOSED ADA SLOPE

- ### GRADING PLAN NOTES
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF MINNETONKA, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
 - CONTRACTOR TO CALL GOPHER STATE CALL ONE @ <1-800-252-1166> AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
 - STORM SEWER PIPE SHALL BE AS FOLLOWS:
RCP PER ASTM C-76
HDPE: 6" - 10" PER AASHTO M-252
HDPE: 12" OR GREATER PER ASTM F-2306
PVC SCH. 40 PER ASTM D-3034
STORM SEWER FITTINGS SHALL BE AS FOLLOWS:
RCP PER ASTM C-76, JOINTS PER ASTM C-361, C-990, AND C-443
HDPE PER ASTM 3212
PVC PER ASTM D-3034, JOINTS PER ASTM D-3212
 - CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
 - SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
 - CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
 - GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
 - ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
 - REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING / STRUCTURE NOTATION.
 - CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
 - INSTALL A MINIMUM OF <4" CLASS 5> AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
 - UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF <4" OF TOPSOIL>.
 - ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED.
 - GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
 - MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
 - CONTRACTOR TO PROVIDE 3" INSULATION BY 5" WIDE CENTERED ON STORM PIPE IF LESS THAN 4" OF COVER IN PAVEMENT AREAS AND LESS THAN 3" OF COVER IN LANDSCAPE AREAS.
 - ROOF DRAIN INVERT CONNECTIONS AT THE BUILDING SHALL BE AT ELEVATION <XXX.XX> OR LOWER UNLESS NOTED OTHERWISE. REFERENCE MEP PLANS FOR ROOF DRAIN CONNECTION.
 - ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
 - ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
 - MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
 - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM GUTTER.

Kimley»Horn

© 2017 KIMLEY-HORN AND ASSOCIATES, INC.
2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114
PHONE: 651-445-4197
WWW.KIMLEY-HORN.COM

REVISIONS

No.	DATE	BY

KHA PROJECT
1605730022

DATE
03/09/2018

SCALE
AS SHOWN

DESIGNED BY
JNL

DRAWN BY
LEC

CHECKED BY
JNL

LIBRARY CENTER HAS THIS AS AN INSTRUMENT OF SERVICE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

JONATHAN N. LIBBY, P.E.
M.N. LIC. NO. 51276
DATE: 03/09/2018

RIDGEDALE ACTIVE ADULT APARTMENTS

PREPARED FOR
TRAMMELL CROW COMPANY

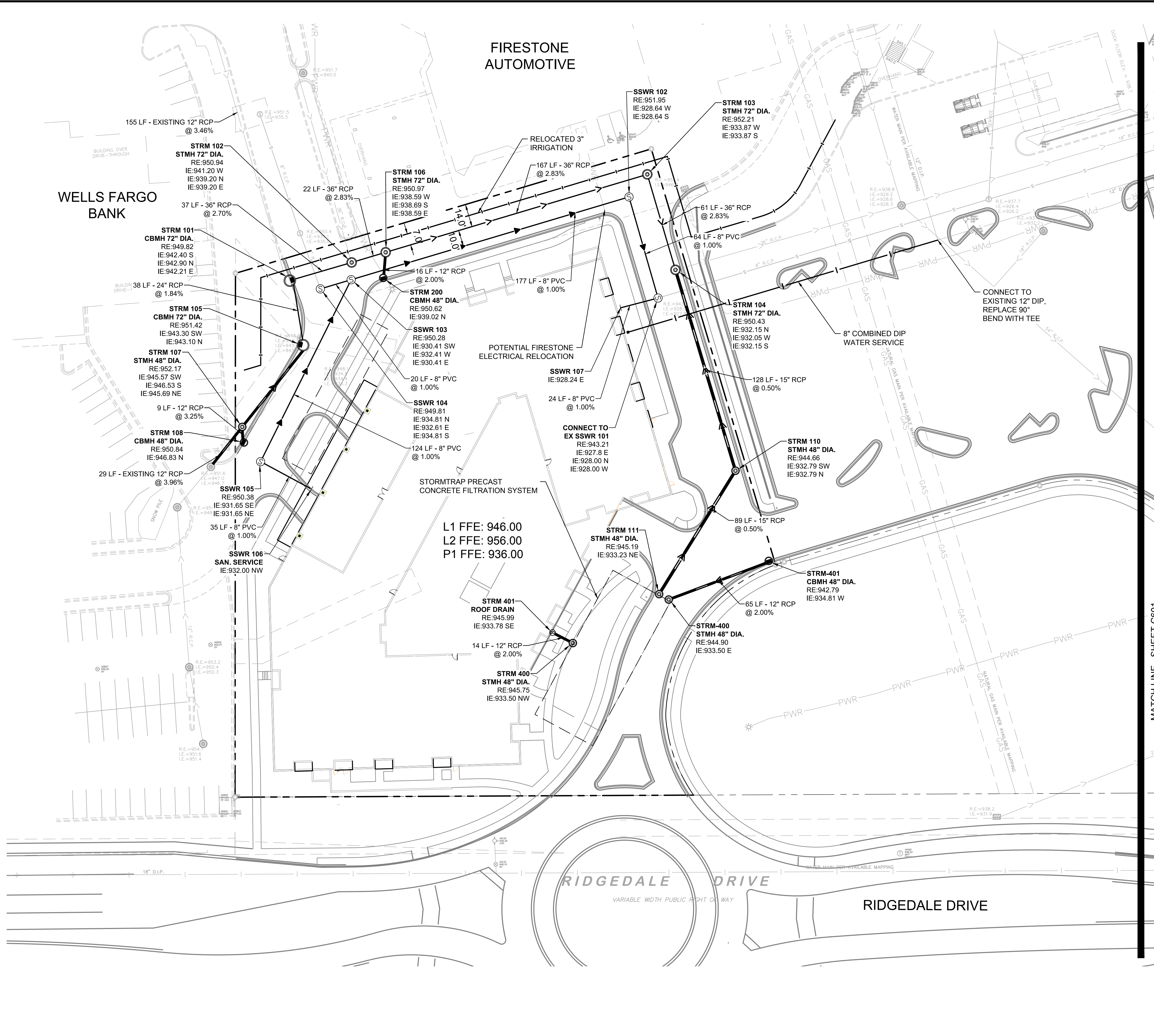
MINNETONKA, MN

GRADING PLAN

SHEET NUMBER
C501

PRELIMINARY - NOT FOR CONSTRUCTION

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND	
	PROPOSED REDUCER
	PROPOSED TEE
	PROPOSED GATE VALVE
	PROPOSED HYDRANT
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED SANITARY CLEANOUT
	PROPOSED STORM MANHOLE (SOLID CASTING)
	PROPOSED STORM MANHOLE (ROUND INLET CASTING)
	PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
	PROPOSED WATERMAIN
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED TELEPHONE
	PROPOSED GAS MAIN

- ### UTILITY PLAN NOTES
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
 - SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
8" PVC SDR35 PER ASTM D-3034, FOR PIPES LESS THAN 12' DEEP
8" PVC SDR26 PER ASTM D-3034, FOR PIPES MORE THAN 12' DEEP
6" PVC SCHEDULE 40 PER ASTM D-3034
DUCTILE IRON PIPE PER AWWA C150
 - WATER LINES SHALL BE AS FOLLOWS:
6" AND LARGER, PVC C-900 PER ASTM D 2241
CLASS 200 UNDER COUNTY ROADS, OTHERWISE CLASS 150
4" AND LARGER DUCTILE IRON PIPE PER AWWA C150
SMALLER THAN 3" PIPING SHALL BE COPPER TUBE TYPE "K" PER ANSI 816.22 OR PVC, 200 P.S.I., PER ASTM D1784 AND D2241.
 - MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
 - ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL OR COBALT BLUE BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.
 - ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE).
 - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 7'-5" COVER ON ALL WATERLINES.
 - IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES, OR ANY OBSTRUCTION (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE SCH. 40 OR C900 WITH MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18" VERTICAL SEPARATION, MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
 - LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
 - TOPS OF MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS, IN GREEN AREAS, WITH WATERTIGHT LIDS.
 - ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
 - EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
 - REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
 - CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY OF MINNETONKA AND/OR STATE OF MN WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
 - CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
 - CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
 - BACKFLOW DEVICES (DDCV AND PRZ ASSEMBLIES) AND METERS ARE LOCATED IN THE INTERIOR OF THE BUILDING. REF. ARCH / MEP PLANS.
 - ALL ONSITE WATERMANS AND SANITARY SEWERS SHALL BE PRIVATELY OWNED AND MAINTAINED.
 - ALL WATERMAIN STUBOUTS SHALL BE MECHANICALLY RESTRAINED WITH REACTION BLOCKING.

PRELIMINARY - NOT FOR CONSTRUCTION

RIDGEDALE ACTIVE ADULT APARTMENTS

PREPARED FOR **TRAMMELL CROW COMPANY**

MINNETONKA, MN

SHEET NUMBER **C600**

Kimley»Horn

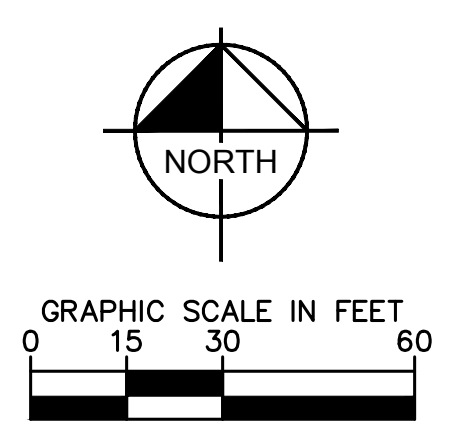
© 2017 KIMLEY-HORN AND ASSOCIATES, INC.
2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114
PHONE: 651-454-1197
WWW.KIMLEY-HORN.COM

JONATHAN N. LIBBY
DATE: 03/09/2018 MN LIC. NO. 51278

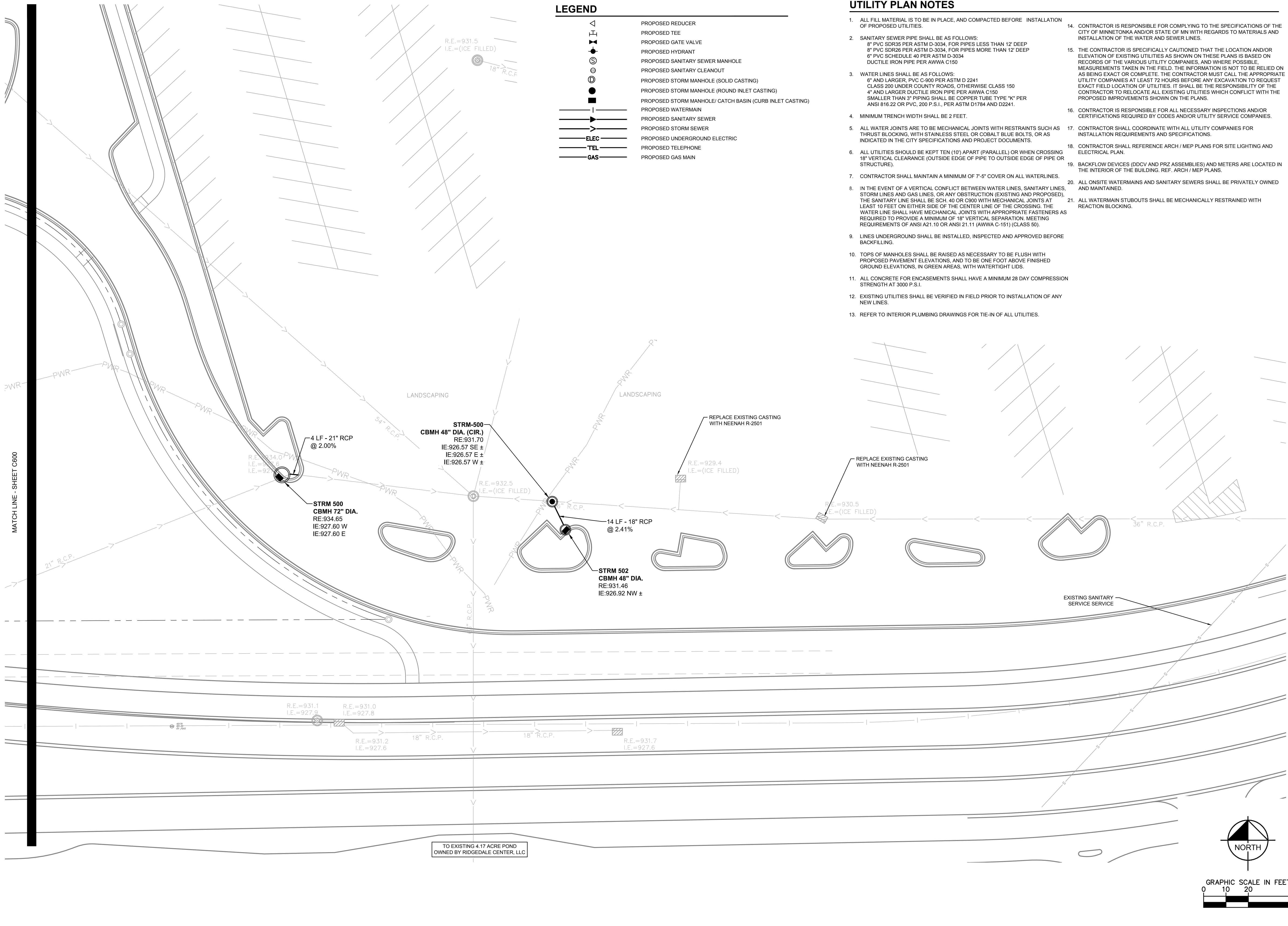
UTILITY PLAN

MINNETONKA, MN

No.	REVISIONS	DATE	BY



MATCH LINE - SHEET C601



PRELIMINARY - NOT FOR CONSTRUCTION

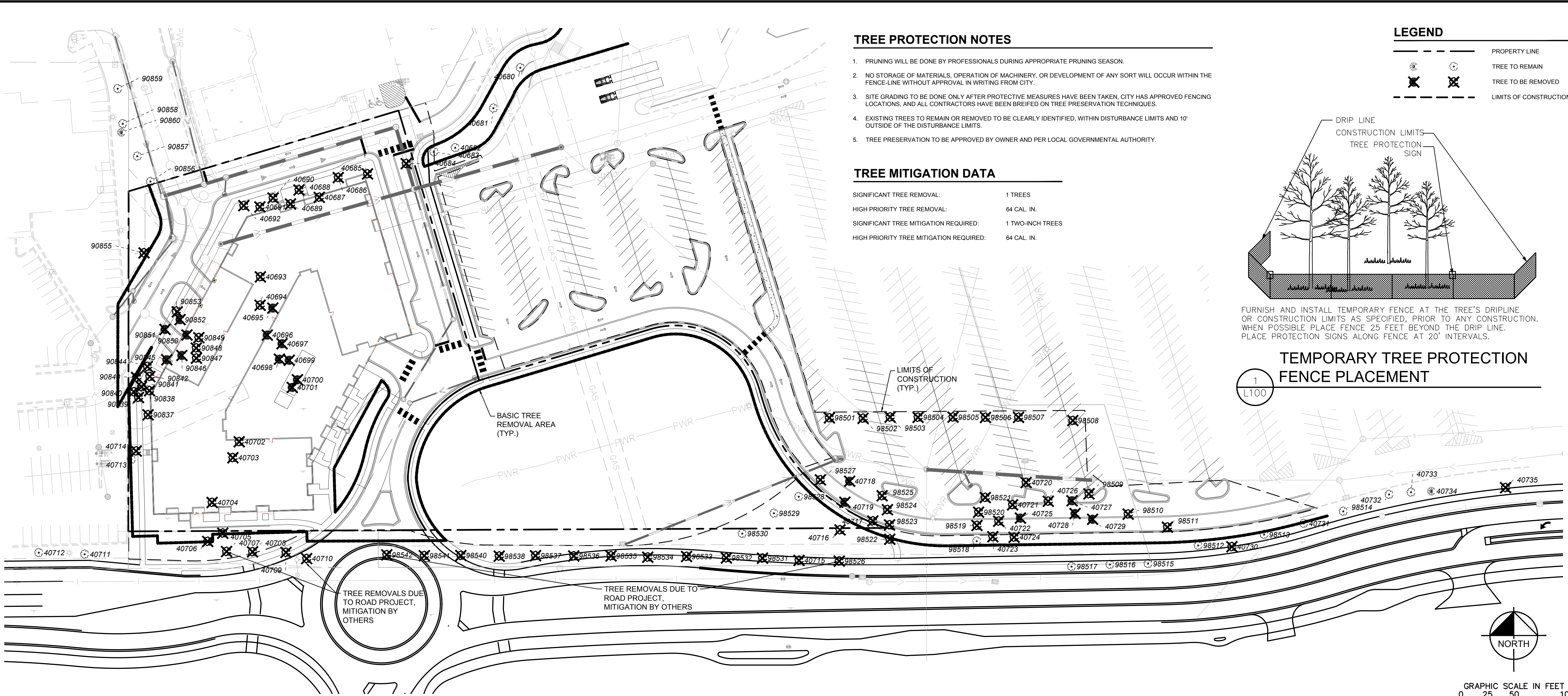
RIDGEDALE ACTIVE
ADULT APARTMENTS
PREPARED FOR
TRAMMELL CROW
COMPANY

UTILITY PLAN

KHA PROJECT	160573022
DATE	03/09/2018
SCALE	AS SHOWN
DESIGNED BY	JNL
DRAWN BY	LEC
CHECKED BY	JNL

Kimley»Horn
© 2017 KIMLEY-HORN AND ASSOCIATES, INC.
2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114
PHONE: 651-445-4197
WWW.KIMLEY-HORN.COM

No.	REVISIONS	DATE	BY



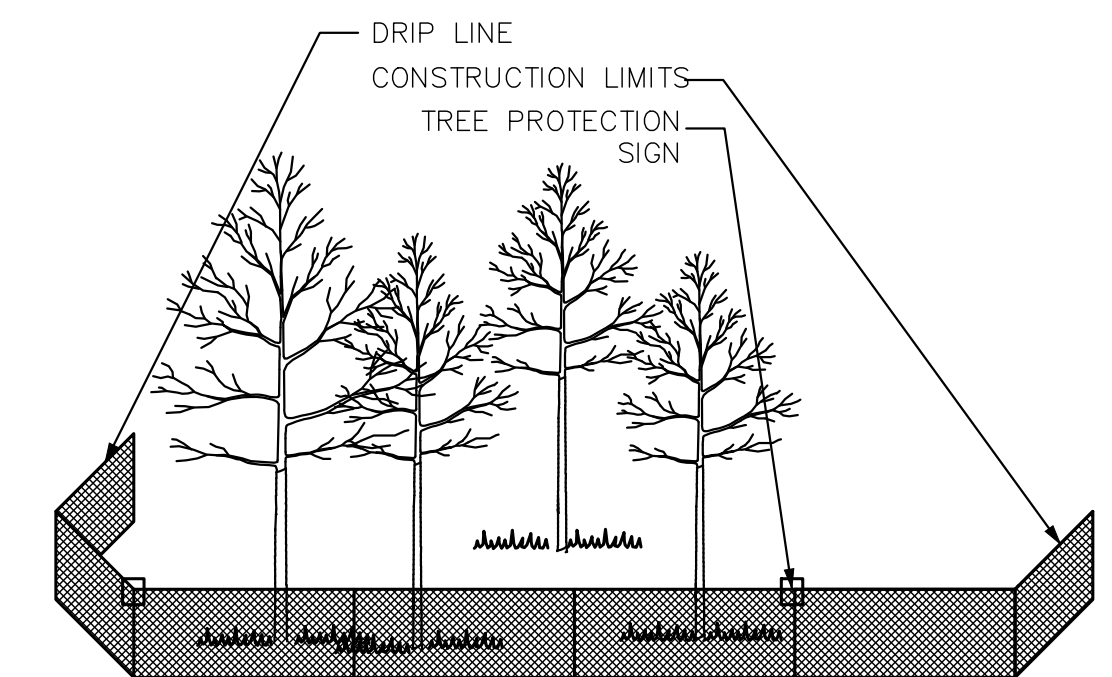
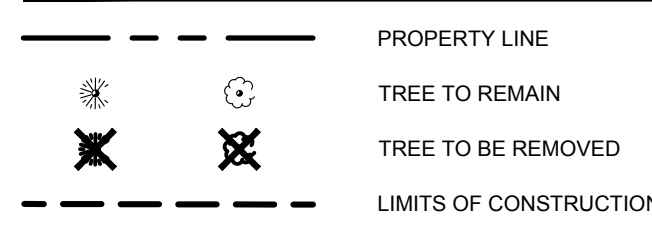
TREE PROTECTION NOTES

- PRUNING WILL BE DONE BY PROFESSIONALS DURING APPROPRIATE PRUNING SEASON.
- NO STORAGE OF MATERIALS, OPERATION OF MACHINERY, OR DEVELOPMENT OF ANY SORT WILL OCCUR WITHIN THE FENCE-LINE WITHOUT APPROVAL IN WRITING FROM CITY.
- SITE GRADING TO BE DONE ONLY AFTER PROTECTIVE MEASURES HAVE BEEN TAKEN. CITY HAS APPROVED FENCING LOCATIONS, AND ALL CONTRACTORS HAVE BEEN BRIEFED ON TREE PRESERVATION TECHNIQUES.
- EXISTING TREES TO REMAIN OR REMOVED TO BE CLEARLY IDENTIFIED, WITHIN DISTURBANCE LIMITS AND 10' OUTSIDE OF THE DISTURBANCE LIMITS.
- TREE PRESERVATION TO BE APPROVED BY OWNER AND PER LOCAL GOVERNMENTAL AUTHORITY.

TREE MITIGATION DATA

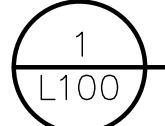
SIGNIFICANT TREE REMOVAL:	1 TREES
HIGH PRIORITY TREE REMOVAL:	64 CAL. IN.
SIGNIFICANT TREE MITIGATION REQUIRED:	1 TWO-INCH TREES
HIGH PRIORITY TREE MITIGATION REQUIRED:	64 CAL. IN.

LEGEND



FURNISH AND INSTALL TEMPORARY FENCE AT THE TREE'S DRIPLINE OR CONSTRUCTION LIMITS AS SPECIFIED, PRIOR TO ANY CONSTRUCTION. WHEN POSSIBLE PLACE FENCE 25 FEET BEYOND THE DRIPLINE. PLACE PROTECTION SIGNS ALONG FENCE AT 20' INTERVALS.

TEMPORARY TREE PROTECTION FENCE PLACEMENT



TAG #	SPECIES	CAL. IN. / HT.	MULTI-STEM	STATUS
40680		18		SAVED
40681		16		SAVED
40682		18		SAVED
40683		14		SAVED
40684		16		REMOVED
40685		18		REMOVED
40686		16		REMOVED
40687		12		REMOVED
40688		6		REMOVED
40689		6		REMOVED
40690		14		REMOVED
40691		14		REMOVED
40692		16		REMOVED
40693		16		REMOVED
40694		18		REMOVED
40695		18 / 7.5		REMOVED
40696		18 / 7.5		REMOVED
40697		18 / 7.5		REMOVED
40698		20 / 8.3		REMOVED
40699		12 / 5.0		REMOVED
40700		20 / 8.3		REMOVED
40701		18 / 7.5		REMOVED
40702		24		REMOVED
40703		18		REMOVED
40704		24		REMOVED

TAG #	SPECIES	CAL. IN. / HT.	MULTI-STEM	STATUS
M40705		20		REMOVED
M40706		24		REMOVED
40711		14		SAVED
40712		14		SAVED
40713		6		SAVED
40714		6	3	REMOVED
M40716		20		REMOVED
40717		18		REMOVED
40718		20 / 8.3		REMOVED
40719		16 / 6.7		REMOVED
40720		8	2	REMOVED
40721		16		REMOVED
40722		12	2	REMOVED
40723		20		REMOVED
40724		16		REMOVED
40725		16 / 6.7		REMOVED
40726		20		REMOVED
40727		12 / 5.0		REMOVED
40728		16 / 6.7		REMOVED
40729		16 / 6.7		REMOVED
40731		18		SAVED
40732		18		SAVED
40733		16		SAVED
40734		16		SAVED
40735		18		REMOVED

TAG #	SPECIES	CAL. IN. / HT.	MULTI-STEM	STATUS
90837	Crab Apple	6	2	REMOVED
90838	Crab Apple	6	3	REMOVED
90839	Crab Apple	4	3	REMOVED
90840	Crab Apple	6	2	REMOVED
90841		4	2	REMOVED
90842		6		REMOVED
90843		12		REMOVED
90844		6	3	REMOVED
90845		6 / 2.5	2	REMOVED
90846		10 / 4.2		REMOVED
90847	Crab Apple	6	2	REMOVED
90848	Crab Apple	6	2	REMOVED
90849	Crab Apple	6	3	REMOVED
90850		8 / 3.3		REMOVED
90851		12 / 5.0		REMOVED
90852		10 / 4.2		REMOVED
90853		14		REMOVED
M90855		14		REMOVED
90856		14		SAVED
90857		12		SAVED
90858		14		SAVED
90859		14		SAVED
90860		10 / 4.2		SAVED
98501		2		REMOVED
98502		2		REMOVED

TAG #	SPECIES	CAL. IN. / HT.	MULTI-STEM	STATUS
98503		2		REMOVED
98504		2		REMOVED
98505		2		REMOVED
98506		2		REMOVED
98507		2		REMOVED
98508		2		REMOVED
98509		3		REMOVED
98510		3		REMOVED
98511		3		REMOVED
98512		3		SAVED
98513		3		SAVED
98514		3		SAVED
98515		3		SAVED
98516		3 / 3.3		SAVED
98517		3		SAVED
98518		2		SAVED
98519		2		REMOVED
98520		2		REMOVED
98521		2		REMOVED
M98522		2		REMOVED
98523		2		REMOVED
98524		2		REMOVED
98525		2		REMOVED
98527		2		REMOVED
98528		2		SAVED

TAG #	SPECIES	CAL. IN. / HT.	MULTI-STEM	STATUS
98529		2		SAVED
98530		2		SAVED
*40707		20		REMOVED
*40708		20		REMOVED
*40709		20		REMOVED
*40710		20		REMOVED
*40715		12		REMOVED
*40730		6		REMOVED
*98526		2		REMOVED
*98531		2		REMOVED
*98532		2		REMOVED
*98533		2		REMOVED
*98534		2		REMOVED
*98535		2		REMOVED
*98536		2		REMOVED
*98537		2		REMOVED
*98538		2		REMOVED
*98540		2		REMOVED
*98541		2		REMOVED
*98542		2		REMOVED

NOTE:
* DENOTES TREE REMOVALS DUE TO ROAD PROJECT, MITIGATION BY OTHERS.
M - DENOTES MITIGATION REQUIRED, OUTSIDE BASIC TREE REMOVAL AREA

PRELIMINARY - NOT FOR CONSTRUCTION

RIDGEDALE ACTIVE ADULT APARTMENTS

PREPARED FOR
TRAMMELL CROW COMPANY

MINNETONKA, MN

Kimley»Horn

2017 KIMLEY-HORN AND ASSOCIATES, INC.
2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114
PHONE: 651-454-4197
WWW.KIMLEY-HORN.COM

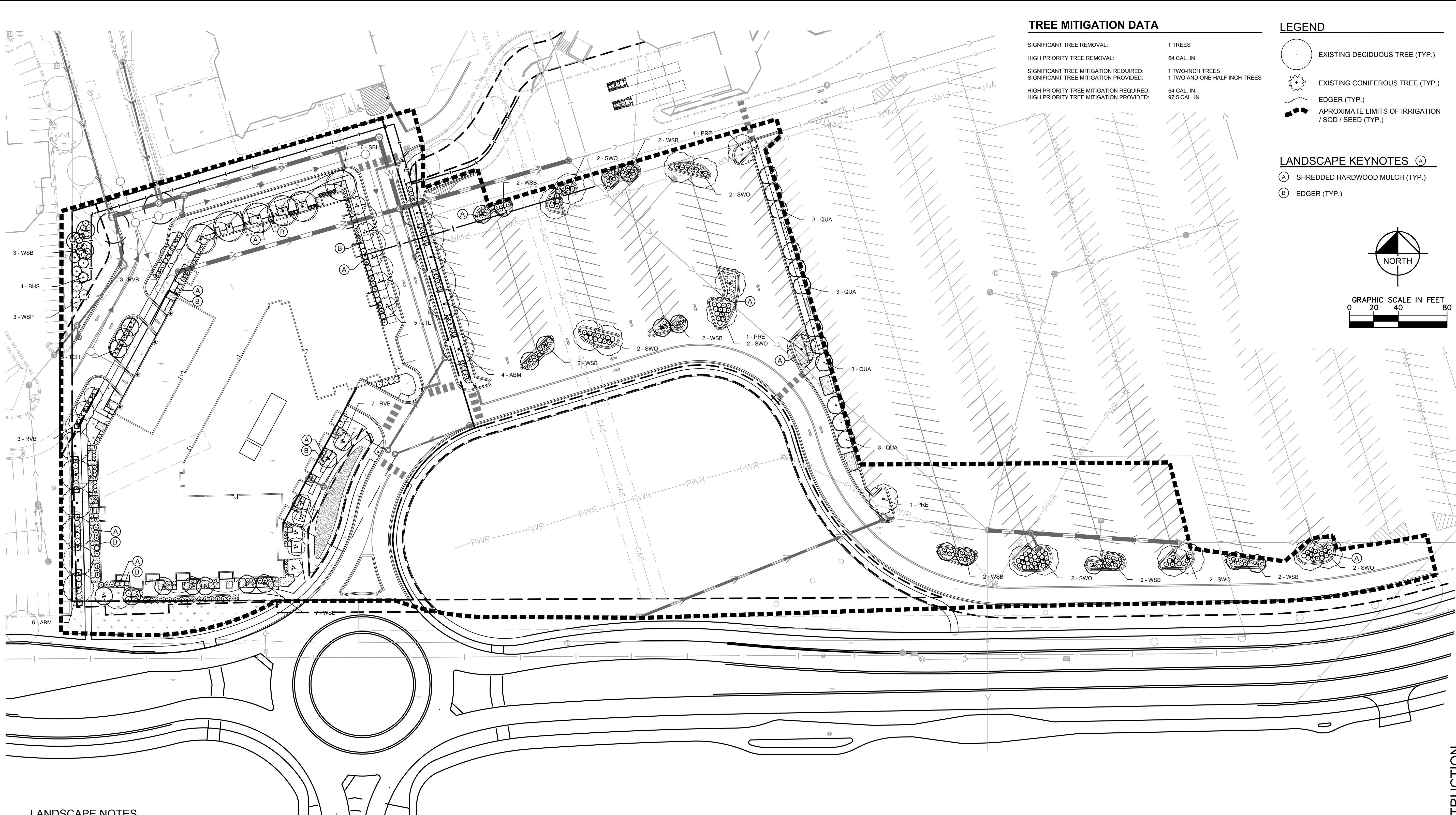
NO.	REVISIONS	DATE	BY

KHA PROJECT	160573022
DATE	03/09/2018
SCALE	AS SHOWN
DESIGNED BY	RAH
DRAWN BY	RAH
CHECKED BY	RAH
RYAN A. HULLESTED, P.L.A.	MN LIC. NO. 53628
DATE:	03/09/2018

TREE INVENTORY & PRESERVATION PLAN

SHEET NUMBER
L100

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



TREE MITIGATION DATA

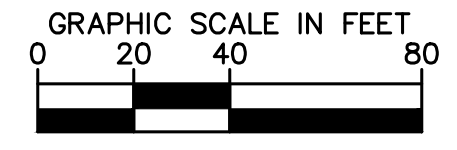
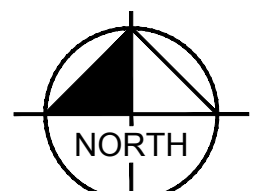
SIGNIFICANT TREE REMOVAL:	1 TREES
HIGH PRIORITY TREE REMOVAL:	64 CAL. IN.
SIGNIFICANT TREE MITIGATION REQUIRED:	1 TWO-INCH TREES
SIGNIFICANT TREE MITIGATION PROVIDED:	1 TWO AND ONE HALF INCH TREES
HIGH PRIORITY TREE MITIGATION REQUIRED:	64 CAL. IN.
HIGH PRIORITY TREE MITIGATION PROVIDED:	97.5 CAL. IN.

LEGEND

- EXISTING DECIDUOUS TREE (TYP.)
- EXISTING CONIFEROUS TREE (TYP.)
- EDGER (TYP.)
- APPROXIMATE LIMITS OF IRRIGATION / SOD / SEED (TYP.)

LANDSCAPE KEYNOTES

- (A)** SHREDDED HARDWOOD MULCH (TYP.)
- (B)** EDGER (TYP.)



LANDSCAPE NOTES

1. CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL 811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
2. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
5. CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
6. ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
ALL PLANTS SHALL BE FREE FROM NOTICEABLE SAPS, HOLES, OR DEFORMITIES.
ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.
CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
7. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
8. PLANTS TO BE INSTALLED AS PER MNLA & ANSI STANDARD PLANTING PRACTICES.
9. PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
10. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
11. OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
12. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
13. WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
14. STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
15. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
16. BACKFILL SOIL AND TOPSOIL TO ADHERE TO MNDOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
17. MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF SHREDDED HARDWOOD MULCH. SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND COLORED RED, OR APPROVED EQUAL. ROCK MULCH TO BE BUFF LIMESTONE, 1 1/2" TO 3" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPAR, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
18. EDGING TO BE COMMERCIAL GRADE VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING OR SPADED EDGE, AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE, FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
19. ALL DISTURBED AREAS TO BE SODDED OR SEEDDED, UNLESS OTHERWISE NOTED. PARKING LOT ISLANDS TO BE SODDED WITH SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MNDOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
20. PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
21. CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
22. REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
23. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.

PRELIMINARY - NOT FOR CONSTRUCTION

RIDGEDALE ACTIVE ADULT APARTMENTS
PREPARED FOR
TRAMMELL CROW COMPANY
MINNETONKA, MN

LANDSCAPE PLAN

KHA PROJECT	160573022
DATE	03/09/2018
SCALE	AS SHOWN
DESIGNED BY	RAH
DRAWN BY	RAH
CHECKED BY	RAH

THESE CONCEPTS AND DESIGN PRESENTATIONS ARE PRELIMINARY AND NOT TO BE USED FOR CONSTRUCTION. THEY ARE NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF KIMLEY-HORN AND ASSOCIATES, INC.

Kimley-Horn
2017 KIMLEY-HORN AND ASSOCIATES, INC.
2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114
PHONE: 651-445-4197
WWW.KIMLEY-HORN.COM

No.	REVISIONS	DATE	BY

PLANT SCHEDULE RESIDENTIAL LOT						
CONIFEROUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SPACING
BHS	4	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	B & B		6' HT
WSP	3	PINUS STROBUS	WHITE PINE	B & B	6' HT.	AS SHOWN
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SPACING
RVB	13	BETULA NIGRA	RIVER BIRCH MULTI-TRUNK	B & B	6' HT.	AS SHOWN
WSB	10	BETULA POPULIFOLIA 'WHITESPIRE'	WHITESPIRE BIRCH CLUMP	B & B		6' HT
TCH	3	CRATAEGUS CRUS-GALLI INERMIS TM	THORNLESS COCKSPUR HAWTHORN	B & B	1.5" CAL.	
JTL	5	SYRINGA RETICULATA	JAPANESE TREE LILAC CLUMP	B & B		6' HT
OVERSTORY TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SPACING
ABM	6	ACER FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	B & B	2.5" CAL.	AS SHOWN
SBH	6	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SUNCOLE'	SUNBURST HONEYLOCUST	B & B	2.5" CAL.	
CONIFEROUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	
SGJ	30	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	#5 CONT.	5' O.C.	
GOJ	3	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	#5 CONT.	4' O.C.	
TAU	11	TAXUS X MEDIA 'TAUNTONII'	TAUTON YEW	#5 CONT.	3' O.C.	
HMA	10	THUJA OCCIDENTALIS 'HOLMSTRUP'	HOLMSTRUP ARBORVITAE	#5 CONT.	3' O.C.	
TCA	7	THUJA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE	#5 CONT.	5' O.C.	
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	
RSV	27	AMELANCHIER ALNIFOLIA 'REGENT'	REGENT SERVICEBERRY	#5 CONT.	5' O.C.	
RGD	19	CORNUS ALBA SIBIRICA 'RED GNOME'	RED GNOME DOGWOOD	#5 CONT.	4' O.C.	
GDG	8	CORNUS RACEMOSA	GRAY DOGWOOD	#5 CONT.	5' O.C.	
RTD	16	CORNUS SERICEA 'BAILEY'	RED TWIG DOGWOOD	#5 CONT.	5' O.C.	
DBH	25	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	#5 CONT.	3' O.C.	
ANH	12	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	#5 CONT.	4' O.C.	
APC	9	RIBES ALPINUM	ALPINE CURRANT	#5 CONT.	4' O.C.	
SEM	11	SORBARIA SORBIFOLIA 'SEM'	SEM FALSESPIREA	#5 CONT.	3' O.C.	
JWS	11	SPIRAEA ALBIFLORA	JAPANESE WHITE SPIREA	#2 CONT.	3' O.C.	
NBV	6	VIBURNUM LENTAGO	NANNYBERRY VIBURNUM	#5 CONT.	5' O.C.	
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SPACING
	106	ASTER DUMOSUS 'WOOD'S BLUE'	WOOD'S BLUE ASTER	#1 CONT		12" o.c.
	16	BERGENIA CORDIFOLIA 'WINTER GLOW'	WINTER GLOW BERGENIA	#1 CONT		18" o.c.
	87	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#1 CONT		30" o.c.
	20	ECHINACEA PURPUREA 'WHITE SWAN'	WHITE SWAN CONEFLOWER	#1 CONT.		15" o.c.
	11	ECHINACEA X 'POW WOW WILDBERRY'	POW WOW WILDBERRY CONEFLOWER	#1 CONT		24" o.c.
	125	HAKONECHLOA MACRA 'AUREOLA'	GOLDEN VARIEGATED HAKONECHLOA	#1 CONT		16" o.c.
	10	HOSTA X 'KROSSA REGAL'	KROSSA RAGAL HOSTA	#1 CONT		48" o.c.
	37	MATTEUCCIA STRUTHIOPTERIS	OSTRICH FERN	#1 CONT		30" o.c.
	82	NEPETA X FAASSENII 'KIT KAT'	KIT KAT CATMINT	#1 CONT		18" o.c.
	112	RUDBECKIA FULGIDA 'GOLDSTURM'	BLACK-EYED SUSAN	#1 CONT		18" o.c.
	28	SEDUM X 'AUTUMN JOY'	AUTUMN JOY SEDUM	#1 CONT		18" o.c.
	46	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	#1 CONT		24" o.c.
SOD/SEED	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SPACING
	12,831 SF	POA PRATENSIS	KENTUCKY BLUEGRASS	SOD		

CONCEPT PLANT SCHEDULE

SAVANNA GRASS MIX
SEEDING RATE: BROADCAST: 3 LBS./
10,000 SQ. FT. DRILL: 8-10 LBS./ACRE
ASCLEPIAS SYRIACA / COMMON MILKWEED

1,088 SF

PLANT SCHEDULE PARKING LOT						
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SPACING
WSB	14	BETULA POPULIFOLIA 'WHITESPIRE'	WHITESPIRE BIRCH CLUMP	B & B		6' HT
QUA	12	POPULUS TREMULOIDES	QUAKING ASPEN	B & B	1.5" CAL.	
OVERSTORY TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SPACING
ABM	4	ACER FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	B & B	2.5" CAL.	AS SHOWN
SWO	14	QUERCUS BICOLOR	SWAMP WHITE OAK	B & B	2.5" CAL.	AS SHOWN
PRE	3	ULMUS AMERICANA 'PRINCETON'	AMERICAN ELM	B & B	2.5" CAL.	
CONIFEROUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	
SGJ	16	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	#5 CONT.	5' O.C.	
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	
AFD	39	CORNUS SERICEA 'ARTIC FIRE'	ARTIC FIRE DOGWOOD	#5 CONT.	3' O.C.	
DBH	91	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	#5 CONT.	3' O.C.	
GLS	76	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	#5 CONT.	4' O.C.	
APC	25	RIBES ALPINUM	ALPINE CURRANT	#5 CONT.	4' O.C.	
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SPACING
	50	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#1 CONT		30" o.c.
	50	ECHINACEA X 'POW WOW WILDBERRY'	POW WOW WILDBERRY CONEFLOWER	#1 CONT		24" o.c.
	48	SCHIZACHYRIUM SCOPARIUM 'BLUE HEAVEN'	BLUE HEAVEN LITTLE BLUESTEM	#1 CONT		24" o.c.
	28	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	#1 CONT		24" o.c.
SOD/SEED	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SPACING
	3,005 SF	POA PRATENSIS	KENTUCKY BLUEGRASS	SOD		

PRELIMINARY - NOT FOR CONSTRUCTION

**RIDGEDALE ACTIVE
ADULT APARTMENTS**
PREPARED FOR
**TRAMMELL CROW
COMPANY**
MINNETONKA MN

SHEET NUMBER
L102

**LANDSCAPE
SCHEDULES**

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

KHA PROJECT
160573022
DATE
03/09/2018
SCALE
AS SHOWN
DESIGNED BY
RAH
DRAWN BY
RAH
CHECKED BY
RAH

RYAN A. HYLLESTED, P.E.
MN LIC. NO. 53828
DATE: 03/09/2018

Kimley >>> Horn
2017 KIMLEY-HORN AND ASSOCIATES, INC.
2550 UNIVERSITY AVENUE WEST, SUITE 238N, ST. PAUL, MN 55114
PHONE: 651-454-4197
WWW.KIMLEY-HORN.COM

NO.	REVISIONS	DATE	BY

