

**City Council Agenda Item #12_
Meeting of July 8, 2019**

Brief Description

Items concerning Shady Oak Road Redevelopment:

- 1) Master Development Plan,
- 2) Site and Building Plan review,
- 3) Preliminary Plat,
- 4) Detachment/Annexation,
- 5) Comprehensive guide plan amendment, and
- 6) Rezoning

Recommendation

Introduce the ordinance amending the master development plan, rezoning the property to Planned Unit Development and refer it to the planning commission

Background

The city of Minnetonka purchased the property at 4312 Shady Oak Rd. in March 2015. In Nov. 2016, after several neighborhood meetings and a developer interview process, the city council selected Ron Clark Construction to begin negotiations and propose a development concept.

On Sept. 25, 2017, after an extensive community outreach and engagement process, the city council approved the Shady Oak Crossings redevelopment project. The project, as approved, is a two and three-story, 49-unit apartment building with underground parking, resident community room, exercise room, on-site manager's office, and an outdoor play area. The building would have a mix of 1, 2, and 3 bedroom apartments with rents expected to be between \$800 and \$1200 per month.

After the 2017 approval, the developer worked towards 2018 tax credit financing for the project (through the state). In Nov. 2018, the developer was notified that they were not awarded tax credits. In June 2019, another application for tax credits was submitted.

Complete information on the project's history is posted on the city's website [here](#):

In May 2019, Ron Clark Construction announced it was proposing to make revisions to the approved plan. A revised concept plan was submitted to the planning commission, and city council reviewed a revised concept plan.

- **Planning Commission Concept Plan Review.** The commission reviewed the concept plan at its May 2, 2019 meeting. The commission was generally supportive of the proposed changes. Comments and questions from their review included:
 - The overall plan was an improvement compared to the approved plan.
 - Like the partial pitched roof.

- Traffic is improved with the garage access from Shady Oak Rd at the stoplight
- Is there a need for 31 surface parking spaces?
- If the play area moves, could it be moved to a sunny area?
- Could the building footprint be reduced?
- With the reduced building setback along Oak Drive Lane, a clear landscaping plan is needed.

In addition to the planning commission comments, the commission also received input from two residents. One resident stated it was a big building getting bigger. Another resident indicated support for the project.

- **City Council Concept Plan Review.** The city council reviewed the concept plan at its May 20, 2019 meeting. The council generally commented that the revised plans addressed many outstanding issues of the previously approved project. Comments and questions from their review included:
 - The building was massive for the neighborhood.
 - Use of the city-owned residential property for stormwater treatment.
 - Process going forward with the developer
 - Could the surface parking lot be connected to the new Shady Oak Road driveway?
 - Better location of the play area interior on the site.
 - Would the building be taller than previously approved?
 - What other buildings in the area or city are comparable?

Proposal

Ron Clark Construction is proposing to revise the previously approved 2017 plans. The new plans propose a three-story, 67-unit apartment building on the property located at 4312 Shady Oak Road. The proposed apartment building would have underground parking, resident community room, exercise room, on-site manager's office, and an outdoor play area. The building would have a mix of 1, 2, and 3 bedroom apartments with rents expected to be between \$900 and \$1300 per month. The revised proposal requires (1) Master Development Plan, (2) Subdivision, (3) Site and Building Plan review, (4) Annexation/Detachment, (5) Comprehensive Plan amendment, (6) Rezoning. The proposal requires the approval of:

- 1) **Master Development Plan.** The revised proposal requires an amendment to the previously approved project for the increase in building size, housing units, and changes to the site plan.
- 2) **Final Site and Building Plans.** By city code, site and building plan review is required for construction of any new building of the proposed size.
- 3) **Subdivision.** The applicant is proposing to subdivide a portion of the adjacent and also city-owned residential property and allowance for stormwater management to occur on that property with an easement. The subdivision would also incorporate adjacent land currently located in the city of Hopkins.

- 4) **Annexation/Detachment.** The applicant has secured a purchase agreement with an adjacent property located in the city of Hopkins that would provide additional land to expand the project. A concurrent detachment/annexation process could be undertaken by both cities. Minnetonka city council would consider action at the second council review meeting of the request, tentatively scheduled for August.
- 5) **Comprehensive Guide Plan Amendment.** With annexation, the Hopkins land parcel would need to be designated in the comprehensive plan as high-density residential. As both cities 2040 comprehensive plans are not yet in effect, any project approvals would be conditioned on the Metropolitan Council approving the plans.
- 6) **Rezoning.** With annexation, the Hopkins land parcel would need to be zoned consistent with the comprehensive plan. The applicant has requested Planned Unit Development.

Issue Identification

The purpose of introducing an ordinance is to give the city council the opportunity to review a new application before sending it to the planning commission for a recommendation. Introducing an ordinance does not constitute an approval. The tentative planning commission date is July 18, 2019.

Based on a preliminary review of the proposal, staff has identified the following issues for further analysis and discussion:

- 1) **Site and Building Design.** The revised plans change the access location of the under building parking from Oak Drive Lane to the Shady Oak Road / Main Street intersection. This will result in a considerable reduction in trips from this residential street. Although larger than the previously approved building, the design remains relatively similar. The new plans incorporate a hip roof design for much of the building.
- 2) **Stormwater Management.** Development of this site will require the implementation of new stormwater management techniques. The proposed techniques will be analyzed for conformance with the city's water resources management plan.
- 3) **Neighborhood Buffering and Screening.** Although the commercial building has no landscape or constructed screening to buffer it from the adjacent single-family neighborhood, the proposal presents an opportunity to improve screening and buffer the site and Shady Oak Road corridor.
- 4) **Annexation.** Cooperation from the City of Hopkins is required for this project to be completed. Completion of the detachment/annexation process would be a condition of project approvals.

Staff Recommendation

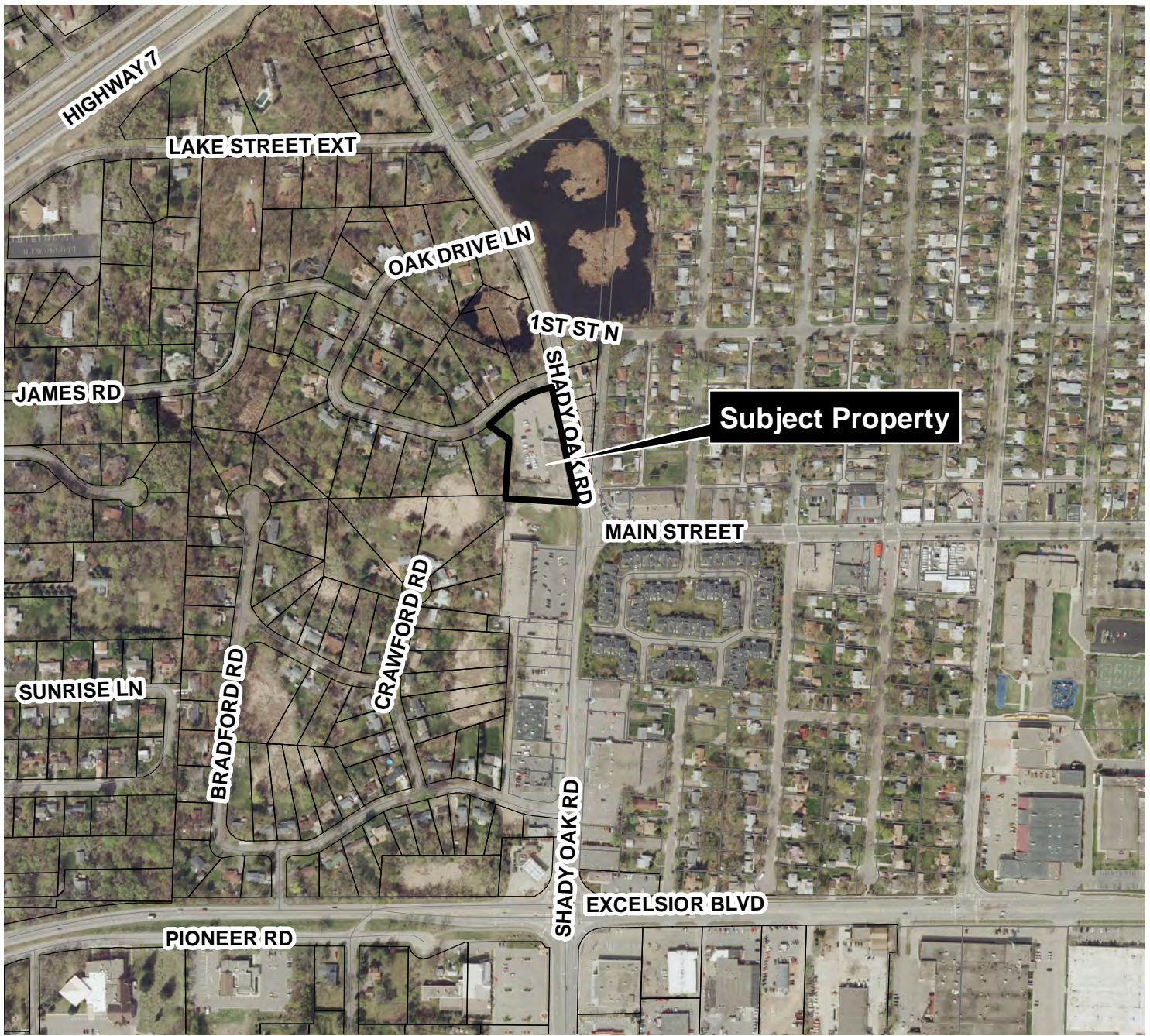
Introduce the attached ordinance and refer it to the planning commission.

Submitted through:

Geralyn Barone, City Manager
Julie Wischnack, AICP, Community Development Director

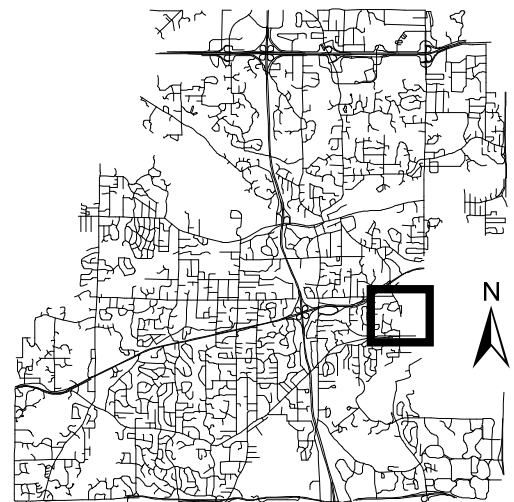
Originated by:

Loren Gordon, AICP, City Planner



LOCATION MAP

Project: Shady Oak Redevelopment
Address: 4312 Shady Oak Rd.



This map is for illustrative purposes only.

Tuesday, June 18, 2019

Loren Gordon
City of Minnetonka
14600 Minnetonka Blvd
Minnetonka, MN 55345

RE: Shady Oak Crossing Project Narrative

Ron Clark Construction is proposing a three-story, 67-unit apartment building on the property located at 4312 Shady Oak Road.

The proposed apartment building would have underground parking, resident community room, exercise room, onsite manager's office and an outdoor play area.

It is proposed to have a mix of 1, 2 and 3 bedroom apartments and they currently expect the unit rents to be between \$900 and \$1,300 per month. (See attachments).

Zoning for the property is currently B-2, limited business district. The city's comprehensive plan guides the property for commercial use.

Rezoning and Comprehensive Plan: The proposed residential use requires a rezoning and guide plan change.

The proposed housing component would qualify the project for public benefit under the planned unit development zoning district.

A complementary high density residential comprehensive plan re-guidance would align with the zoning density of 24.28 units/acre. (67 units/2.76 acre)



Building Design: The proposed 3 story building with a combination of sloped and flat roof and two-story components at each end represents significant first step in the redevelopment of the Shady Oak Road corridor between Highway 7 and Excelsior Boulevard.

This existing commercial building is dilapidated and unlikely to be a candidate for remodeling.

Other residential redevelopment in the area includes The Oaks of Mainstreet townhome development (late 1990s) at the corner of Shady Oak Road and Mainstreet.

The proposed apartment building incorporates an attractive roof design and an articulated façade, underground parking and common building entry accesses.

Changes from the previously approved development plan:

During our previous City approval process most of the concern from the neighbors was the impact of traffic on Oak Drive Lane. We had attempted during the previous application to approach our neighbor to the south on acquiring some additional property to allow for a change of access to the site, but we were unsuccessful. After our approval we re-kindled those discussions and have now acquired a purchase agreement for the additional land needed to make the access off Shady Oak Road possible.

Our current design includes 67 units vs 49 units previously. The additional units are needed to make the project viable.

Site Design: Like our previous proposal, this proposal would site the apartment building toward Shady Oak Road while providing greenspace to separate the building from the sidewalk.

Surface parking and a tot lot are provided on the west side of the building.

Underground parking is now accessed from Shady Oak Road.

Site and building design consider the relationships of public and private spaces. A strong relationship of the sidewalk, front yard space and the building's first floor is essential for great spaces.

Changes to Site Design:

The previously approved site plan had the entrance to the parking garage coming from Oak Drive Lane. The parking garage now enters from Shady Oak Road. The only traffic to Oak Drive Lane will come from our small surface parking lot of 25 parking stalls that will mainly be used by visitors.

The building now has shifted south to allow the garage entrance to come from Shady Oak Road.

The building exterior has changed to more blend and complement the existing residential neighborhood and the front of the building is faced toward and connected to the sidewalk along Shady Oak Road while providing greenspace to separate the building from the sidewalk.

Accenting landscaping will be placed at the north and south ends of the building to provide an attractive updated presence along Shady Oak Road. All efforts will be made to protect the existing trees as well as adding additional trees and landscaping to screen the existing neighbors from the surface parking.

Stormwater Management:

The current property is covered with 1.22 acres of impervious surface and primarily drains to the wetland. The new development stormwater management system for the site will convey all site runoff to a new basin installed on the adjacent property to the West. The impervious area for the new development provides a 23% reduction from the existing site condition. The development will meet all management standards required by the City of Minnetonka, the Nine Mile Creek Watershed District and the MPCA NPDES Permit.

Traffic: Prior to our previously approved proposal the city consultant prepared a traffic study of the area and it clearly shows that the new use will have less traffic than other currently allowed uses and the effect on the surrounding intersections was minimal. The impact of our current design will be dramatically reduced from our previously approved proposal due to most of our traffic will now enter directly onto Shady Oak Road vs Oak Drive Lane.

Financing: The project will be financed through the Minnesota Housing Finance Agency (MHFA) 9% tax credit program, The tax credit financing program is a public/private partnership whereby the tax credit investor receives federal tax credits for a 10 year period which we are able to convert into Equity for the project, this allows for a small mortgage but in return the rents must be kept at a level set by MHFA for 30 years, with a Tenant's income restricted to 60% of the Median Income for the County., which currently for a family of 4 is \$60,000/year.

In addition, MHFA does annual inspections of the property and require us to set aside about \$150,000 in reserves at closing and to set aside another \$23,000/year for major repairs and replacements. This assures that the building will be maintained at a high quality and continue to be an asset to the city for years to come.

If the project is approved by the city, we will be applying for tax credits in 2019 and if selected would plan to start construction in early 2020.

Professional Management: Steven Scott Management will be our management company, they are a highly respected local company.

We will have an onsite resident caretaker as well as a building manager who is at the building a minimum of 30 hours per week, along with a Senior Manager who oversees the building management.

As part of the maintenance and management of the building we are in each unit, normally monthly or bi-monthly to maintain equipment and to do a quick inspection to confirm no lease violations or undo wear and tear is happening.

Each resident in the household must pass extensive credit, criminal & housing history checks

The leases are also very clear as to our right to evict or non-renew a tenant for either a major lease violation or continued smaller issues. They also sign a Drug-free/Crime-free lease addendum.

Smoking is not allowed anywhere in the building.

Income requirements and Rents for Shady Oak Crossing

New 2019 Qualifying incomes: At or below \$42,000 (family of 1)

At or below \$48,000 (family of 2)

At or below \$54,000 (family of 3)

At or below \$60,000 (family of 4)

At or below \$64,800 (family of 5)

At or below \$69,600 (family of 6)

Each resident in the household must pass extensive credit, criminal and housing history checks.

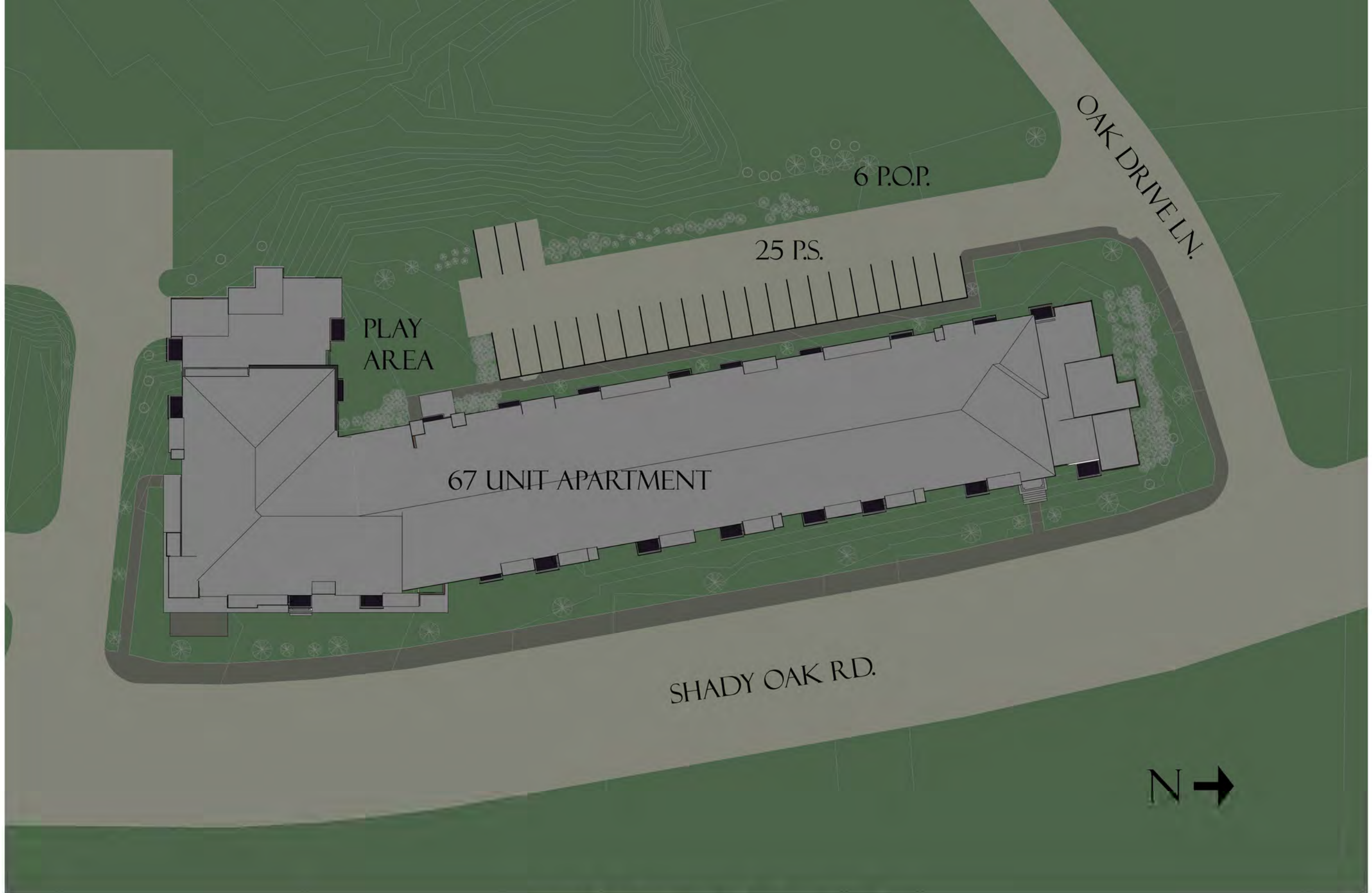
Projected rents including utilities:

1 bedroom = \$937

2 bedroom = \$1,125

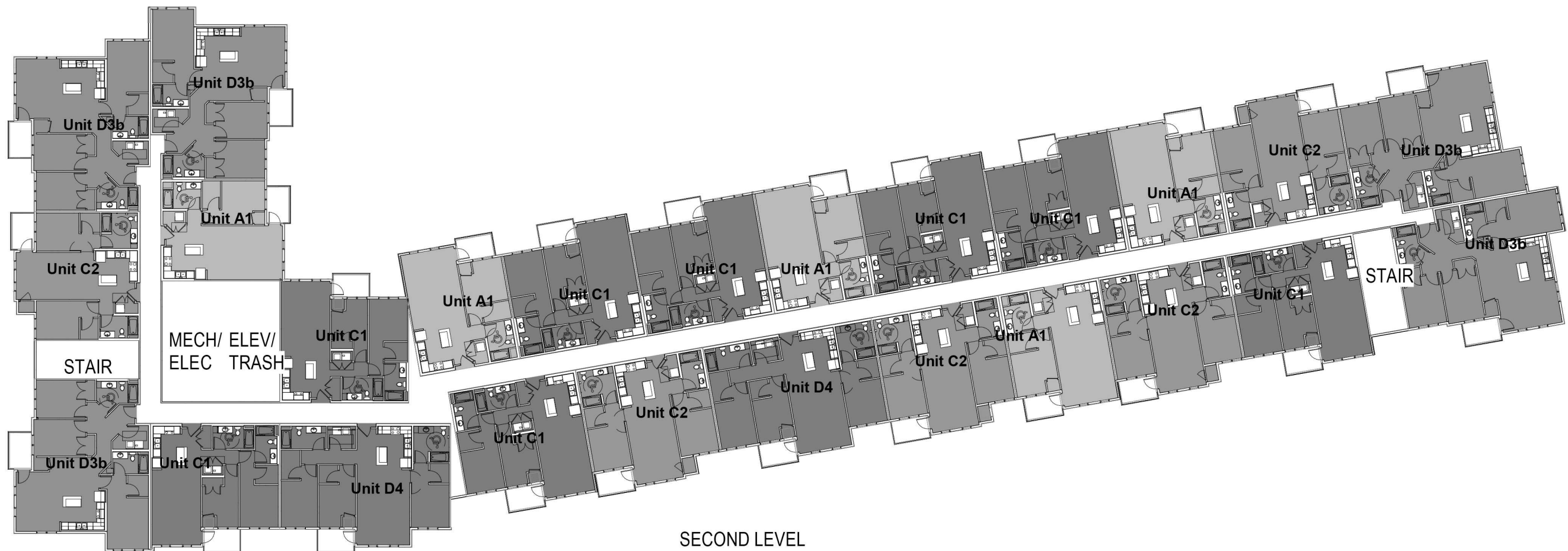
3 bedroom = \$1,300

Note: There are also 8 permanent supportive housing units within the development.

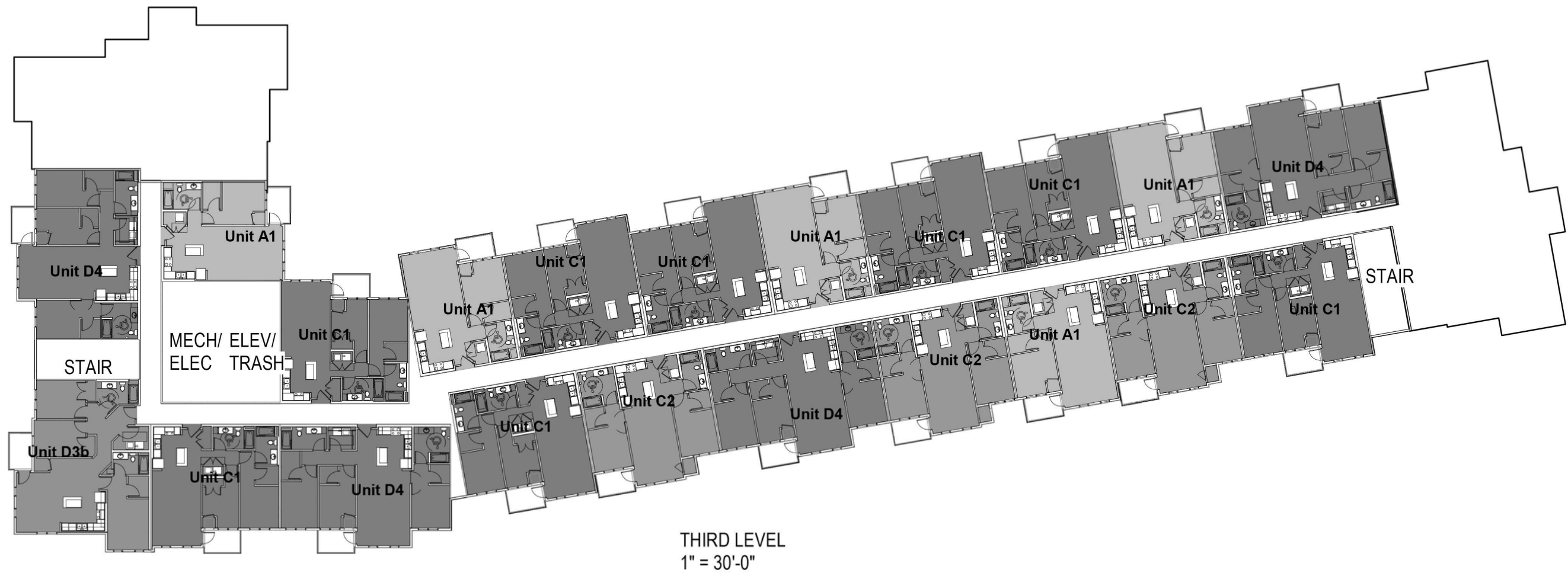


SITE PLAN SCALE: 1" = 20'-0"

6/18/19



SECOND LEVEL
1" = 30'-0"





VIEW FROM THE SOUTHEAST

6/18/19



VIEW FROM THE NORTHEAST

6/18/19



VIEW FROM THE NORTHWEST

6/18/19



VIEW FROM THE SOUTHWEST

6/18/19



NORTH ELEVATION



SOUTH ELEVATION



PARTIAL EAST ELEVATION



PARTIAL WEST ELEVATION



PARTIAL WEST ELEVATION



PARTIAL EAST ELEVATION

6/18/19



WEST ELEVATION



EAST ELEVATION

6/18/19

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

CALL BEFORE YOU DIG
GOPHER STATE ONE CALL

TWIN CITY AREA: 651-454-0002
 TOLL FREE 1-800-252-1166

SHADY OAK CROSSING

MINNETONKA, MN

PROJECT DIRECTORY

OWNER:
 RON CLARK CONSTRUCTION & DESIGN
 MIKE ROEBUCK
 7500 WEST 78TH STREET
 EDINA, MN 55439
 PH. 952.947.3022
 EMAIL: MIKE@RONCLARK.COM

ENGINEER:
 CAMPION ENGINEERING SERVICES, INC.
 MARTY CAMPION
 1800 PIONEER CREEK CENTER
 MAPLE PLAIN, MN 55364
 PH. 763.479.5172
 EMAIL: MCAMPION@CAMPIONENG.COM

SURVEYOR:
 WENCK ASSOCIATES
 1800 PIONEER CREEK CENTER
 MAPLE PLAIN, MN 55359
 PH. 763.479.4200

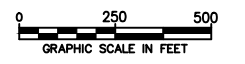
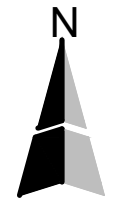
NOTE:
 BOUNDARY AND TOPOGRAPHIC INFORMATION PER SURVEY PREPARED BY WENCK ASSOCIATES, DATED FEBRUARY 6, 2017.

GOVERNING SPECIFICATIONS:

1. THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" LATEST EDITION & SUPPLEMENTS.
2. CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) STANDARD UTILITIES SPECIFICATIONS. (LATEST EDITION)
3. ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND ORDINANCE WILL BE COMPLIED WITH IN THE CONSTRUCTION OF THIS PROJECT.
4. CITY OF MINNETONKA STANDARD SPECIFICATIONS & DETAILS.

INDEX

SHEET NO.	DESCRIPTION
1.	COVER SHEET
2.	CERTIFICATE OF SURVEY
3.	PRELIMINARY PLAT—SHADY OAK CROSSING
4.	PRELIMINARY SITE PLAN
5.	PRELIMINARY UTILITY PLAN
6.	PRELIMINARY GRADING PLAN
7.	PRELIMINARY STORM WATER POLLUTION PREVENTION PLAN
8.	TREE INVENTORY
9.	TREE PRESERVATION PLAN
10.	DETAILS
11.	DETAILS



Plot Date & Time:

C:\Users\mkr-co\OneDrive\2017\17-011 Shady Oak Crossing\CAD\CAD1 COVER SHEET.dwg

NO.	DATE	DESCRIPTION



CAMPION ENGINEERING SERVICES, INC.

• Civil Engineering • Land Planning
 1800 Pioneer Creek Center,
 P.O. Box 249
 Maple Plain, MN 55359
 Phone: 763-479-5172
 Fax: 763-479-4242
 E-Mail: mcampion@campioneng.com

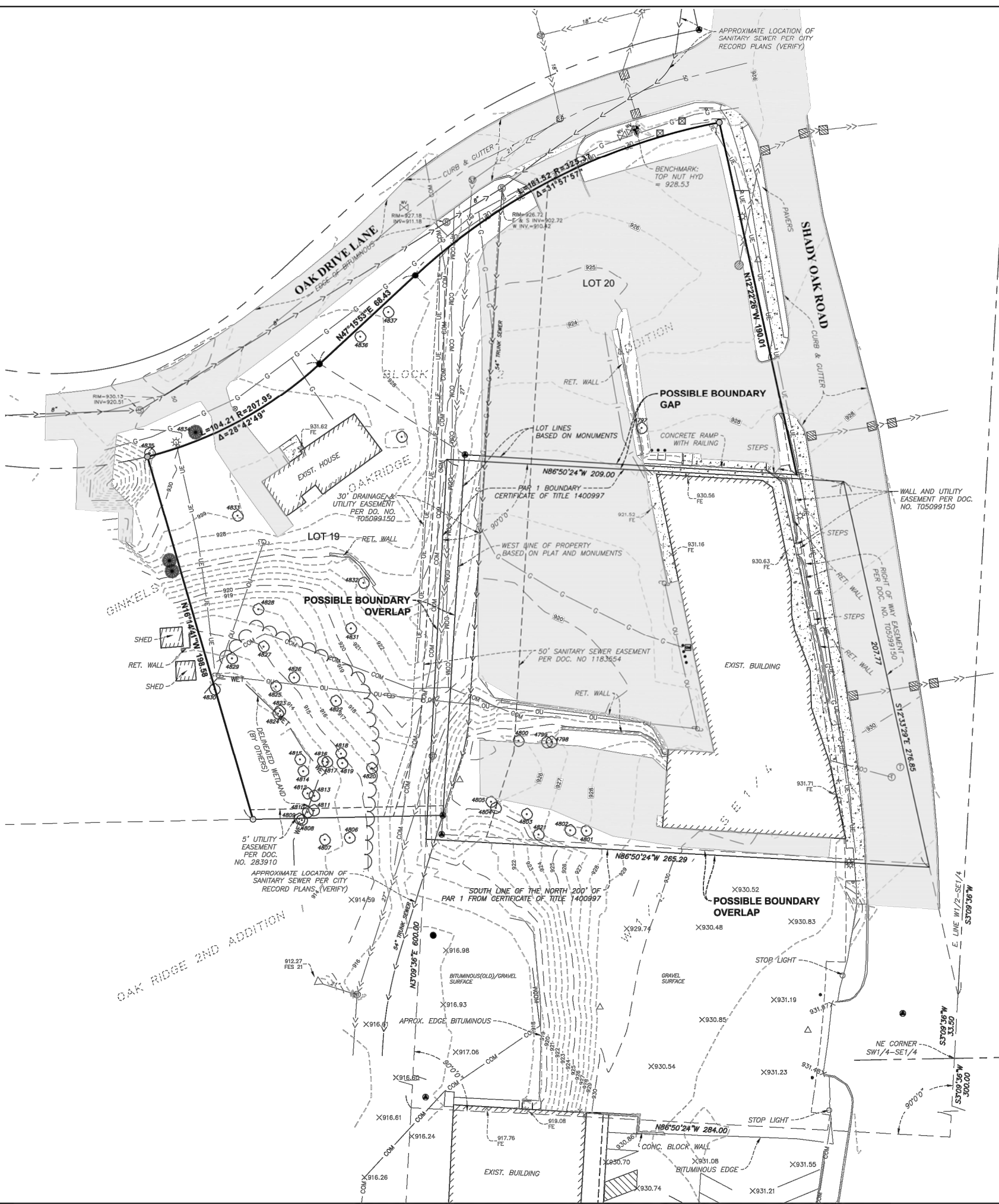
I hereby certify that this plan, specification or report has been prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.
 Martin P. Campion -Lic. # 19901 Date:

SHADY OAK CROSSING
RON CLARK CONSTRUCTION
 MINNETONKA, MN

COVER SHEET		PROJECT NO: 17-011
SHEET NO. 1 OF 11 SHEETS		DATE: 06/17/2019

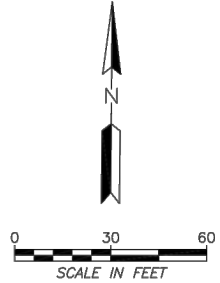
CERTIFICATE OF SURVEY

MINNETONKA, MN



LEGEND

- SET 3/4"ODx14" IRON PIPE WITH PLASTIC CAP 43055 OR MAG NAIL W/WASHER
- PROPERTY MARKER FOUND BY HENNEPIN COUNTY SURVEYOR
- FOUND MONUMENT
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM SEWER MANHOLE
- ⊙ STORM SEWER INLET
- ⊙ STORM SEWER INLET
- ⊙ TELEPHONE MANHOLE
- ⊙ GAS METER
- ⊙ COMMUNICATIONS PEDESTAL
- ⊙ ELECTRIC MANHOLE
- ⊠ ELECTRIC TRANSFORMER
- ⊠ TRAFFIC SIGN
- BOLLARD/POST
- ⊙ UTILITY POLE
- ⊙ LIGHT POLE
- CONIFEROUS TREE
- DECIDUOUS TREE
- ⊙ WATER VALVE
- ⊙ HYDRANT
- > STORM SEWER
- > SANITARY SEWER
- > WATERMAIN
- > UNDERGROUND GAS LINE
- > UNDERGROUND COMMUNICATION LINE
- > OVERHEAD UTILITY LINE
- > TREE LINE
- ▭ BUILDING
- ▭ CONCRETE SURFACE
- ▭ ASPHALT SURFACE



PROPERTY DESCRIPTION:

Certificate of Title 1400998

Lot 19 Block 2, Ginkels Oakridge Addition AND

Certificate of Title 1400997

Par 1:

All that portion of the tract or parcel of land described at paragraph "A" below, which lies Northerly of a line drawn parallel to and 200 feet Southerly of the North line thereof and the same extended, to-wit:

Paragraph "A". That portion of the West Half of the Southeast Quarter of Section 23, Township 117, Range 22, described as follows: Starting at the Northeast corner of the Southwest Quarter of the Southeast Quarter of said Section; thence South along the East line of the West Half of the Southeast Quarter of said Section, a distance of 300 feet; thence Westerly at right angles to said East line for a distance of 284 feet; thence Northerly along a line parallel to said East line a distance of 600 feet; thence Easterly along a line at right angles to said East line 209 feet to the center line of McGinty Road; thence Southeasterly along the center line of McGinty Road to the East line of the West Half of the Southeast Quarter of said Section 23; thence Southerly along said East line 33.5 feet to the point of beginning.

Par 2:

Lot 20, Block 2, Ginkels Oakridge Addition

SURVEYORS NOTES:

1. Utility lines shown hereon are based on field markings and maps provided to us as a result of Gopher State One Call private utility locate (Ticket Numbers 170260089, 170260090). the surveyor cannot guarantee that all utilities were marked or that the markings/maps are accurate.
2. Horizontal Datum: Hennepin County Coordinate System NAD83(11)
3. Vertical Datum: NAVD88
4. Date of fieldwork: 2/3/2017
5. Gross area = 2.38 acres.
6. Portions of the subject property were covered by snow and ice at the time of survey, the surveyor does not guarantee that all improvements are shown hereon.
7. This survey was prepared based on a cursory title review, the surveyor does not guarantee that all or any adverse interests, easements or other encumbrances are shown or that the owner listed has fee title to the property.

SURVEYORS CERTIFICATION:

I hereby certify that this survey was completed by me or under my direct supervision and that I am a duly licensed land surveyor under the laws of the State of Minnesota.

Chris Ambourn Date
LS 43055

WENCK ASSOCIATES
Responsive partner. Exceptional outcomes.
1802 WOODDALE DRIVE
WOODBURY, MN 55125 Ph: 651-395-5212

CLIENT NAME		PROJECT TITLE	
RON CLARK CONSTRUCTION & DESIGN		CERTIFICATE SURVEY	
DWN BY	CHK'D	APP'D	DWG DATE
MLH	CNA	CNA	6-FEB-2017
#	XXX	XX/XX/XX	SCALE 1" = 30'
REV	REVISION DESCRIPTION	DWN APP	REV DATE
PROJECT NO.		SHEET NO.	
1531-0009		2 OF 11	

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

CALL BEFORE YOU DIG
GOPHER STATE ONE CALL
 TWIN CITY AREA: 651-454-0002
 TOLL FREE 1-800-252-1166

LEGEND

- SET 3/4"ODx14" IRON PIPE WITH PLASTIC CAP 43055 OR MAG NAIL W/WASHER
- PROPERTY MARKER FOUND BY HENNEPIN COUNTY SURVEYOR
- FOUND MONUMENT
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM SEWER MANHOLE
- ⊙ STORM SEWER INLET
- ⊙ STORM SEWER INLET
- ⊙ TELEPHONE MANHOLE
- ⊙ GAS METER
- ⊙ COMMUNICATIONS PEDESTAL
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC TRANSFORMER
- ⊙ TRAFFIC SIGN
- BOLLARD/POST
- UTILITY POLE
- ⊙ LIGHT POLE
- CONIFEROUS TREE
- DECIDUOUS TREE
- ⊙ WATER VALVE
- ⊙ HYDRANT
- STORM SEWER
- SANITARY SEWER
- WATERMAIN
- UNDERGROUND GAS LINE
- UNDERGROUND COMMUNICATION LINE
- OVERHEAD UTILITY LINE
- TREE LINE
- ▨ BUILDING
- ▨ CONCRETE SURFACE
- ▨ ASPHALT SURFACE
- - - EASEMENT LINE
- . - . - . STRUCTURE SETBACK LINE

PROPERTY DESCRIPTION:

Certificate of Title 1400998

Lot 19 Block 2, Ginkels Oakridge Addition
 AND

Certificate of Title 1400997

Par 1:

All that portion of the tract or parcel of land described at paragraph "A" below, which lies Northerly of a line drawn parallel to and 200 feet Southerly of the North line thereof and the same extended, to-wit:

Paragraph "A". That portion of the West Half of the Southeast Quarter of Section 23, Township 117, Range 22, described as follows: Starting at the Northeast corner of the Southwest Quarter of the Southeast Quarter of said Section; thence South along the East line of the West Half of the Southeast Quarter of said Section, a distance of 300 feet; thence Westerly at right angles to said East line for a distance of 284 feet; thence Northerly along a line parallel to said East line a distance of 600 feet; thence Easterly along a line at right angles to said East line 209 feet to the center line of McGinty Road; thence Southeasterly along the center line of McGinty Road to the East line of the West Half of the Southeast Quarter of said Section 23; thence Southerly along said East line 33.5 feet to the point of beginning.

Par 2:

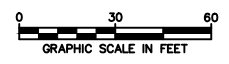
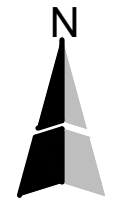
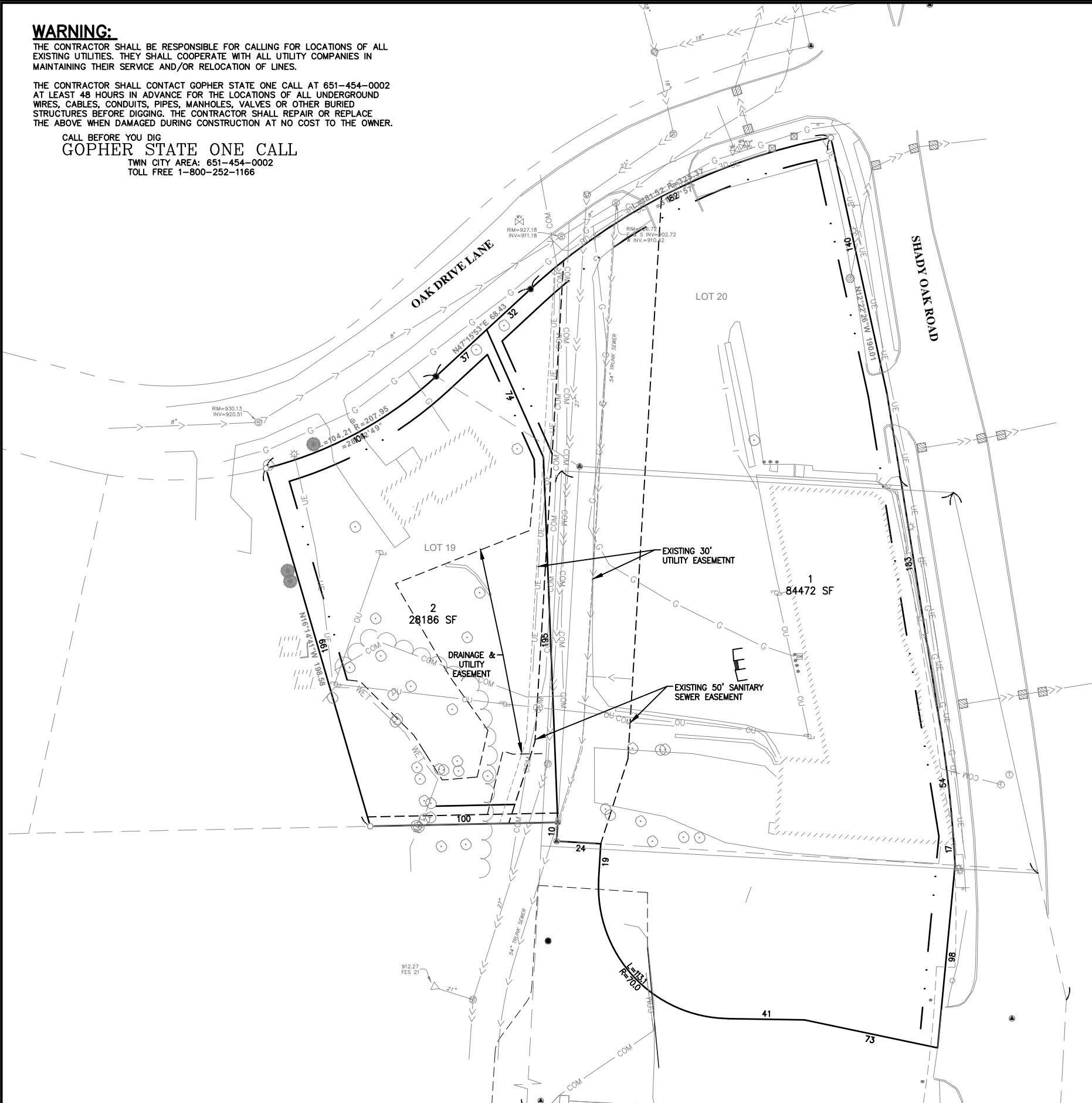
Lot 20, Block 2, Ginkels Oakridge Addition

EXISTING ZONING = B-2, R-1
 PROPOSED ZONING = PUD

LOT 1 = 1.96 AC
 LOT 2 = 0.66 AC
 TOTAL AREA = 2.76 AC
 SHADY OAK RIGHT-OF-WAY AREA = 0.16 AC
 WETLAND AREA = 0.63 AC

Plot Date & Time:

C:\Users\mk-co\OneDrive\2017\17-011 Shady Oak Crossing\CAD\DWG\3 preliminary.plt.dwg



NO.	DATE	DESCRIPTION

CAMPION ENGINEERING SERVICES, INC.
 1800 Pioneer Creek Center,
 P.O. Box 249
 Maple Plain, MN 55359
 Phone: 763-479-5172
 Fax: 763-479-4242
 E-Mail: mcampion@campioneng.com

I hereby certify that this plan, specification or report has been prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.
 Martin P. Campion -Lic. # 19901 Date:

SHADY OAK CROSSING
RON CLARK CONSTRUCTION
 MINNETONKA, MN

PROJECT NO: 17-011
PRELIMINARY PLAT
SHEET NO. 3 OF 11 SHEETS
DATE: 06/17/2019

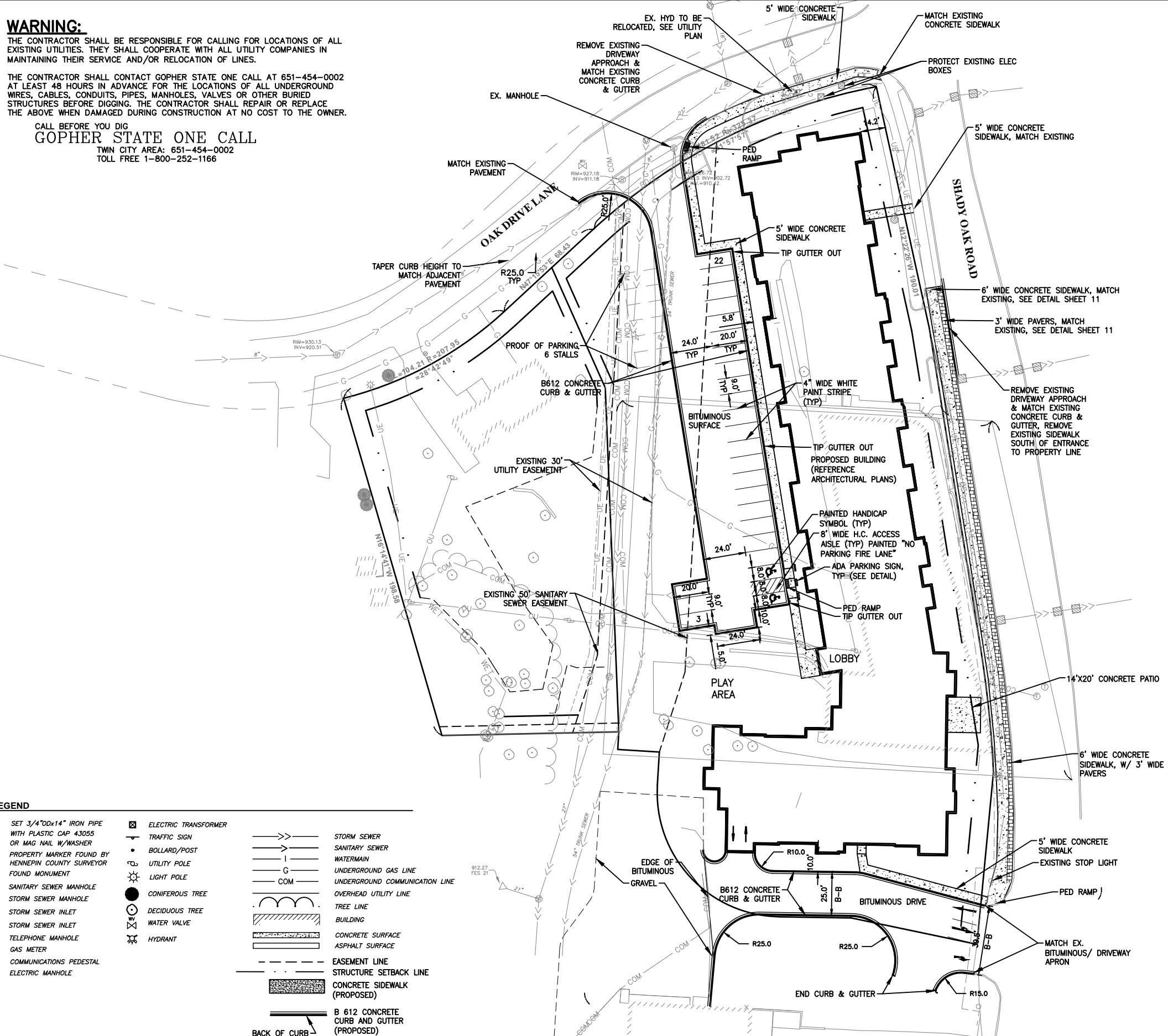
WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

CALL BEFORE YOU DIG
GOPHER STATE ONE CALL

TWIN CITY AREA: 651-454-0002
 TOLL FREE 1-800-252-1166



NOTES:

- BOUNDARY AND EXISTING CONDITION INFORMATION PER SURVEY PREPARED BY WENCK AND CITY RECORD PLANS.
- ALL EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, CONCRETE APRONS AND STOOPS.
- ALL PARKING LOT STRIPING SHALL BE 4" WIDE LINES, STRIPED USING HIGH VISIBILITY TRAFFIC AND HIGHWAY APPROVED WHITE PAINT. PROVIDE APPROPRIATE STRIPING AND PAVEMENT MARKINGS FOR ALL HANDICAP PARKING AND ACCESS AISLES.
- GUTTER SHALL BE CONSTRUCTED TO TIP OUT ALONG THE FRONT OF ALL BUILDINGS.
- DIMENSIONS TAKE PRECEDENCE OVER SCALE. ALL DIMENSIONS ARE TO BACK OF CURB, EDGE OF SIDEWALK OR EXTERIOR BUILDING UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE INDICATED ON THE PLAN, CONTRACTOR SHALL PROVIDE CONTROL JOINTS, CONSTRUCTION JOINTS, AND EXPANSION JOINTS IN SLAB ON GRADE, SIDEWALKS AND CONCRETE DRIVES. CONTROL JOINT MAXIMUM SPACING: WALKS - 8' O.C., ALL OTHERS - 10' O.C. SAW CUT CONTROL JOINTS MINIMUM ONE-QUARTER CONCRETE THICKNESS. EXPANSION JOINT MAXIMUM SPACING: WALKS - 24' O.C., ALL OTHERS - 40' O.C. DOWEL ALL EXPANSION JOINTS - MAXIMUM 24" O.C.
- WHEN DOING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR SHALL COORDINATE THE REMOVAL LIMITS WITH THE CITY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL PEDESTRIAN RAMPS MEET ADA AND MNDOT GUIDELINES FOR ACCESSIBILITY.
- CONTRACTOR SHALL VERIFY CONDUIT REQUIREMENTS FOR POWER AND IRRIGATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE FIRE MARSHAL THE LOCATION OF FIRE LANE SIGNAGE AND CURB MARKINGS (IF NEEDED).
- CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING STRUCTURES THAT INTERFERE WITH NEW WORK AS SHOWN.
- ALL LANDSCAPE AREAS ARE TO BE IRRIGATED.
- ALL NEW UTILITIES SHALL BE UNDERGROUND. COORDINATE LOCATIONS WITH UTILITY PROVIDERS.
- SIDEWALKS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2%. ANY SIDEWALK EXCEEDING 2% CROSS SLOPE MUST BE REMOVED AND REPLACED AT CONTRACTOR'S EXPENSE.

GENERAL NOTES:

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT ALL PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION SHALL BEGIN UNTIL THE CONTRACTOR HAS REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY THE PERMITTING AUTHORITIES.
- WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE SOILS REPORT AND RECOMMENDATION SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN THE SOILS REPORT AND PLANS.

PROPOSED PARKING STALLS:

H.C. = 2
 STANDARD ABOVE GROUND = 23
 STANDARD & H.C.(2) UNDER GROUND = 90
 TOTAL = 115
 STRUCTURE SETBACKS:
 10' FROM RIGHT OF WAY AND SOUTH PROPERTY LINE

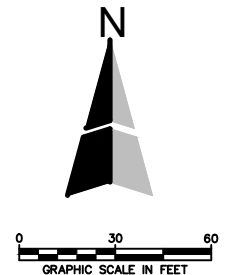
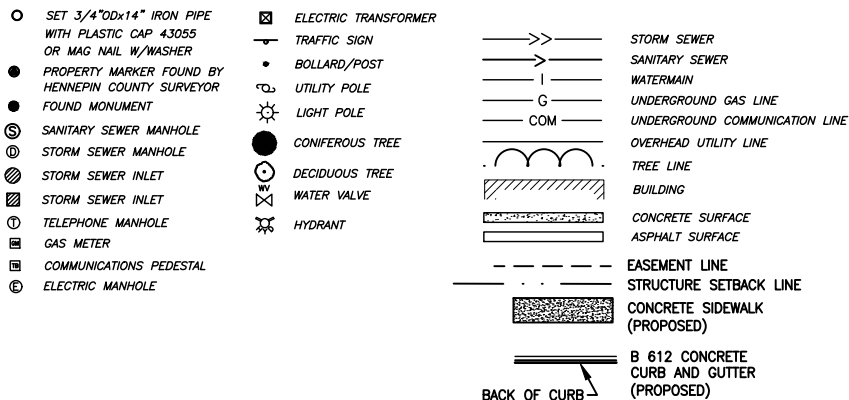
ADA REQUIREMENTS:

CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL PEDESTRIAN RAMPS MEET ADA AND MNDOT GUIDELINES FOR ACCESSIBILITY

PARKING LOT STRIPING REQUIREMENTS:

ALL PARKING LOT STRIPING SHALL BE 4" WIDE WHITE TRAFFIC AND HIGHWAY APPROVED MARKING PAINT AS APPROVED BY OWNER. H.C. PARKING AND ACCESS AISLES SHALL BE STRIPED AS INDICATED IN BLUE PAINT AND EACH H.C. STALL SHALL INCLUDE INTERNATIONAL SYMBOL OF ACCESSIBILITY CENTERED ON EACH STALL AS INDICATED ON PLANS.

LEGEND



NO.	DATE	DESCRIPTION

CAMPION ENGINEERING SERVICES, INC.

• Civil Engineering • Land Planning
 1800 Pioneer Creek Center,
 P.O. Box 249
 Maple Plain, MN 55359
 Phone: 763-479-5172
 Fax: 763-479-4242
 E-Mail: mcampion@campioneng.com

I hereby certify that this plan, specification or report has been prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.
 Martin P. Campion -Lic. # 19901 Date:

SHADY OAK CROSSING
RON CLARK CONSTRUCTION
 MINNETONKA, MN

PRELIMINARY SITE PLAN
 SHEET NO. 4 OF 11 SHEETS
 PROJECT NO: 17-011
 DATE: 06/17/2019

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

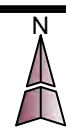
CALL BEFORE YOU DIG
GOPHER STATE ONE CALL

TWIN CITY AREA: 651-454-0002
TOLL FREE 1-800-252-1166

LEGEND

- SET 3/4"ODx14" IRON PIPE WITH PLASTIC CAP 43055 OR MAG NAIL W/WASHER
- PROPERTY MARKER FOUND BY HENNEPIN COUNTY SURVEYOR
- FOUND MONUMENT
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM SEWER MANHOLE
- ⊙ STORM SEWER INLET
- ⊙ TELEPHONE MANHOLE
- ⊙ GAS METER
- ⊙ COMMUNICATIONS PEDESTAL
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC TRANSFORMER
- ⊙ TRAFFIC SIGN
- ⊙ BOLLARD/POST
- ⊙ UTILITY POLE
- ⊙ LIGHT POLE
- ⊙ CONIFEROUS TREE
- ⊙ DECIDUOUS TREE
- ⊙ WATER VALVE
- ⊙ HYDRANT
- STORM SEWER
- SANITARY SEWER
- WATERMAIN
- UNDERGROUND GAS LINE
- UNDERGROUND COMMUNICATION LINE
- OVERHEAD UTILITY LINE
- TREE LINE
- ▭ BUILDING
- ▭ CONCRETE SURFACE
- ▭ ASPHALT SURFACE

NO.	DATE	DESCRIPTION



CAMPION ENGINEERING SERVICES, INC.

• Civil Engineering • Land Planning
1800 Pioneer Creek Center,
P.O. Box 249
Maple Plain, MN 55359
Phone: 763-479-5172
Fax: 763-479-4242
E-Mail: mcampion@campioneng.com

I hereby certify that this plan, specification or report has been prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.
Martin P. Campion -Lic. # 19901 Date:

SHADY OAK CROSSING
RON CLARK CONSTRUCTION
MINNETONKA, MN

PROJECT NO: 17-011
PRELIMINARY UTILITY PLAN
SHEET NO. 5 OF 11 SHEETS
DATE: 06/17/2019

NOTES:

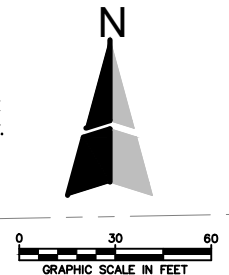
1. EXISTING CONDITION INFORMATION PER SURVEY PREPARED BY WENCK ASSOCIATES AND CITY RECORD PLANS.
2. THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY CONFLICTS.
3. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND FACILITIES TO ALLOW PROPER FUNCTIONING DURING AND AFTER CONSTRUCTION. SUPPORTING STRUCTURES, IF REQUIRED, SHALL BE SUPPLIED BY THE CONTRACTOR AS WORK INCIDENTAL TO THE CONTRACT.
4. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS BETWEEN EXISTING UTILITIES AND THE PROPOSED CONSTRUCTION. THE ENGINEER WILL COORDINATE WITH UTILITY COMPANY IN QUESTION TO DETERMINE THE NEED FOR RELOCATION OF THE EXISTING UTILITY.
5. EXISTING CONDITIONS SUCH AS SAND IN MANHOLES OR VALVE BOXES SHALL BE IDENTIFIED BY THE CONTRACTOR AND THESE SHALL BE REPORTED TO THE ENGINEER PRIOR TO EXCAVATION BY THE CONTRACTOR. ONCE CONSTRUCTION HAS BEGUN, ALL DAMAGE TO UNDERGROUND UTILITIES WILL BE ASSUMED TO HAVE BEEN CAUSED BY THE CONTRACTOR, AND REPAIRS NECESSARY SHALL BE PERFORMED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
6. FINAL PLAT SHALL GOVERN FOR EASEMENTS AND LOT LINES.
7. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL JURISDICTION TO OBTAIN PERMITS AND METER FOR WATER SOURCE. ALL ASSOCIATED COSTS SHALL BE INCIDENTAL TO THE CONTRACTOR, INCLUDING DISPOSAL OF TEST WATER INTO CITY'S SANITARY SEWER SYSTEM. THE CONTRACTOR SHALL NOT OPERATE GATE VALVES OR HYDRANTS ON THE CITY WATER SYSTEM WITHOUT FIRST RECEIVING CITY APPROVAL.
8. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND THE PROJECT ENGINEER 48 HOURS PRIOR TO STARTING WORK OR AS REQUIRE BY THE CITY.
9. THE CONTRACTOR SHALL KEEP ACCESS ROADS CLEAR OF SOIL OR OTHER DEBRIS, AND PERFORM DAILY STREET CLEANING AS REQUIRED. POSITIVE DRAINAGE, CONTROLLED WITH EROSION CONTROL AND EROSION PREVENTION MEASURES AS REQUIRED SHALL BE PERFORMED. INLET PROTECTION SHALL BE INSTALLED WITHIN 48 HOURS AFTER INLET CONSTRUCTION. UNLESS SPECIFIED ON THE PLANS OR AS A BID ITEM ON THE BID FORM, ANY TEMPORARY CULVERTS, DITCHES, FILTER FABRIC, ETC. NECESSARY TO ACCOMPLISH THIS SHALL BE PERFORMED AS INCIDENTAL TO THE CONTRACT.
10. THE CONTRACTOR SHALL PRESERVE AND PROTECT THE MARKERS AND MONUMENTS SET FOR THE SUBDIVISION OF LAND.
11. THE CONTRACTOR SHALL SCHEDULE THE SOILS ENGINEER TO FACILITATE CERTIFICATION OF ALL CONTROLLED FILLS IN A TIMELY FASHION. DENSITY TESTS SHALL MEET THE FOLLOWING:
 - A. DENSITY TESTS SHALL BE TAKEN ON ALL TRENCHES AT LOCATIONS AS DETERMINED BY THE ENGINEER OF HIS REPRESENTATIVE.
 - B. WITHIN 3 FEET OF PAVEMENT SUBGRADE, CONTRACTOR SHALL UTILIZE IMPROVED SOILS THAT ARE WITHIN 1% OPTIMUM MOISTURE CONTENT. COMPACTION SHALL MEET 100% STANDARD PROCTOR. BELOW THE UPPER 3FEET, COMPACTION SHALL BE 95%. GRADING TOLERANCE SHALL BE 0.1".
12. THE OWNER SHALL PAY FOR ALL COMPACTION TESTING. ANY AREAS WHICH FAIL TO MEET THE ABOVE STANDARDS SHALL RE-CORRECTED AND RE-TESTED BY THE OWNER'S TESTING AGENT AT THE CONTRACTOR'S EXPENSE.
13. SANITARY SEWER AND WATERMAIN SHALL BE INSTALLED AT ELEVATIONS SHOWN ON THE PLAN.
14. WHERE WATERMAIN MUST BE LOWERED TO AVOID CONFLICT WITH ANOTHER UTILITY, THE COST OF BENDS, FITTINGS, ETC. SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
15. CONTRACTOR SHALL PROVIDE TEMPORARY TRAFFIC CONTROL IN COMPLIANCE WITH THE CURRENT MNDOT "TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS FIELD MANUAL" FOR CONSTRUCTION ADJACENT TO TRAVEL WAYS.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF THE DEPTH OF EXISTING UTILITIES LISTED ON THIS PLAN PRIOR TO ORDERING OF ANY FITTINGS, STRUCTURES, CASTINGS, ETC. ENGINEER AND THE OWNER SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES FOUND AS DEPTHS ARE ESTIMATED.
17. CONTACT CITY FOR INSPECTION PRIOR TO CONNECTING TO EXISTING CITY UTILITIES.
18. CONTRACTOR TO COMPLY WITH ALL REGULATORY AGENCY PERMIT CONDITIONS FOR PERMITS OBTAINED BY OWNER AND FOR PERMITS OBTAINED BY GENERAL CONTRACTOR.
19. ALL WORK PERFORMED AND MATERIALS USED FOR CONSTRUCTION OF UTILITIES MUST CONFORM TO THE CITY OF MINNETONKA STANDARD SPECIFICATIONS AND DETAILS.
20. SANITARY SEWER SERVICE SHALL BE EITHER 6" PVC SDR 35.
21. WATER SERVICE SHALL BE 6" DIP CLASS 52 WITH 4 MIL POLY WRAP.
22. WATER SERVICE SHALL BE INSTALLED WITH 7.5" COVER MINIMUM.
23. VERIFY LOCATION OF FIRE DEPARTMENT CONNECTION (FDC) WITH MECHANICAL ENGINEER.
24. INSTALL SERVICES TO WITHIN 5' OF THE BUILDING. VERIFY LOCATION WITH MECHANICAL ENGINEER.
25. ALL 12" - 15" RCP STORM SEWER SHALL BE CLASS V.
26. ALL STORM SEWER SHALL HAVE CLASS C BEDDING.
27. HDPE STORM SEWER SHALL BE DUAL WALL CORRUGATED WITH SMOOTH INTERIOR.
28. ALL STRUCTURE ADJUSTMENT SHALL BE CONSIDERED INCIDENTAL TO PAVING.

BENCHMARK:

1. TOP NUT HYDRANT NE CORNER OF SITE.
ELEVATION 928.53

GOVERNING SPECIFICATIONS:

1. MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" LATEST EDITION AND SUPPLEMENTS.
2. CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) STANDARD UTILITIES SPECIFICATION. LATEST EDITION.
3. CITY OF MINNETONKA STANDARD SPECIFICATIONS AND DETAILS
4. ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND ORDINANCE WILL BE COMPLIED WITH IN THE CONSTRUCTION OF THIS PROJECT.



Plot Date & Time: C:\Users\mk-co\OneDrive\2017\17-011 Shady Oak Crossing\CAD\CAD\17-011 UTILITY PLAN.dwg

WARNING:

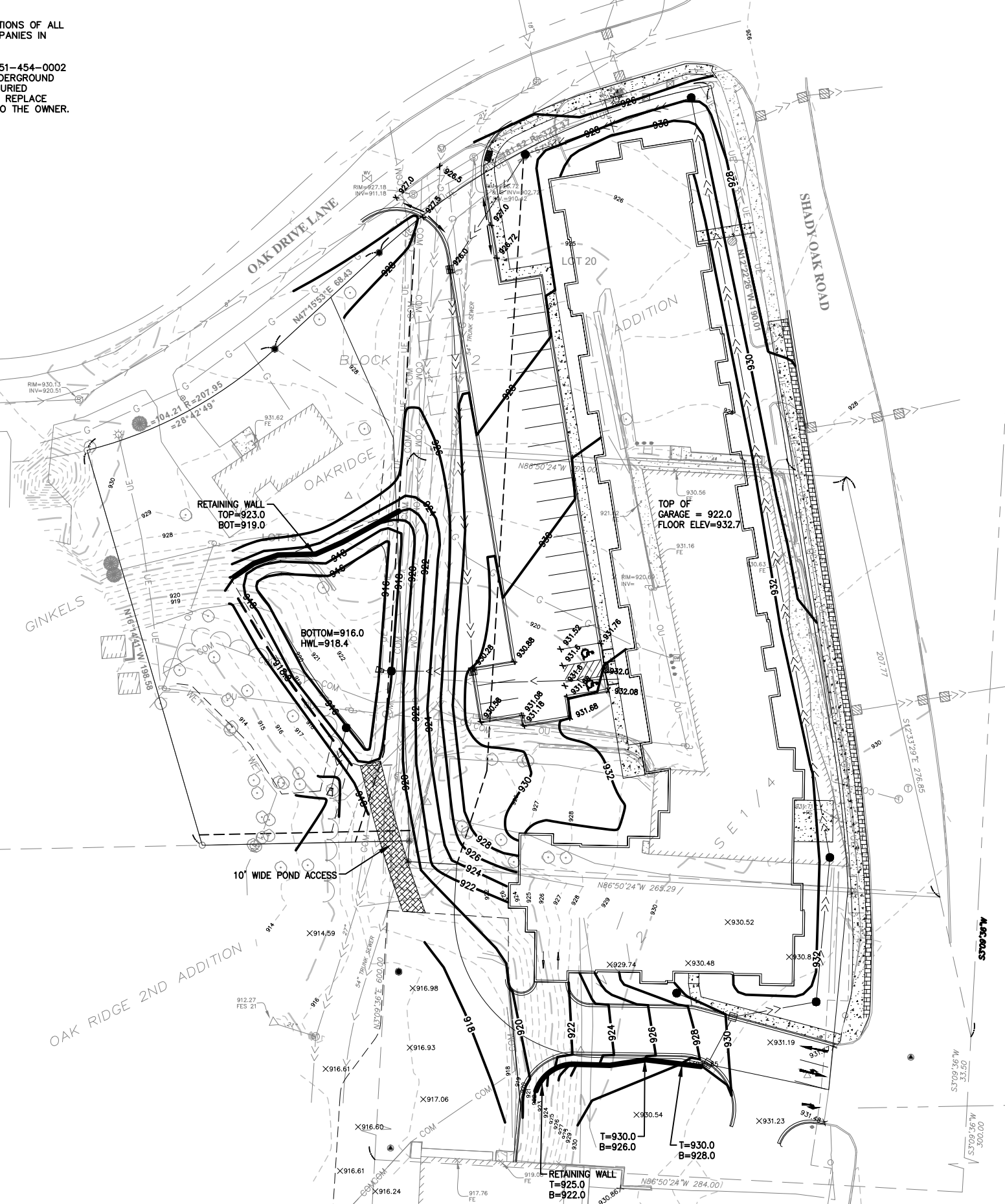
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

CALL BEFORE YOU DIG
GOPHER STATE ONE CALL
 TWIN CITY AREA: 651-454-0002
 TOLL FREE 1-800-252-1166

LEGEND

- SET 3/4"Øx14" IRON PIPE WITH PLASTIC CAP 43055 OR MAG NAIL W/WASHER
- PROPERTY MARKER FOUND BY HENNEPIN COUNTY SURVEYOR
- FOUND MONUMENT
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM SEWER MANHOLE
- ⊙ STORM SEWER INLET
- ⊙ STORM SEWER INLET
- ⊙ TELEPHONE MANHOLE
- ⊙ GAS METER
- ⊙ COMMUNICATIONS PEDESTAL
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC TRANSFORMER
- ⊙ TRAFFIC SIGN
- ⊙ BOLLARD/POST
- ⊙ UTILITY POLE
- ⊙ LIGHT POLE
- CONIFEROUS TREE
- DECIDUOUS TREE
- WATER VALVE
- HYDRANT
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED CONTOURS
- X 896.55 PROPOSED SPOT ELEVATION
- STORM SEWER
- SANITARY SEWER
- WATERMAIN
- UNDERGROUND GAS LINE
- UNDERGROUND COMMUNICATION LINE
- OVERHEAD UTILITY LINE
- TREE LINE
- BUILDING
- CONCRETE SURFACE
- ASPHALT SURFACE



GRADING NOTES

1. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES.
2. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
3. THE CONTRACTOR MUST CONTACT ALL APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE LOCATIONS OF SMALL UTILITIES SHALL BE OBTAINED BY THE CONTRACTOR BY CALLING GOPHER STATE ONE CALL (1-800-252-1166).
4. SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
6. THE CONTRACTOR SHALL RESTRICT ALL GRADING AND CONSTRUCTION ACTIVITIES TO AREAS DESIGNATED ON THE PLANS. ACTIVITIES PROHIBITED OUTSIDE THE CONSTRUCTION BOUNDARIES INCLUDE, BUT ARE NOT LIMITED TO: STOCKPILING SOILS AND OTHER MATERIAL, STORING EQUIPMENT OR OTHER MACHINERY, DRIVING VEHICLES, LEAKING OR SPILLING OF ANY "WASHOUT" OR OTHER TOXIC MATERIALS.
7. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTES AND INSPECTIONS WITH THE SOILS ENGINEER.
8. PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A TEST ROLL WILL BE REQUIRED ON THE PARKING LOT SUBGRADE. THE CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL DETERMINE WHICH SECTIONS ARE UNSTABLE. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER AND AS SPECIFIED.
9. THE SITE HAS NOT NECESSARILY BEEN DESIGNED TO BALANCE THE ON-SITE MATERIALS. AFTER THE SITE GRADING IS COMPLETE, IF EXCESS SOIL MATERIAL EXISTS, THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL OFF-SITE IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
10. THE EXISTING TOPSOIL ON THIS SITE VARIES IN DEPTH. IT IS THE CONTRACTOR'S RESPONSIBILITY THAT ALL SURFACE VEGETATION AND ANY TOPSOIL OR OTHER LOOSE, SOFT OR OTHERWISE UNSUITABLE MATERIAL BE REMOVED FROM THE STREET AND BUILDING PAD AREAS PRIOR TO PLACEMENT OF ANY EMBANKMENT IN ACCORDANCE WITH THE SOILS REPORT.
11. EMBANKMENT MATERIAL NOT PLACED IN THE PARKING LOT OR BUILDING PAD AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE QUALITY COMPACTION METHOD AS OUTLINED IN MN/DOT 2105.3F2 OR AS DIRECTED BY THE SOILS ENGINEER.
12. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE SOILS ENGINEER. EMBANKMENT MATERIAL PLACED IN THE PARKING LOT SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MN/DOT 2105.3F1. EMBANKMENT MATERIAL PLACED IN THE BUILDING PAD AREA SHALL BE COMPACTED IN ACCORDANCE WITH THE SOILS REPORT.
13. TOLERANCES:
 - a. THE PARKING LOT SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.05 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION OF ANY POINT WHERE MEASUREMENT IS MADE.
 - b. AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0.30 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED BY THE ENGINEER.
 - c. TOPSOIL SHALL BE GRADED TO PLUS OR MINUS 1/8 INCH OF THE SPECIFIED THICKNESS.
14. ALL DISTURBED UNSURFACED AREAS ARE TO IMMEDIATELY RECEIVE FOUR INCHES OF TOPSOIL, SEED AND MULCH AND BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
15. SPOT ELEVATIONS SHOWN INDICATE FINISHED GRADE ELEVATION UNLESS OTHERWISE NOTED.
16. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE OR GUTTER LINE IF CURB. PLAN GRADE IS TO FINISHED GARAGE FLOOR ELEVATION.
17. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE ALONG MATCHING PAVEMENT AREAS AND/OR CURBS.
18. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM THE BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
19. THE CONTRACTOR SHALL PROVIDE DEWATERING AS REQUIRED TO COMPLETE THE SITE GRADING CONSTRUCTION OR AS DIRECTED BY THE SOILS ENGINEER.

CAUTION NOTES:

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.

THE CONTRACTOR MUST CONTACT ALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE LOCATIONS OF SMALL UTILITIES SHALL BE OBTAINED BY THE CONTRACTOR BY CALLING GOPHER STATE ONE CALL AT 800-252-1166 OR 651-454-0002.

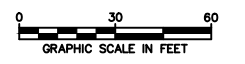
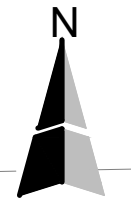
POND GRADING

1. THE CONTRACTOR SHALL AVOID COMPACTING THE POND BOTTOM. RUBBER Tired EQUIPMENT SHALL BE PROHIBITED WHEN WORKING IN THE POND AREA.
2. THE BOTTOM AND SIDE SLOPES SHALL BE STABILIZED WITH THE SPECIFIED PLANT MATERIALS WITHIN 7 DAYS OF COMPLETING THE POND GRADING.
3. POND SHALL BE GRADED 12" - 18" ABOVE FINAL GRADE UNTIL SITE GRADING IS SUBSTANTIALLY COMPLETE.
4. AS PART OF FINISH GRADING, NATIVE SOILS IN THE POND SHALL BE DE-COMPACTED TO A DEPTH OF 12" - 18".

CAUTION NOTES:

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.

THE CONTRACTOR MUST CONTACT ALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE LOCATIONS OF SMALL UTILITIES SHALL BE OBTAINED BY THE CONTRACTOR BY CALLING GOPHER STATE ONE CALL AT 800-252-1166 OR 651-454-0002.



NOTES:

1. ALL RETAINING WALLS 4' AND HIGHER SHALL BE DESIGNED BY A STRUCTURAL ENGINEER

C:\Users\lkr-co\OneDrive\2017\17-011 Shady Oak Crossing\CAD\CAD\G GRADING PLAN.dwg

NO.	DATE	DESCRIPTION



CAMPION ENGINEERING SERVICES, INC.

• Civil Engineering • Land Planning
 1800 Pioneer Creek Center,
 P.O. Box 249
 Maple Plain, MN 55359
 Phone: 763-479-5172
 Fax: 763-479-4242
 E-Mail: mcampion@campioneng.com

I hereby certify that this plan, specification or report has been prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.
 Martin P. Campion -Lic. # 19901 Date: _____

SHADY OAK CROSSING
RON CLARK CONSTRUCTION
 MINNETONKA, MN

PROJECT NO: 17-011
PRELIMINARY GRADING PLAN
SHEET NO. 6 OF 11 SHEETS
DATE: 06/17/2019

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

CALL BEFORE YOU DIG
GOPHER STATE ONE CALL
 TWIN CITY AREA: 651-454-0002
 TOLL FREE 1-800-252-1166

PROJECT DIRECTORY

OWNER:
 RON CLARK CONSTRUCTION & DESIGN
 MIKE ROEBUCK
 7500 WEST 78TH STREET
 EDINA, MN 55439
 PH. 952.947.3022
 EMAIL: MIKE@RONCLARK.COM

SWPPP DESIGNER:
 CAMPION ENGINEERING SERVICES, INC.
 MARTY CAMPION
 1800 PIONEER CREEK CENTER
 MAPLE PLAIN, MN 55364
 PH. 763.479.5172
 EMAIL: MCAMPION@CAMPIONENG.COM

EROSION CONTROL INSTALLER
 NAME: _____
 CONTACT: _____
 ADDRESS: _____
 PHONE: _____

CONTRACTOR
 NAME: _____
 CONTACT: _____
 ADDRESS: _____
 PHONE: _____

EROSION CONTROL QUANTITIES:

SITE RESTORATION = 1.0 AC
 SILT FENCE = 1325 LF
 INLET PROTECTION = 13 EA
 ROCK CONSTRUCTION ENTRANCE = 1 EA
 CATEGORY 3 EROSION CONTROL BLANKET = 7,770 SF

- DENOTES INLET PROTECTION
- DENOTES ROCK CONSTRUCTION ENTRANCE
- DENOTES SILT FENCE
- DENOTES TREE PROTECTION FENCE

NO.	DATE	DESCRIPTION

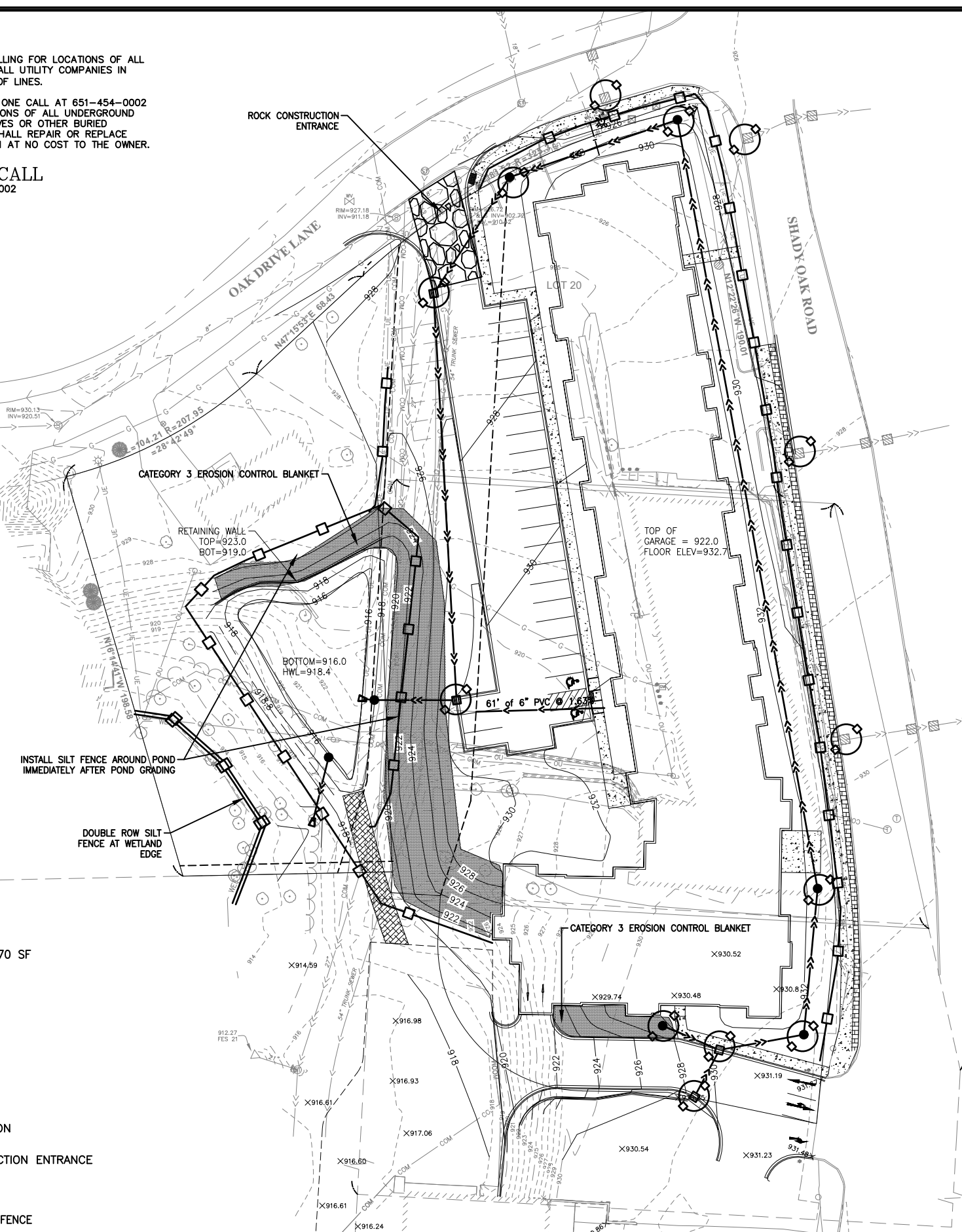
CAMPION ENGINEERING SERVICES, INC.

• Civil Engineering • Land Planning
 1800 Pioneer Creek Center,
 P.O. Box 249
 Maple Plain, MN 55359
 Phone: 763-479-5172
 Fax: 763-479-4242
 E-Mail: mcampion@campioneng.com

I hereby certify that this plan, specification or report has been prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.
 Martin P. Campion -Lic. # 19901 Date: _____

SHADY OAK CROSSING
RON CLARK CONSTRUCTION
 MINNETONKA, MN

PRELIMINARY STORM WATER POLLUTION PREVENTION PLAN
 SHEET NO. 7 OF 11 SHEETS
 PROJECT NO: 17-011
 DATE: 06/17/2019



EROSION/SILTATION CONTROL

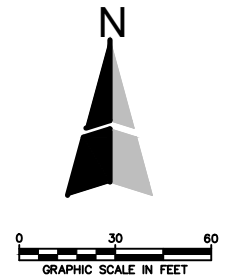
- ALL EROSION CONTROL AND SILTATION CONTROL WILL COMPLY WITH MINNESOTA'S BEST MANAGEMENT PRACTICES MANUAL AND REGULATIONS OF THE CITY.
- THE CONTRACTOR SHALL BE FAMILIAR WITH AND FOLLOW ALL REQUIREMENTS OF THE MPCA NPDES PHASE II PERMIT FOR CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO: WEEKLY EROSION CONTROL INSPECTIONS, INSPECTION AFTER 0.5" RAINFALL OR MORE AND DOCUMENTATION OF ALL CORRECTIVE MEASURES. BY BEGINNING CONSTRUCTION, THE CONTRACTOR ACKNOWLEDGES THE TERMS OF THIS PERMIT AND AGREES TO ABIDE BY THEM.
- THE CONTRACTOR SHALL PERFORM ANY CORRECTIVE MEASURES ORDERED BY THE CITY OR THE MPCA WITHIN 24 HOURS OF NOTIFICATION. ALSO, ADDITIONAL EROSION CONTROL MEASURES DEEMED NECESSARY BY EITHER THE CITY OR THE MPCA SHALL BE INSTALLED WITHIN 24 HOURS OF NOTIFICATION.
- ANY DEPOSITING OF SILT OR MUD ON NEW OR EXISTING PAVEMENT, IN TEMPORARY SEDIMENTATION BASINS, OR IN EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED.
- THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION INCLUDING BUT NOT LIMITED TO ROCK ENTRANCES AND/OR SILT FENCES. CONTROL SHALL COMMENCE WITH GRADING AND CONTINUE THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER. THE CONTRACTOR'S RESPONSIBILITY INCLUDES ALL DESIGN AND IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER MAY, AT HIS/HER OPTION DIRECT THE CONTRACTOR IN HIS/HER METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS.
- ANY DEPOSITING OF SILT IN SWALES SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER, ALL AT THE EXPENSE OF THE CONTRACTOR. THE SILT FENCES SHALL BE REMOVED AND THE SILT REMOVED FROM THE PONDING AREAS BY THE CONTRACTOR AFTER THE TURF IS ESTABLISHED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH AND MONITORING THE REQUIREMENT OF THE MPCA PERMIT.
- ALL DISTURBED AREAS, EXCEPT ROADWAYS, BUILDING AREAS, PARKING AREAS, ISLANDS AND SIDEWALK, SHALL BE RESTORED WITH A MINIMUM 4 INCHES TOPSOIL, SEEDED AND MULCHED (TYPE I) WITHIN 72 HOURS OF COMPLETION OF SITE GRADING, OR WITHIN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY CEASED. SEEDING SHALL BE IN ACCORDANCE WITH MNDOT SPECIFICATION 2575, SEED MIX 150 @ 40 LBS/ACRE (OR APPROVED EQUAL). DORMANT SEEDING AREAS SHALL BE SEEDED AND MULCHED IN ACCORDANCE WITH MNDOT SPECIFICATIONS, STRAW MULCHING QUANTITY SHALL BE TWO TONS PER ACRE, FERTILIZER (10-10-20) SHALL BE APPLIED AT A RATE OF 200 POUNDS PER ACRE (CAN BE OMITTED IN LANDSCAPED AREAS IF LANDSCAPED SEEDING IS DONE CONCURRENTLY).
- CONSTRUCTION SHALL PROCEED IN THE FOLLOWING SEQUENCE:
 - CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY.
 - INSTALL EROSION CONTROL MEASURES AND ROCK CONSTRUCTION ENTRANCE.
 - CONTACT CITY FOR APPROVAL OF EROSION CONTROL INSTALLATION.
 - CONSTRUCT TEMPORARY SEDIMENTATION PONDS AND INSTALL TEMPORARY OUTFALL WITH STANDPIPE.
 - CONSTRUCT TEMPORARY DRAINAGE DITCHES/SWALES/STORM SEWER TO DIVERT SURFACE RUNOFF TO TEMPORARY SEDIMENTATION PONDS.
 - MAINTAIN EROSION MEASURE, I.E. SILT FENCE, ROCK CONSTRUCTION ENTRANCE.
 - MAINTAIN ALL TEMPORARY SEDIMENTATION PONDS. COMPLETE SITE GRADING TOLERANCING.
 - INSTALL SEED AND MULCH ON AREAS THAT ARE NOT TO BE HARD SURFACES.
- SLOPE PROTECTION AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH SECTION 02370 SLOPE PROTECTION, EROSION CONTROL AND STORM WATER POLLUTION PREVENTION PLAN OF THE PROJECT MANUAL.
- ALL STORM SEWER INLETS AND FLARED END SECTIONS SHALL BE ADEQUATELY PROTECTED BEFORE AND AFTER PAVEMENT CONSTRUCTION UNTIL ALL DISTURBED AREAS ARE STABILIZED. CONTRACTOR SHALL PLACE MIRAFI FABRIC AND GRAVEL OVER ALL CATCH BASIN GRATE INLETS UNTIL PAVING SURFACES ARE PAVED AND THE LANDSCAPING IS COMPLETED.
- STOCKPILE AREAS WHICH REMAIN ON THE SITE FOR MORE THAN SEVEN DAYS SHALL BE SEEDED, MULCHED, AND SURROUNDED BY SILT FENCE.
- TEMPORARY AND PERMANENT SEDIMENTATION PONDS, AT LOCATION SELECTED BY OWNER, SHALL BE CONSTRUCTED WITH THE INITIAL GRADING. THE SEDIMENT MUST BE REMOVED FROM THESE PONDS, AS NECESSARY, PRIOR TO COMPLETION OF THE PROJECT.
- BIO LOGS SHALL BE INSTALLED AT PIPE INLETS AND OUTLETS UNTIL RIPRAP IS INSTALLED. PERMANENT ENERGY DISSIPATORS SHALL BE INSTALLED WITHIN 24 HOURS OF CONNECTION TO A SURFACE WATER.
- INSTALL SILT FENCE AROUND POND UPON COMPLETION OF GRADING.
- EROSION AND SEDIMENT CONTROL PRACTICES MUST REMAIN IN PLACE UNTIL THE OWNER HAS DETERMINED THAT THE SITE SOILS HAVE BEEN PERMANENTLY STABILIZED AND SHALL BE REMOVED WITHIN 30 DAYS THEREAFTER.
- ALL STOCKPILES OF SOIL OR OTHER MATERIALS SUBJECT TO EROSION BY WIND OR WATER SHALL BE COVERED, VEGETATED, ENCLOSED, FENCED ON THE DOWN GRADIENT SIDE OR OTHERWISE EFFECTIVELY PROTECTED FROM EROSION IN ACCORDANCE WITH THE AMOUNT OF TIME THE MATERIAL WILL BE ON SITE AND THE MANNER OF ITS PROPOSED USE.

WETLAND BUFFER RE-VEGETATION

- EROSION/SEDIMENT CONTROL PRACTICES SHALL BE USED DURING BUFFER VEGETATION ESTABLISHMENT.
- DISTURBED BUFFER AREAS SHALL BE PLANTED WITH STATE SEED MIX 35-641 (BWSR U5) OR EQUIVALENT.

EROSION MAT REQUIREMENTS

- TEMPORARY EROSION MATS SHALL BE BIODEGRADABLE DOULBE-NET STRAW (NORTH AMERICAN GREEN 5150 OR APPROVED EQUAL) AND EROSION MATS SHALL HAVE A MINIMUM FUNCTIONAL LONGEVITY OF 10 MONTHS.
- PERMANENT EROSION CONTROL MAT SHALL BE ENKAMAT 7010/7016 OR APPROVED EQUAL AND SHALL BE COVERED WITH TEMPORARY EROSION CONTROL MAT AFTER TOPSOIL AND SEEDING.
- EROSION MATS PLACED ON SLOPES 3:1 OR GREATER SHALL BE ROLLED DOWN SLOPE AND WITH 4" MINIMUM LAP AND STAPLED AT 1' O.C.
- CONSTRUCT A 6"x12" ANCHOR TRENCH 3' BEYOND CREST AND TOE OF SLOPE. STAPLE EROSION MAT IN TRENCH AT 1' O.C.



C:\Users\mk-co\OneDrive\2017\17-011 Shady Oak Crossing\CAD\DWG\SWPPP.dwg

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

CALL BEFORE YOU DIG
GOPHER STATE ONE CALL
 TWIN CITY AREA: 651-454-0002
 TOLL FREE 1-800-252-1166

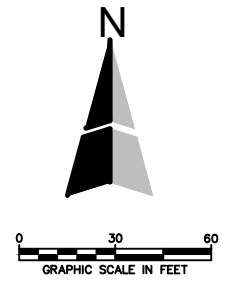
Plot Date & Time:

C:\Users\krc-ca\OneDrive\2017\17-011 Shady Oak Crossing\CAD\CAD\3 TREE INVENTORY.dwg



#	Tag number	Size	Common Name	Scientific Name	Notes
1	4797	15	Siberian Elm	<i>Ulmus pumila</i>	
2	4798	11	White Mulberry	<i>Morus alba</i>	
3	4799	10	White Mulberry	<i>Morus alba</i>	
4	4800	8	White Mulberry	<i>Morus alba</i>	
5	4801	19,11	Siberian Elm	<i>Ulmus pumila</i>	
6	4802	22,12	Siberian Elm	<i>Ulmus pumila</i>	
7	4803	16	Siberian Elm	<i>Ulmus pumila</i>	
8	4804	11,11,10,9,8	Siberian Elm	<i>Ulmus pumila</i>	
9	4805	12,11,10	Siberian Elm	<i>Ulmus pumila</i>	
10	4806	24	Siberian Elm	<i>Ulmus pumila</i>	major internal decay along trunk
11	4807	10	Green Ash	<i>Fraxinus pennsylvanica</i>	
12	4808	12	Green Ash	<i>Fraxinus pennsylvanica</i>	
13	4809	15	Cottonwood	<i>Populus deltoides</i>	
14	4810	14	Cottonwood	<i>Populus deltoides</i>	
15	4811	25	Cottonwood	<i>Populus deltoides</i>	
16	4812	20	Silver Maple	<i>Acer saccharinum</i>	
17	4813	18	Cottonwood	<i>Populus deltoides</i>	
18	4814	11,11	Green Ash	<i>Fraxinus pennsylvanica</i>	
19	4815	11	Green Ash	<i>Fraxinus pennsylvanica</i>	
20	4816	16	Green Ash	<i>Fraxinus pennsylvanica</i>	
21	4817	8	Box Elder	<i>Acer negundo</i>	
22	4818	17	Box Elder	<i>Acer negundo</i>	
23	4819	9	Box Elder	<i>Acer negundo</i>	
24	4820	8	American Elm	<i>Ulmus americana</i>	
25	4821	12	Siberian Elm	<i>Ulmus pumila</i>	
26	4822	22,22	Northern Pin Oak	<i>Quercus ellipsoidalis</i>	
27	4823	16	Green Ash	<i>Fraxinus pennsylvanica</i>	
28	4824	14	Siberian Elm	<i>Ulmus pumila</i>	
29	4825	40	Cottonwood	<i>Populus deltoides</i>	
30	4826	8	Green Ash	<i>Fraxinus pennsylvanica</i>	
31	4827	17,16,12	White Mulberry	<i>Morus alba</i>	internal decay in 16" stem along trunk
32	4828	25	Siberian Elm	<i>Ulmus pumila</i>	
33	4829	8	Green Ash	<i>Fraxinus pennsylvanica</i>	
34	4830	9,8	Green Ash	<i>Fraxinus pennsylvanica</i>	
35	4831	18,11	Silver Maple	<i>Acer saccharinum</i>	
36	4832	13	White Mulberry	<i>Morus alba</i>	
37	4833	25	Siberian Elm	<i>Ulmus pumila</i>	
38	4834	14	Colorado Blue Spruce	<i>Picea pungens</i>	25' in height
39	4835	42	Silver Maple	<i>Acer saccharinum</i>	
40	4836	10	Russian Olive	<i>Elaeagnus angustifolia</i>	
41	4837	11,10	Russian Olive	<i>Elaeagnus angustifolia</i>	

TREE INVENTORY COMPLETED BY KEN ARNDT, SR. FOREST ECOLOGIST, MIDWEST NATURAL RESOURCES



NO.	DATE	DESCRIPTION

CAMPION ENGINEERING SERVICES, INC.

• Civil Engineering • Land Planning
 1800 Pioneer Creek Center,
 P.O. Box 249
 Maple Plain, MN 55359
 Phone: 763-479-5172
 Fax: 763-479-4242
 E-Mail: mcampion@campioneng.com

I hereby certify that this plan, specification or report has been prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.
 Martin P. Campion -Lic. # 19901 Date:

SHADY OAK CROSSING
RON CLARK CONSTRUCTION
 MINNETONKA, MN

PRELIMINARY TREE INVENTORY PLAN
 SHEET NO. 8 OF 11 SHEETS
 PROJECT NO: 17-011
 DATE: 06/17/2019

WARNING:

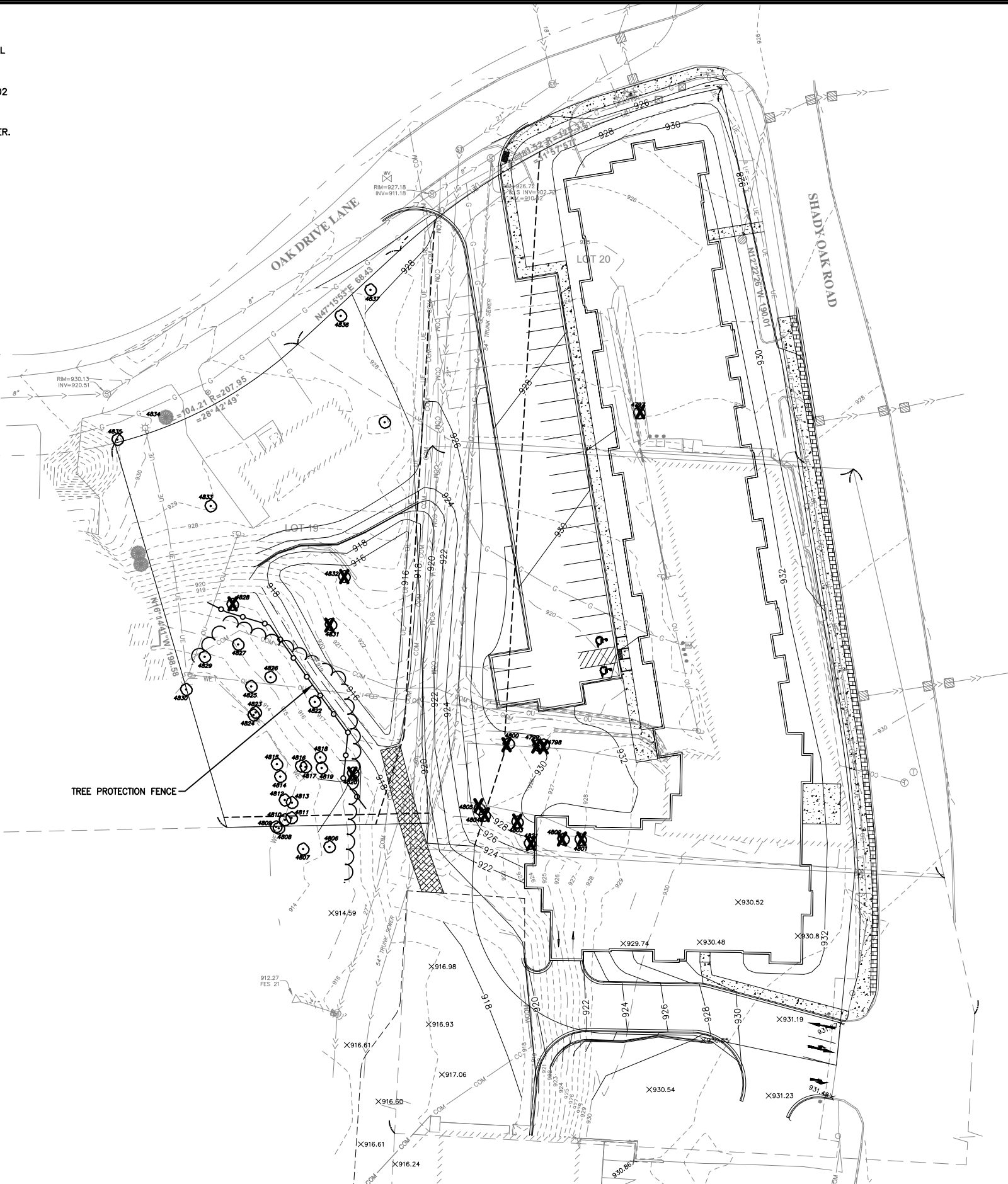
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

CALL BEFORE YOU DIG
GOPHER STATE ONE CALL
 TWIN CITY AREA: 651-454-0002
 TOLL FREE 1-800-252-1166

TREE PRESERVATION NOTES

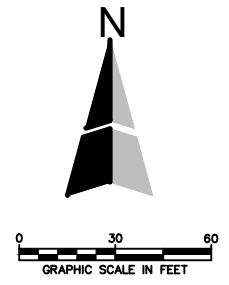
- BEFORE LAND CLEARING BEGINS, CONTRACTOR SHOULD MEET WITH THE CONSULTANT ON SITE TO REVIEW ALL WORK PROCEDURES, ACCESS ROUTES, STORAGE AREAS AND TREE PROTECTION MEASURES.
- TREE PROTECTION FENCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITIES AND IS TO BE PLACED OUTSIDE OF THE DRIP LINE OF ALL SIGNIFICANT TREES TO BE SAVED. FENCE TO REMAIN UNTIL ALL SITE WORK IS COMPLETED. FENCE SHOULD NOT BE MOVED OR RELOCATED WITHOUT VERBAL OR WRITTEN COMMUNICATION WITH THE CONSULTANT. HEAVY DUTY SILT FENCE SHALL BE USED FOR TREE PROTECTION FENCE.
- NO FILL SHOULD BE PLACED AGAINST THE TRUNK, ON THE ROOT CROWN, OR WITHIN THE DRIP LINE AREA OF ANY TREES THAT ARE TO BE SAVED.
- CARE MUST BE TAKEN TO PREVENT CHANGE IN THE SOIL CHEMISTRY DUE TO CONCRETE WASHOUT AND LEAKAGE OR SPILLAGE OF TOXIC MATERIALS SUCH AS PAINTS OR FUELS.
- ALL CONSTRUCTION EQUIPMENT, VEHICLE TRAFFIC AND STORAGE AREAS MUST BE LOCATED OUTSIDE OF ANY TREE PROTECTION AREA.
- PRUNING OF OAK TREES MUST NOT TAKE PLACE FROM APRIL 15 TO JULY 1.
- IF WOUNDING OF OAK TREES OCCUR, A NON-TOXIC WOUND DRESSING MUST BE APPLIED IMMEDIATELY. (EXCAVATORS MUST HAVE A NON-TOXIC TREE WOUND DRESSING WITH THEM ON DEVELOPMENT SITES.)
- HEAVY-DUTY SILT FENCE SHALL BE STAKED AT THE DRIP LINE OF EXISTING TREES TO BE SAVED.
- NO BURNING PERMITS WILL BE ISSUED FOR TREES TO BE REMOVED. TREES & SHRUBS MUST EITHER BE REMOVED FROM SITE OR CHIPPED.
- ANY TREES DAMAGED OR REMOVED NOT LISTED ON THIS TREE PRESERVATION PLAN MUST BE REPLACED AT A RATE OF 2:1 DIAMETER INCHES.



Tag Number	Size	Common Name	High Priority	Save/Remove	Notes
4797	15	Siberian Elm	No	Remove (1)	
4798	11	White Mulberry	No	Remove (1)	
4799	10	White Mulberry	No	Remove (1)	
4800	8	White Mulberry	No	Remove (1)	
4801	19,11	Siberian Elm	No	Remove (1)	
4802	22,12	Siberian Elm	No	Remove (1)	
4803	16	Siberian Elm	No	Remove (1)	
4804	11,11,10,9,8	Siberian Elm	No	Remove	
4805	12,11,10	Siberian Elm	No	Remove	
4806	24	Siberian Elm	No	Save	major internal decay along trunk
4807	10	Green Ash	No	Save	
4808	12	Green Ash	No	Save	
4809	15	Cottonwood	No	Save	
4810	14	Cottonwood	No	Save	
4811	25	Cottonwood	No	Save	
4812	20	Silver Maple	No	Save	
4813	18	Cottonwood	No	Save	
4814	11,11	Green Ash	No	Save	
4815	11	Green Ash	No	Save	
4816	16	Green Ash	No	Save	
4817	8	Box Elder	No	Save	
4818	17	Box Elder	No	Save	
4819	9	Box Elder	No	Save	
4820	8	American Elm	No	Remove (2)	
4821	12	Siberian Elm	No	Remove (1)	
4822	22,22	Northern Pin Oak	Yes	Save	
4823	16	Green Ash	No	Save	
4824	14	Siberian Elm	No	Save	
4825	40	Cottonwood	No	Save	
4826	8	Green Ash	No	Save	
4827	17,16,12	White Mulberry	No	Save	internal decay in 16" stem
4828	25	Siberian Elm	No	Remove (2)	
4829	8	Green Ash	No	Save	
4830	9,8	Green Ash	No	Save	
4831	18,11	Silver Maple	No	Remove (2)	
4832	13	White Mulberry	No	Remove (2)	
4833	25	Siberian Elm	No	Save	
4834	14	Colorado Blue Spruce	No	Save	25' in height
4835	42	Silver Maple	No	Save	
4836	10	Russian Olive	No	Save	
4837	11,10	Russian Olive	No	save	

Total trees	55
Significant trees	53
High priority trees	1
Significant trees removed outside of Basic Tree Removal and Pond area	8
High Priority trees removed	0
Required Mitigation (8 x 2") = 16'	
Remove (1)	Indicates trees removed within the "basic tree removal area"
Remove (2)	Indicates trees removed within the ponding area

X DENOTES TREE TO BE REMOVED



NO.	DATE	DESCRIPTION

CAMPION ENGINEERING SERVICES, INC.

• Civil Engineering • Land Planning
 1800 Pioneer Creek Center,
 P.O. Box 249
 Maple Plain, MN 55359
 Phone: 763-479-5172
 Fax: 763-479-4242
 E-Mail: mcampion@campioneng.com

I hereby certify that this plan, specification or report has been prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.
 Martin P. Campion -Lic. # 19901 Date: _____

SHADY OAK CROSSING
RON CLARK CONSTRUCTION
 MINNETONKA, MN

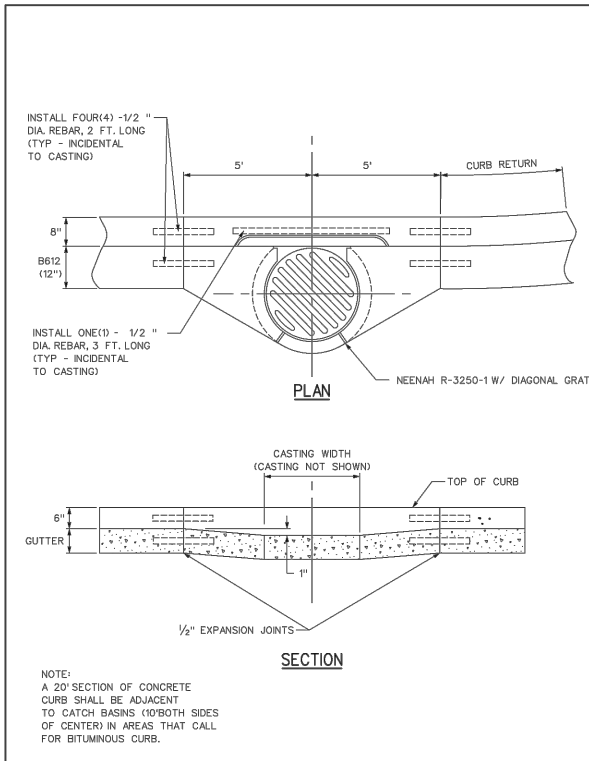
PRELIMINARY TREE PRESERVATION PLAN

SHEET NO. 9 OF 11 SHEETS

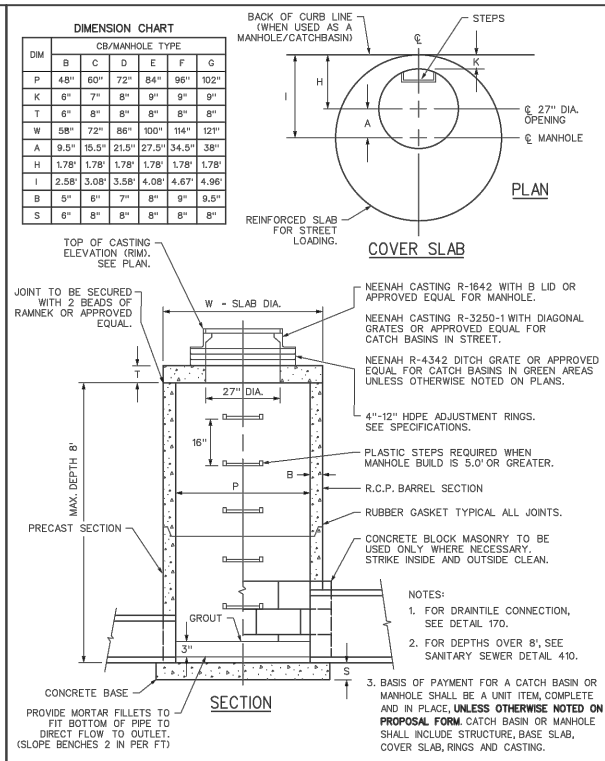
PROJECT NO: 17-011
 DATE: 06/17/2019

Plot Date & Time: C:\Users\mk-co\OneDrive\2017\17-011 Shady Oak Crossing\CAD\CAD9 TREE PRESERVATION PLAN.dwg

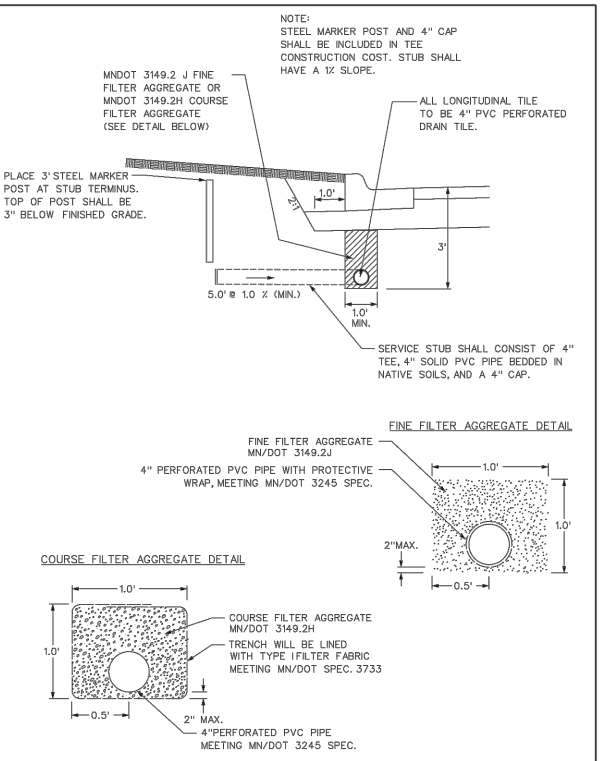
Plot Date & Time: City of minnetonka 5/27/2019 10:00:00 AM



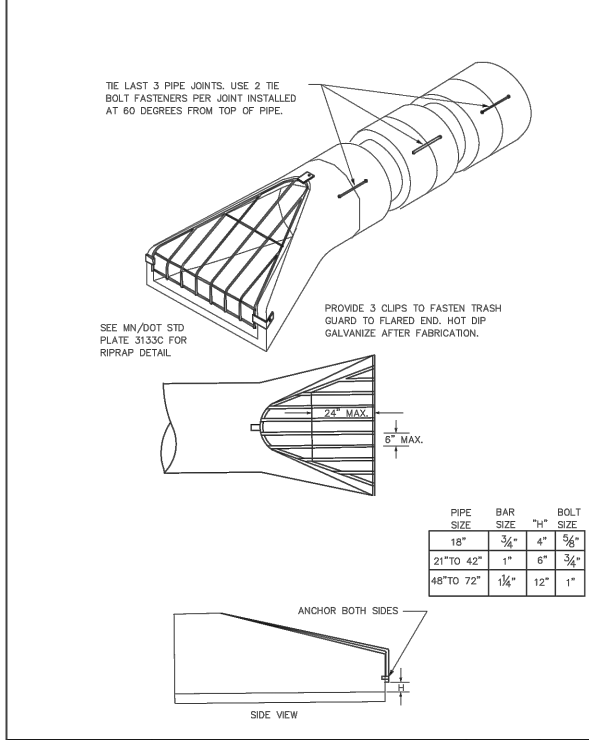
City of minnetonka	CATCH BASIN INSTALLATION	SCALE: NOT TO SCALE	STD PLATE NO: 110
		APPROVED: 9/2008	REVISED: 1/2008



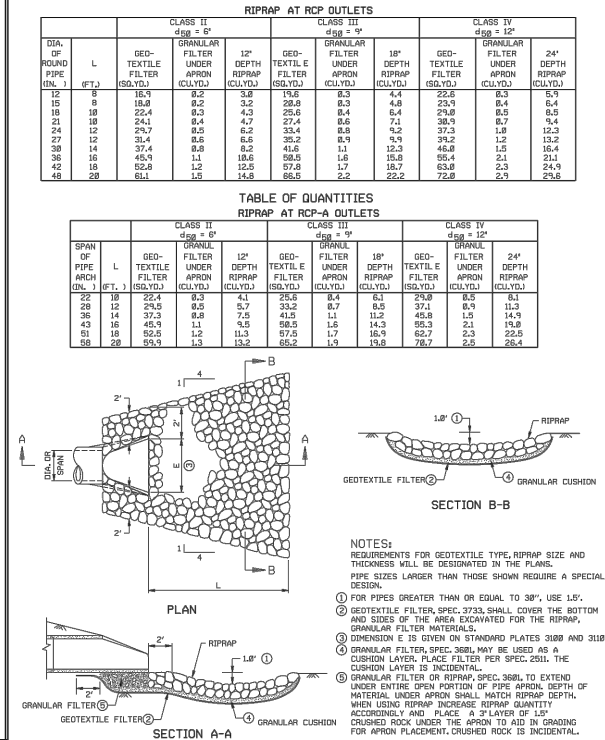
City of minnetonka	STANDARD CATCH BASIN / MANHOLE 4020	SCALE: NOT TO SCALE	STD PLATE NO: 120
		APPROVED: 4/2005	REVISED: 2/2015



City of minnetonka	DRAIN TILE INSTALLATION (CONCRETE CURB)	SCALE: NOT TO SCALE	STD PLATE NO: 150
		APPROVED: 2/2001	REVISED: 3/2015



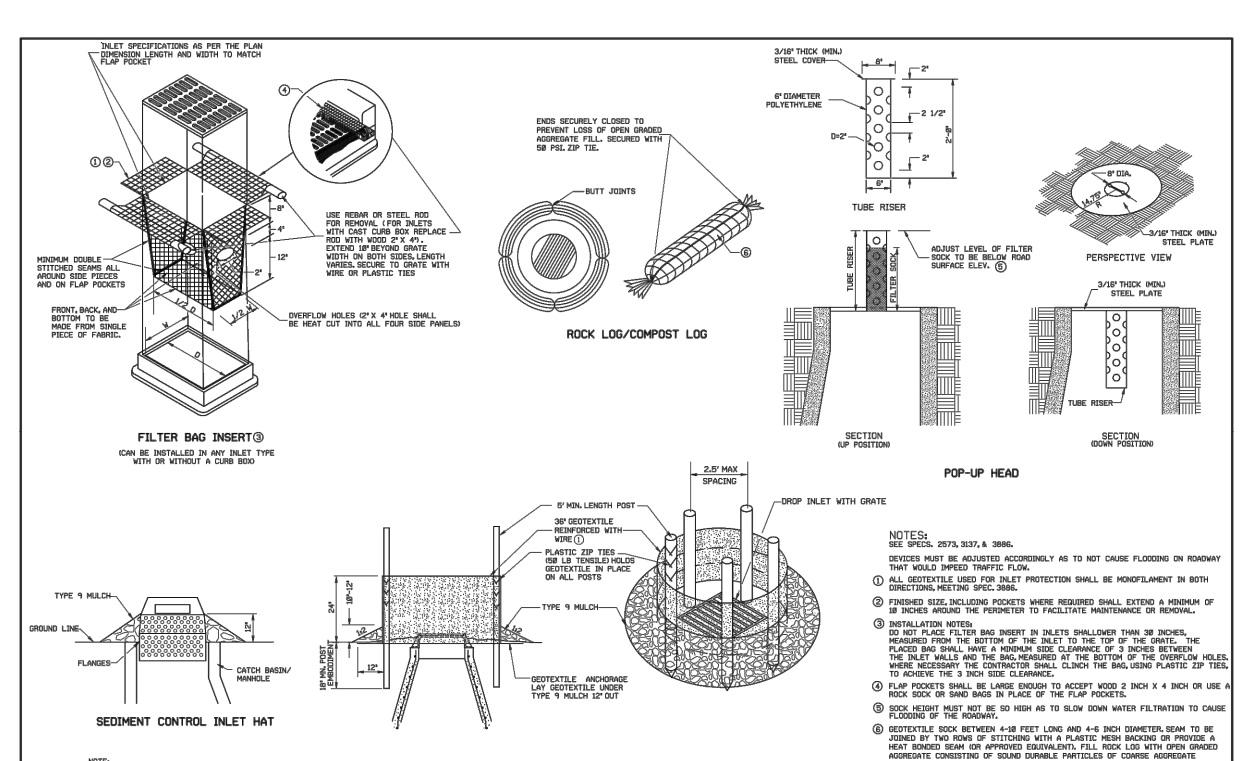
City of minnetonka	FLARED END SECTION	SCALE: NOT TO SCALE	STD PLATE NO: 190
		APPROVED: 1/2008	REVISED: 1/2008



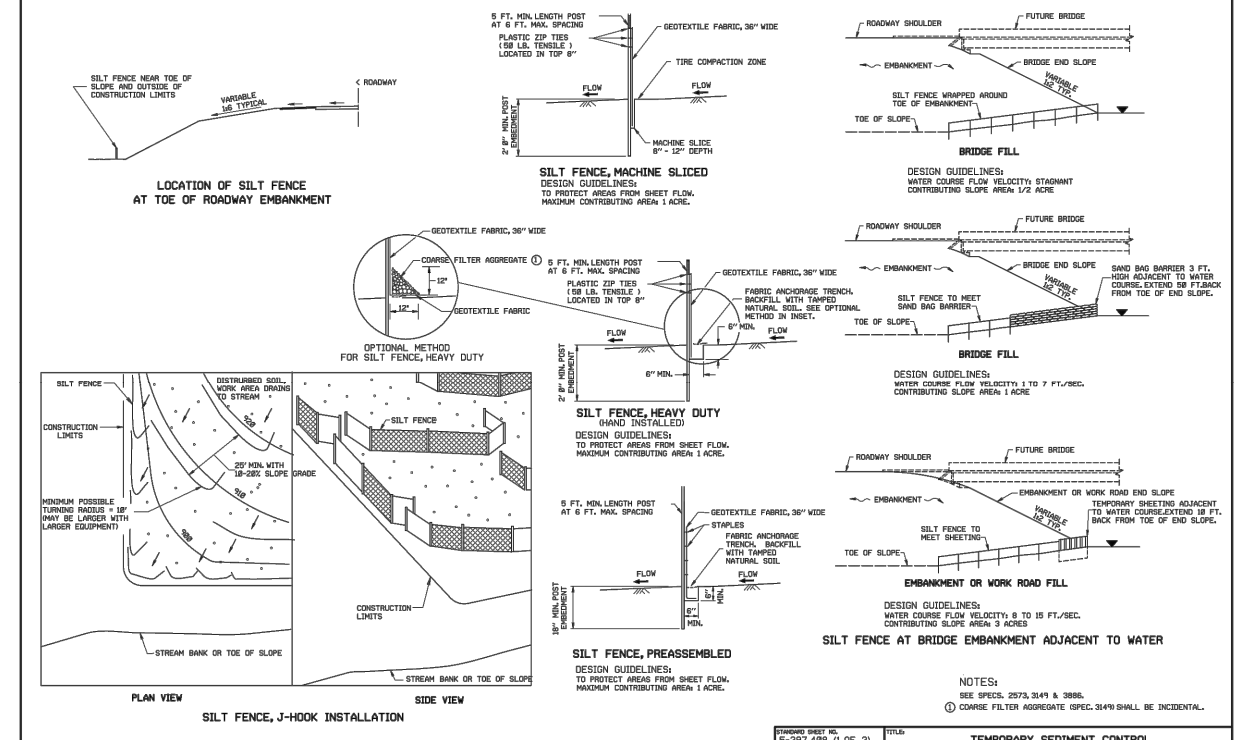
City of minnetonka	RIPRAP AT RCP OUTLETS	STATE OF MINNESOTA DEPARTMENT OF TRANSPORTATION	STANDARD PLATE NO. 3133D
		APPROVED: DECEMBER 9, 2013	



City of minnetonka	SILT FENCE, J-HOOK INSTALLATION	STATE OF MINNESOTA DEPARTMENT OF TRANSPORTATION	STANDARD PLATE NO. 3133D
		APPROVED: DECEMBER 9, 2013	



City of minnetonka	TEMPORARY SEDIMENT CONTROL STORM DRAIN INLET PROTECTION	SCALE: NOT TO SCALE	STD PLATE NO: 160
		APPROVED: 2/2001	REVISED: 3/2015



City of minnetonka	TEMPORARY SEDIMENT CONTROL SILT FENCE	SCALE: NOT TO SCALE	STD PLATE NO: 160
		APPROVED: 2/2001	REVISED: 3/2015

NO.	DATE	DESCRIPTION

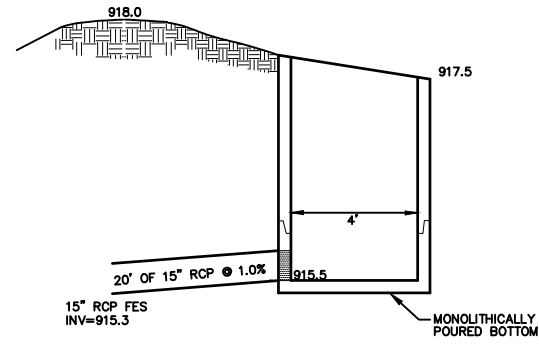
CAMPION ENGINEERING SERVICES, INC.
 1800 Pioneer Creek Center,
 Maple Plain, MN 55359
 Phone: 763-479-5172
 Fax: 763-479-4242
 E-Mail: mcampion@campioneng.com

I hereby certify that this plan, specification or report has been prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.
 Martin P. Campion -Lic. # 19901 Date:

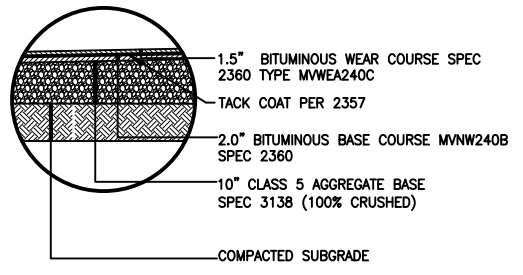
SHADY OAK CROSSING
RON CLARK CONSTRUCTION
 MINNETONKA, MN

DETAILS	PROJECT NO: 17-011
SHEET NO. 10 OF 11 SHEETS	DATE: 06/17/2019

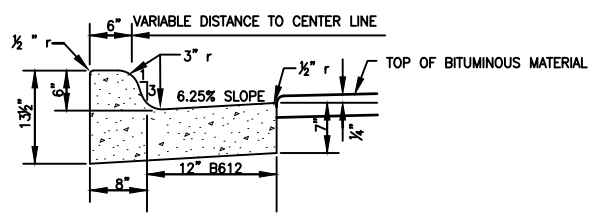
Plot Date & Time: C:\Users\mk-co\OneDrive\2017\17-011 Shady Oak Crossing\CAD\CAD 10 DETAILS.dwg



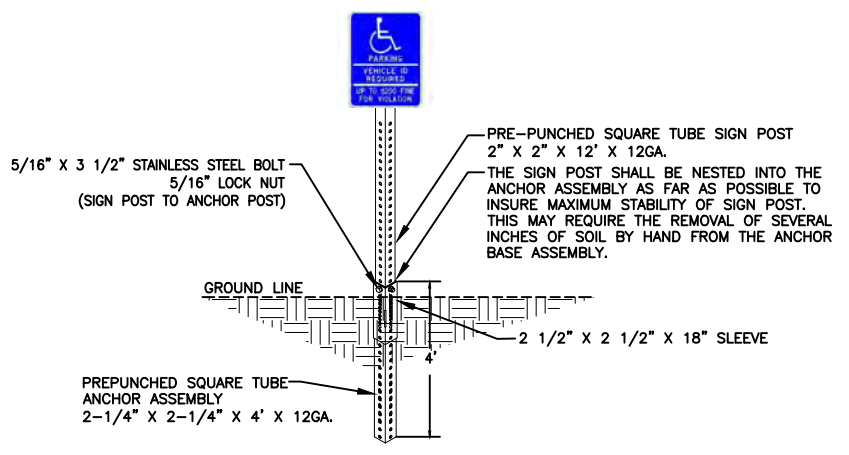
OUTLET CONTROL STRUCTURE



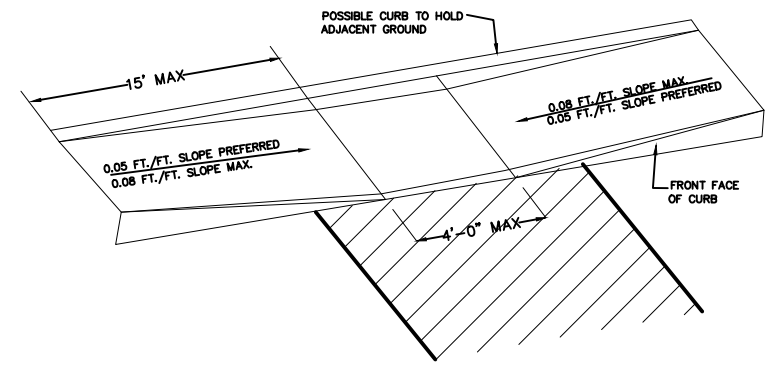
TYPICAL PARKING LOT SECTION



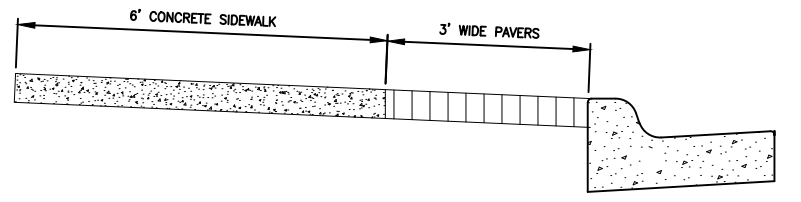
MNDOT B-612 CONCRETE CURB & GUTTER



ADA HANDICAP PARKING SIGN AND POST DETAIL



HANDICAP ACCESS AISLE



SIDEWALK ALONG SHADY OAK ROAD

NO.	DATE	DESCRIPTION

CAMPION ENGINEERING SERVICES, INC.
 • Civil Engineering • Land Planning
 1800 Pioneer Creek Center,
 P.O. Box 249
 Maple Plain, MN 55359
 Phone: 763-479-5172
 Fax: 763-479-4242
 E-Mail: mcampion@campioneng.com

I hereby certify that this plan, specification or report has been prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.
 Martin P. Campion -Lic. # 19901 Date: _____

SHADY OAK CROSSING
RON CLARK CONSTRUCTION
 MINNETONKA, MN

DETAILS
 SHEET NO. 11 OF 11 SHEETS

PROJECT NO:
 17-011
 DATE:
 06/17/2019

Planning Commission and City Council
Concept Plan Review Meeting Minutes

**Minnetonka Planning Commission
Minutes**

May 2, 2019

9. Other Business

A. Concept plan review for amendments to Shady Oak Crossing at 4312 Shady Oak Road.

Chair Kirk introduced the concept plan and called for the staff report.

Gordon reported. Staff recommends that planning commissioners provide comments and feedback on the identified key issues and other issues commissioners deem appropriate. The discussion is intended to assist the applicant with future direction that may lead to the preparation of more detailed development plans.

Luke asked if the setbacks on the north side would meet ordinance requirements. Gordon explained that the property is zoned as a planned unit development (PUD). The current north setback is approximately 37.5 feet. The proposal would reduce the north setback.

Chair Kirk noted that the houses in the area were built before setback ordinances were adopted. Gordon stated that the standard front setback for houses in the area is 35 feet.

In response to Henry's question, Wischnack explained that the city of Hopkins has not provided comments on the concept plan and would do so when a formal application would be submitted.

In response to Henry's question, Wischnack explained tax-increment financing.

Powers asked who would pay for the annexation and detachment. Wischnack answered that the developer would be required to provide all necessary documents.

Gordon reviewed the four areas staff would appreciate comments regarding: density, building design, site design, and traffic and circulation.

Mike Waldo, of Ron Clark Construction, applicant, reviewed the concept plan and stated that:

- He still likes the original project proposal.
- Comments were received regarding the traffic on Oak Drive Lane.
- He spent time with the land owner on the south and purchased part of the property. The property owner lost a lot of parking space from the street improvement project. The current purchase agreement is for 17,000 square feet.
- The proposal should reduce the traffic on Oak Drive Lane by 80 percent to 90 percent. There would be 90 stalls down below.
- The current proposal is a better project for the applicant, the neighbors, the city, and would provide 18 workforce-housing residences.

- There is no way to have no parking off of Oak Drive Lane. There is an elevation change of 11 feet and would not work for trucks to access and exit the site.
- The entrance to the parking lot was moved farther west to provide more room for stacking on Oak Drive Lane.
- He spoke with adjacent neighbors about providing landscaping for screening.
- There would be more area for the tot lot and play area.
- The applicant would agree to reduce the parking area if staff would be comfortable with that.
- The 37-foot setback was reduced to a 20-foot setback.
- The applicant thought that a soft-pitch roof would look more residential than a flat roof. He requested commissioners provide their comments.

Tim Whitten, architect with Whitten and Associates, on behalf of the applicant, gave a presentation on the concept plan:

- He described the drive area and traffic flow.
- He provided slides of the concept plan with and without landscaping.
- He described the roof provided in the concept plan.
- The building would be closer to the sidewalk than the previous proposal to allow for the turning radius of trucks.
- Grading could occur up to the first floor and would be able to have landscaping.
- On the northwest corner, there would be a two-story component that would move into the tot lot area and main entrance for visitors.
- The southwest corner would preserve a lot of trees.
- The exterior materials would be brick and made up of a cement board panel system. He explained the horizontal and vertical components.
- The elevation on the north end is one of his favorites. There would be a flat, bungalow-like feel.
- He is proud of how all of the pieces have been brought together and is excited about the opportunity.

In response to Henry's question, Mr. Whitten explained the evolution of the changes to the roof.

Luke thought the traffic pattern would be better with a signaled intersection for the entrance. She asked about walkability and where sidewalks and entrances to the building would be located. Mr. Waldo stated that there would be a sidewalk around the entire building. Mr. Whitten pointed out the patio area and entrances.

Henry asked if having the tot lot closer to the building had been discussed. Mr. Waldo said that it was determined that having the connection to the main access on Shady Oak Road was more of a priority. The play area would be fenced in. He could see positives and negatives with both scenarios.

Powers applauded the concept. It is an improvement from the 49-unit apartment building. He was amazed how the applicant tried to please everyone by making the south end look more urban and the north end residential. He asked if he understood correctly that there would be more room for buffering on the Oak Drive Lane side. Mr. Waldo answered affirmatively. He would work with staff. The applicant is committed to doing better projects. The applicant knew that was an important factor.

Knight stated that he likes the balconies. Mr. Whitten stated that the balconies would be solid aluminum and last as long as the apartment building.

Henry discussed buffering options for neighbors on Oak Drive Lane with Mr. Waldo. Mr. Waldo stated that the applicant would be happy to meet with the neighbor to see what the neighbor would prefer for buffering.

Chair Kirk invited those present to provide comments.

Chris Aanestad, 4255 Oak Drive Lane, stated that:

- He questioned how long the project would take.
- He appreciated the proposal moving the access off of Oak Drive Lane.
- The building would be too large. He did not understand how the building was shown on the plan.

Cynthia Jung, 18505 Spring Crest Drive, stated that:

- She represented the Minnetonka Housing Team. The Minnetonka Housing Team supports adding more units of affordable housing.
- They support the proposal.

Chair Kirk concluded receiving public comments.

Chair Kirk discussed with Mr. Waldo and Mr. Whitten how it is difficult to show the different elevations and scale of the building on a screen.

Chair Kirk stated that the building is too long to keep it to scale on the screen and it is difficult to represent a building that has an elevation change because it is distorted.

Wischnack explained that the city has a contract with the applicant. If tax credits would be awarded this year, then construction would begin in 2020. Relocation of businesses could occur in 2019.

Gordon provided that the 2017 plan proposed 31 units per acre and this concept plan has 33 units per acre.

Knight likes the concept plan. The building looks nice. He likes the change in the roofline. That improves the look significantly. He remembered residents on the south concerned with motorists cutting through their neighborhood. He asked if the proposal would create a cut through. Gordon recalled that a resident was concerned with motorists using Bradford Street to cross southbound traffic to make a left-hand turn onto Excelsior Blvd. to travel east or north on Shady Oak Road. Gordon did not see the concept plan creating that type of circumstance. Mr. Waldo described the traffic pattern for semis with trailers.

Powers liked everything about the new concept plan. He liked the roof lines. He liked how the developer worked so diligently to make this work. Work force housing is needed now. The sooner this is approved and started the happier he will be. The area would be wonderful for kids. He liked the architect thinking of the change in exterior colors and materials.

Luke liked the concept plan more than the previous proposal. The building would be attractive. She liked how traffic would be managed on the south side of the building instead of accessing Oak Drive Lane. She thought the 31 parking stalls looked like a lot of parking.

Henry felt that the type of housing is needed in the city. He liked how there would be more of a buffer between the proposed apartment building and residence on the west side. The building would be massive. Lowering the building to two levels sooner on the south side like it is on the north would make it more visually appealing. He would like to see how much sun would be blocked by the building.

Chair Kirk supports affordable housing. He voted no for the previous proposal because he wanted to see it improved. Moving the access to the south was key. He was happy to see that happen. He suggested aligning the road to prevent headlight wash. Mr. Waldo explained that the parking lot would be sloped down so a vehicle would travel with headlights pointed down.

Chair Kirk asked if a playground could be located over a sewer pipe. Gordon stated that would be looked at. The concept plan provides more flexibility to move the playground around. Chair Kirk suggested moving the playground further south and aligned with the backyard of 4292 Oak Drive Lane. He would like proof of parking. He looks forward to seeing a clear landscaping plan with trees, sidewalks, and snow storage. The building is still too close to the road. He was fine with the roofline. He hoped the number of units could be condensed a little to help condense the setback from Oak Drive Lane.

Powers stated that he visited residents of Oak Drive Lane and most of them did not care about the size of the building, except for the closest neighbors. It is 2020 and density is going to increase. He sees buildings in suburbs twice this size. The density is appropriate. The building is appropriately sized and takes into account that the city needs affordable housing now. This type of opportunity for this type of parcel, along a major street, that has already been developed is rare. The site's proximity to amenities makes it even rarer. He favored keeping the density as it is.

Luke felt that it would be nice to have an apartment building near single-family houses instead of an industrial area. That would make the apartments more attractive and keep the workforce housing near other workforce housing. The site would be accessible to amenities including the grocery store. It would be a very good location.

Chair Kirk noted that the owners of surrounding businesses would welcome the residents. The site is ready for redevelopment.

Henry would like the playground area moved closer to the main entrance if it could be done without ending up in a completely shaded area.

Andy Freeland, 3426 Robin Wood Terrace, explained he has been working on this project with the city for some time. He indicated he would like to build a home on the new lot.

Wiersum closed the public hearing.

Carter moved, Happe seconded a motion to hold the public hearing and adopt Resolution 2019-043 and Resolution 2019-044 approving the requests. All voted "yes." Motion carried.

2. Items related to sale of city property adjacent to 3515 Park Valley Road

City Attorney Corrine Heine gave the staff report.

Schack moved, Calvert seconded a motion approve the purchase agreement and adopt Ordinance 2019-13 authorizing the sale. All voted "yes." Motion carried.

14. Other Business:

A. Concept plan review for the Shady Oak Redevelopment located at 4312 Shady Oak Road.

City Planner Loren Gordon gave the staff report.

Happe stated this appeared to be a massive structure for this neighborhood. He believed the three story building was too high and questioned how many units would be lost if the structure were reduced to two stories. Gordon reported the building would lose 14 units if the third floor were eliminated.

Schack asked if this proposal would use the adjacent lot for drainage purposes. Gordon explained the lot to the west was owned by the city and the rear of the lot would be used for stormwater treatment.

Wiersum questioned what the process would be going forward for the developer. Community Development Director Wischnack reported staff would work first with the City of Hopkins on the annexation. She stated the developer would then seek land use approvals. City Manager Barone explained a project had been approved, but noted if this revised plan were to come forward, the whole approval process would have to start over. Wischnack clarified that if the revised plans were not approved by the city the original plans would continue unless rescinded by the council.

Michael Waldo, Ron Clark Construction, described how he had addressed traffic concerns for this development. He discussed the changes that were made to the site noting how this had went from a good project to a great project. He stated there would be a more efficient use of resources if he were allowed to add a third story which would create 20 more affordable housing units. He indicated he was comfortable that staff would be able to address the annexation issue with the City of Hopkins.

Tim Witten, Witten Associates, explained he was the architect for this project. He reviewed elevations of the new building noting comments from the neighbors had been taken into consideration. He commented on the grade of the site, where the retaining walls would be located and discussed the landscaping plans. It was noted the building would have a flat and hipped roof. He reviewed the location of the play area stating he would hate to add too much asphalt to this site if it was not necessary. He explained the apartments would be served by 90 underground parking spaces and noted the surface parking was for visitors.

Mr. Waldo reported a two-story apartment building would be very difficult to make work financially. He stated most apartment complexes were three or four stories.

Ellingson asked how steep the grade would be to access the structured parking. Mr. Witten reported the grade would be approximately 9%.

Ellingson questioned how long the building was from north to south. Gordon reported the building would be 420 feet long.

Carter commented she approved of the play area being located to the interior of the building as this would be safer for children.

Happe inquired if there were other three story buildings in the area. Gordon stated on this stretch of Shady Oak Road the buildings were one story commercial structures or two story single family homes.

Wiersum asked what the anticipated height of the building would be. Mr. Waldo explained the building height would be the same as was previously approved.

Wiersum questioned if there was another building of comparable size in Minnetonka. Wischnack reported the Ridge building would be very comparable except that building was four stories and the proposed building would be three stories.

Calvert inquired how many units were located within Applewood Point. Wischnack stated this development had 84 units in four stories. She noted the square foot per unit was much higher for that development than for the proposed apartment complex.

Wiersum opened the meeting for public comments. There were none.

Schack stated she was not part of the council that approved this project but had served on the Planning Commission that approved this project. She was of the opinion the revised plans were much improved and appreciated the fact the developer had addressed the access concerns. She commented the city knew light rail was coming and appreciated the fact this development would have close access to light rail. She noted she also supported the play area being moved to the interior of the project.

Calvert indicated she believed the new plans were dramatically improved. She thanked the developer for providing a hipped roof. She stated she could support the play area being put in either location so long as the space receives natural sunlight. She thanked the developer for adjusting access to the site. She noted the number of units does not bother her at this location.

Bergstedt stated he was pleased the city had an outstanding developer willing to make revisions to the project per the feedback that has been received from the neighbors. He explained the original building iterations were for a larger building. He was pleased the building size had been reduced. He thanked the developer for making this building appear to be more like row houses and for providing access to Shady Oak Road. He supported the play area being moved to the east away from traffic and the adjacent roadways. He commented he appreciated the hipped roof as it softened the building. He stated the proposed development would provide Minnetonka with more workforce housing. He noted his only concern with the project was how long the building was.

Happe indicated he believed the site plan and building design was great. However, he believed the building was too big for the area, as both the length and height of the building were too great. He feared this massive structure was being shoe-horned onto this property. He expressed concern with the fact the building would be very close to the road and may appear to be a big wall adjacent to the roadway.

Ellingson thanked Bergstedt and Happe for their observations. He stated he appreciated the fact the access to the site had been improved. He noted he was concerned with the size of the building and the lack of a setback from the street. He feared the proposed building would not fit very well into the neighborhood. He understood this was an urban setting, but explained he would be reluctant to support the revised plans.

Calvert explained the neighbors on Oak Drive Lane were concerned with the amount of traffic that would be using this roadway. She encouraged the

developer to ensure traffic using Oak Drive Lane would have adequate stacking lanes for safety purposes.

Wiersum commented this proposal was better than the previous proposal for a number of reasons, the first being improved access to the underground parking. He stated this was a big deal and noted the developer was proposing to construct an expensive building. He believed this project was better because it works. He indicated he was concerned about the building mass given the fact this was a 400+ foot long building. He was of the opinion the building design worked and he anticipated this area of the city would become more urban over time. He explained the proposed apartment complex would serve as a sound wall for the adjacent neighborhood. He appreciated the fact that the access issues had been addressed and noted the city was sorely in need of more workforce housing. He believed that the benefits of the project outweighed any of the drawbacks. He encouraged the developer to further break up the building and noted he supported the proof of parking.

Discussed concept plan with the applicant. No formal action required.

- B. Items concerning the demolition and construction of a new automobile dealership at 15906 Wayzata Boulevard**
- 1. An ordinance approving a master development plan and final site and building plans, with a parking setback variance; and**
 - 2. A resolution approving a conditional use permit, with a building-to-parking ratio variance, and a sign plan**

City Planner Loren Gordon gave the staff report.

Wiersum requested further information on the approval timeline. Gordon stated state law gives cities 60 days to act on an application after being deemed complete. Typically action can be taken in 60 days, however, if additional time is needed a 60 day extension is allowed. He reported the city was on the 120 day clock at this time and the 120 time period would expire on June 3rd. He explained the city could request another 60 days from the applicant in order for the planning commission to review the revised plans before seeking council approval.

Bergstedt stated he would feel more comfortable with this item having another 60 days given the fact the plans have been revised. He indicated he would be in a much better position to make an informed decision if the revised plans were reviewed by the planning commission.

Wiersum asked if the council had any questions for staff.

Ordinance No. 2019-

An ordinance approving a master development plan and rezoning the property at 4312 Shady Oak Road to Planned Unit Development

The City Of Minnetonka Ordains:

Section 1.

- 1.01 The subject property is located at 4312 Shady Oak Road. It is legally described in Exhibit A.
- 1.02 The proposed three-story, 67-unit apartment building would have 90 underground parking spaces, 25 surface parking spaces, a resident community room, an exercise room, on-site manager's office and an outdoor play area. The building would have a mix of 1, 2, and 3 bedroom apartments.

Section 2.

- 2.01 This ordinance is based on the findings that the proposed development would not negatively impact public health, safety, or welfare.
- 2.02 This ordinance is subject to the following conditions:
1. The site must be developed and maintained in substantial conformance with the following plans:
 - Site Plan, dated June 17, 2019
 - Grading Plan, dated June 17, 2019
 - Utility Plan, dated June 17, 2019
 - Landscape Plan, dated June 17, 2019
 - Building Elevations, dated June 17, 2019
 2. The development must further comply with all conditions outlined in City Council Resolution No. 2019-xx, adopted by the Minnetonka City Council on _____, 2019.

Section 3. This ordinance is effective immediately.

Adopted by the city council of the City of Minnetonka, Minnesota, on _____, 2019.

Brad Wiersum, Mayor

Attest:

Becky Koosman, City Clerk

Action on this ordinance:

Date of introduction: July 8, 2019

Date of adoption:

Motion for adoption:

Seconded by:

Voted in favor of:

Voted against:

Abstained:

Absent:

Ordinance adopted.

Date of publication:

I certify that the foregoing is a true and correct copy of an ordinance adopted by the city council of the City of Minnetonka, Minnesota at a regular meeting held on _____, 2019.

Becky Koosman, City Clerk