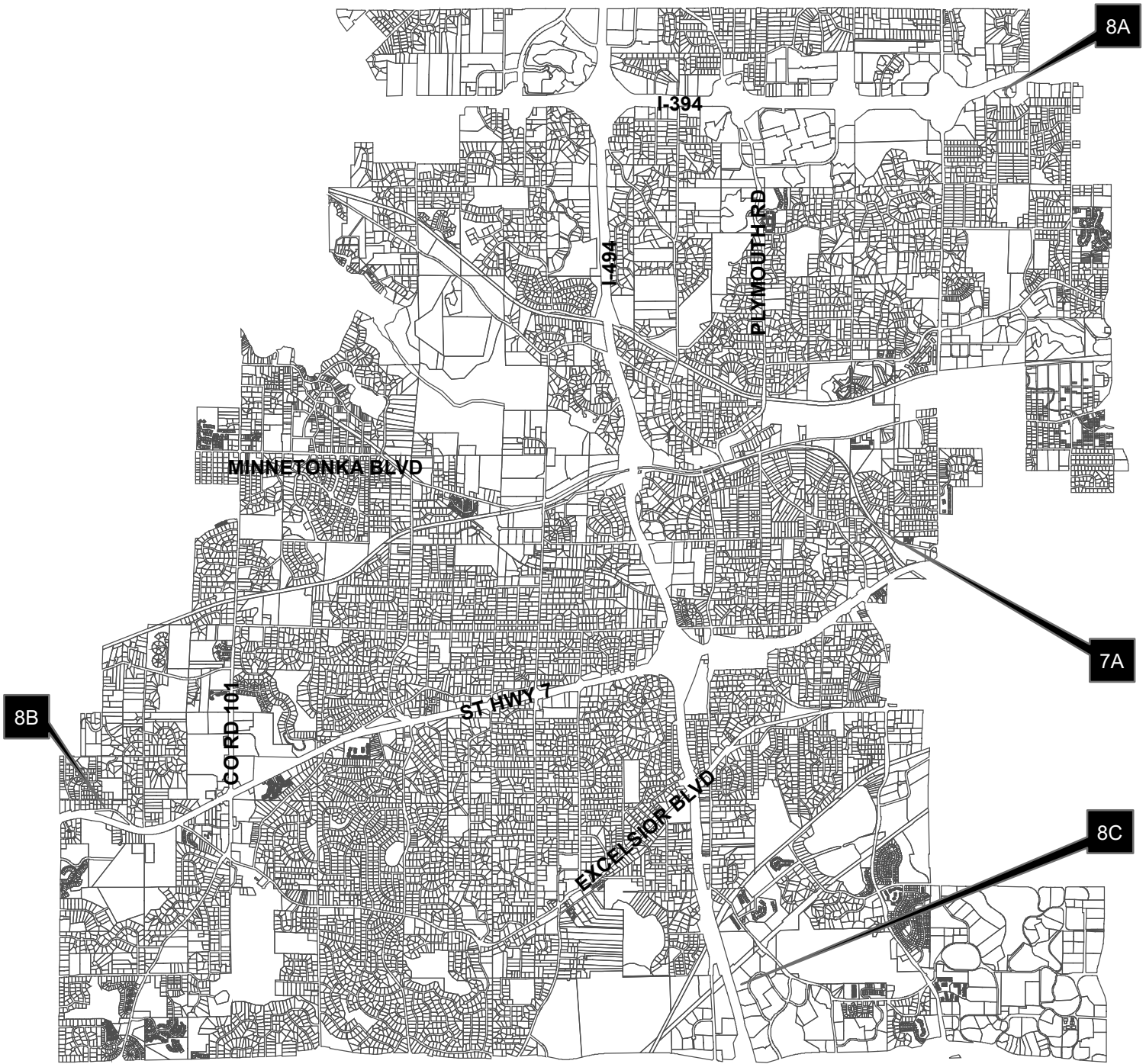




CITY OF
MINNETONKA

**CITY OF MINNETONKA
PLANNING COMMISSION
JUNE 28, 2018**

14600 Minnetonka Blvd. • Minnetonka, MN 55345
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eminnetonka.com





Planning Commission Agenda

June 28, 2018—6:30 P.M.

City Council Chambers—Minnetonka Community Center

- 1. Call to Order**
- 2. Roll Call**
- 3. Approval of Agenda**
- 4. Approval of Minutes: June 14, 2018**
- 5. Report from Staff**
- 6. Report from Planning Commission Members**
- 7. Public Hearings: Consent Agenda**
 - A. Resolution approving an expansion permit for construction of a deck at 11624 Minnetonka Mills Road.

Recommendation: Adopt the resolution approving the request (5 votes)
 - Final Decision Subject to Appeal
 - Project Planner: Susan Thomas
- 8. Public Hearings: Non-Consent Agenda Items**
 - A. Conditional use permit, with a parking variance, to expand an existing medical clinic at 10653 Wayzata Boulevard.

Recommendation: Recommend the city council approve the requests (4 votes)
 - Recommendation to City Council (Tentative Date: July 9, 2018)
 - Project Planner: Drew Ingvalson
 - B. Conditional use permit for an educational institution at 18707 Old Excelsior Boulevard.

Recommendation: Recommend the city council approve the requests (4 votes)
 - Recommendation to City Council (Tentative Date: July 9, 2018)
 - Project Planner: Susan Thomas

Planning Commission Agenda

June 28, 2018

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C. Items concerning the proposed parking ramp addition at 12700 Whitewater Drive.

Recommendation: Recommend the city council approve the request (4 votes)

- Recommendation to City Council (Tentative Date: July 9, 2018)
- Project Planner: Drew Ingvalson

9. Adjournment

Notices

1. Please call the planning division at (952) 939-8274 to confirm meeting dates as they are tentative and subject to change.
2. Applications and items scheduled for the July 19, 2018 planning commission meeting:

Project Description: The applicant is requesting a front and side yard setback variance to construct a two-stall attached garage at 5068 Belwood Lane.

Project No.: 18020.18a

Staff: Drew Ingvalson

Ward/Council Member: 4—Bergstedt

Section: 29

Project Description: The applicant is requesting a conditional use permit with variances, for a garage that exceeds 1,000 square feet in area and 12 feet in height located at 4413 Crawford Road.

Project No.: 18018.18a

Staff: Drew Ingvalson

Ward/Council Member: 1—Ellingson

Section: 22

Project Description: The applicant is proposing to redevelop the existing properties a 5517 and 5525 Eden Prairie Road. Existing structures would be removed and five new villa-style homes would be constructed. The proposal requires approval of: (1) rezoning; (2) site and building plans; and (3) preliminary and final plats.

Project No.: 17027.18a

Staff: Susan Thomas

Ward/Council Member: 1—Ellingson

Section: 33

WELCOME TO THE MINNETONKA PLANNING COMMISSION MEETING

This outline has been prepared to help you understand the public meeting process. The review of an item usually takes the following form:

1. The chairperson of the meeting will announce the item to be reviewed and ask for the staff report on the subject.
2. Staff presents their report on the item.
3. The commission will then ask city staff questions about the proposal.
4. The chairperson will then ask if the applicant wishes to comment.
5. The chairperson will open the public hearing to give an opportunity to anyone present to comment on the proposal.
6. This is the time for the public to make comments or ask questions about the proposal. Please step up to the podium, speak clearly, first giving your name (spelling your last name) and address and then your comments.
7. At larger public hearings, the chair will encourage speakers, including the applicant, to limit their time at the podium to about 8 minutes so everyone has time to speak at least once. Neighborhood representatives will be given more time. Once everyone has spoken, the chair may allow speakers to return for additional comments.
8. After everyone in the audience wishing to speak has given his or her comments, the chairperson will close the public hearing portion of the meeting.
9. The commission will then discuss the proposal. No further public comments are allowed.
10. The commission will then make its recommendation or decision.
11. Final decisions by the planning commission may be appealed to the city council. Appeals must be written and filed with the planning department within 10 days of the planning commission meeting.

It is possible that a quorum of members of the city council may be present. However, no meeting of the city council will be convened and no action will be taken by the city council.

**Unapproved
Minnetonka Planning Commission
Minutes**

June 14, 2018

1. Call to Order

Chair Kirk called the meeting to order at 6:30 p.m.

2. Roll Call

Commissioners Sewall, Knight, Powers, Schack, and Kirk were present. Hanson was absent.

Staff members present: Community Development Director Julie Wischnack, City Planner Loren Gordon, Assistant City Planner Susan Thomas and Natural Resource Manager Jo Colleran.

3. Approval of Agenda

Sewall moved, second by Schack, to approve the agenda as submitted with additional comments provided in the change memo dated June 14, 2018.

Sewall, Knight, Powers, Schack, and Kirk voted yes. Hanson was absent. Motion carried.

4. Approval of Minutes: May 24, 2018

Powers moved, second by Knight, to approve the May 24, 2018 meeting minutes as submitted.

Sewall, Knight, Powers, and Kirk voted yes. Hanson was absent. Schack abstained. Motion carried.

5. Report from Staff

Gordon briefed the commission on land use applications considered by the city council at its meeting of June 4, 2018:

- Adopted a resolution approving an interim use permit for fireworks to be sold at Westwind Plaza.
- Adopted a resolution approving an accessory apartment at 2920 Ellsworth Lane.
- Adopted a resolution approving an accessory structure at 4024 County Road 101.
- Adopted a resolution approving a conditional use permit for Wellhaven Pet Clinic.
- Adopted an ordinance and resolutions approving items for Ridgedale

Active Adult Apartments at 12421 Wayzata Boulevard.

The next planning commission meeting is scheduled to be held June 28, 2018.

The next comprehensive guide plan committee meeting is tentatively scheduled for July 18, 2018.

6. Report from Planning Commission Members: None

7. Public Hearings: Consent Agenda

No items were removed from the consent agenda for discussion or separate action.

Schack moved, second by Powers, to approve the items listed on the consent agenda as recommended in the respective staff reports as follows:

A. Approval of an expansion permit and variance to construct a new single-family home at 5718 Eden Prairie Road.

Adopt the resolution approving the expansion permit and property line setback variance for a new house at 5718 Eden Prairie Road.

B. Variance to construct a garage addition at 3707 Elmwood Place.

Adopt the resolution approving the variance to construct a garage addition to the single-family home at 3707 Elmwood Place.

C. Front yard setback variance for a porch addition at 11606 Minnetonka Mills Road.

Adopt the resolution approving a front yard setback variance for a front porch addition at 11606 Minnetonka Mills Road.

D. Resolution approving front yard setback variances for construction of a new home at 3105 Shores Boulevard.

Adopt the resolution approving front yard setback variances for construction of a new home at 3105 Shores Blvd.

Sewall, Knight, Powers, Schack, and Kirk voted yes. Hanson was absent. Motion carried and the items on the consent agenda were approved as submitted.

Chair Kirk stated that an appeal of the planning commission's decision must be made in writing to the planning division within 10 days.

8. Public Hearings

A. Resolution approving property line, wetland setback, and wetland-buffer-width variances at 2071 Austrian Pine Lane.

Chair Kirk introduced the proposal and called for the staff report.

Thomas reported. She recommended approval of the application based on the findings and subject to the conditions listed in the staff report.

In response to Chair Kirk's question, Colleran explained that more wetland was created than what was required at the time mitigation took place.

Ryan Hanson, of Sustainable Nine Design and Build, representing the applicant, stated that the current wetland setbacks would make the lot unbuildable. The planners and Colleran helped create a good plan.

Schack asked what sustainable practices would be used. Mr. Hanson stated that his company is a green-focused builder. Trees would be protected as much as possible; energy efficiency would be gained by using high-end insulation techniques; low or no POC products would be used; the HVAC would use high-efficiency, central-air furnaces; the house would be made to be solar ready; and LED lighting would be used. It would be a great addition to the neighborhood.

Chair Kirk liked the design.

The public hearing was opened. No testimony was submitted and the hearing was closed.

Schack moved, second by Powers, to adopt the resolution approving property line, wetland setback, and wetland-buffer-width variances for construction of a new house at 2071 Austrian Pine Lane.

Sewall, Knight, Powers, Schack, and Kirk voted yes. Hanson was absent. Motion carried.

Chair Kirk stated that an appeal of the planning commission's decision must be made in writing to the planning division within 10 days.

B. Site and building plan review for additions to the existing auto dealership building at 13400 Wayzata Blvd.

Chair Kirk introduced the proposal and called for the staff report.

Thomas reported. She recommended approval of the application based on the findings and subject to the conditions listed in the staff report.

Phillip Branson, director of operations for Morrie's Auto Group, applicant, stated that the proposal would make improvements to the building. He was available for questions.

The public hearing was opened. No testimony was submitted and the hearing was closed.

Sewall thanked the applicant for not applying for a parking-lot expansion. The neighbors appreciate it.

Powers moved, second by Knight, to adopt the resolution approving final site and building plans for additions to the existing auto dealership building at 13400 Wayzata Blvd.

Sewall, Knight, Powers, Schack, and Kirk voted yes. Hanson was absent. Motion carried.

Chair Kirk stated that an appeal of the planning commission's decision must be made in writing to the planning division within 10 days.

C. Items concerning Ridgedale Executive Apartments located at 12501 Ridgedale Drive.

Chair Kirk introduced the proposal and called for the staff report.

Gordon reported. He recommended approval of the application based on the findings and subject to the conditions listed in the staff report.

Powers noted that the site could hold an apartment building and a two-story office building in some way that would be acceptable. Gordon stated that the location of the office building would make the plan challenging.

Sewall asked if there are examples of office buildings located behind other office buildings. Gordon stated that there are a few office developments along Interstate 394 that have office buildings located along private driveways. Gordon was unable to find a site in Minnetonka similar to the proposal's uses and layout. The mix of uses is appropriate for the area. The proposal has organizational issues with the driveway and layout.

Sewall confirmed with Gordon that exterior parking spaces could be used by anyone. There would be no interior office building parking.

Tammy Diehm, of Winthrop and Weinstine, representing the applicant, stated that:

- The applicant has improved the plan since what was presented in November of 2017 in response to concerns from neighbors and staff.
- A traffic consultant confirmed that the internal operation would have

- appropriate circulation and be safe for all types of uses.
- The site would have a monument sign and be a destination.
- Much of the office building would be oriented toward the wooded area and pond.
- The drive aisle would be changed to be 26-feet in width.
- The parking stalls on the side of the building on Ridgedale Drive and those abutting the YMCA would be visitor parking stalls for the apartment building and the stalls added between the office and apartment buildings would be used by the office building tenants and visitors.
- She was available for questions.
- Based on the additional reduction in mass, the proposal meets the requirements of the ordinances and justifies the planning commission's recommendation to the city council that rezoning would be appropriate.
- The proposal would bring diversity of housing types and the redevelopment of the vacant building would be an asset to the community and increase the city's tax base.

Chair Kirk invited those present to comment.

Dr. Mark Stetsin, 2000 Norway Pine Circle, stated that he was speaking on behalf of his wife and a coalition of neighbors. He stated that:

- They are excited about the Ridgedale redevelopment project and support high-density housing, but all new high-density housing must be in compliance with the comprehensive guide plan, meet city code requirements including zoning, and not intrude on existing neighborhoods.
- They support the Trammel Crow project at Ridgedale Center.
- The developer has not incorporated much of what was recommended by the city council, planning commission, and staff.
- They strongly opposed the proposed project and support denial of the application.
- He referred to a letter written by their attorney that includes a written list illustrating how the proposal does not comply with the comprehensive guide plan or city code requirements.
- Councilmember Allendorf said that the footprint would be too large for the property. He agreed. The height has been decreased, but the footprint has not been reduced. The FAR has been increased.
- The building would be too big and massive. It would not provide an adequate transition or buffer from high-density to low-density housing. High-density housing should be located north of Ridgedale Drive.
- The site would lack organization and have a building behind a building.
- The office building would be required to have 57 parking spaces, but the proposal only has 32. It would be short 25 parking stalls.
- He requested the proposal be denied.

Sewall asked if parking would meet ordinance requirements. Gordon explained that there would be surface parking stalls adjacent to the building. It is presumed those would be used by the office building tenants and visitors. To meet ordinance requirements, additional spaces would be needed.

Chair Kirk noted that the applicant has gone to great lengths to respond to what the community, city council, and planning commission requested.

Powers agreed that the applicant has made changes. The city council and planning commission did not mention disharmony during the concept plan review. He did not agree with the neighbors. There would be adequate buffering. He respects staff's recommendation.

Chair Kirk likes the look of the apartment building. He struggled with the office building.

Gordon noted that the planning commission and city council focused on the size, mass, and width of the residential building during the concept review process.

Schack reviewed the previous packets. She recalled discussion regarding site organization and problems with site organization during the concept plan review in November. She acknowledged that was not the primary concerns addressed by the planning commission, because mass was a greater issue at that time. The organization of the site is troubling. She supports residential and high-density housing in the Ridgedale area. She would like to know more about how the comprehensive guide plan and Ridgedale development plan would impact the zoning before commenting further on that piece. She could not get over the issues with the site's organization. Planning staff recognize the issues and she respects their recommendation. When driving to the proposed office building, she knows that she would drive by it before figuring out its location since it would not be visible from the road. She was not comfortable with the proposal. The mixed use makes sense at the proposed location. She would not oppose the high-density residential use, if the site would be better organized.

Sewall did not have a problem with the mass. He would be o.k. with removing the office building and making the apartment building larger. The apartment building could be attractive and respectful to the neighbors. He agreed that the site is messy. He was not sure what could be built that would work. He was torn.

Chair Kirk noted that the office building was not visible behind Redstone. Powers noted that he went to Redstone for years and never noticed the office building.

Knight struggled with the proposal. The applicant reduced the mass of the building. The office building is not a fast-food restaurant that would need to have a large sign. Most of the visitors to the office building would know where it is located. He voted for it last time and it has been improved since then. He questioned why there would be no windows on

the back of the office building that would face the wetland. Gordon clarified that there would be windows.

Chair Kirk supports staff's recommendation to deny the proposal.

Powers did not think the proposal would make the site less harmonious than it is currently.

Schack moved, second by Sewall, to recommend that the city council adopt the attached resolution denying rezoning, master development plan, and site and building plans for the Ridgedale Executive Apartments.

Sewall, Schack, and Kirk voted yes. Knight and Powers voted no. Hanson was absent. Motion carried.

This item is tentatively scheduled to be reviewed by the city council at its meeting on July 9, 2018.

9. Other Business

A. Concept plan review for Hennepin County Medical Examiner's Office at 14300 County Road 62.

Chair Kirk introduced the proposal and called for the staff report.

Gordon reported. Staff recommends that planning commissioners provide comments and feedback on the identified key issues and other issues commissioners deem appropriate. The discussion is intended to assist the applicant with future direction that may lead to the preparation of more detailed development plans.

John Rode, senior facility planner with Hennepin County Facility Services Planning and Project Development, representing the applicant, stated that the site has 160 acres. He provided a history of the site.

Zach Essig, engineer with Leo A. Daly, stated that:

- He pointed out what wetland area and trees would be protected. The Tamarack bog would be protected and preserved up to the slope.
- There would be 24.5 acres of buildable space.
- He compared possible building locations considering access, impact to trees, wetlands, and slopes.
- The proposed building location would provide a nice approach through the south side of the wetland between the woodland preserve and wetland area using retaining walls to reach the road. The road would have a typical width with retaining walls that would not have any permanent impact on the wetland or woodland preserve.

- As many coniferous trees would be preserved as possible.

Mr. Rode stated that:

- The autopsy wing would be 3,500 square feet. There is a second level that would house mechanical equipment and building services. There would be 10 autopsy tables and two isolation autopsy tables.
- There would be 21 offices and 37 work stations.
- The site pad would be located on eight acres. Access uses another two acres. There would be 55 secure parking stalls for staff. There would be 29 visitor stalls and 13 additional overflow stalls to accommodate the conference center.

Melissa Lallak, department administrator for the medical examiner's office, stated that:

- The medical examiner's office investigates deaths that meet statutory requirements in a forensic manner.
- The facility would operate 24 hours a day, seven days a week.
- The facility is a collaboration of Hennepin, Dakota, and Scott Counties. There are a number of highly educated staff in the field of forensic science.
- They are an accredited site to train forensic scientists.

Sewall asked if there would be an environmental impact. Ms. Lallak said that the environmental impact would be minimal. There would be no crematorium. Specimens would be collected in containers that would be sent to outside testing labs. The ventilation in the building would be set up to be respectful to the outside.

Sewall asked how many vehicle trips the site would generate. Ms. Lallak stated that 16 employees would travel to and from the site. The investigative staff operate 24/7, but that would create a minimal number of trips. Funeral homes and the transport agency typically use white vans. The facility has two rigs that investigators drive to scenes that are silver and have the Hennepin County Medical Examiner's Office logo on the outside.

Powers asked if other sites are being considered. Mr. Rode stated that three other sites were considered in Bloomington, but they did not work out. The applicant will receive state bonding for the project and is looking for help from Dakota and Scott Counties for funding.

Chair Kirk thought it looked like the north part of the site is less wooded. Mr. Rode said that having the building further south minimizes the access road length.

Gordon noted that city requirements would allow for a larger buildable area on the site than the applicant's determination.

Chair Kirk asked about the type of planted trees on the site. Gordon answered that the trees are mostly red pines and some scotch pines.

Chair Kirk recommended requesting permission for commissioners to visit the site. Gordon agreed. Mr. Rode stated that a minimal background check would have to be done for each visitor, but that would be possible.

Powers asked for the size of the current operating site. Mr. Rode stated that the facility takes up half of a city block. The existing building is 62,000 square feet in size. It also has a functional crime lab. The medical examiner utilizes 40,000 square feet with the crime lab using 22,000 square feet. The proposed building would have approximately 68,500 square feet. That would provide the anticipated capacity requirements for the next 30 years. The proposed parking is projected to be adequate until 2047.

Chair Kirk asked if anyone in the audience wanted to provide comments.

Anne Hossfeld, 14616 Glendale Street, asked for the level of approval the city has over the site and questioned the number of attendees at the conferences.

Gordon explained that the city's land use ordinances apply to a publically-owned property the same as a privately-owned property. Schack provided the example of a restroom facility that was approved for the Hopkins High School site. An application submitted by a school district is treated the same as an application submitted by a private-property owner.

Ms. Lallak explained that Hennepin County currently sponsors a MN Coroners and Medical Examiners three-day conference which is held at a hotel in St. Louis Park. A two-day conference may be held at the proposed facility. Transportation and lodging options would need to be researched.

Schack thought the proposal would be a good use of county-owned property. She wished more trees could be saved. She understood there would be a trade-off to move the building further north. She is less concerned with the pines than if it was an oak forest. The county figures the buildable area as 24 acres, but the city's parameters would allow a lot more development on the site.

Sewall liked the idea of visiting the site as a group. He would like to see how far north the building could be moved and compare the increase in hard surface coverage to the number of trees that could be saved. He would like to see a rendering of the proposed building. The building would be relatively central. It is a very large site. It would be an appropriate land use.

Chair Kirk struggled with the land use. He understood that it may seem like an appropriate use to be adjacent to the county home school. The property is beautiful and has so much potential.

Powers thought something special could be built on the 161 acres. He was worried that it would be developed in pieces.

Schack appreciate the value of the property. She saw it evolving into a county campus. The public use is of value. It would be a loss to provide an opportunity for housing, but the site is not zoned residential.

Sewall stated that individual property owners have rights. He agreed this would be a great spot for housing and the county may decide to split up the property, but the use would be appropriate for the current situation.

Powers saw it as an educational facility.

Schack made a correlation to Carlson Companies proposing to add a building to its campus on McGinty Road West. There is a lot of land that would make great residential housing, but she did not think that would happen in her lifetime. She would be hard pressed to deny Carlson the ability to develop their land within the city's ordinance requirements.

Sewall asked commissioners to consider if the proposal would limit the ability of the property to be subdivided and used for housing in the future.

Wischnack said that commissioners could request a possible build-out scenario from the applicant.

Powers would not want a 10-acre development to define the entire 161-acre parcel.

Knight was concerned with locating the building in the middle of the property to site area to the north. The building could be moved further north without adding too much more driveway.

Chair Kirk likes how the parking areas meander through the site to break-up the parking instead of having one massive parking lot. The site would be respectful of the tree canopy.

The city council is tentatively scheduled to review this item at its meeting on July 9, 2018.

10. Adjournment

Sewall moved, second by Powers, to adjourn the meeting at 9 p.m. Motion carried unanimously.

By: _____
Lois T. Mason
Planning Secretary

Minnetonka Planning Commission

Meeting June 28, 2018

Agenda Item 7

Public Hearing: Consent Agenda

MINNETONKA PLANNING COMMISSION
June 28, 2018

Brief Description	Resolution approving an expansion permit for construction of a deck at 11624 Minnetonka Mills Road
Recommendation	Adopt the resolution approving the request

Background

The subject property is located in the ROBINWOOD TERRACE 2nd ADDITION subdivision, which was platted in 1954. The existing home was constructed in 1955, prior to adoption of the city's first zoning ordinance. The home has a non-conforming front yard setback of 26 feet.

Proposal

The property owner is proposing to construct a deck on the west side of the home. While a 45-foot front yard setback is required by code, the deck would have a front yard setback of 27 feet.

By City Code §300.29 Subd.3(g), an expansion permit is required for an expansion of a non-conforming structure when the expansion would not intrude into a setback area beyond the distance of the existing structure. A variance is required when the expansion would intrude further into the setback area. As the existing home has a non-conforming front yard setback, and the proposed deck would not intrude further into this setback, an expansion permit is required.

Staff Analysis

Staff finds that the applicant's proposal is reasonable and meets the expansion permit standards as outlined in city code.

1. The subject property roughly 16,250 square feet size. However, it is triangular-shaped and located at the intersection of two streets. The setbacks associated with this configuration leave less than 830 square feet of buildable area on the lot.
2. The proposed deck would not encroach further into the required setback than the existing structure.
3. The proposed deck would be located nearly 45 feet from the paved surface of Minnetonka Mills Road and over 40 feet from the closest neighboring home.

Staff Recommendation

Adopt the resolution approving an expansion permit for construction of a deck at 11624 Minnetonka Mills Road.

Originator: Susan Thomas, AICP, Assistant City Planner
Through: Loren Gordon, AICP, City Planner

Supporting Information

**Surrounding
Land Uses**

North: single-family homes, zoned R-1
South: office building, zoned B-1
East: single-family homes, zoned R-1
West: single-family homes, zoned R-1

Planning

Guide Plan designation: Low-density residential
Zoning: R-1

Setback

By City Code 300.15 Subd.9(a), deck may extend five feet into required front yard setbacks without variance. The required front yard setback adjacent to Minnetonka Mills Road is 50 feet. Under the architectural feature provision of the code, the required setback for the proposed deck is 45 feet.

**Expansion Permit
Standard**

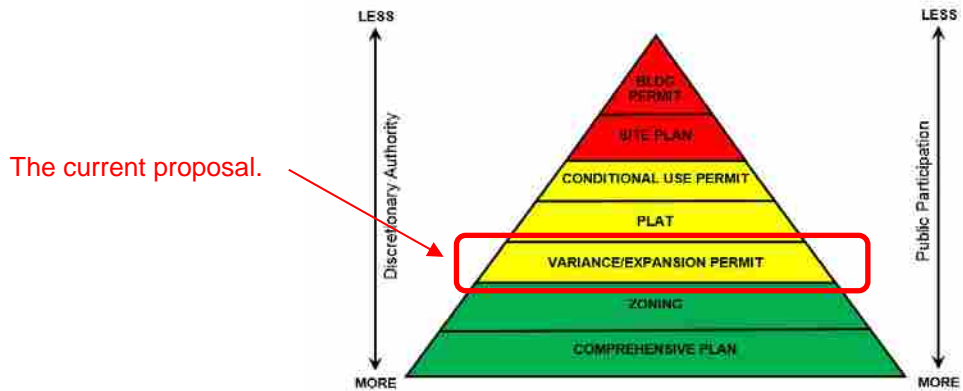
By City Code §300.29 Subd.7(c), an expansion permit for a non-conforming use may be granted, but is not mandate, when an applicant meets the burden of proving that:

1. The proposed expansion is reasonable use of the property, considering such things as:
 - Functional and aesthetic justifications for the expansions;
 - Adequacy of off-street parking for the expansion;
 - Absence of adverse off-site impacts from such things as traffic, noise, dust odors, and parking;
 - Improvement to the appearance and stability of the property and neighborhood.
2. The circumstances justifying the expansion are unique to the property, are not caused by the landowner, are not solely for the landowner's convenience, and are not solely because of economic considerations; and
3. The expansion would not adversely affect or alter the essential character of the neighborhood.

**Neighborhood
Comments**

The city sent notices to 49 area property owners and received no comments to date.

Pyramid of Discretion



Motion Options

The planning commission has three options:

1. Concur with the staff recommendation. In this case a motion should be made to adopt the resolution approving the request.
2. Disagree with staff's recommendation. In this case, a motion should be made denying the request. This motion must include a statement as to why the request is denied.
3. Table the request. In this case, a motion should be made to table the item. The motion should include a statement as to why the request is being tabled with direction to staff, the applicant, or both.

Voting and Appeals

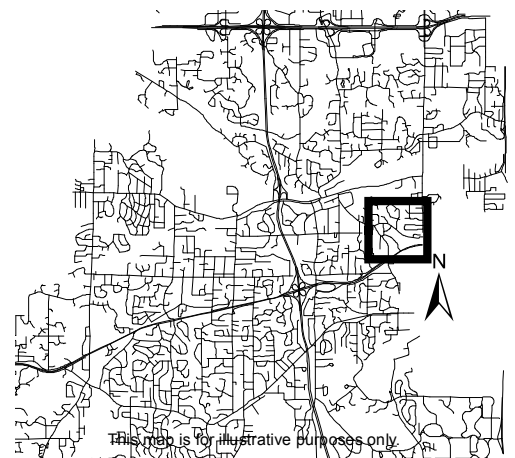
By City Code §300.29 Subd.7(c)(2), the planning commission has authority to approve expansion permits. Approval requires the affirmative vote of five commissioners. Any person aggrieved by the planning commission's decision about the request may appeal such decision to the city council. A written appeal must be submitted to the planning staff within ten days of the date of the decision.

Deadline for Decision September 19, 2017



Location Map

Project: Ristow Residence
Address: 11624 Minnetonka Mills Rd



To whom it may concern,

I'm looking to add a simple 12 x 12 deck to my already existing ledger board and patio door. In 2010 we installed new siding, windows and doors. When we did the upgrades, we removed one dining room window and replaced it with a patio door on the West side of the building. At the time setbacks were 30 feet from the property line with no mention of future issues. Funding ran short and the deck was put on hold. Since then the setbacks were changed to 50 feet. Finishing the deck will complete the project originally started in 2010.



ADVANCE SURVEYING & ENGINEERING CO.

5811 Cedar Lake Road Minneapolis, MN 55416 Phone (612) 541 0500

SURVEY FOR: RICHARD BARTELNEHS

DATE SURVEYED: October 23, 1986 **DRAFTED:** October 25, 1986

LEGAL DESCRIPTION:

Lot 1, Block 1, ROBINWOOD SECOND ADDITION, Hennepin County, Minnesota

NOTES:

Legal Description Source:

We have surveyed the above described property which the client claims to own or appears to own from various government records. We make no representation that the client does in fact own the property nor that a search of the records has been made to determine the extent and nature of his holdings. If there is any doubt concerning the accuracy of the legal description, competent legal counsel should be retained to perform a title search to either verify or correct the description and to reveal such other matters of record such as easements, covenants and ordinances which may affect the use and value of the property.

Easements and Improvements:

We show only those easements which the client informs us of or which we happen to become aware of through other sources and only those improvements which are readily visible and which we deem important. The survey does not purport to show all easements and improvements.

Standard Symbols & Conventions:

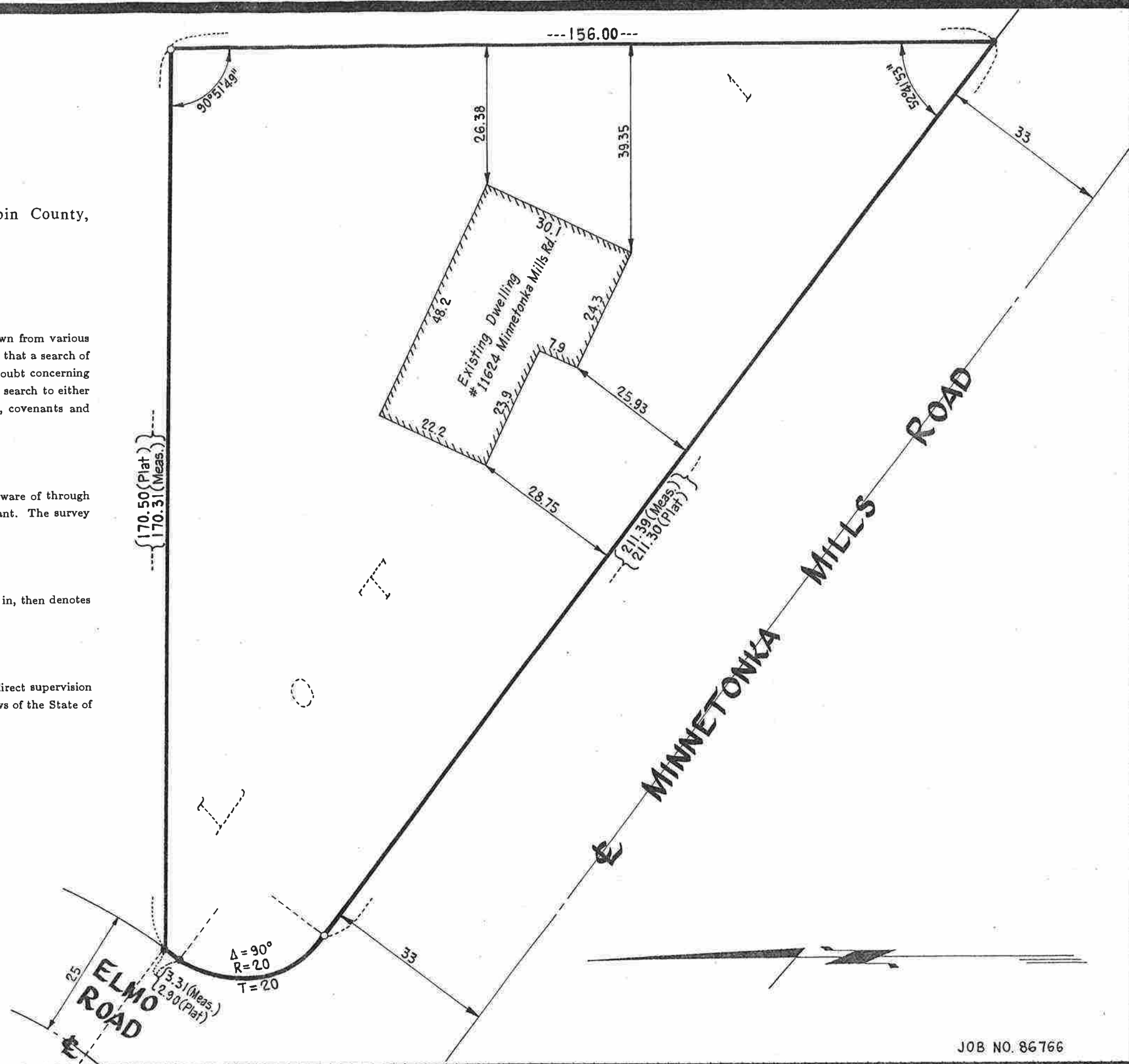
"o" Denotes 1/2" ID pipe with plastic plug bearing State License Number 9235, set, if "o" is filled in, then denotes found iron monument.

CERTIFICATION:

I hereby certify that this plan, specification, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer and a Licensed Land Surveyor under the Laws of the State of Minnesota.

James H. Parker
James H. Parker P.E. & L.S., Minn. Lic. 9235, PCA No. 208

SCALE: ONE INCH EQUALS 20 FEET



ADVANCE SURVEYING & ENGINEERING CO.

5811 Cedar Lake Road Minneapolis, MN 55416 Phone (612) 541 0500

SURVEY FOR: RICHARD BARTELNEHS

DATE SURVEYED: October 23, 1986 **DRAFTED:** October 25, 1986

LEGAL DESCRIPTION:

Lot 1, Block 1, ROBINWOOD SECOND ADDITION, Hennepin County, Minnesota

NOTES:

Legal Description Source:

We have surveyed the above described property which the client claims to own or appears to own from various government records. We make no representation that the client does in fact own the property nor that a search of the records has been made to determine the extent and nature of his holdings. If there is any doubt concerning the accuracy of the legal description, competent legal counsel should be retained to perform a title search to either verify or correct the description and to reveal such other matters of record such as easements, covenants and ordinances which may affect the use and value of the property.

Easements and Improvements:

We show only those easements which the client informs us of or which we happen to become aware of through other sources and only those improvements which are readily visible and which we deem important. The survey does not purport to show all easements and improvements.

Standard Symbols & Conventions:

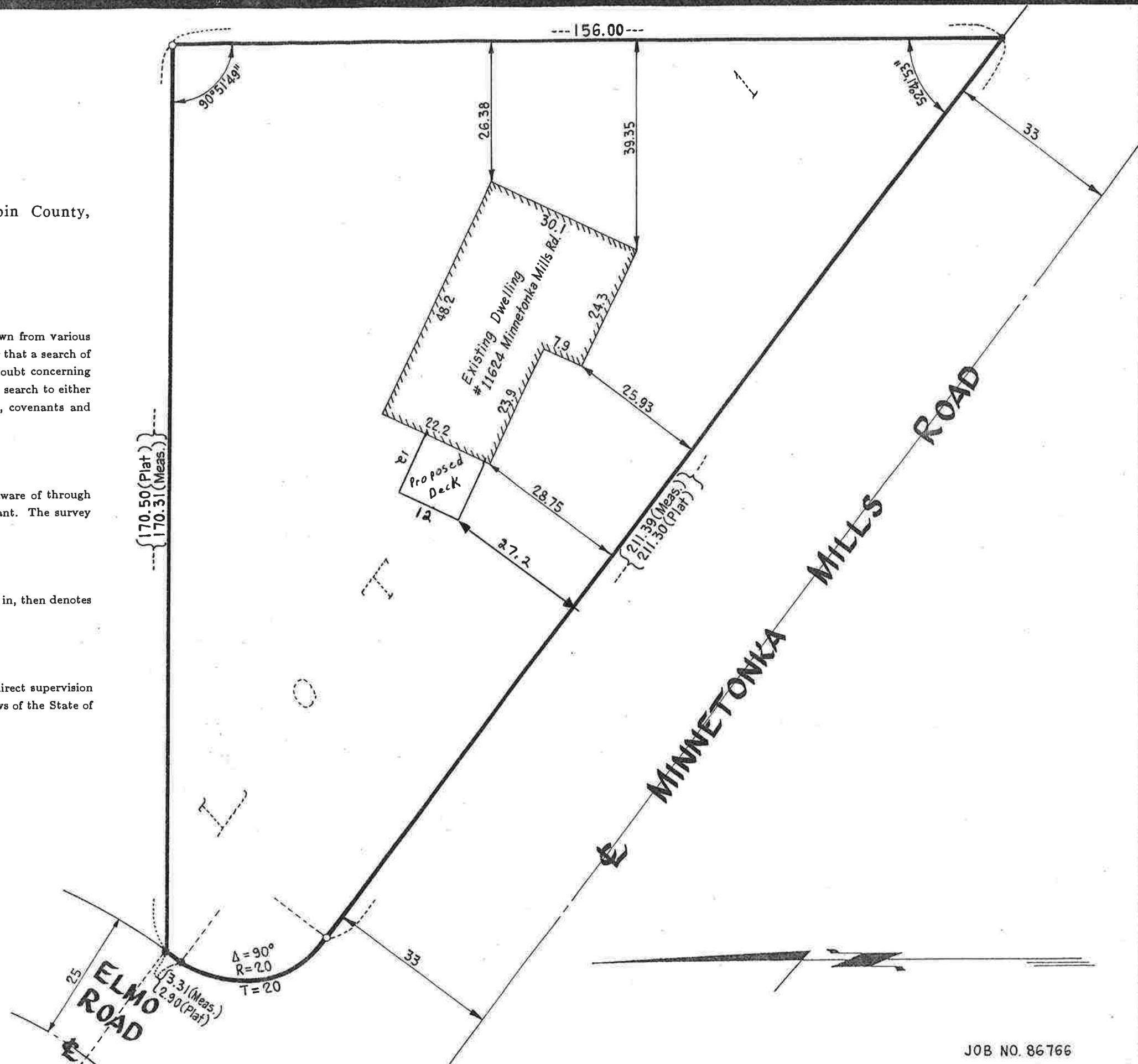
"o" Denotes 1/2" ID pipe with plastic plug bearing State License Number 9235, set, if "o" is filled in, then denotes found iron monument.

CERTIFICATION:

I hereby certify that this plan, specification, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer and a Licensed Land Surveyor under the Laws of the State of Minnesota.

James H. Parker
James H. Parker P.E. & L.S., Minn. Lic. 9235, PCA No. 208

SCALE: ONE INCH EQUALS 20 FEET



ADVANCE SURVEYING & ENGINEERING CO.

5811 Cedar Lake Road Minneapolis, MN 55416 Phone (612) 541 0500

SURVEY FOR: RICHARD BARTELNEHS

DATE SURVEYED: October 23, 1986 **DRAFTED:** October 25, 1986

LEGAL DESCRIPTION:

Lot 1, Block 1, ROBINWOOD SECOND ADDITION, Hennepin County, Minnesota

NOTES:

Legal Description Source:

We have surveyed the above described property which the client claims to own or appears to own from various government records. We make no representation that the client does in fact own the property nor that a search of the records has been made to determine the extent and nature of his holdings. If there is any doubt concerning the accuracy of the legal description, competent legal counsel should be retained to perform a title search to either verify or correct the description and to reveal such other matters of record such as easements, covenants and ordinances which may affect the use and value of the property.

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We show only those easements which the client informs us of or which we happen to become aware of through other sources and only those improvements which are readily visible and which we deem important. The survey does not purport to show all easements and improvements.

Standard Symbols & Conventions:

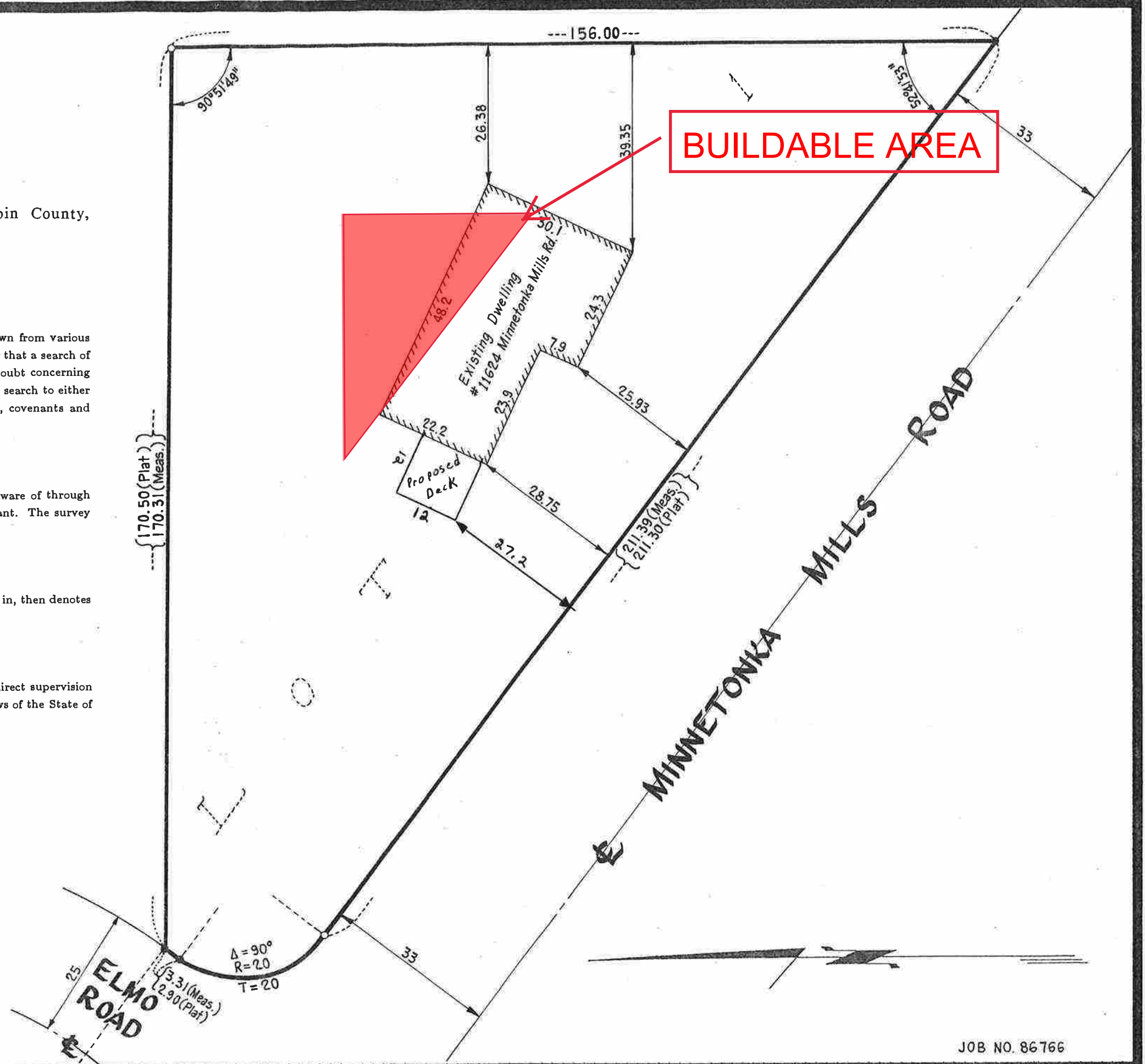
"o" Denotes 1/2" ID pipe with plastic plug bearing State License Number 9235, set, if "o" is filled in, then denotes found iron monument.

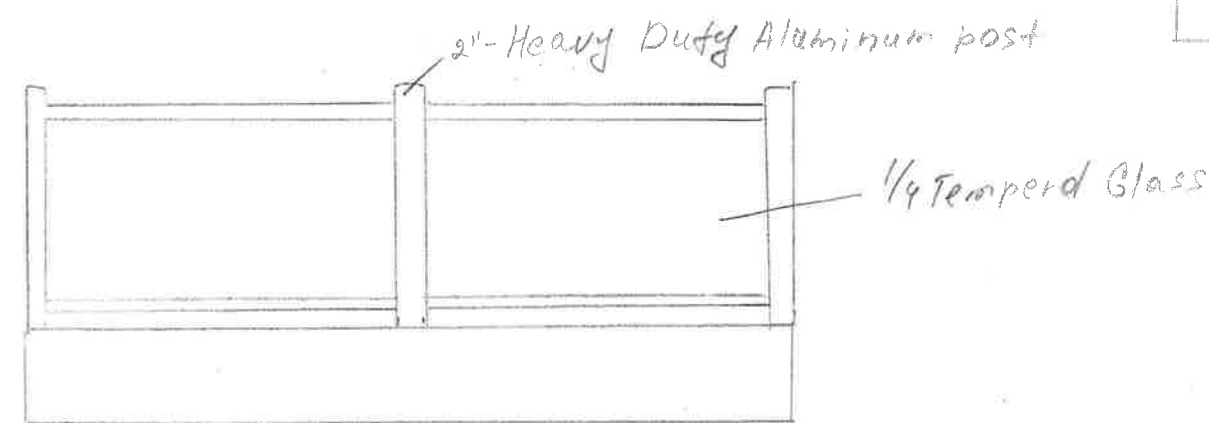
CERTIFICATION:

I hereby certify that this plan, specification, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer and a Licensed Land Surveyor under the Laws of the State of Minnesota.

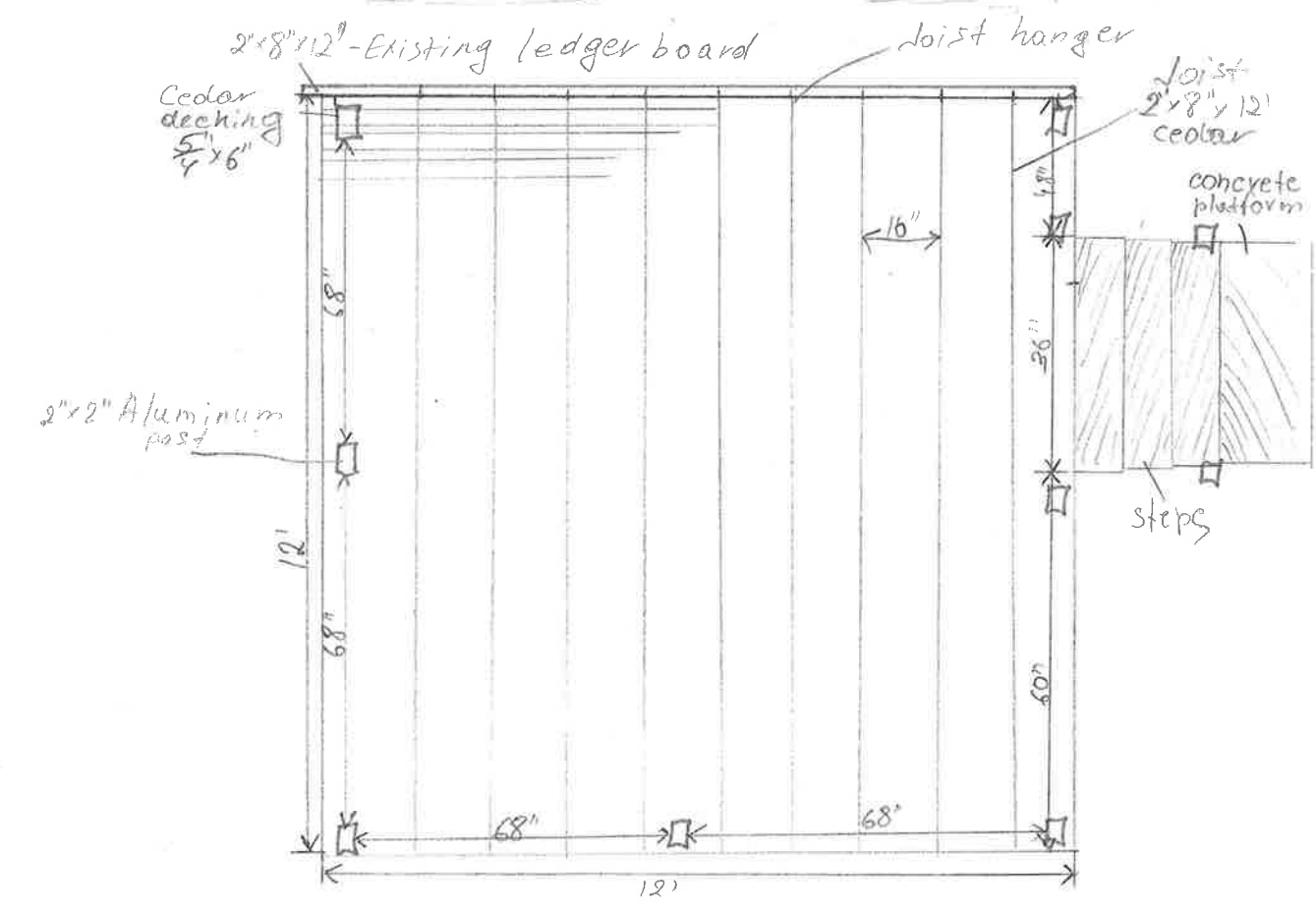
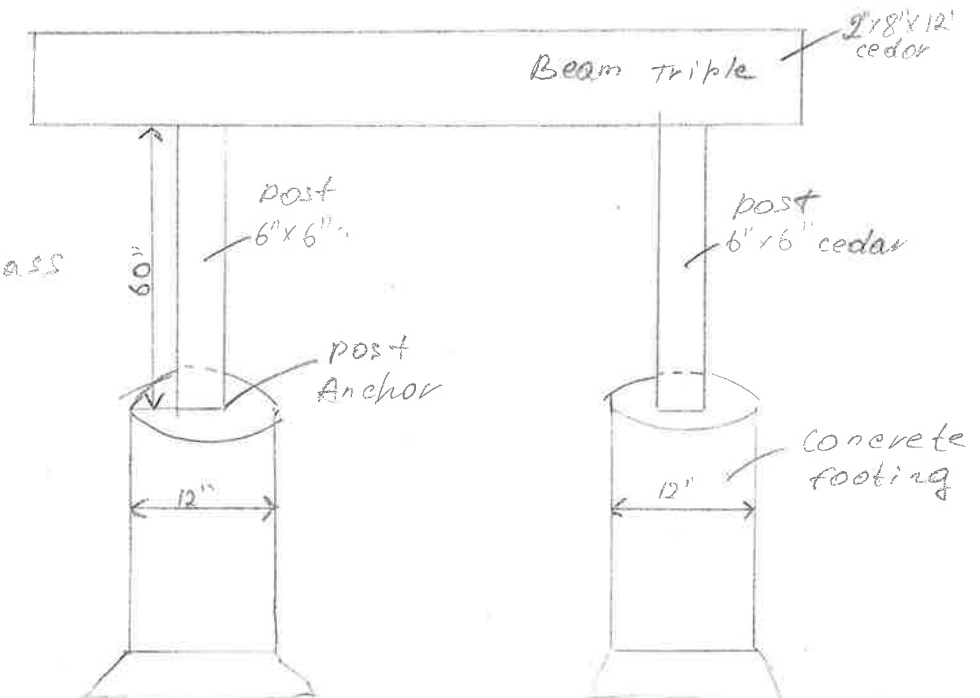
James H. Parker
James H. Parker P.E. & L.S., Minn. Lic. 9235, PCA No. 208

SCALE: ONE INCH EQUALS 20 FEET





36" CRR-0163 C70 Glass Railing
6' spread

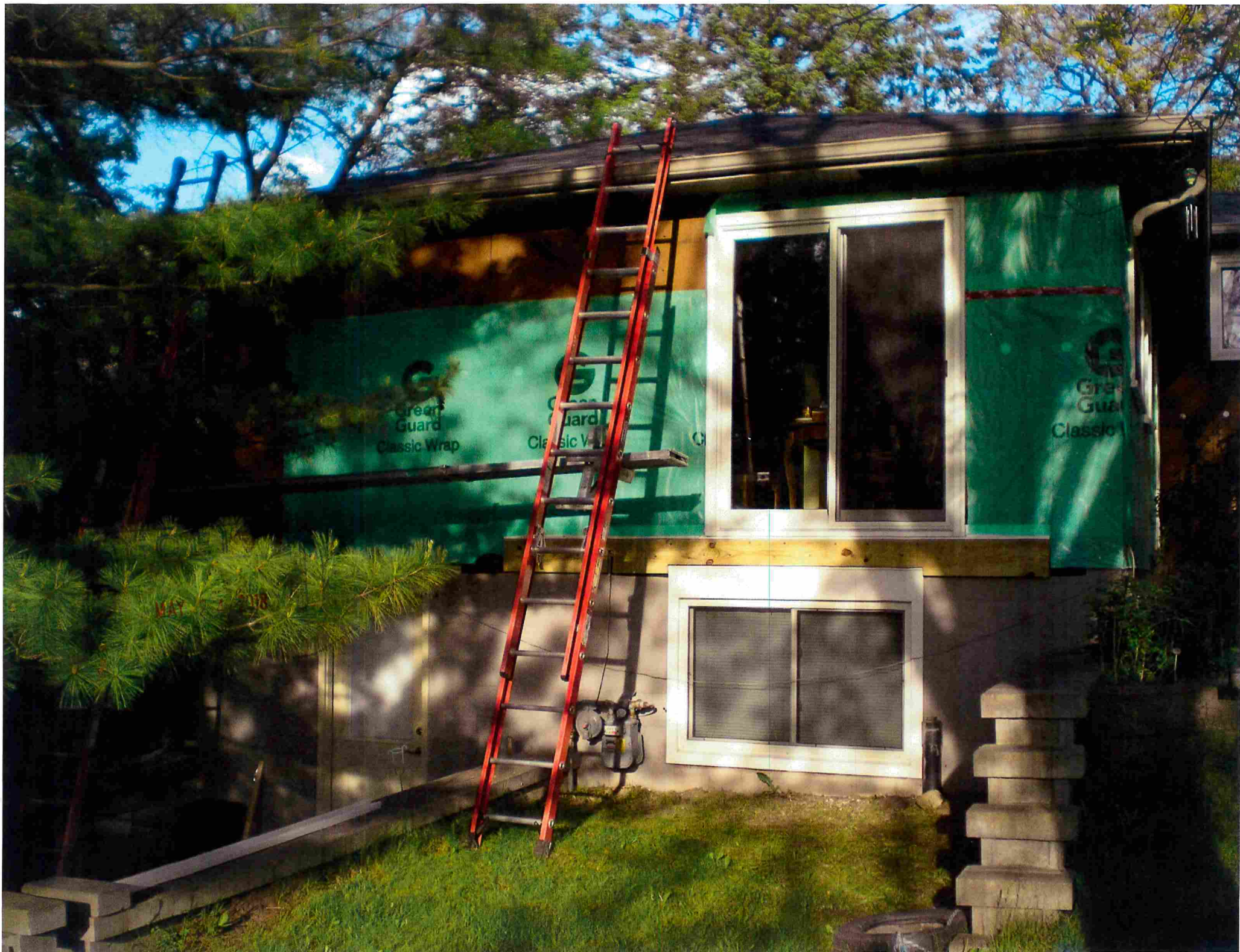


RECEIVED
MAY 24 2018
Submitted by Applicant

Great
Guat
Classic

6.5"

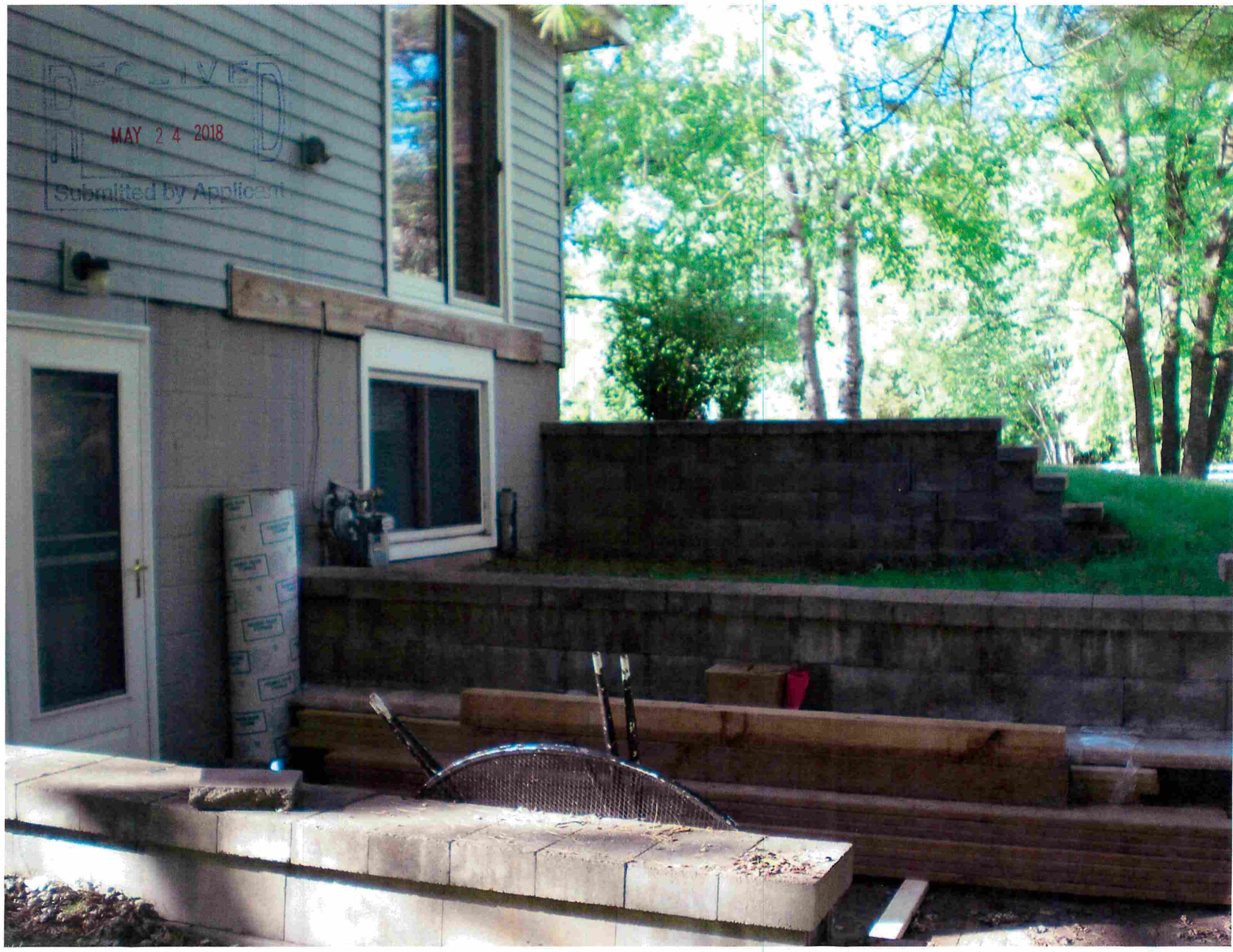






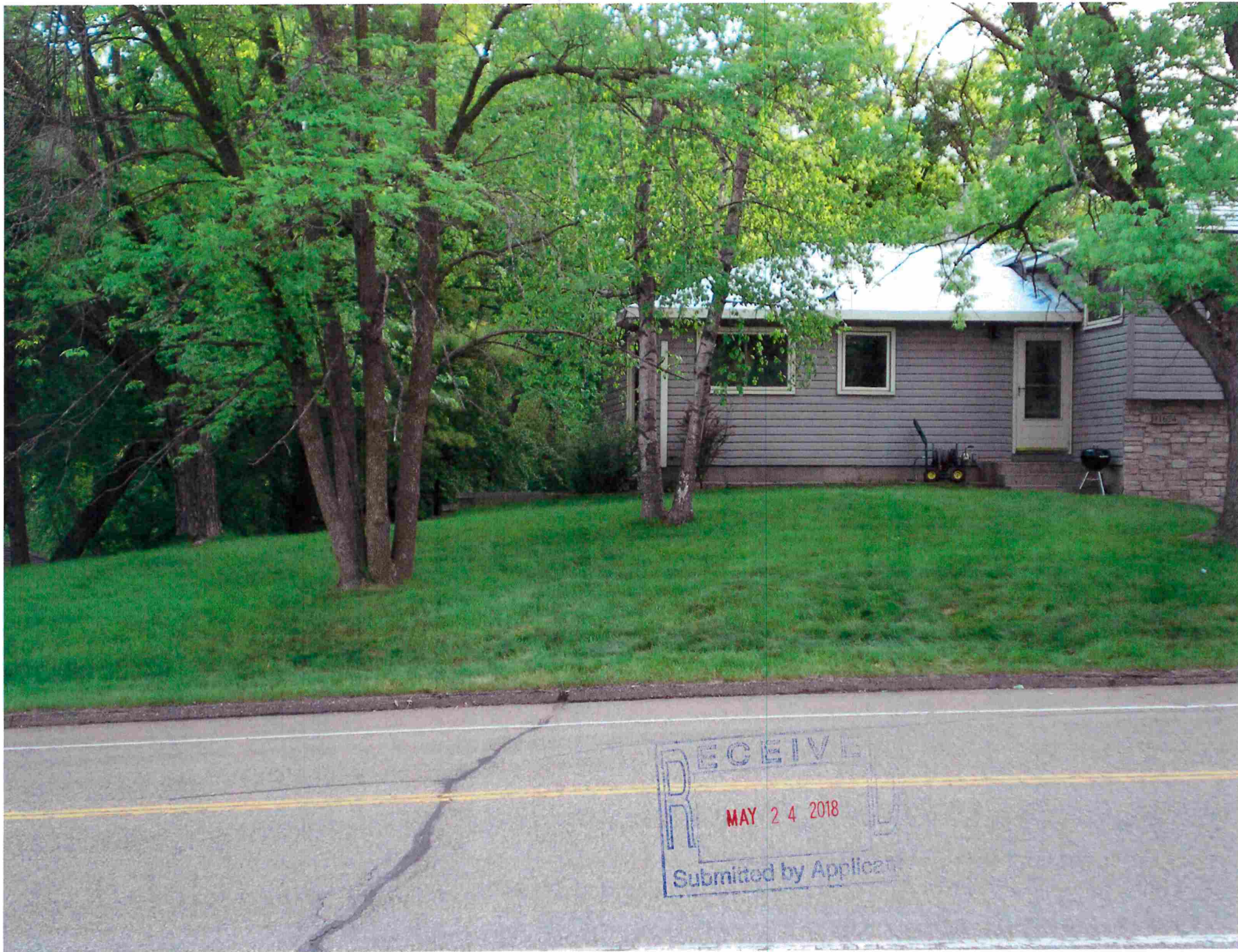
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Submitted by Applicant

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MAY 24 2018
Submitted by Applicant





MAY 24 2018



RECEIVED
MAY 24 2018
Submitted by Applicant

Planning Commission Resolution No. 2018-
Resolution approving an expansion permit for
construction of a deck at 11624 Minnetonka Mills Road

Be it resolved by the Planning Commission of the City of Minnetonka, Minnesota, as follows:

Section 1. Background.

- 1.01 The subject property is located at 11624 Minnetonka Mills Road. It is legally described as: Lot 1, Block 1, ROBINWOOD 2ND ADDITION.
- 1.02 The home on the property was constructed in 1954 prior to adoption of the city's first zoning ordinance.
- 1.03 By City Code §300.10 Subd.5(b), structures must maintain a 50 foot setback from property lines abutting Minnetonka Mills Road. The home has non-conforming setback of 26 feet.
- 1.04 By City Code §300.15 Subd.9(a), decks may extend five feet into required front yard setbacks without variance. As such, a deck on the subject property must maintain a 45-foot front yard setback.
- 1.05 The property owner Cliff Ristow is proposing to construct a deck on the north side of the home. The deck would have a front yard setback of 27 feet.
- 1.06 Minnesota Statute §462.357 Subd.1(e)(b) allows a municipality, by ordinance, to permit an expansion of nonconformities.
- 1.07 City Code §300.29 Subd.3(g) allows expansion of a nonconformity only by variance or expansion permit.
- 1.08 City Code §300.29 Subd.7(c) authorizes the planning commission to grant expansion permits.

Section 2. Standards.

- 2.01 City Code §300.29 Subd.7(c) states that an expansion permit may be granted, but is not mandated, when an applicant meets the burden of proving that:
 - 1. The proposed expansion is a reasonable use of the property, considering such things as: functional and aesthetic justifications for the expansion;

adequacy of off-site parking for the expansion; absence of adverse off-site impacts from such things as traffic, noise, dust, odors, and parking; and improvement to the appearance and stability of the property and neighborhood.

2. The circumstances justifying the expansion are unique to the property, are not caused by the landowner, are not solely for the landowners convenience, and are not solely because of economic considerations; and
3. The expansion would not adversely affect or alter the essential character of the neighborhood.

Section 3. Findings.

3.01 The application for the expansion permit is reasonable and would meet the required standards outlined in City Code §300.29 Subd.7(c):

1. Reasonableness and Neighborhood Character: The proposed setback is reasonable and would not negatively impact the character of the surrounding neighborhood. The deck would:
 - a) Not encroach further into the required setback than the existing structure.
 - b) Be located nearly 45 feet from the paved surface of Minnetonka Mills Road and over 40 feet from the closest neighboring home.
2. Unique Circumstance: The subject property roughly 16,250 square feet size. However, it is triangular-shaped and located at the intersection of two streets. The setbacks associated with this configuration leave less than 830 square feet of buildable area on the lot. This is very unique circumstance not common to other similarly zoned properties.

Section 4. Planning Commission Action.

4.01 The planning commission approves the above-described expansion permit based on the findings outlined in section 3 of this resolution. Approval is subject to the following conditions:

1. Subject to staff approval, the property must be developed in substantial conformance with the following plans, except as modified by conditions below.
 - Site plan, received date May 24, 2018
2. This resolution must be recorded with Hennepin County prior to issuance of a building permit:
3. This expansion permit approval will end on December 31, 2019, unless the

city has issued a building permit for the project covered by this expansion permit approval or approved a time extension.

Adopted by the Planning Commission of the City of Minnetonka, Minnesota, on June 28, 2018.

Brian Kirk, Chairperson

Attest:

Kathy Leervig, Deputy City Clerk

Action on this resolution:

Motion for adoption:

Seconded by:

Voted in favor of:

Voted against:

Abstained:

Absent:

Resolution adopted.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the Planning Commission of the City of Minnetonka, Minnesota, at a duly authorized meeting held on June 28, 2018.

Kathy Leervig, Deputy City Clerk

Minnetonka Planning Commission Meeting

June 28, 2018

Agenda Item 8

Public Hearing: Non-Consent Agenda

MINNETONKA PLANNING COMMISSION
June 28, 2018

Brief Description Conditional use permit, with a parking variance, to expand an existing medical clinic at 10653 Wayzata Blvd.

Recommendation Recommend the city council approve the request

Proposal Shawn Dahl of BTR Voyager, LLC is proposing to expand an existing medical clinic (Odom Health and Wellness) on the second floor of the building at 10653 Wayzata Blvd. The proposed addition would be over the existing bank drive thru. (See attached.) There is currently an approved conditional use permit for this medical clinic. However, the Odom Health and Wellness proposal would expand the medical clinic from 3,800 square feet to 4,885 square feet in size.

Proposal Requirements

The proposal requires:

- Conditional use permit: The property is zoned PID/Planned I-394 District. Medical clinics are a conditional use in this zoning district. The expansion of the medical clinic requires an amendment of the existing conditional use permit.
- Variance: The property is currently under-parked and the expansion of the medical office area would increase the parking non-conformity.

Staff Analysis Staff finds that the applicant's proposal is reasonable and would meet the conditional use permit standards (general and specific) and variance standards outlined in the zoning ordinance.

Staff finds that the proposal meets the general conditional use permit standards, as the use:

- 1) Is consistent with the intent of the ordinance;

Finding: Medical clinics are a conditionally permitted use within the Planned I-394 District (PID). As proposed, the addition would meet all ordinance requirements, with the exception of parking.

- 2) Is consistent with the goals, policies and objectives of the comprehensive plan;

Finding: The use is consistent with the goals, policies and objectives of the comprehensive plan. The subject site is guided for office use. Medical clinic uses are consistent with the uses within this land use category.

- 3) Does not have an undue adverse impact on governmental facilities, utilities, services or existing or proposed improvements;

Finding: The proposal has been reviewed by the city's building, engineering, planning, natural resource, and fire staff. It is not anticipated to have an undue adverse impact on governmental facilities, utilities, services or existing or proposed improvements.

- 4) Is consistent with the city's water resources management plan;

Finding: The use is consistent with the city's water resources management plan. The proposed addition would be located over an existing overhang with impervious surface below and would not create additional stormwater runoff.

- 5) Is in compliance with the performance standards specified in §300.28 of the ordinance; and

Finding: The proposal is for a small addition within the footprint of an existing building. With the exception of the parking variance to allow a reduction of parking, the proposal would meet the standards outlined.

- 6) Does not have an undue adverse impact on the public health, safety or welfare.

Finding: The use is not anticipated to have an undue adverse impact on the public health, safety or welfare.

Staff finds that the proposal meets the specific conditional use permit standards, as the use:

- 1) Shall not be adjacent to low density residential areas;

Finding: All of the surrounding land uses are office and medical uses, and all of the surrounding properties are guided for office use in the comprehensive plan. The site is not adjacent to any low-density residential properties.

- 2) Shall have direct access from the site to a collector or arterial street as defined in the comprehensive plan;

Finding: The site has direct access from Wayzata Blvd., which is defined as an arterial street in the comprehensive plan.

- 3) Shall not have emergency vehicle access adjacent to or located across a street from any residential use; and

Finding: The proposed medical use is a sports medicine and health clinic. It is not anticipated that the use would require

emergency vehicle access. Additionally, the site access locations are not located adjacent to or across the street from any residential use properties.

- 4) May be required to submit a detailed parking analysis for uses exceeding 10,000 square feet. Additional parking may be required based on this analysis.

Finding: The proposed clinic would be expanded to 4,885 square feet in size, a 1,060 square foot expansion from the previously approved clinic area. The applicant completed a parking utilization study covering a two-week period, Monday through Friday, in April and May 2018. The observation noted that over the two-week period there was an average of 13.3 parking spaces available in the 58-stall parking lot, or 23 percent. Per city ordinance, the expansion of the medical clinic would require the site to have 74 parking spaces. Staff finds that there is adequate parking available to meet the increased parking need that would result from the expanded medical clinic.

Staff previously created a proof-of-parking plan with the 2017 conditional use permit approval indicating how ten additional parking stalls, resulting in the required 68 stalls, could be constructed if needed in the future. (See attached). Per the conditions of approval, these stalls would need to be installed if there is an observed parking issue in the future.

Staff finds that the proposal meets the variance standards, as:

- 1) Purpose and Intent of the Zoning Ordinance:

Finding: The proposal, and resulting variance request, would be in keeping with the city's zoning ordinance. The intent of the ordinance, as it pertains to parking requirements, is to ensure adequate parking is provided to meet the anticipated parking demand of the subject site. A parking utilization study completed over two weeks in April and May 2018. This study found that, on average, there were 13 parking spaces (23 percent) available on site. With this consideration, staff finds that the proposed reduction in parking spaces would meet the intent of the ordinance because, based on the parking utilization study, the proposed use would demand less parking than required by ordinance.

- 2) Consistent with the Comprehensive Plan:

Finding: The proposal would be consistent with the city's comprehensive plan. The subject property is guided for office use. A medical clinic is a conditionally permitted use within this land use designation.

3) Practical Difficulties:

Findings: There are practical difficulties in complying with the ordinance.

Reasonableness: Staff finds that the request for a variance from the required number of parking spaces is reasonable. Based on parking analysis in the Institute of Transportation Engineers (ITE) Parking Generation manual, the office and clinic building uses would require an average peak period parking demand of 54 parking spaces. The proposed parking variance would meet the intent of the ordinance. Based on the ITE information, the proposed use would actually demand less parking than what is currently on site.

Circumstance Unique to the Property: The applicant submitted parking utilization information for a two-week period in April and May 2018. The observation noted that, on average, there were 13 parking spaces available in the 58-stall parking lot.

Neighborhood Character: The parking variance would not adversely affect the character of the surrounding neighborhood as the site should meet the anticipated peak parking demand on site.

Staff Recommendation

Recommend that the city council adopt the resolution, which approves a conditional use permit for a medical clinic, with parking variance, at 10653 Wayzata Blvd.

Originator: Drew Ingvanson, Planner

Through: Loren Gordon, AICP, City Planner

Supporting Information

Project No.	98054.18a
Property	10653 Wayzata Blvd.
Applicant	Shawn Dahl, BTR Voyager I, LLC
Surrounding Land Uses	North: Wayzata Blvd and Highway I-394 South: Office building, zoned PID and guided for office use East: Office building, zoned PID and guided for office use West: Medical office building, zoned PID and guided for office use
Planning	Guide Plan designation: Office Zoning: PID/Planned I-394 District
Site Features	The site is located on Wayzata Blvd., just east of Archwood Road. The site is 1.7 acres in size and contains a 2-story, 15,200 square foot office building which was constructed in 2004.
History	<p>In 2003, the city approved a site and building plan for a two-story building on the subject property.</p> <p>In January 2013, the city received a building permit application for a chiropractor clinic within the office building. By city code, medical clinics over 2,000 square feet in size are conditionally permitted uses. A medical clinic that is 2,000 square feet or less in size is considered a standard office use, which is a permitted use in the PID zoning district. Since the building permit was for a 2,000 square foot clinic, the city issued the permit.</p> <p>In February 2014, the city approved a request to expand the medical clinic to 3,500 square feet in size, requiring a conditional use permit. The increase in medical clinic space increased the parking requirement for the site. Staff did not require additional parking to be constructed due to proof-of-parking and parking utilization information.</p> <p>In February 2017, the city approved a request to add a second sign on the north elevation of the existing 2-story office building. The request required a variance as the proposed wall signage would exceed the maximum number and graphic area allowed by city ordinance on the north elevation.</p> <p>In March 2017, the city approved a request to expand the medical clinic to 3,800 square feet in size, requiring an amendment to their conditional use permit. The increase in medical clinic space increased the parking requirement for the site. Staff did not require additional parking to be constructed due to proof-of-parking and parking utilization information.</p>

Proposed Addition

The applicant is proposing to add a 26.5-foot by 40-foot (1,060 square foot), second story addition over an existing drive thru overhang. This will increase the building size from 15,200 square feet to 16,260 square feet, a seven percent increase. This addition would be for a patient training area and a private conference room for patient consultation and staff meetings. (See attached).

The proposed addition would maintain the same footprint as the overhang and would thus meet all setback requirements. Additionally, the impervious surface of the site would not be increased, as the addition will be over the existing overhang, which is over concrete and asphalt. The floor area ratio would be increased from 0.20 to 0.22.

Parking

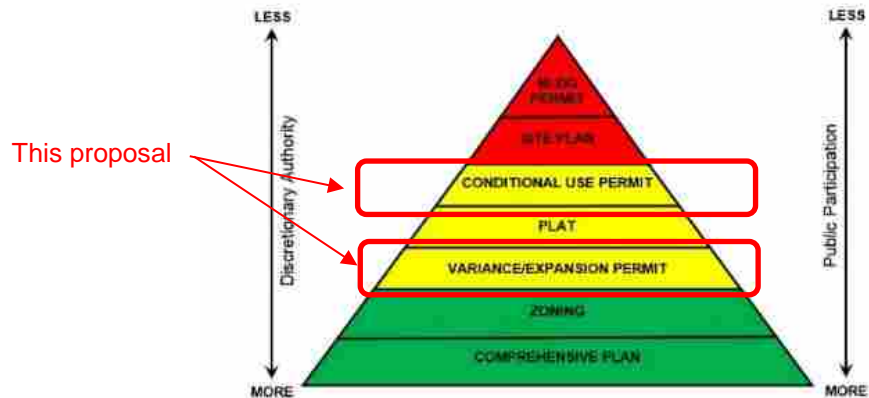
In 2014, the subject property was granted a conditional use permit for a medical clinic. The property needed additional parking stalls to meet parking ordinance requirements. As a part of this request, the applicant provided parking utilization information from a one-week period in January 2014 (which included operation of a chiropractor clinic, see attached) and a proof-of-parking document. In turn, the city added a condition that required that these stalls be installed if there was a demonstrated need for additional parking.

In 2017, the subject property was granted an amendment to their conditional use permit to expand the medical clinic 300 square feet. The request was reviewed based on the January 2014 parking study, a generation study completed by the Institute of Transportation Engineers (ITE), and a proof of parking document. Again, the city added a condition that required that these stalls be installed if there was a demonstrated need for additional parking.

The subject site currently has 58 parking spaces. As proposed, city parking ordinance would require that the site have 74 parking spaces. However, ITE suggests that the uses on the site would require only 54 parking spaces to meet the average peak period parking demand. Additionally, the April and May 2018 parking utilization review showed that the lot on average had 13.3 parking spaces, or 23 percent, available during the weekdays. There was a low parking availability day of three parking spaces on Monday, April 30, 2018. However, the applicant informed staff that there was a meeting this day with six typically off-site, rehabilitation trainers. The applicant informed staff that their presence most likely caused in the increase for this day, as the following Monday had eight empty spaces. (See attached.) Due to these findings, staff has found it reasonable for the applicant to request a parking variance, subject to conditions.

Staff has drafted a proof-of-parking plan for the subject site and added a condition of approval that allows the city to require installation of up to ten proof-of-parking spaces if there is a demonstrated need for additional parking. Additional parking must meet all zoning code requirements.

Pyramid of Discretion



Motion Options

The planning commission has three options:

1. Concur with the staff's recommendation. In this case a motion should be made recommending the city council approve the conditional use permit with parking variance.
2. Disagree with staff's recommendation. In this case, a motion should be made recommending the city council deny the request. The motion must include a statement as to why the denial is recommended.
3. Table the request. In this case, a motion should be made to table the item. The motion should include a statement as to why the request is being tabled with direction to staff, the applicant, or both.

Voting Requirement

The planning commission will make a recommendation to the city council on the applicant's proposal. A recommendation for approval requires an affirmative vote of four members. The city council's final approval requires affirmative votes of five members.

Neighborhood Comments

The city sent notices to 87 area property owners and received no comments.

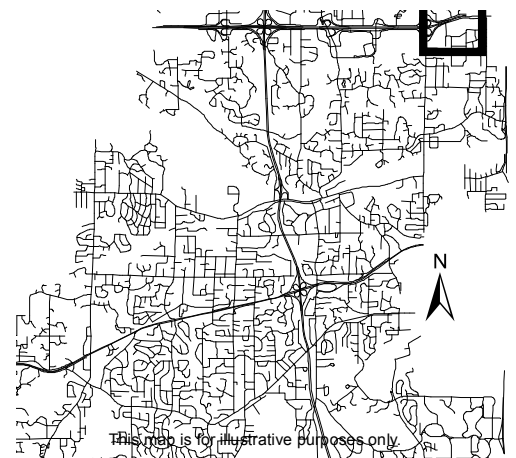
Deadline for Decision

September 17, 2018



Location Map

Project: BTR Voyager I
Address: 10653 Wayzata Blvd



 **ODOM** HEALTH & WELLNESS


MILL CITY CREDIT UNION



Proposed Addition Location



Proposed Addition



**Odom Health and Wellness
BTR Voyager I, LLC
BTR Voyager Building
10653 Wayzata Boulevard**

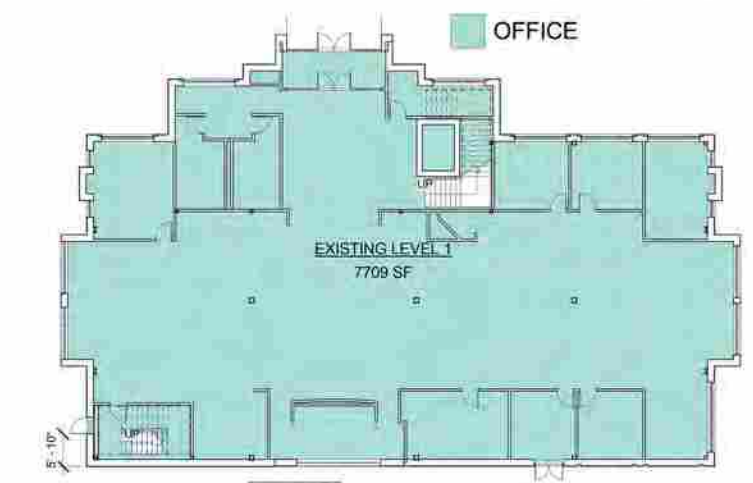
Description of Request: Odom Sports Medicine, PA/dba/Odom Health and Wellness (OHW) and the building ownership, BTR Voyager I, LLC are proposing to amend the existing Conditional Use Permit and request a parking variance in conjunction with the proposed expansion of Odom Health and Wellness.

OHW is a clinic which provides physician directed Health and Wellness Services: Sports Medicine, Physical Therapy, Massage Therapy, Nutrition, Personal Training, and other wellness services. The normal hours of operation are Monday – Friday 6 a.m. to 8 p.m., Saturdays 6 a.m. to 6 p.m.

Proposed Conditional Use Permit Amendment: OHW and the BTR Voyager I, LLC would like to propose to amend the existing Conditional Use Permit to expand the Odom Health and Wellness Medical Office by approximately 1058 Square feet. The proposed expansion would consist of a patient training area and a private conference room for patient consultation and organizational staff meetings for Odom Health and Wellness and would be located directly overhead of the existing bank teller drive through window canopy located on the south side of the building. The expansion architectural design and building materials will match the existing building façade.

Proposed Parking Variance: Currently, the property consists of 58 parking stalls. For a two week period (4/30/18- 5-11-18) a parking study was performed during the peak business hours from 8:30 am to 4:00 p.m., Monday through Friday. (Please see attached parking study data) The results indicate that vehicle parking never reaches capacity. On average there are at least 13 parking spots open at any time. This equates to 23% parking vacancy on average during the peak business hours. Additionally, the first floor of the building is occupied by Mill City Bank which includes a service teller window so a portion of the bank customers do not utilize parking spaces when visiting the bank. Attached is a proof of parking plan which depicts the ability to expand the parking lot up to an additional 10 stalls if warranted. The applicant would like to propose that the parking lot remains at its current capacity to allow for the preservation of existing green space to be enjoyed by Mill City Credit Union and Odom Health and Wellness management and to maintain buffer between the building and parking areas. The applicant will continuously monitor the parking availability and will also communicate with the building occupants frequently to determine if there is a need for additional parking at which time the applicant would agree to expand the parking lot as needed.

Building Area Legend



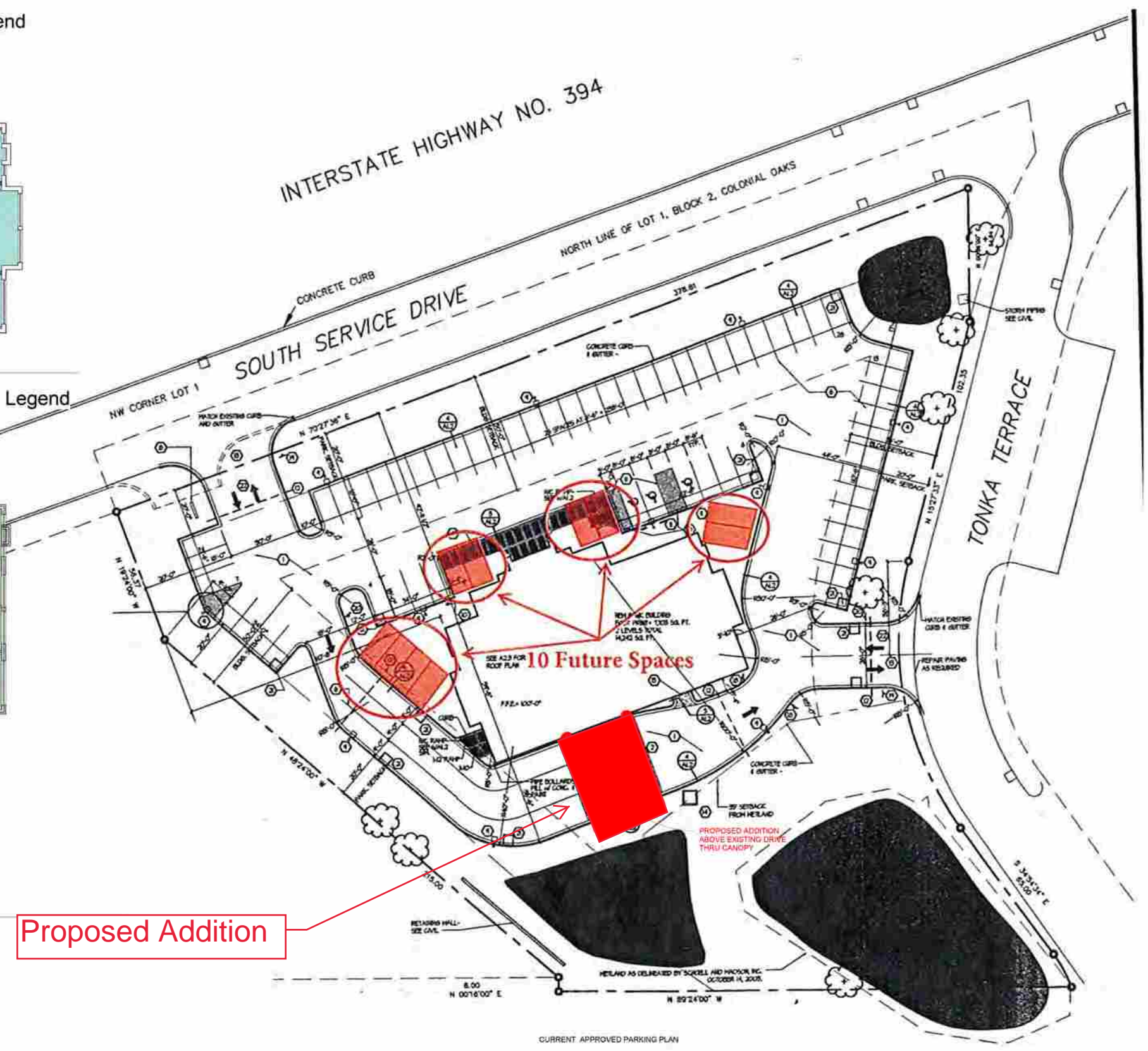
2 Level 1
1/16" = 1'-0"

Building Area Legend



3 Level 2 New
1/16" = 1'-0"

Proposed Addition



1 PROOF OF PARKING
1/2" = 1'-0"

James V. Dahlberg Architect



MILL CITY BUILDING

PRELIMINARY
NOT FOR
CONSTRUCTION

Revision Schedule		
Number	Revision Date	Description

City Submittal

10653 Wayzata Blvd
Minnetonka, MN 55305

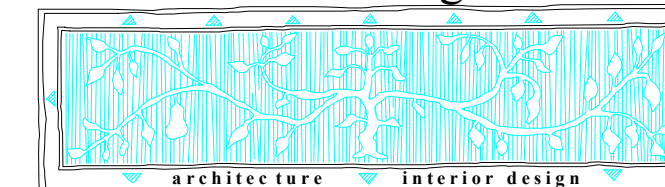
THESEY CLERKS FIND THIS IS AN OFFICIAL ACTION REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LIC. ARCHITECT/ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA
DATE: REG. NO. 16388
ISSUED:

PROOF OF PARKING

CUSTOMER NO.	201646
DATE	3/11/2016
PROJECT NO.	2016
CHECKED BY	JVS

A100

© copyright 2016 James V. Dahlberg Architect



MILL CITY BUILDING

PRELIMINARY
NOT FOR
CONSTRUCTION

Revision Schedule		
Number	Revision Date	Description

City Submittal

10653 Wayzata Blvd
Minnetonka, MN 55305

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA

DATE: _____ REG. NO. 16368

SIGNED _____

SECOND FLOOR PLANS

COMM. NO. 2018-01

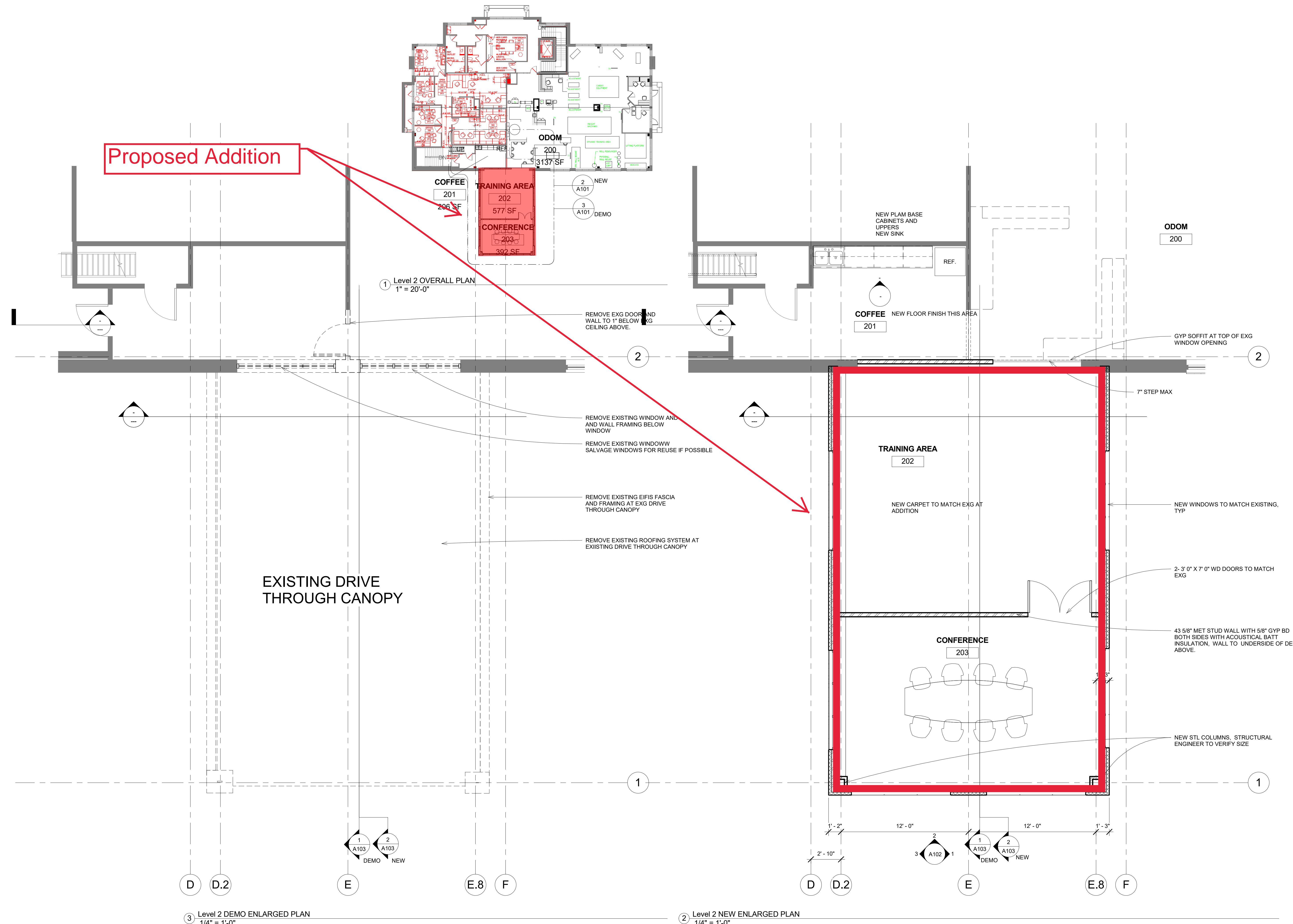
DATE 05/11/18

DRAWN BY JVD

CHECKED BY JVD

A101

SHEET NUMBER



Proposed Addition

1 Level 2 OVERALL PLAN
1" = 20'-0"

3 Level 2 DEMO ENLARGED PLAN
1/4" = 1'-0"

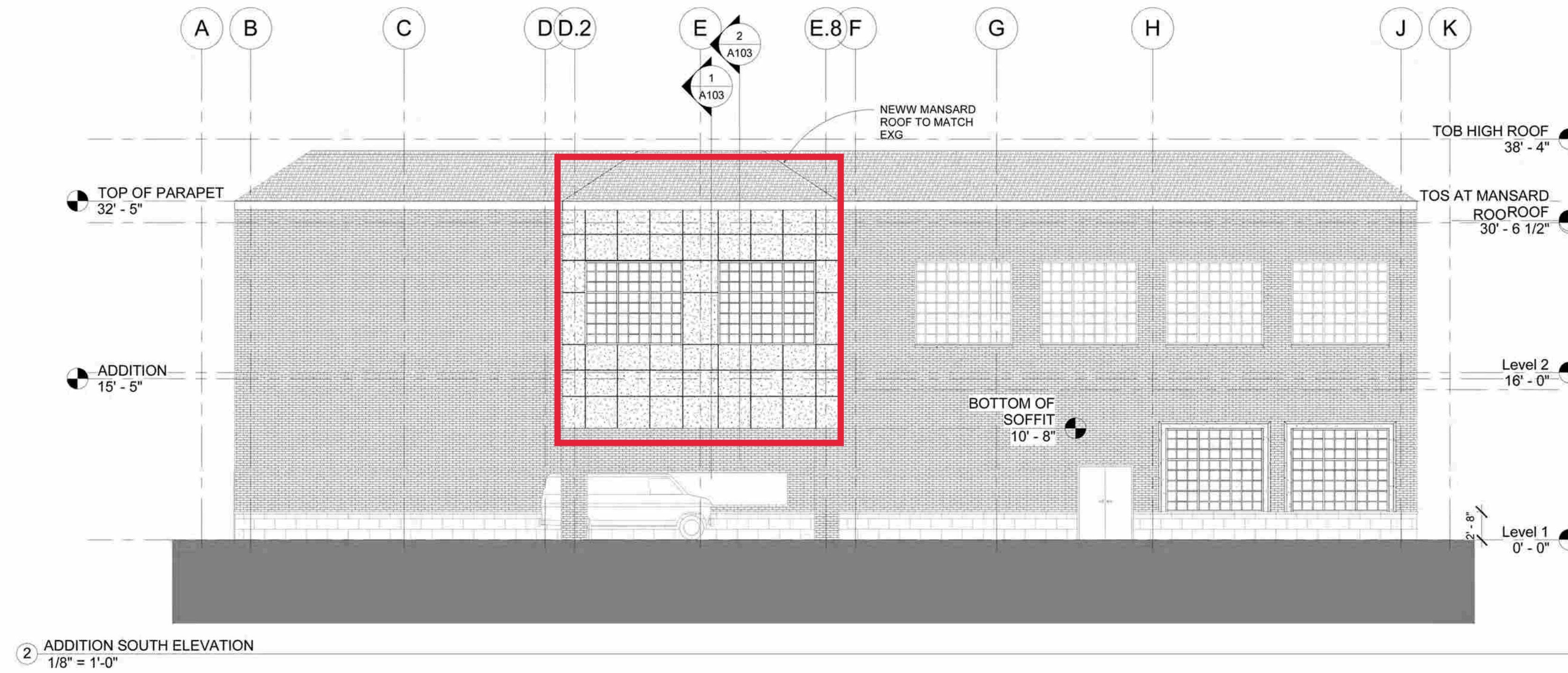
2 Level 2 NEW ENLARGED PLAN
1/4" = 1'-0"



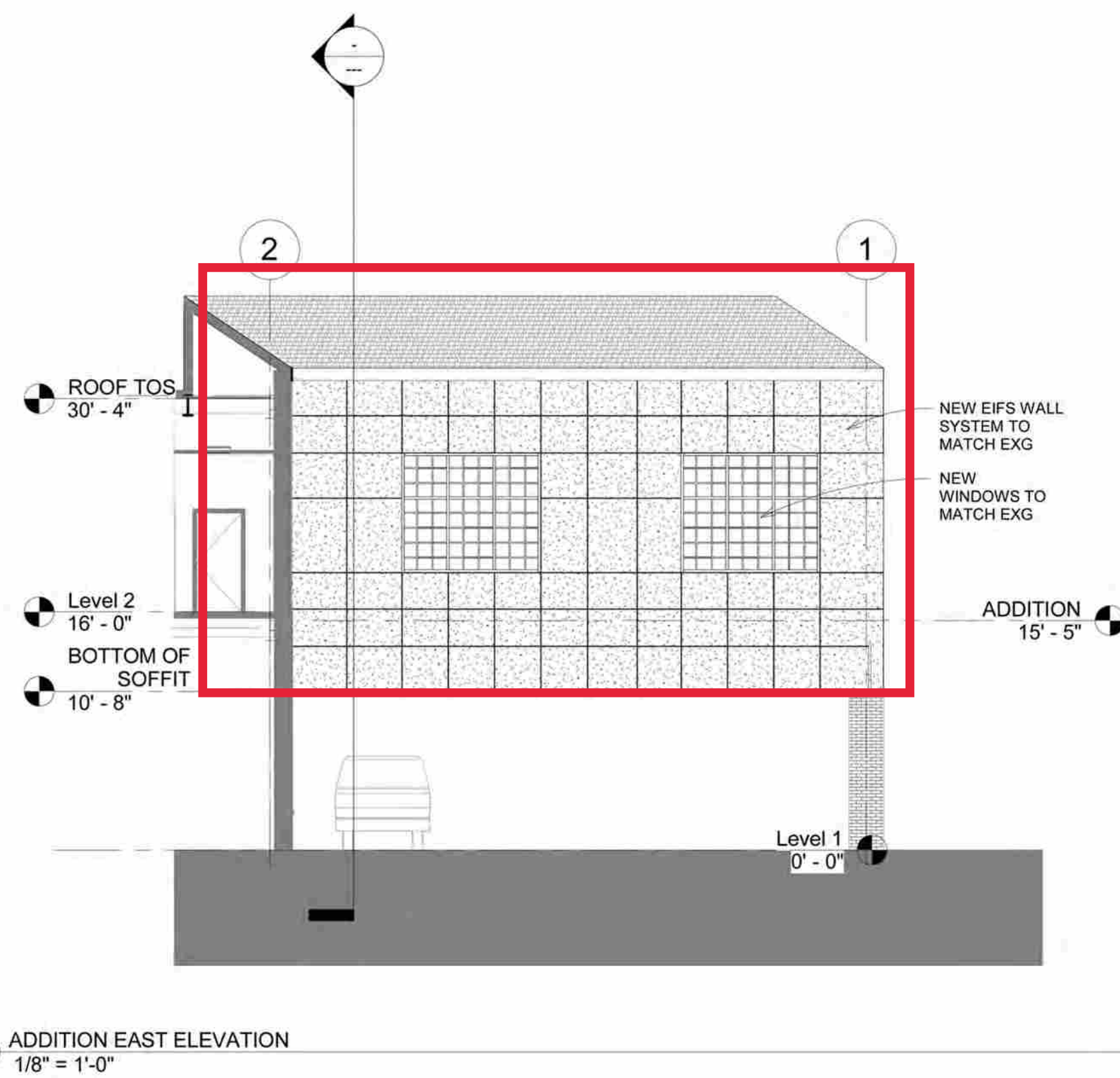
MILL CITY BUILDING

PRELIMINARY
NOT FOR
CONSTRUCTION

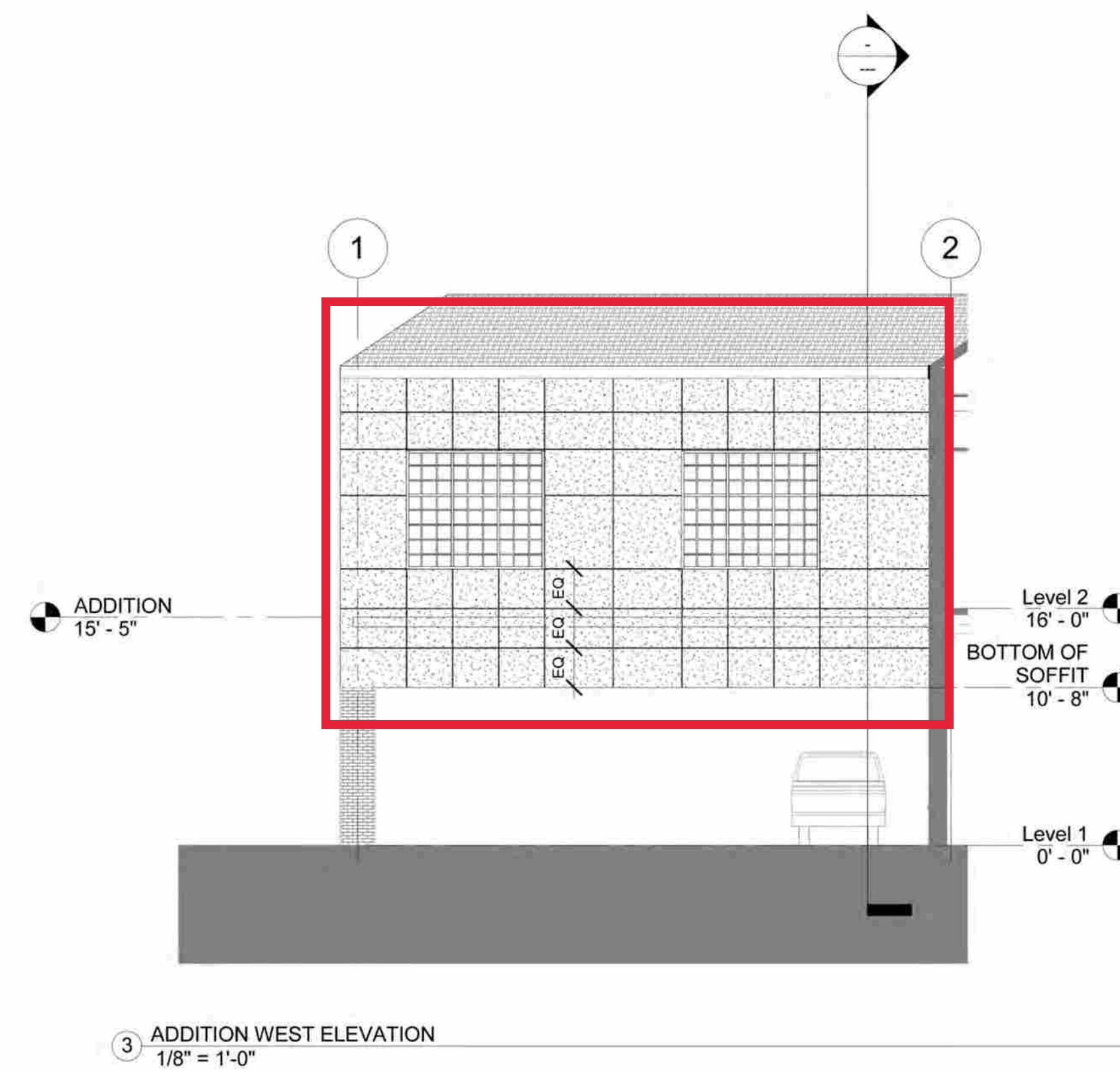
Revision Schedule		
Number	Revision Date	Description



2 ADDITION SOUTH ELEVATION
1/8" = 1'-0"



1 ADDITION EAST ELEVATION
1/8" = 1'-0"



3 ADDITION WEST ELEVATION
1/8" = 1'-0"

City Submittal

10653 Wayzata Blvd
Minnetonka, MN 55305

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE: _____ REG. NO. 16368

SIGNED _____

BUILDING ELEVATIONS

COMM. NO: 2018-01

DATE 05/11/18

DRAWN BY JVD

CHECKED BY JVD

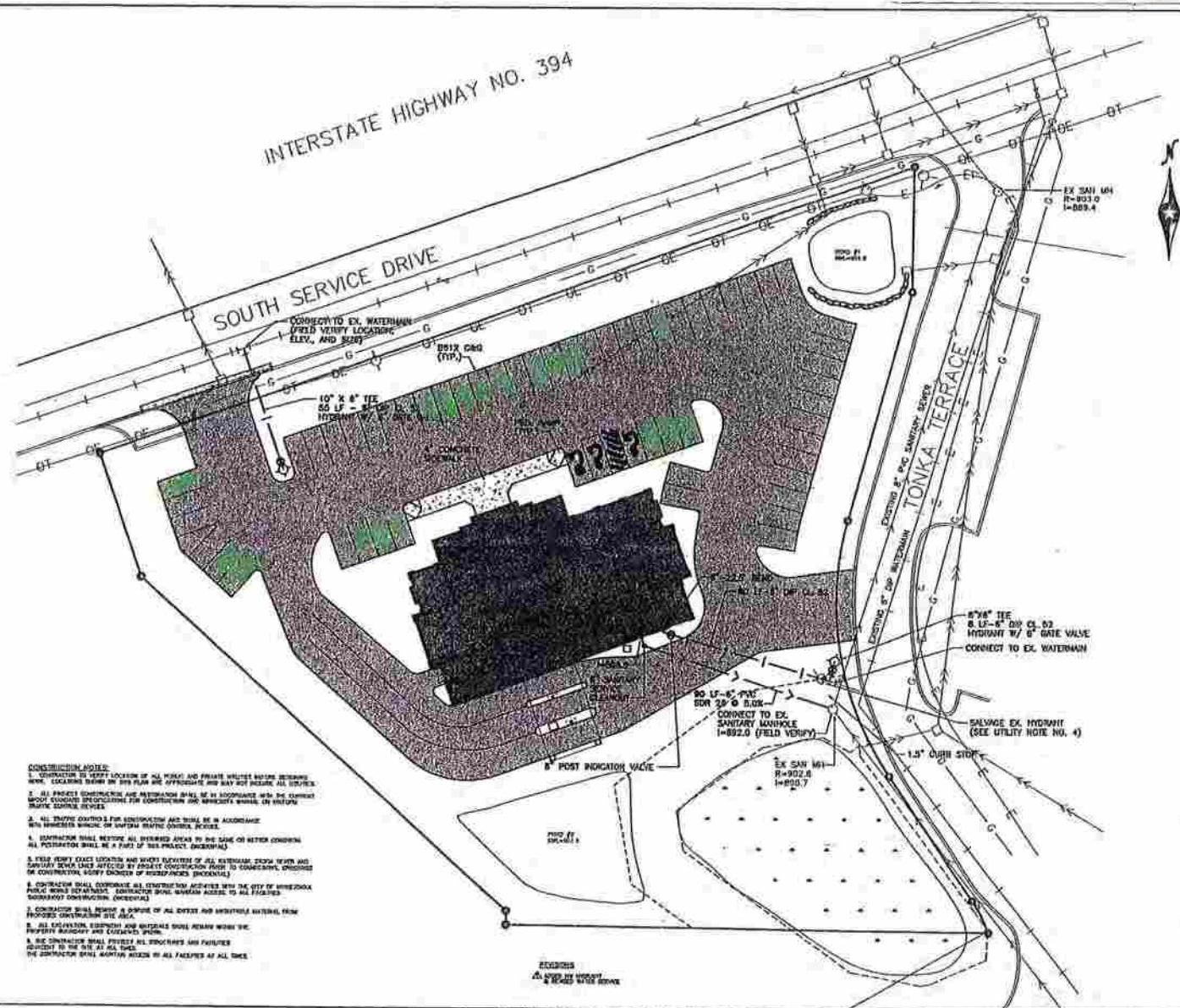
A102

SHEET NUMBER

PARKING STUDY

WEEK 1:				
	Day	Time	Empty Spaces	% Empty
4/30/2018	Monday	8:30 AM	15	26%
		12:00 PM	18	31%
		4:00 PM	3	5%
5/1/2018	Tuesday	8:30 AM	20	34%
		12:00 PM	13	22%
		4:00 PM	14	24%
5/2/2018	Wednesday	8:30 AM	16	28%
		12:00 PM	12	21%
		4:00 PM	17	29%
5/3/2018	Thursday	8:30 AM	15	26%
		12:00 PM	12	21%
		4:00 PM	10	17%
5/4/2018	Friday	8:30 AM	11	19%
		12:00 PM	11	19%
		4:00 PM	10	17%
WEEK 2:				
	Day	Time	Empty Spaces	% Empty
5/7/2018	Monday	8:30 AM	13	22%
		12:00 PM	16	28%
		4:00 PM	8	14%
5/8/2018	Tuesday	8:30 AM	18	31%
		12:00 PM	15	26%
		4:00 PM	12	21%
5/9/2018	Wednesday	8:30 AM	17	29%
		12:00 PM	14	24%
		4:00 PM	18	31%
5/10/2018	Thursday	8:30 AM	14	24%
		12:00 PM	15	26%
		4:00 PM	9	16%
5/11/2018	Friday	8:30 AM	13	22%
		12:00 PM	10	17%
		4:00 PM	11	19%
2 week Average			13.3	23%

Monday 12pm
18 empty



- CONSTRUCTION NOTES:**
- CONTRACTOR TO VERIFY LOCATION OF ALL MURKIN AND PRIVATE UTILITIES BEFORE BEGINNING WORK. LOCATIONS SHOWN BY THIS PLAN ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES.
 - ALL PROJECT CONSTRUCTION AND RESTORATION SHALL BE IN ACCORDANCE WITH THE CURRENT MOST RECENT SPECIFICATIONS FOR CONSTRUCTION AND REPAIRS ISSUED BY UTILITY PUBLIC SERVICE COMPANIES.
 - ALL TRAFFIC CONTROLS FOR CONSTRUCTION AND SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
 - CONTRACTOR SHALL REMOVE ALL EXISTING UTILITIES IN THE SAME OR BETTER CONDITION AND RESTORATION SHALL BE A PART OF THIS PROJECT. (SCHEDULE)
 - FIELD VERIFY EXIST LOCATION AND VERIFY DEPTHS OF ALL EXISTING SANITARY SEWER AND SANITARY SEWER LINES AFFECTED BY PROJECT CONSTRUCTION PRIOR TO CONSTRUCTION, PROVIDED BY CONSTRUCTION SURVEY CONTRACTOR OF NEIGHBORING PROPERTIES.
 - CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE CITY OF MINNEAPOLIS PUBLIC WORKS DEPARTMENT. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES SUBORDINATE CONSTRUCTION. (SCHEDULE)
 - CONTRACTOR SHALL REMOVE A PORTION OF ALL EXISTING AND UNIDENTIFIED MATERIAL FROM NEIGHBORING CONSTRUCTION SITE AREA.
 - ALL EXCAVATION, ERECTION AND MATERIALS SHALL REMAIN WITHIN THE PROPERTY BOUNDARY AND EXISTING BOUNDARY.
 - SIC CONTRACTOR SHALL PROVIDE ALL SIGNAGES AND PATRIOTES NEAREST TO THE SITE AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES AT ALL TIMES.

LEGEND

	SOLID RUN PIPE
	CATCHBASIN
	UTILITY POLE
	MANHOLE
<td>6" S.W.P. 1=800.7</td>	6" S.W.P. 1=800.7
<td>12" S.W.P. 1=400.4</td>	12" S.W.P. 1=400.4
<td>18" S.W.P. 1=266.9</td>	18" S.W.P. 1=266.9
	STORM SEWER
	SANITARY SEWER
	GAS MAIN
	STANDARD ELECTRIC LINE
	UNDERGROUND ELECTRIC LINE
	STANDARD TELEPHONE LINE
	FIBER OPTIC
	CENTER LINE
	ROAD
	PROPOSED CONCRETE SURFACE
	PROPOSED BITUMINOUS GRAVEL
	PROPOSED GRADING
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED GAS MAIN
	PROPOSED WATER MAIN
	PROPOSED STORM VALVE
	PROPOSED HYDRANT
	PROPOSED HEAT EXCHANGER
	PROPOSED SALT FENCE
	PROPOSED CATCHBASIN
	PROPOSED MANHOLE (ELEV.)

- UTILITY NOTES:**
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY RECORDS UP TO 3 FEET FROM BUILDING. CONNECTION TO RECORDS WILL BE DONE AT CONSTRUCTION. UTILITY SERVICE LOCATIONS WITH RECORDS AND VISUAL MARKS PRIOR TO CONSTRUCTION.
 - ALL 18" S.W.P. STORM SEWER SHALL BE 18" DIA.
 - ALL MANHOLES SHALL BE 36" DIA. OR LARGER WITH A MINIMUM 3" FOOD COVER OVER THE TOP OF PIPE. ALL COVER SEWER PIPE SHALL BE 12" S.W.P. WITH A MINIMUM 3" DIA. COVER OVER THE TOP OF PIPE.
 - CONTRACTOR SHALL MAINTAIN MAINTENANCE ACCESS TO OFF OF UNDERGROUND PUBLIC WORKS FACILITIES PRIOR TO 1500 HOURS ON WORK DAYS.

INFORMATION AND UTILITY INFORMATION WAS OBTAINED FROM A SURVEY PROVIDED BY PREVIOUS OWNER'S ENGINEERING.

ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS SPECIFICATIONS.

NOTE:
NO LOCATIONS OF EXISTING UNDERGROUND UTILITIES THAT ARE BEING ABANDONED OR REMOVED OR CHANGED IN DEPTH OR LOCATION ARE SHOWN. CONTRACTOR SHALL VERIFY THE EXISTING LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION. CONTRACTOR SHALL VERIFY THE EXISTING LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION. CONTRACTOR SHALL VERIFY THE EXISTING LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION.

<p>VOYAGER BANK 304 & TONKA TERRACE</p> <p>UTILITY PLAN</p>	<p>C2</p>
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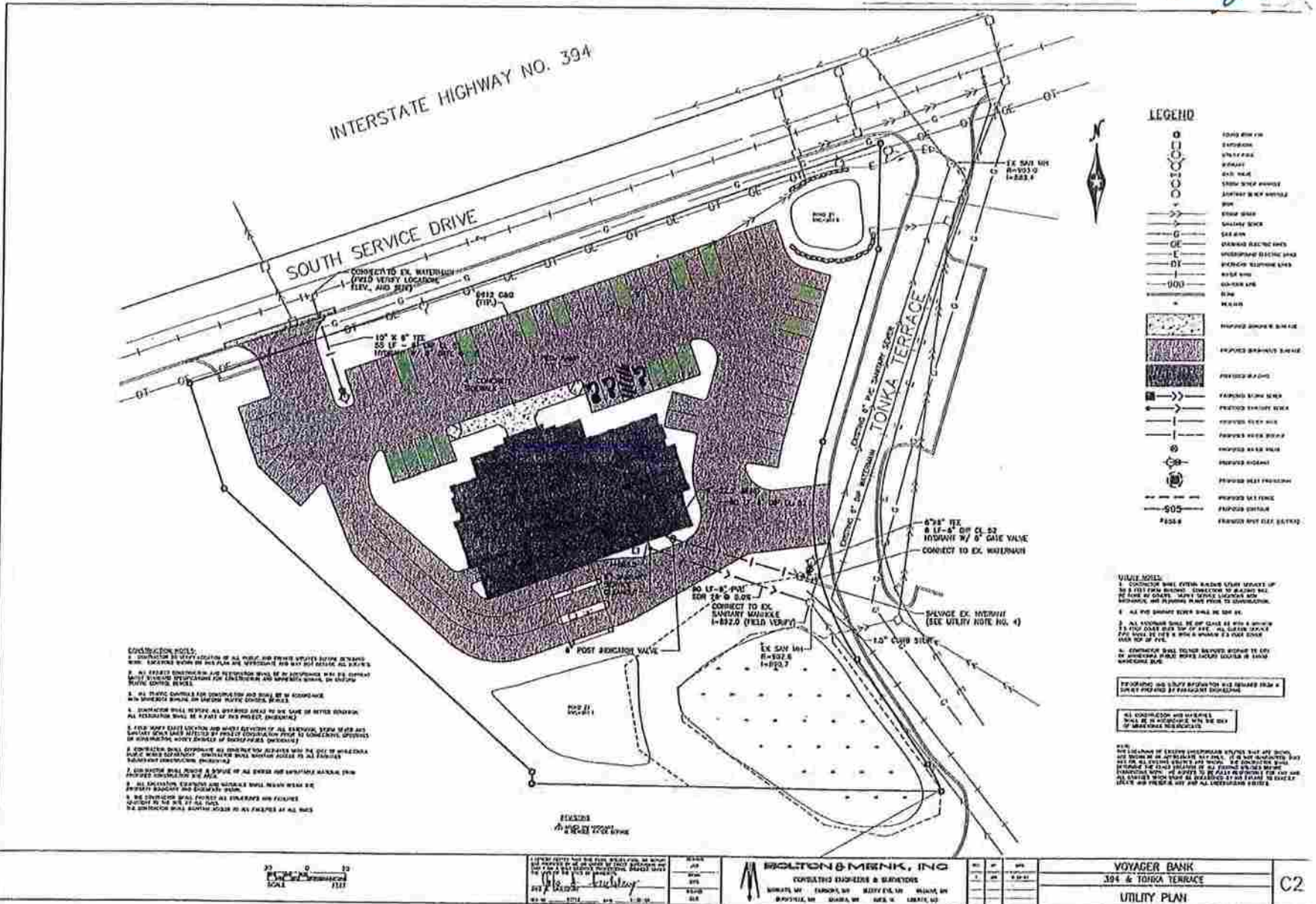


1. I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Date: 08/20/2014
By: [Signature]

BOLTON & MENK, INC
CONSULTING ENGINEERS & SURVEYORS
1000 W. PARKWAY, SUITE 200, MINNEAPOLIS, MN 55408
TEL: 612.480.1234

NO.	REV.	DATE
1	01	8-20-14

Wednesday 8:30 AM
16 empty



CONSTRUCTION NOTES:

1. CONTRACTOR TO VERIFY LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES BEFORE BEGINNING WORK. LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY NOT REFLECT ALL EXISTING UTILITIES. VERIFY LOCATIONS FOR EXISTING UTILITIES AND OPERATING SCHEDULES, OR SCHEDULES, ON LOCATION.
2. ALL EXISTING UTILITIES AND OPERATING SCHEDULES SHALL BE AS SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.
3. ALL EXISTING UTILITIES SHALL BE AS SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL VERIFY ALL UTILITIES SHOWN TO THE CARE OF OTHER CONTRACTORS AND RECORDING SHALL BE A PART OF THIS PROJECT. (UNRECORDED)
5. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES BEFORE BEGINNING WORK. ANY UTILITIES FOUND TO BE DIFFERENT FROM THIS PLAN SHALL BE RECORDED AS SHOWN ON THE PLAN.
6. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES BEFORE BEGINNING WORK. ANY UTILITIES FOUND TO BE DIFFERENT FROM THIS PLAN SHALL BE RECORDED AS SHOWN ON THE PLAN.
7. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES BEFORE BEGINNING WORK. ANY UTILITIES FOUND TO BE DIFFERENT FROM THIS PLAN SHALL BE RECORDED AS SHOWN ON THE PLAN.
8. ALL UTILITIES, EXCEPT GAS, SHALL BE INSTALLED WITHIN THE PRESCRIBED BOUNDARY AND RECORDING SYSTEM.
9. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES BEFORE BEGINNING WORK. ANY UTILITIES FOUND TO BE DIFFERENT FROM THIS PLAN SHALL BE RECORDED AS SHOWN ON THE PLAN.

UTILITY NOTES:

1. CONDUIT SHALL BE 12" DIA. UNLESS OTHERWISE NOTED.
2. ALL UTILITIES SHALL BE INSTALLED WITHIN THE PRESCRIBED BOUNDARY AND RECORDING SYSTEM.
3. ALL UTILITIES SHALL BE INSTALLED WITHIN THE PRESCRIBED BOUNDARY AND RECORDING SYSTEM.
4. ALL UTILITIES SHALL BE INSTALLED WITHIN THE PRESCRIBED BOUNDARY AND RECORDING SYSTEM.
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7. ALL UTILITIES SHALL BE INSTALLED WITHIN THE PRESCRIBED BOUNDARY AND RECORDING SYSTEM.
8. ALL UTILITIES SHALL BE INSTALLED WITHIN THE PRESCRIBED BOUNDARY AND RECORDING SYSTEM.
9. ALL UTILITIES SHALL BE INSTALLED WITHIN THE PRESCRIBED BOUNDARY AND RECORDING SYSTEM.
10. ALL UTILITIES SHALL BE INSTALLED WITHIN THE PRESCRIBED BOUNDARY AND RECORDING SYSTEM.

NOTES:

1. ALL UTILITIES SHALL BE INSTALLED WITHIN THE PRESCRIBED BOUNDARY AND RECORDING SYSTEM.
2. ALL UTILITIES SHALL BE INSTALLED WITHIN THE PRESCRIBED BOUNDARY AND RECORDING SYSTEM.
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8. ALL UTILITIES SHALL BE INSTALLED WITHIN THE PRESCRIBED BOUNDARY AND RECORDING SYSTEM.
9. ALL UTILITIES SHALL BE INSTALLED WITHIN THE PRESCRIBED BOUNDARY AND RECORDING SYSTEM.
10. ALL UTILITIES SHALL BE INSTALLED WITHIN THE PRESCRIBED BOUNDARY AND RECORDING SYSTEM.

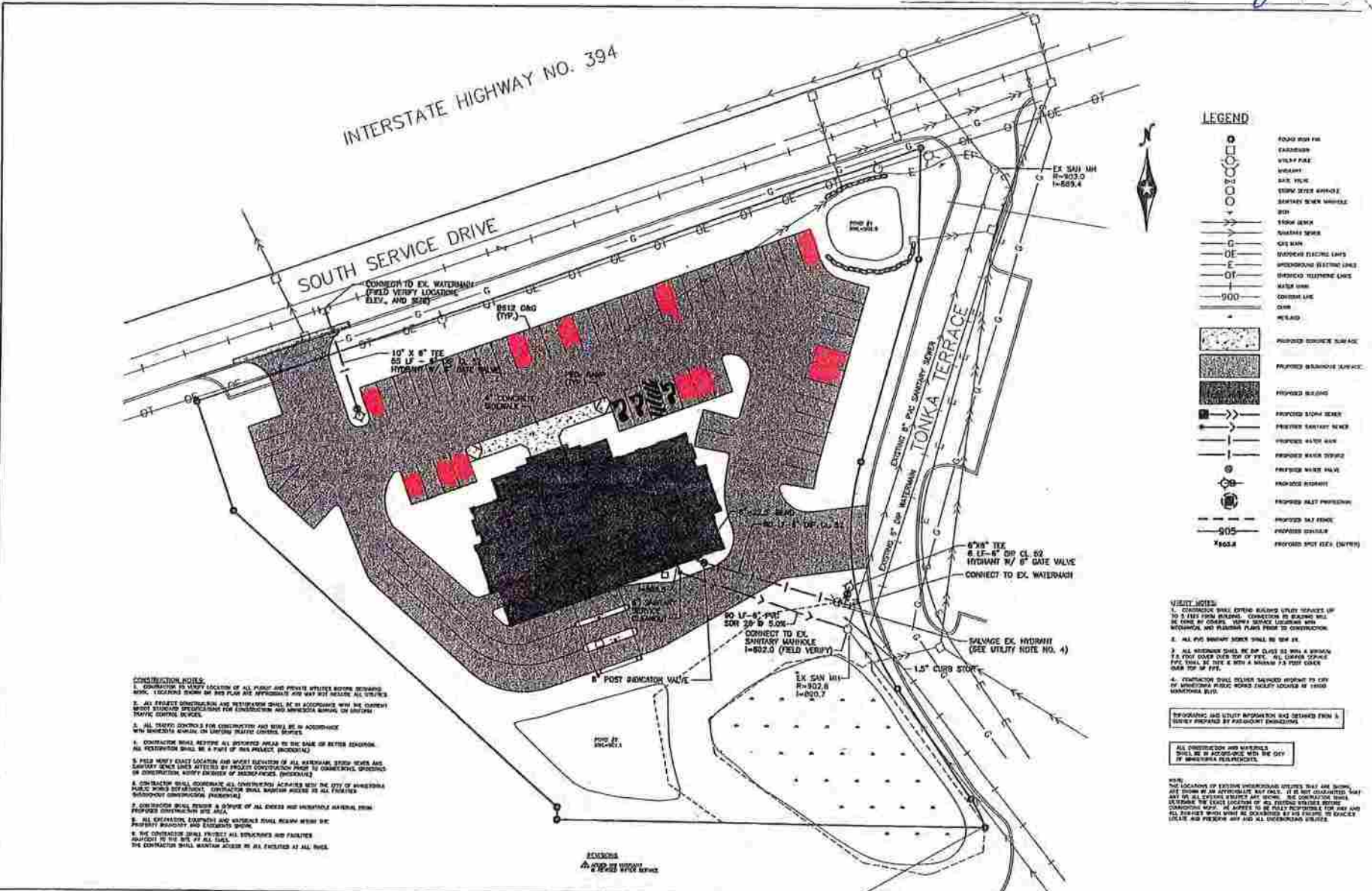


394 & TONKA TERRACE
 11/17/2011
 11/17/2011

WIGHTON & MENK, INC.
 CONSULTING ENGINEERS & SURVEYORS
 1000 W. MAIN ST.
 SUITE 100
 BOZEMAN, MT 59717
 PH: 406.552.1234
 FAX: 406.552.1235
 WWW: WWW.WIGHTONMENK.COM

VOYAGER BANK
 394 & TONKA TERRACE
 BOZEMAN, MT 59717
UTILITY PLAN

Wednesday 12pm
12 empty



CONSTRUCTION NOTES:
 1. CONTRACTOR TO VERIFY LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES BEFORE BEGINNING WORK. LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY NOT REFLECT ALL UTILITIES.
 2. ALL PROJECT CONSTRUCTION AND RESTORATION SHALL BE IN ACCORDANCE WITH THE CURRENT MOST RECENT SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE MANUAL, OR UNIFORM TRAFFIC CONTROL DEVICES.
 3. ALL TRAFFIC CONTROL FOR CONSTRUCTION AND SHALL BE IN ACCORDANCE WITH MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 4. CONTRACTOR SHALL RESTORE ALL IMPROVEMENTS TO THE SAME OR BETTER CONDITION. ALL RESTORATION SHALL BE A PART OF THIS PROJECT. (INDICATED)
 5. FIELD VERIFY EXISTING LOCATION AND DEPTH (ELEVATION) OF ALL WATERMAIN, SEWER MAINS AND SANITARY SERVICE LINES AFFECTED BY PROPOSED CONSTRUCTION PRIOR TO COMMENCING WORKING OR CONSTRUCTION. NOTIFY ENGINEER OF RECORD (INDICATED).
 6. CONTRACTOR SHALL SUBMIT ALL UTILITIES ACROSS WITH THE CITY OF ANNEARHSIA THROUGHOUT CONSTRUCTION (INDICATED).
 7. CONTRACTOR SHALL REMOVE A 5' WIDE OF ALL EXCESS NOT UNNATURALLY AVOIDING FROM PROPOSED CONSTRUCTION SITE AREA.
 8. ALL OPERATING EQUIPMENT AND MATERIALS SHALL BE KEPT WITHIN THE PROPERTY BOUNDARY AND EXISTING DRIVE.
 9. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES AND UTILITIES ADJACENT TO THE SITE AT ALL TIMES.
 10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES AT ALL TIMES.

LEGEND

UTILITY NOTES:
 1. CONTRACTOR SHALL VERIFY EXISTING UTILITY DEPTHS UP TO 5 FEET FROM BUILDING. CONTRACTOR IS BEARING FULL RESPONSIBILITY FOR VERIFYING EXISTING UTILITY LOCATIONS WITH MECHANICAL AND PLUMBING PLANS PRIOR TO CONSTRUCTION.
 2. ALL PVC SANITARY SERVICE SHALL BE NEW EX.
 3. ALL RESTORATION SHALL BE TOP CLOSURE WITH A BRICKMAN T&S POT COVER OVER TOP OF PIPE. ALL CURBMAN TOPSIDE PVC SHALL BE 18\"/>

PROFILING AND UTILITY INFORMATION HAS BEEN OBTAINED FROM A SURVEY PROVIDED BY PARAGONET ENGINEERING.

ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF ANNEARHSIA SPECIFICATIONS.

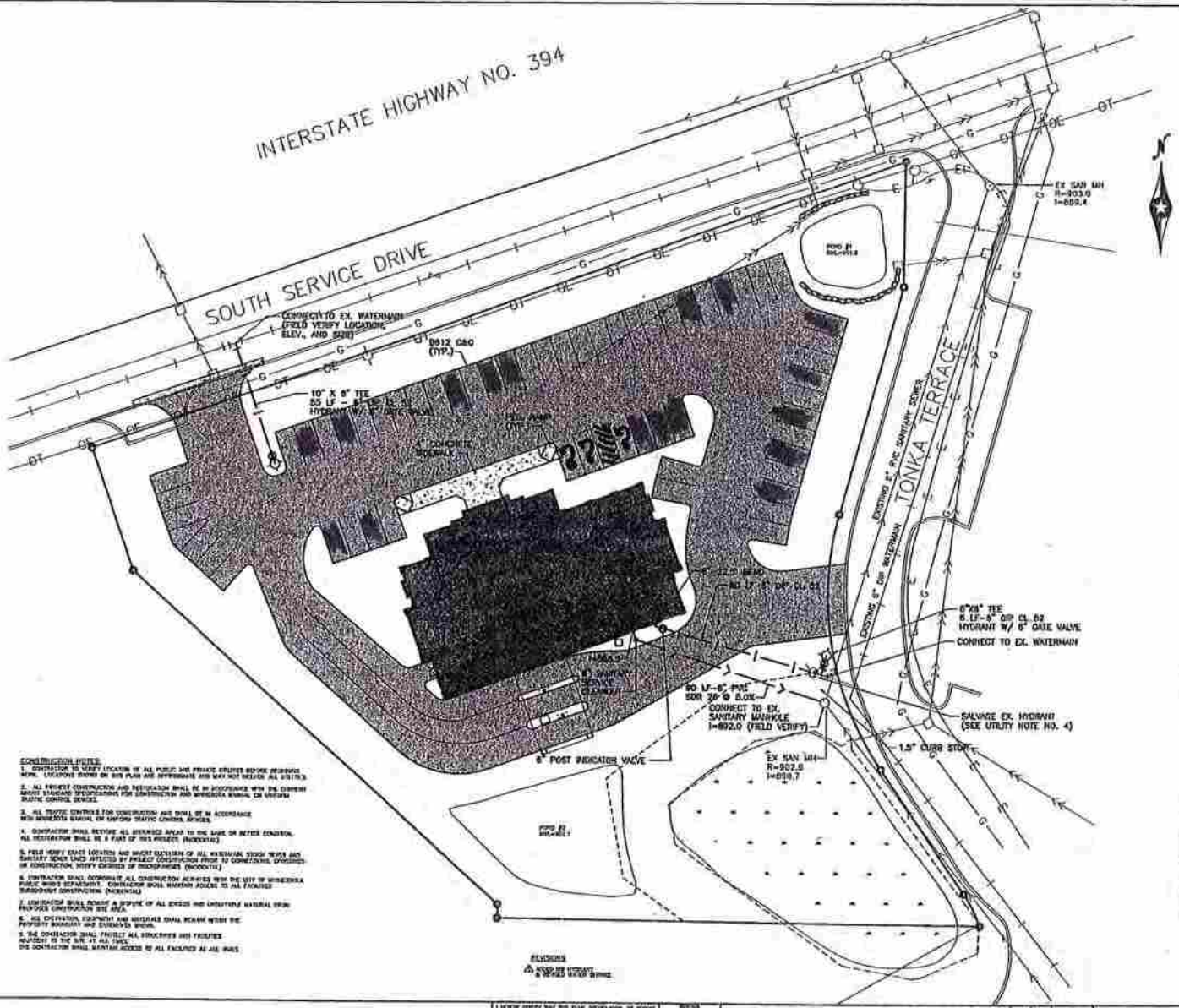


BOULTON & MENCK, INC. CONSULTING ENGINEERS & SURVEYORS SUITE 400 1201 N. WALKER AVE. SPOKANE, ID 83402 SUITE 200 1000 W. STATE ST. BOZEMAN, MT 59717		SHEET NO. 1 OF 1 DATE 1-25-18
PROJECT NO. 18042 DRAWING NO. C2	CLIENT: VOYAGER BANK 304 & TONKA TERRACE	PROJECT NO. 18042 DATE 1-25-18

VOYAGER BANK
 304 & TONKA TERRACE
UTILITY PLAN

C2

Wednesday 4pm
in empty



LEGEND

□	ROAD BOX W/ DATE
○	DATE
○	UTILITY POLE
○	HYDANT
○	SAN. MAN.
○	STORM SEWER MANHOLE
○	DRY
○	STORM SEWER
○	OUTLET SEWER
○	CAS. GAS
○	OVERHEAD ELECTRIC LINES
○	UNDERGROUND ELECTRIC LINES
○	UNDERGROUND TELEPHONE LINES
○	120V. SAN.
○	120V. GAS
○	300
○	CAS.
○	HEAVY
▨	PROPOSED CONCRETE SURFACE
▩	PROPOSED BRICK/PAVE SURFACE
▧	PROPOSED ASPHALT
○	PROPOSED SIGN BEVEL
○	PROPOSED RAILWAY TIE
○	PROPOSED W/ST. AND
○	PROPOSED WATER MAIN
○	PROPOSED WATER MAIN
○	PROPOSED HYDRANT
○	PROPOSED W/ST. PROTECT.
○	PROPOSED W/ST. FENCE
○	PROPOSED CENTER
○	PROPOSED W/ST. FENCE (DOTTED)

- UTILITY NOTES:**
- CONTRACTOR SHALL OBTAIN RECORDS WITHIN 14 DAYS UP TO 8 FEET FROM BLINDS. CONNECTION TO BLINDS WILL BE DONE BY OWNER. OWNER TO PLACE LOCATIONS WITH METERS/VALVES AND PLUMBING PLANS PRIOR TO CONSTRUCTION.
 - ALL PVC SANITARY SEWER SHALL BE SDR 35.
 - ALL WATERMAIN SHALL BE SDR 30.5 WITH A MINIMUM 2.5 FOOT COVER OVER TOP OF PIPE. ALL CONCRETE SEWER PIPE SHALL BE 15" & NEW & MANHOLE 2.5 FOOT COVER OVER TOP OF PIPE.
 - CONTRACTOR SHALL OBTAIN RECORDS WITHIN 14 DAYS UP TO 8 FEET FROM BLINDS. CONNECTION TO BLINDS WILL BE DONE BY OWNER. OWNER TO PLACE LOCATIONS WITH METERS/VALVES AND PLUMBING PLANS PRIOR TO CONSTRUCTION.

PROPOSED AND UTILITY INFORMATION WILL OBTAIN FROM A SURVEY PROVIDED BY FORWARD ENGINEERS.

ALL CONSTRUCTION AND MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS REQUIREMENTS.

NOTE:
THE LOCATION OF EXISTING UNDERGROUND UTILITIES THAT ARE SHOWN ON THIS PLAN ARE BASED ON RECORDS. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UTILITIES THAT OCCUR AS A RESULT OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UTILITIES THAT OCCUR AS A RESULT OF CONSTRUCTION.

- CONSTRUCTION NOTES:**
- CONTRACTOR TO VERIFY LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES BEFORE BEGINNING WORK. LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY NOT BE EXACT.
 - ALL PROJECT CONSTRUCTION AND INFORMATION SHALL BE IN ACCORDANCE WITH THE CURRENTLY APPLICABLE SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE MANUAL, CH. 10 (UTILITY) AND CH. 11 (STREETS).
 - ALL PVD CONSTRUCTION FOR CONSTRUCTION AND SHALL BE IN ACCORDANCE WITH MINNEAPOLIS MANUAL OF SAFETY TRAFFIC CONTROL SIGNALS.
 - CONTRACTOR SHALL REMOVE ALL DISTURBED AREAS TO THE SAME OR BETTER CONDITION. ALL RESTORATION SHALL BE A PART OF THIS PROJECT. (ENCLOSURE)
 - FIELD VERIFY EXISTING LOCATION AND DEPTH OF ALL UTILITIES. VERIFY WITH CITY AND SANITARY SEWER DEPARTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UTILITIES THAT OCCUR AS A RESULT OF CONSTRUCTION.
 - CONTRACTOR SHALL OBTAIN RECORDS WITHIN 14 DAYS UP TO 8 FEET FROM BLINDS. CONNECTION TO BLINDS WILL BE DONE BY OWNER. OWNER TO PLACE LOCATIONS WITH METERS/VALVES AND PLUMBING PLANS PRIOR TO CONSTRUCTION.
 - ALL OPERATIONS, EQUIPMENT AND MATERIALS SHALL BE CLEAN AND MAINTAINED AT ALL TIMES.
 - THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ENCLOSED AT ALL TIMES.



REVISIONS

NO.	DATE	DESCRIPTION
1	1-22-08	ISSUED FOR PERMIT

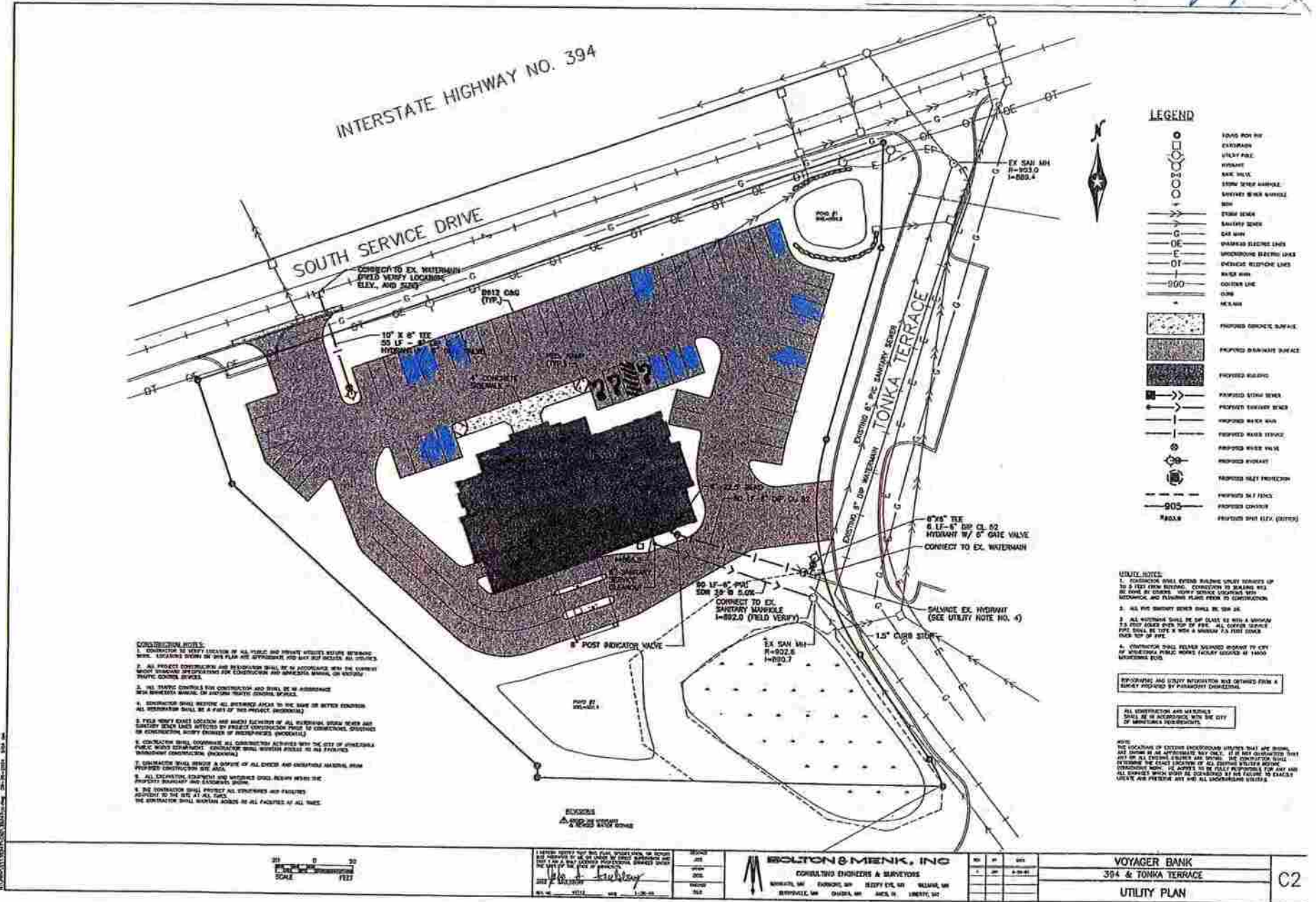
BOLTON & MENK, INC
CONSULTING ENGINEERS & SURVEYORS
1400 W. 34TH ST. SUITE 100
MINNEAPOLIS, MN 55408-1000
TEL: 612.555.4400 FAX: 612.555.4401

DATE	BY	CHKD.
1-22-08	JK	JK

VOYAGER BANK
304 & TONKA TERRACE
UTILITY PLAN

C2

Thursday 12pm
12 empty



- CONSTRUCTION NOTES:**
- CONTRACTOR TO VERIFY LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES BEFORE BEGINNING WORK. LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES.
 - ALL PROJECT CONTRACTORS AND SUBCONTRACTORS SHALL BE IN ACCORDANCE WITH THE CURRENT AND MOST RECENT SPECIFICATIONS FOR CONSTRUCTION AND AMERICAN NATIONAL OR NATIONAL TRAFFIC CONTROL DEVICES.
 - ALL TRAFFIC CONTROL FOR CONSTRUCTION AND SHALL BE IN ACCORDANCE WITH MINNESOTA MANUAL ON SIGNING TRAFFIC CONTROL DEVICES.
 - CONTRACTOR SHALL REMOVE ALL OBSTACLES ANCHOR TO THE NAME OR WATER EXISTENCE. ALL INFORMATION SHALL BE A PART OF THIS PROJECT (UNDERGROUND).
 - FIELD VERIFY EXACT LOCATION AND DEPTH OF ALL UTILITIES, STORM SEWER AND SANITARY SEWER LINES UTILITIES BY PROJECT CONSTRUCTION PRIOR TO CONSTRUCTION, STOPPED OR CONSTRUCTION, VERIFY LOCATIONS OF UNDERGROUND (UNDERGROUND).
 - CONTRACTOR SHALL OBTAIN ALL CONSTRUCTION ACTIVITIES WITH THE CITY OF ANNEARKE. PUBLIC WORKS DEPARTMENT. CONTRACTOR SHALL VERIFY ACCESS TO ALL UTILITIES (UNDERGROUND CONSTRUCTION (UNDERGROUND)).
 - CONTRACTOR SHALL REMOVE A PORTION OF ALL EXISTING AND UNDERGROUND ANCHOR WITH PROPER CONSTRUCTION SITE AREA.
 - ALL EXISTING, EQUIPMENT AND MATERIALS SHALL REMAIN WITHIN THE PROPERTY BOUNDARY AND EXISTENCE, PERMITS.
 - THE CONTRACTOR SHALL VERIFY ALL UTILITIES AND FACILITIES EXISTING TO THE SITE AT ALL TIMES. THE CONTRACTOR SHALL VERIFY ACCESS TO ALL UTILITIES AT ALL TIMES.

- LEGEND**
- 10" DIA. PIPE IN TRENCH
 - 6" DIA. PIPE IN TRENCH
 - 4" DIA. PIPE IN TRENCH
 - 2" DIA. PIPE IN TRENCH
 - 1" DIA. PIPE IN TRENCH
 - 6" DIA. PIPE IN TRENCH
 - 4" DIA. PIPE IN TRENCH
 - 2" DIA. PIPE IN TRENCH
 - 1" DIA. PIPE IN TRENCH
 - 6" DIA. PIPE IN TRENCH
 - 4" DIA. PIPE IN TRENCH
 - 2" DIA. PIPE IN TRENCH
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 - 2" DIA. PIPE IN TRENCH
 - 1" DIA. PIPE IN TRENCH
 - 6" DIA. PIPE IN TRENCH
 - 4" DIA. PIPE IN TRENCH
 - 2" DIA. PIPE IN TRENCH
 - 1" DIA. PIPE IN TRENCH

- UTILITY NOTES:**
- CONTRACTOR SHALL VERIFY EXISTING UTILITY LOCATIONS PRIOR TO 2 FEET FROM SURFACE. CONSTRUCTION TO BE MAINTAINED WITHIN 2 FEET OF EXISTING UTILITY LOCATIONS. MINIMUM AND MAXIMUM PLUMB PLUMB FROM TO CONSTRUCTION.
 - ALL NEW UTILITY LINES SHALL BE 18" DIA. OR LARGER.
 - ALL UTILITY LINES SHALL BE 18" DIA. OR LARGER. TO BE MAINTAINED WITHIN 2 FEET OF EXISTING UTILITY LOCATIONS. MINIMUM AND MAXIMUM PLUMB PLUMB FROM TO CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY EXISTING UTILITY LOCATIONS PRIOR TO 2 FEET FROM SURFACE. CONSTRUCTION TO BE MAINTAINED WITHIN 2 FEET OF EXISTING UTILITY LOCATIONS. MINIMUM AND MAXIMUM PLUMB PLUMB FROM TO CONSTRUCTION.

PROPOSED AND EXISTING INFORMATION WAS OBTAINED FROM A SURVEY PROVIDED BY PROJECT CONTRACTOR.

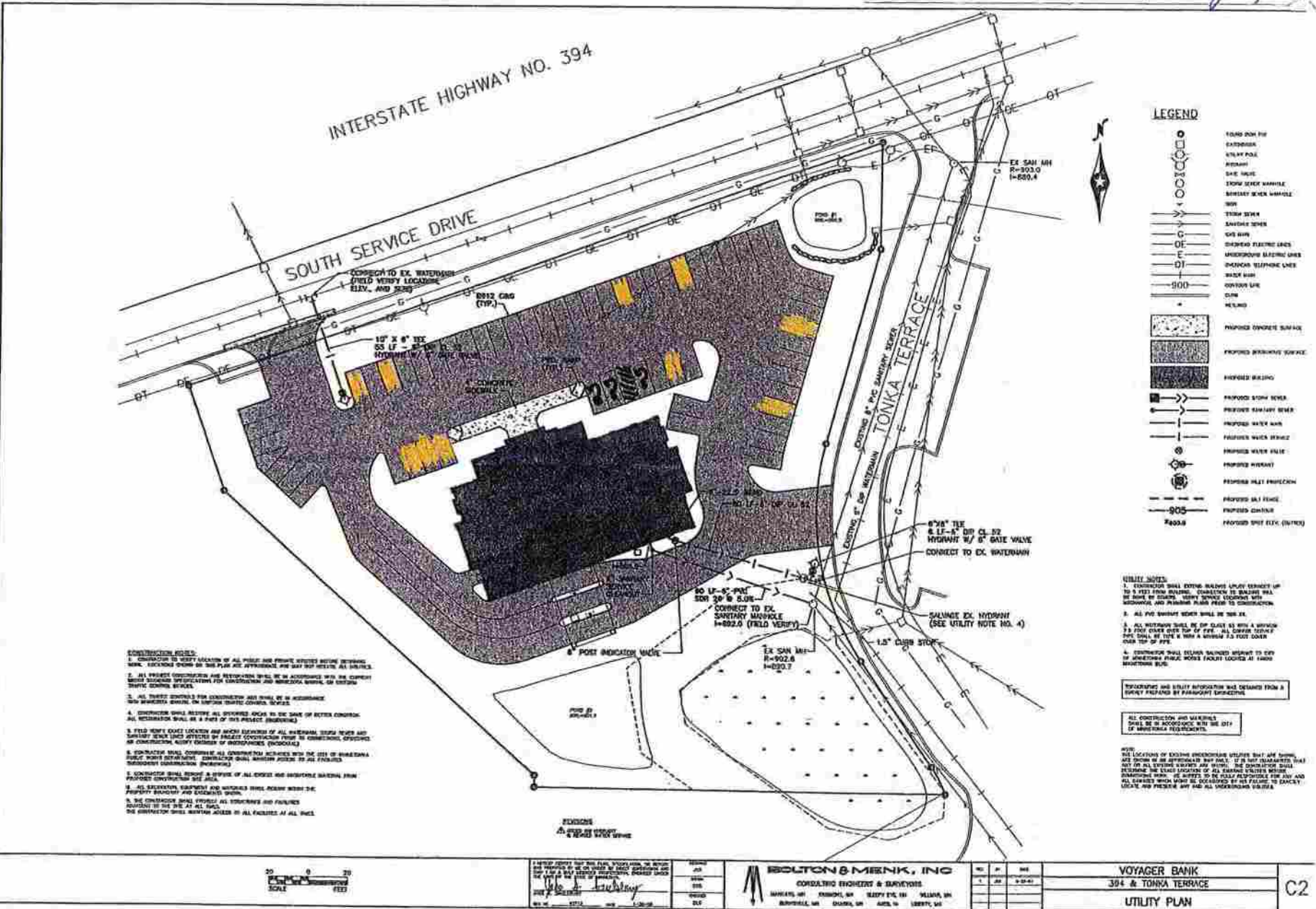
ALL INFORMATION AND ANY REVISIONS SHALL BE IN ACCORDANCE WITH THE CITY OF ANNEARKE REGULATIONS.

NOTE: THE LOCATION OF EXISTING UNDERGROUND UTILITIES THAT ARE SHOWN AND SHOWN IS AN APPROXIMATION ONLY. IT IS NOT GUARANTEED THAT THE EXACT LOCATION OF ALL UTILITIES WILL BE IDENTIFIED BY THIS UTILITY PLAN. ALL UTILITIES WHICH SHOULD BE IDENTIFIED BY THIS UTILITY PLAN SHALL BE IDENTIFIED BY THIS UTILITY PLAN.



1. I HEREBY CERTIFY THAT THIS UTILITY PLAN, OR REPORT OR PART THEREOF, IS A TRUE AND CORRECT REPRESENTATION OF THE FACTS AND INFORMATION PROVIDED TO ME BY THE PROJECT CONTRACTOR AND THAT I HAVE CONDUCTED A REASONABLE INVESTIGATION TO VERIFY THE FACTS AND INFORMATION.		DATE: 07/15/2024 BY: [Signature]	NO. 10 DATE: 7-15-24	VOYAGER BANK 304 & TONKA TERRACE UTILITY PLAN	C2
BOLTON & MIENK, INC. CONSULTING ENGINEERS & SURVEYORS MINNEAPOLIS, MN FARGO, ND DEEPE EYE, MN WELLS, MN BIRMIINGHAM, AL DUNDAS, ON MELB, VIC LIBERTY, SC		15/12/2024	15/12/2024	15/12/2024	

Thursday 4pm
 10 empty



PROVIDING THE UTILITY INFORMATION WAS OBTAINED FROM A SURVEY PREPARED BY PARSONS BRINCKERHOFF

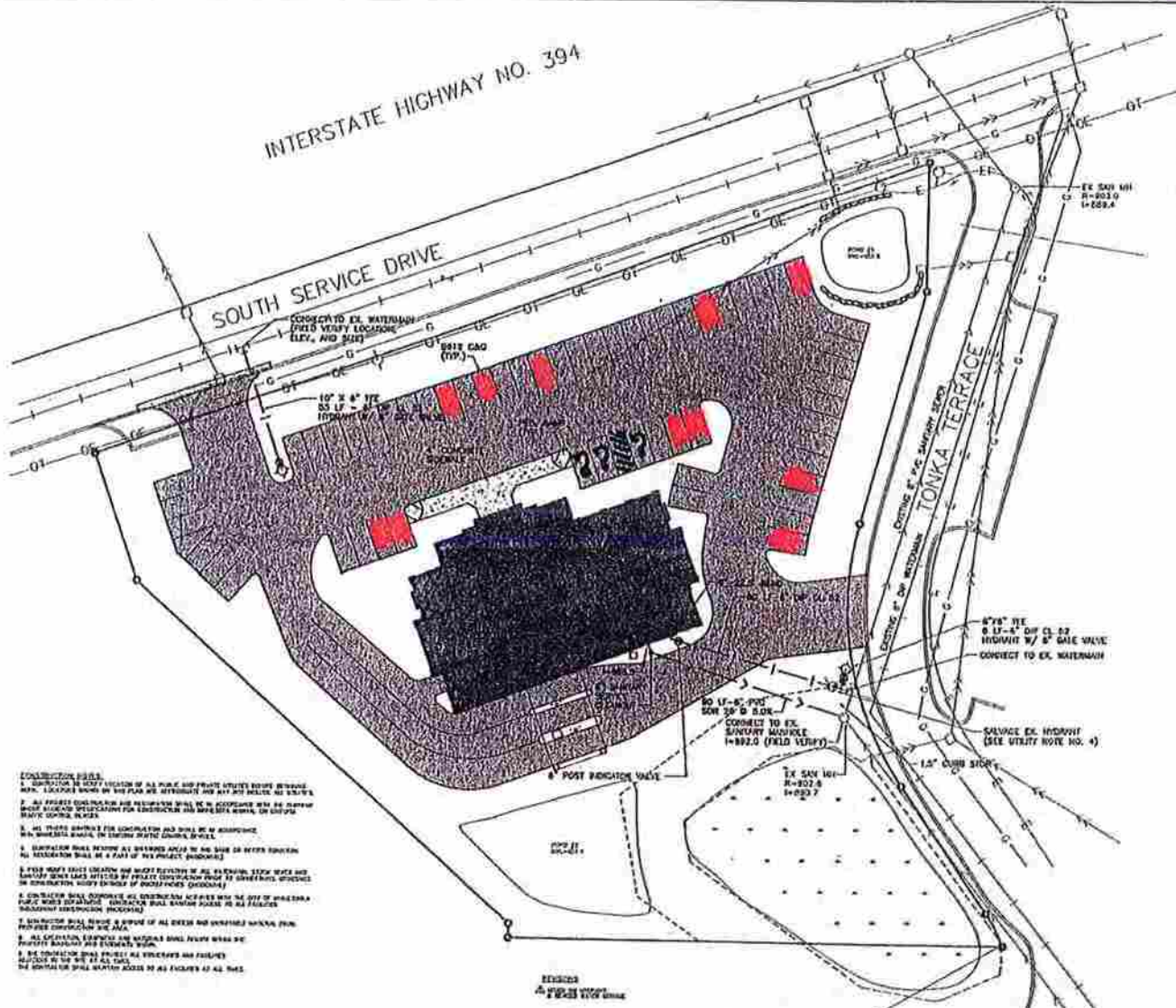
ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF BIRMINGHAM SPECIFICATIONS.

NOTE: THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND NOT TO BE CONSIDERED AS EXACT. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES WHICH WERE NOT IDENTIFIED BY THIS SURVEY AND ALL UTILITIES WHICH WERE NOT IDENTIFIED BY THIS SURVEY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

BOLTON & MENK, INC CONSULTING ENGINEERS & SURVEYORS 1000 1/2 AVENUE SOUTH BIRMINGHAM, AL 35203 TEL: 205-944-4444	NO.	1	DATE	12-11-11
	BY	W. J. MENK	DATE	12-11-11
	CHECKED	W. J. MENK	DATE	12-11-11
	SCALE	AS SHOWN	DATE	12-11-11
			PROJECT	VOYAGER BANK
			ADDRESS	394 & TONKA TERRACE
			DATE	12-11-11
			SCALE	AS SHOWN
			PROJECT	UTILITY PLAN

Friday 8:30 AM
11 empty

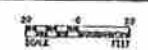
INTERSTATE HIGHWAY NO. 394



CONSTRUCTION NOTES:

1. CONTRACTOR TO VERIFY LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES BEFORE BEGINNING WORK. LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY NOT BE EXACT. ALL SERVICES ARE TO BE DEPTHP AS SHOWN UNLESS OTHERWISE NOTED.
2. ALL PROPOSED CONSTRUCTION AND REVISIONS SHALL BE IN ACCORDANCE WITH THE DEPTHP OF PUBLIC WORKS SPECIFICATIONS FOR UNDERGROUND UTILITIES AND SHALL BE SHOWN ON ALL CITY STREETS, PLANS, ETC.
3. ALL UNDERGROUND UTILITIES SHALL BE SHOWN IN ACCORDANCE WITH THE DEPTHP OF PUBLIC WORKS SPECIFICATIONS FOR UNDERGROUND UTILITIES.
4. SURVEYATION SHALL BE DONE AT OWNERS RISK AND SHALL BE DONE TO THE SATISFACTION OF THE ENGINEER.
5. ALL UNDERGROUND UTILITIES SHALL BE SHOWN TO THE DEPTHP OF PUBLIC WORKS SPECIFICATIONS FOR UNDERGROUND UTILITIES.
6. ALL EXISTING UTILITIES SHALL BE SHOWN TO THE DEPTHP OF PUBLIC WORKS SPECIFICATIONS FOR UNDERGROUND UTILITIES.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MINNESOTA, STATE OF MINNESOTA, AND FEDERAL AGENCIES AS REQUIRED.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MINNESOTA, STATE OF MINNESOTA, AND FEDERAL AGENCIES AS REQUIRED.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MINNESOTA, STATE OF MINNESOTA, AND FEDERAL AGENCIES AS REQUIRED.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MINNESOTA, STATE OF MINNESOTA, AND FEDERAL AGENCIES AS REQUIRED.

LEGEND	
○	6\"/>
○	10\"/>
○	12\"/>
○	15\"/>
○	18\"/>
○	21\"/>
○	24\"/>
○	27\"/>
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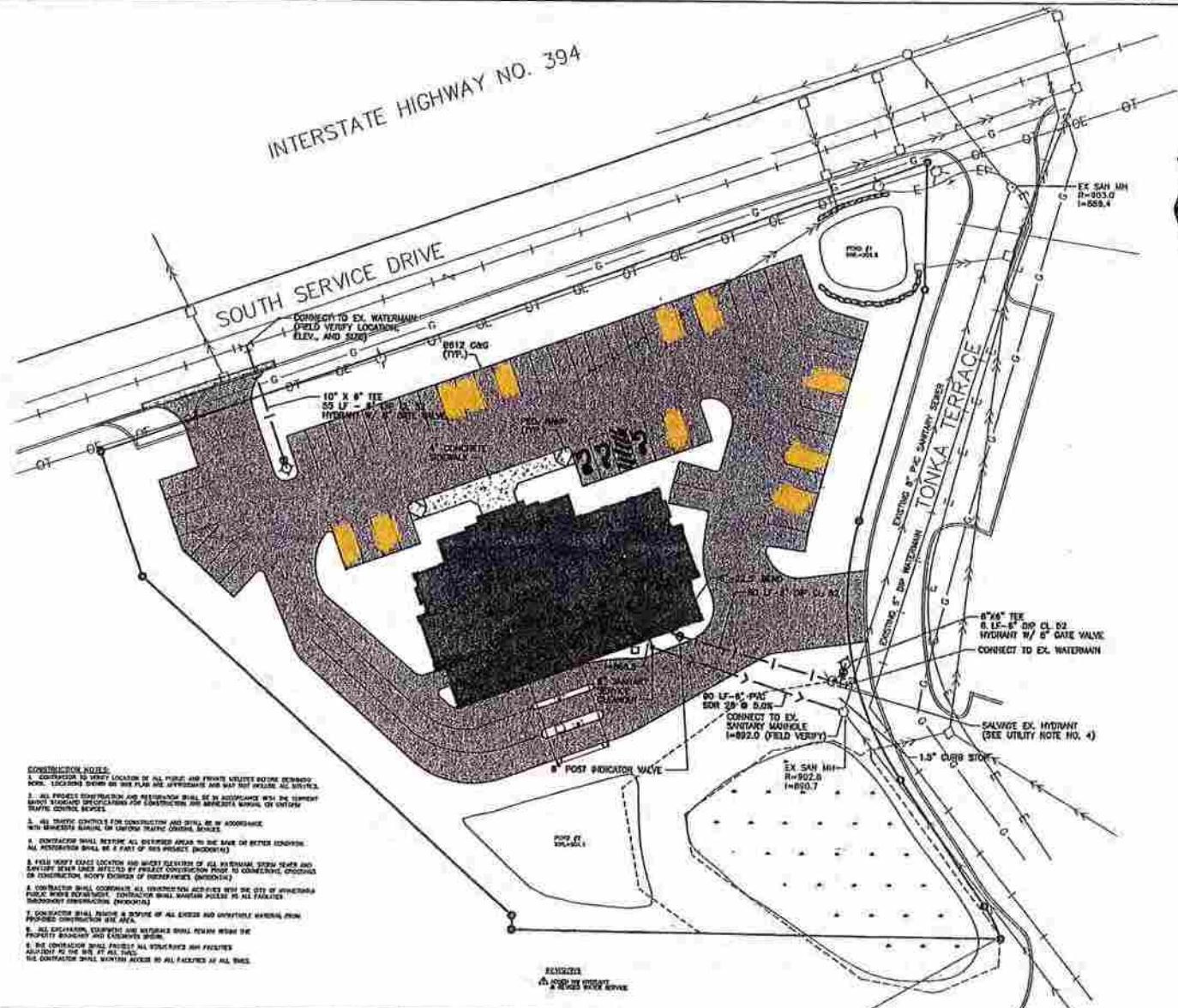
<p>REVISIONS</p> <p>NO. DATE BY</p> <p>1. 05/15/06 [Signature]</p> <p>2. 05/15/06 [Signature]</p>		<p>HOLTON & MENK, INC.</p> <p>CONSULTING ENGINEERS & SURVEYORS</p> <p>5555 W. WASHINGTON BL. SUITE 100 MINNEAPOLIS, MN 55412</p>		<table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> </tr> <tr> <td>1</td> <td>05/15/06</td> <td>[Signature]</td> </tr> <tr> <td>2</td> <td>05/15/06</td> <td>[Signature]</td> </tr> </table>		NO.	DATE	BY	1	05/15/06	[Signature]	2	05/15/06	[Signature]	<p>VOYAGER BANK</p> <p>394 & TONKA TERRACE</p> <p>UTILITY PLAN</p>		<p>C2</p> <p>4/28 J.P. 06/06</p>
NO.	DATE	BY															
1	05/15/06	[Signature]															
2	05/15/06	[Signature]															

Friday 12pm
11 empty

INTERSTATE HIGHWAY NO. 394

SOUTH SERVICE DRIVE

EXISTING 8" P.C. SANITARY SEWER
EXISTING 8" DIA. INTERMEDIATE
TONGKA TERRACE



LEGEND

○	FOUND HIGH P.M.
○	CATCHBASIN
○	WALKY P.O.C.
○	WISDOM
○	S&C W&C
○	STORM SEWER MANHOLE
○	SAFETY W&C MANHOLE
○	BOX
○	STORM SEWER
○	SAFETY SEWER
○	USE W&C
○	DISBURSED ELECTRIC LINES
○	UNDISBURSED ELECTRIC LINES
○	OVERHEAD TELEPHONE LINES
○	WATER MAIN
○	CONDUIT LINE
○	PIPE
○	WELLS
○	PROPOSED GRANITE SURFACE
○	PROPOSED BRICKWORK SURFACE
○	PROPOSED PAVING
○	PROPOSED STORM SEWER
○	PROPOSED SANITARY SEWER
○	PROPOSED WATER MAIN
○	PROPOSED WATER SERVICE
○	PROPOSED HYDRANT
○	PROPOSED VALVE PROTECTION
○	PROPOSED 6" FENCE
○	PROPOSED CURBLINE
○	PROPOSED FINISH ELEV. (OTHER)

CONSTRUCTION NOTES:

- CONTRACTOR TO VERIFY LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES BEFORE BEGINNING WORK. LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES.
- ALL PROJECT CONSTRUCTION AND RESTORATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS VARIOUS SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE MANUAL OF OUTSIDE TRAFFIC CONTROL DEVICES.
- USE EXISTING CURBLINE FOR CONSTRUCTION AND SHALL BE IN ACCORDANCE WITH S&C'S MANUAL ON CURBLINE TRAFFIC CONTROL DEVICES.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO THE SAME OR BETTER CONDITION. ALL RESTORATION SHALL BE A PART OF THIS PROJECT (BOOKING).
- FIELD VERIFY EXACT LOCATION AND DEPTH OF ALL EX. STORM, STORM SEWER AND SANITARY SEWER LINES AFFECTED BY PROPOSED CONSTRUCTION PRIOR TO COMMENCING CONSTRUCTION. NOTIFY PUBLIC WORKS DEPARTMENT OF ANY DISCREPANCIES.
- CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE CITY OF MINNETONKA PUBLIC WORKS DEPARTMENT. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES THROUGHOUT CONSTRUCTION (BOOKING).
- CONTRACTOR SHALL INSURE & REMOVE ALL EXCESS AND UNNECESSARY MATERIAL FROM PROPOSED CONSTRUCTION SITE AREA.
- ALL EXISTING UTILITIES AND SERVICES SHALL REMAIN UNDER THE PROPERTY OWNERSHIP AND MAINTENANCE.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SIGN FACILITIES ALONGSIDE THE SITE AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES AT ALL TIMES.

UTILITY NOTES:

- CONTRACTOR SHALL VERIFY EXISTING UTILITY RECORDS UP TO 3 FEET FROM GRADE. CONTRACTOR TO BEARER SHALL BE MADE BY OWNER. VERIFY SERVICE LOCATIONS WITH RECORDS AND FIELDING PLANS FROM THE CONSTRUCTION.
- ALL P.V. SERVICE RECORD SHALL BE 100% 24.
- ALL WATERMAIN SHALL BE ON CL. 21 WITH A MINIMUM 24" COVER UNDER TOP OF PIPE. ALL CURBLINE SERVICE SHALL BE 18" WITH A MINIMUM 24" COVER OVER TOP OF PIPE.
- CONTRACTOR SHALL DELIVER SIGNED REPORT TO CITY OF MINNETONKA PUBLIC WORKS DEPARTMENT AT FIELD MATTERS MEET.

TOPOGRAPHY AND UTILITY INFORMATION WAS OBTAINED FROM A SURVEY PROVIDED BY FORSAYER ENGINEERS.

ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF MINNETONKA SPECIFICATIONS.

NOTE:
THE LOCATION OF EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. IT IS NOT GUARANTEED THAT ANY OR ALL UTILITIES EXIST ANYWHERE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXACT LOCATION OF ALL UTILITIES BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY HIS FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND ALL EXISTING UTILITIES.



LETTER COPY OF THIS PLAN, SPECIFICATIONS, AND RECORDS SHALL BE PROVIDED TO THE CITY OF MINNETONKA PUBLIC WORKS DEPARTMENT AT THE TIME OF THE FINAL APPROVAL REVIEW DATE.

John A. Kullback
DATE: 10/12/11

BOLTON & MENK, INC.
CONSULTING ENGINEERS & SURVEYORS
MINNETONKA, MN FARGO, ND SLEEPY HOLE, MN WILKINSON, MN
BURNING WOOD, MN SHAKA, MN RICE, MN HORTON, SD

NO.	DATE
1	10/12/11

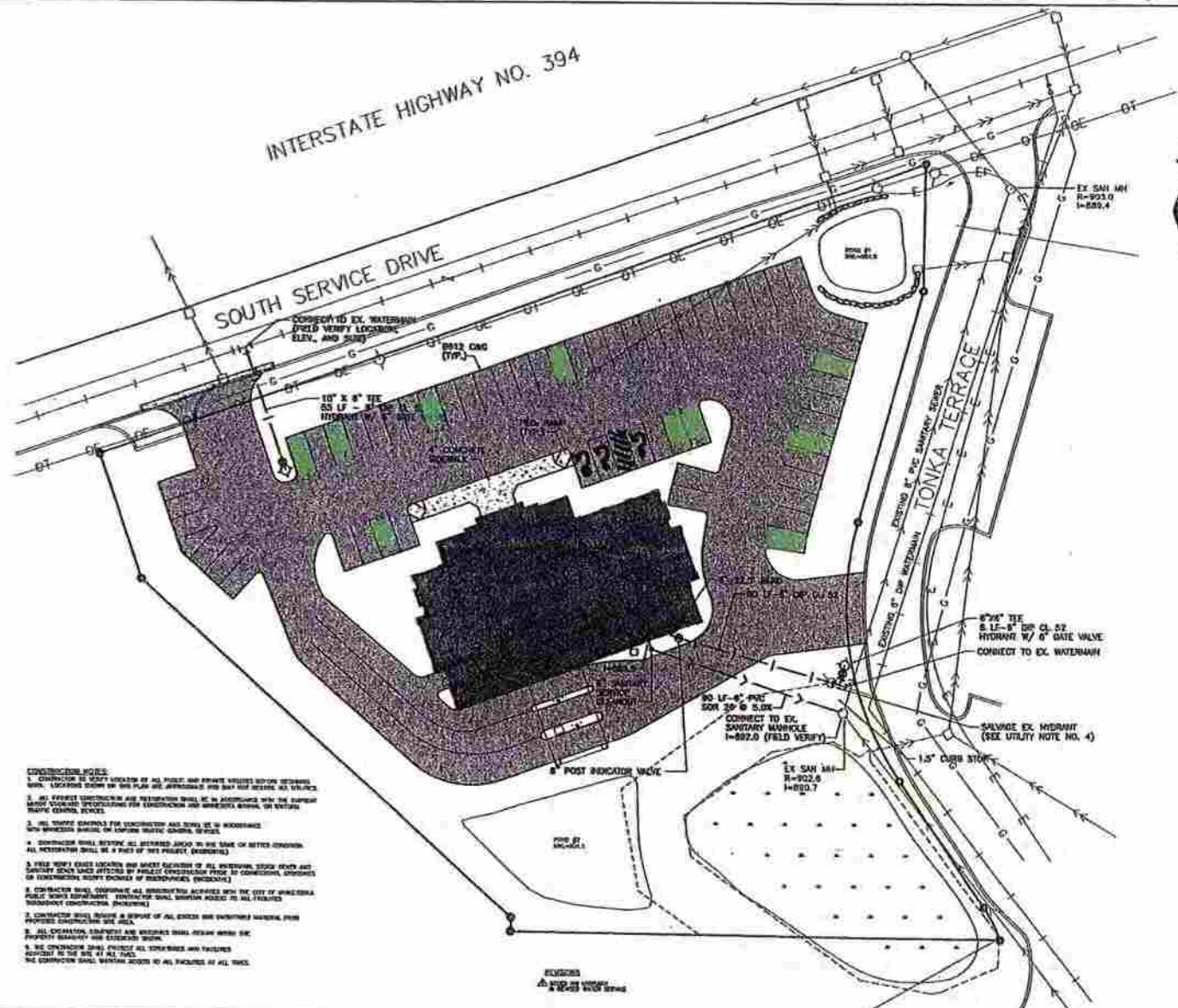
VOYAGER BANK	C2
394 & TONGKA TERRACE	
UTILITY PLAN	

Friday 4pm
10 empty

INTERSTATE HIGHWAY NO. 394

SOUTH SERVICE DRIVE

TONKA TERRACE



LEGEND

- 1000 RISE PIPE
- 6\"/>

- CONSTRUCTION NOTES:**
1. CONTRACTOR TO VERIFY LOCATION OF ALL PUBLIC UTILITY SERVICES BEFORE BEGINNING WORK. LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY NOT REFLECT ALL UTILITIES.
 2. ALL EXISTING UTILITIES AND RESTORATION SHALL BE IN ACCORDANCE WITH THE CURRENT LATEST STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE, EITHER ON STATE OR LOCAL AGENCIES, UNLESS OTHERWISE NOTED.
 3. ALL EXISTING UTILITIES TO BE REMOVED SHALL BE REMOVED TO THE POINT OF DISCONTINUANCE OR TO THE POINT OF DISCONTINUANCE, UNLESS OTHERWISE NOTED.
 4. CONTRACTOR SHALL VERIFY ALL UTILITIES ARE AT THE SAME OR BETTER CONDITION. ALL UTILITIES SHALL BE A PART OF THIS PROJECT. (RECORDING)
 5. FIELD VERIFY EXISTING UTILITIES AND VERIFY LOCATION OF ALL UTILITIES TO BE REMOVED AND VERIFY SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY THE DEPTH OF EXISTING UTILITIES (RECORDING)
 6. CONTRACTOR SHALL MAINTAIN ALL UTILITIES EXPOSED TO THE CITY OF MINNETONKA THROUGHOUT CONSTRUCTION (RECORDING)
 7. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND MAINTAIN ACCESS TO ALL UTILITIES THROUGHOUT CONSTRUCTION (RECORDING)
 8. ALL EXISTING UTILITIES AND RESTORATION SHALL BE IN ACCORDANCE WITH THE CURRENT LATEST STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE, EITHER ON STATE OR LOCAL AGENCIES, UNLESS OTHERWISE NOTED.
 9. ALL EXISTING UTILITIES TO BE REMOVED SHALL BE REMOVED TO THE POINT OF DISCONTINUANCE OR TO THE POINT OF DISCONTINUANCE, UNLESS OTHERWISE NOTED.
 10. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES.

- UTILITY NOTES:**
1. CONTRACTOR SHALL VERIFY EXISTING UTILITY DEPTHS TO BE 3 FEET FROM SURFACE. CONTRACTOR TO VERIFY DEPTHS TO BE 3 FEET FROM SURFACE. VERIFY SERVICE LOCATIONS WITH RECORDING AND PLUMBING PLANS PRIOR TO CONSTRUCTION.
 2. ALL NEW UTILITY LINES SHALL BE 30\"/>

RECORDING AND FIELD VERIFICATION SHALL BE OBTAINED FROM A LICENSED SURVEYOR OR PROFESSIONAL ENGINEER.

ALL CONSTRUCTION AND RESTORATION SHALL BE IN ACCORDANCE WITH THE CITY OF MINNETONKA RECORDING.

NOTE: THE LOCATION OF EXISTING UTILITIES SHALL BE FIELD VERIFIED AND RECORDED. CONTRACTOR TO VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION.



DATE: 11/13/2013
BY: [Signature]
SCALE: 1"=20'

BOLTON & MENK, INC.
CONSULTING ENGINEERS & SURVEYORS
MINNETONKA, MN | FORT WORTH, TX | BEECHER, MN | MILWAUKEE, WI
BOSTON, MA | CHICAGO, IL | DALLAS, TX | DENVER, CO

NO.	DATE	DESCRIPTION
1	11/13/2013	ISSUED FOR PERMIT

VOYAGER BANK
304 & TONKA TERRACE
UTILITY PLAN

C2

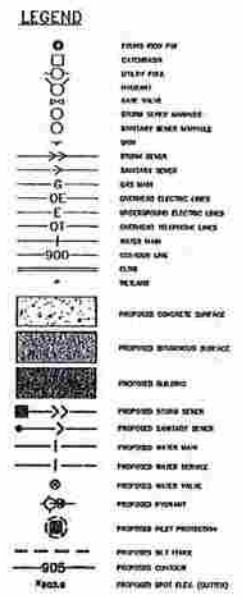
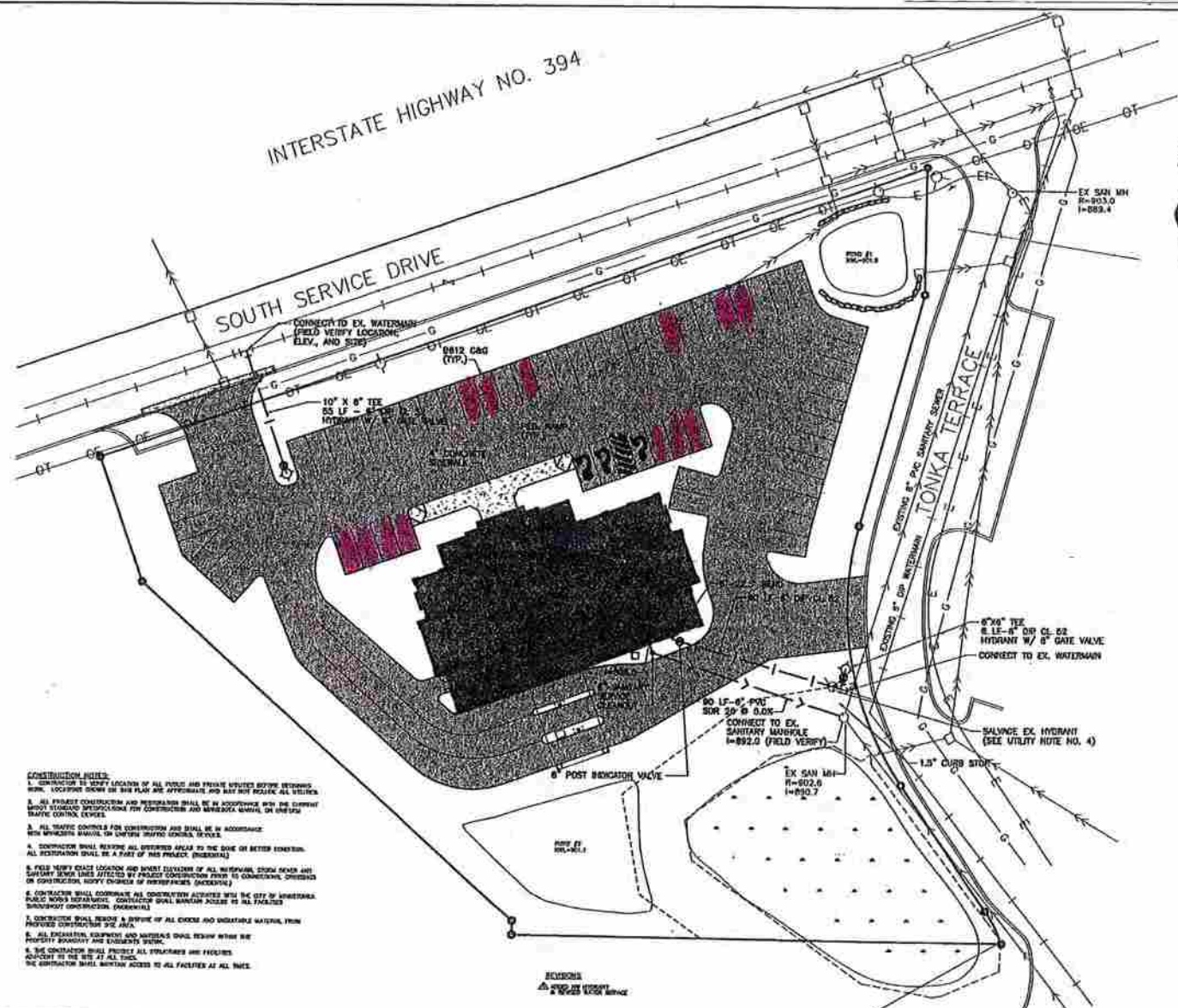
Monday 8:30AM

13 empty

INTERSTATE HIGHWAY NO. 394

SOUTH SERVICE DRIVE

TONKA TERRACE



CONSTRUCTION NOTES:

- CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING AND PROPOSED UTILITIES BEYOND SHOWN. LOCATION SHOWN ON THIS PLAN IS APPROXIMATE AND MUST NOT BE TAKEN AS FINAL. VERIFY LOCATION OF ALL UTILITIES.
- ALL PROPOSED CONSTRUCTION AND RESTORATION SHALL BE IN ACCORDANCE WITH THE CURRENT MOST RECENTED SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE MANUAL, OR OTHER TRADE CONTROL DEVICES.
- ALL TRAFFIC CONTROL FOR CONSTRUCTION AND SHALL BE IN ACCORDANCE WITH INDICATED SIGNALS OR LITERATURE INDICATING SIGNALS SHALL BE IN ACCORDANCE WITH THE CITY OF WASHINGTON.
- CONTRACTOR SHALL RESTORE ALL EXISTING GRADE TO THE SAME OR BETTER CONDITION AS BEFORE CONSTRUCTION.
- FIELD VERIFY EXISTING LOCATION AND DEPT. OF ALL NEARBY EXISTING WATER AND SANITARY SEWER LINES DETECTED BY PROJECT CONSTRUCTION FROM THE CONTRACTOR, OFFERS IN CONSTRUCTION NOTIFY ENGINEER OF DISCREPANCIES (AS REQUIRED).
- CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE CITY OF WASHINGTON PUBLIC WORKS DEPARTMENT. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES THROUGHOUT CONSTRUCTION (AS REQUIRED).
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING AND UNDERGROUND UTILITIES FROM PROPOSED CONSTRUCTION (AS REQUIRED).
- ALL EXISTING UTILITIES, EQUIPMENT AND MATERIALS SHALL REMAIN WITHIN THE PROPERTY BOUNDARY AND EXISTING SYSTEM.
- THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND FACILITIES ADJACENT TO THE SITE AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES AT ALL TIMES.

UTILITY NOTES:

- CONTRACTOR SHALL VERIFY BUILDING LIGHTING SYSTEM UP TO 8 FEET FROM BUILDING. CONDUCTOR TO BUILDING SHALL BE DONE BY OTHER. VERIFY SERVICE LOCATION WITH ELECTRICAL AND PLUMBING PLANS PRIOR TO CONSTRUCTION.
- ALL FIVE SHIMMY BARN SHALL BE SEE 24.
- ALL WATERMAIN SHALL BE 8" OR DEeper TO WITH A MINIMUM 7.5 FOOT COVER OVER TOP OF PIPE. ALL SEWER SERVICE PIPE SHALL BE 10" & WITH A MINIMUM 7.5 FOOT COVER OVER TOP OF PIPE.
- CONTRACTOR SHALL RELAY SEWERAGE INVOICE TO CITY OF WASHINGTON PUBLIC WORKS FACILITY LOCATED AT 19000 WASHINGTON BLVD.

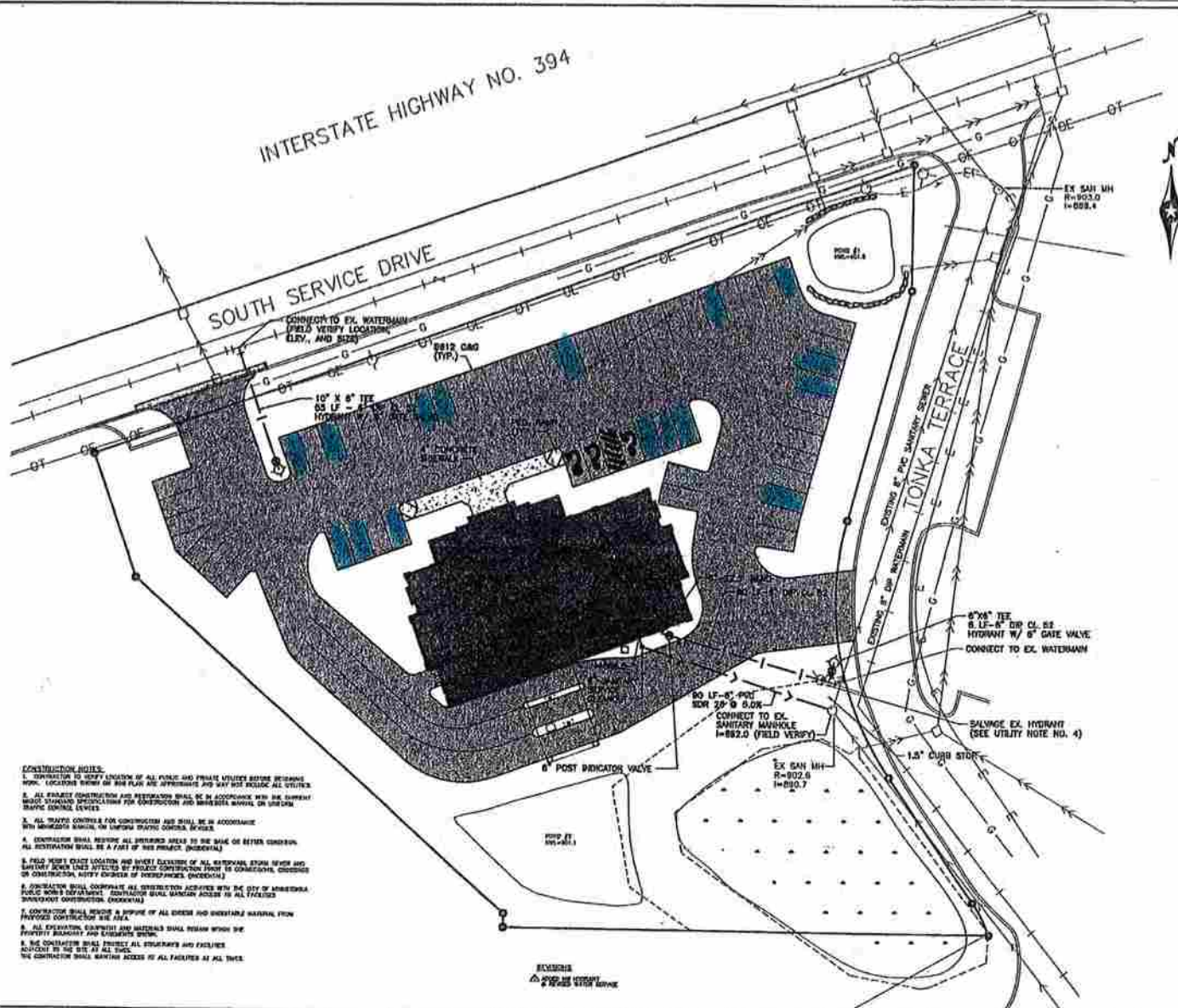
DEFORMATION AND UTILITY INFORMATION HAS OBTAINED FROM A SURVEY PERFORMED BY PARAGON SURVEYING.

ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF WASHINGTON REQUIREMENTS.























































1. REFER TO CITY OF WASHINGTON SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE MANUAL, OR OTHER TRADE CONTROL DEVICES.		DESIGNED BY: [Signature] DATE: 7/13/2023	BOLTON & MENK, INC. CONSULTING ENGINEERS & SURVEYORS WASHINGTON, MD FARMERSVILLE, MD BEECHY CREEK, MD BELLEVILLE, MD		PROJECT NO: VOYAGER BANK DATE: 7/13/2023
VOYAGER BANK 304 & TONKA TERRACE		UTILITY PLAN		C2	

Monday 12PM
16 empty



LEGEND

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	UTILITY POLE
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	TWELVE INCH
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	258 INCH
	264 INCH
	270 INCH

- CONSTRUCTION NOTES:**
- CONTRACTOR TO VERIFY LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES BEFORE BEGINNING WORK. LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES.
 - ALL UTILITY OPERATIONS AND REPAIRS SHALL BE IN ACCORDANCE WITH THE CURRENT MOST RECENT EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES, ORDINANCES OR CONSTRUCTION CODES OF THE CITY OF MINNEAPOLIS.
 - ALL TRAFFIC CONTROLS FOR CONSTRUCTION AND SHALL BE IN ACCORDANCE WITH MINNEAPOLIS TRAFFIC CONTROL CODES.
 - CONTRACTOR SHALL MAINTAIN ALL UTILITIES UNLESS OTHERWISE SPECIFIED BY THE CITY OF MINNEAPOLIS. ALL REPAIRS SHALL BE AT THE RISK OF THE CONTRACTOR.
 - FIELD VERIFY EXISTING LOCATION AND DEPTH OF ALL EXISTING SANITARY SEWER AND SANITARY SEWER LINES AFFECTED BY PROPOSED CONSTRUCTION FROM THE CITY OF MINNEAPOLIS, PUBLIC WORKS DEPARTMENT. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES THROUGHOUT CONSTRUCTION (UNDERGROUND).
 - CONTRACTOR SHALL COMPENSATE ALL OBSTRUCTION ACTIVITIES WITH THE CITY OF MINNEAPOLIS, PUBLIC WORKS DEPARTMENT. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES THROUGHOUT CONSTRUCTION (UNDERGROUND).
 - CONTRACTOR SHALL REMOVE A PORTION OF ALL EXISTING AND UNDESIRABLE MATERIAL FROM PROPOSED CONSTRUCTION AREAS.
 - ALL EXISTING UTILITIES AND MATERIALS SHALL REMAIN UNLESS OTHERWISE SPECIFIED BY THE CITY OF MINNEAPOLIS, PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND FACILITIES BELONGING TO THE CITY OF MINNEAPOLIS.
 - THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES AT ALL TIMES.

- UTILITY NOTES:**
- CONTRACTOR SHALL VERIFY EXISTING UTILITY DEPTHS UP TO 2 FEET FROM SURFACE. CONNECTION TO EXISTING UTILITIES SHALL BE MADE BY GENERAL UTILITY LOCATIONS WITH MINNEAPOLIS AND RECORDING PLANS PRIOR TO CONSTRUCTION.
 - ALL PIPING SHALL BE 10' DEEP UNLESS OTHERWISE SPECIFIED.
 - ALL MATERIALS SHALL BE OF CLASS B WITH A MINIMUM 24" COVER OVER TOP OF PIPE. ALL JOINTS SHALL BE MADE WITH 4" MINIMUM 24" COVER OVER TOP OF PIPE.
 - CONTRACTOR SHALL REMOVE SANITARY SEWER TO CITY OF MINNEAPOLIS PUBLIC WORKS FACILITY LOCATED AT 1400 WASHINGTON AVE.
- EXISTING SANITARY SEWER INFORMATION HAS BEEN OBTAINED FROM A SURVEY PROVIDED BY PARSONS ENGINEERS.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS REGULATIONS.

NOTE: THE LOCATION OF EXISTING UNDERGROUND UTILITIES THAT ARE SHOWN ARE SHOWN IN AN APPROXIMATE MANNER ONLY. IT IS NOT GUARANTEED THAT THEY ARE EXACTLY WHERE SHOWN. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE FAILURE TO EXERCISE DUE CARE AND PRECAUTION IN ALL UNDERGROUND UTILITIES.



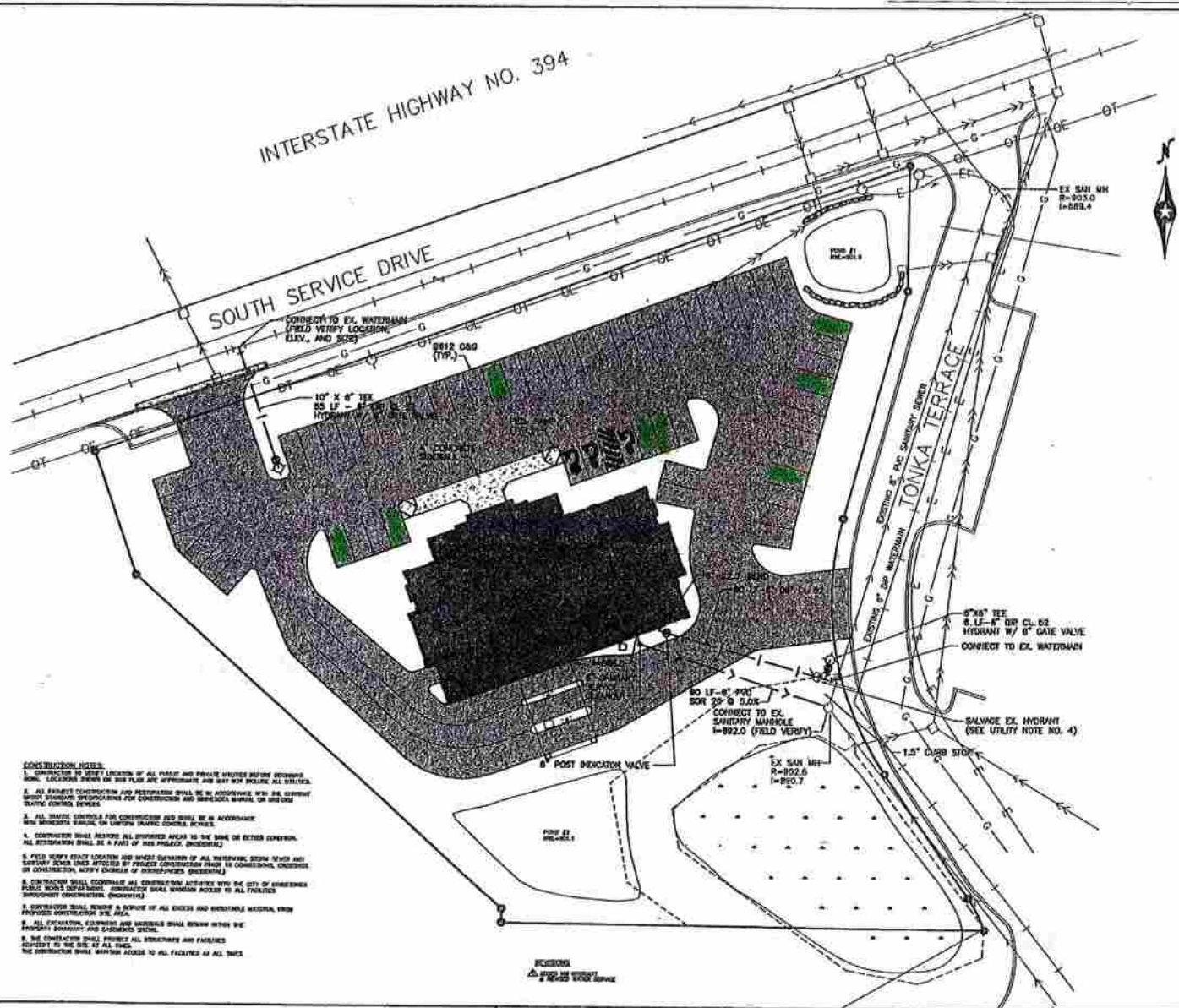
1.5" CURB STOP
POST INDICATOR VALVE
EX SAN MH R=802.5 I=882.7
CONNECTION TO EX. SANITARY MANHOLE I=882.0 (FIELD VERIFY)
NO 10" x 6" FIRE HYDRANT
NO 6" x 6" FIRE HYDRANT
CONNECT TO EX. WATERMAIN FIELD VERIFY LOCATION, ELEV., AND SIZE
EX SAN MH R=802.0 I=882.4
EXISTING 6" DIA. INTERMEDIATE
EXISTING 8" DIA. INTERMEDIATE
EXISTING 12" DIA. INTERMEDIATE
EXISTING 18" DIA. INTERMEDIATE
EXISTING 24" DIA. INTERMEDIATE
EXISTING 30" DIA. INTERMEDIATE
EXISTING 36" DIA. INTERMEDIATE
EXISTING 42" DIA. INTERMEDIATE
EXISTING 48" DIA. INTERMEDIATE
EXISTING 54" DIA. INTERMEDIATE
EXISTING 60" DIA. INTERMEDIATE
EXISTING 66" DIA. INTERMEDIATE
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EXISTING 270" DIA. INTERMEDIATE

BOLTON & MENK, INC
CONSULTING ENGINEERS & SURVEYORS
MINNEAPOLIS, MN
DUNN, MN
MELBY, MN
LITTLE, MN

NO.	DATE	DESCRIPTION
1	7-25-04	ISSUED FOR PERMITS

VOYAGER BANK
394 & TONKA TERRACE
UTILITY PLAN
C2

Monday 4PM
8 empty



LEGEND

	6" INCH PCH CATCH BASIN
	6" INCH PCH MANHOLE
	6" INCH PCH MANHOLE WITH COVER
	6" INCH PCH MANHOLE WITH COVER AND CURB
	6" INCH PCH MANHOLE WITH COVER AND CURB AND SIDEWALK
	6" INCH PCH MANHOLE WITH COVER AND CURB AND SIDEWALK AND STREET
	6" INCH PCH MANHOLE WITH COVER AND CURB AND SIDEWALK AND STREET AND UTILITY LINES
	6" INCH PCH MANHOLE WITH COVER AND CURB AND SIDEWALK AND STREET AND UTILITY LINES AND WATER MAIN
	6" INCH PCH MANHOLE WITH COVER AND CURB AND SIDEWALK AND STREET AND UTILITY LINES AND WATER MAIN AND GAS MAIN
	6" INCH PCH MANHOLE WITH COVER AND CURB AND SIDEWALK AND STREET AND UTILITY LINES AND WATER MAIN AND GAS MAIN AND ELECTRIC LINES
	6" INCH PCH MANHOLE WITH COVER AND CURB AND SIDEWALK AND STREET AND UTILITY LINES AND WATER MAIN AND GAS MAIN AND ELECTRIC LINES AND FIRE HYDRANT
	6" INCH PCH MANHOLE WITH COVER AND CURB AND SIDEWALK AND STREET AND UTILITY LINES AND WATER MAIN AND GAS MAIN AND ELECTRIC LINES AND FIRE HYDRANT AND FIRE HYDRANT VALVE
	6" INCH PCH MANHOLE WITH COVER AND CURB AND SIDEWALK AND STREET AND UTILITY LINES AND WATER MAIN AND GAS MAIN AND ELECTRIC LINES AND FIRE HYDRANT AND FIRE HYDRANT VALVE AND FIRE HYDRANT VALVE COVER
	6" INCH PCH MANHOLE WITH COVER AND CURB AND SIDEWALK AND STREET AND UTILITY LINES AND WATER MAIN AND GAS MAIN AND ELECTRIC LINES AND FIRE HYDRANT AND FIRE HYDRANT VALVE AND FIRE HYDRANT VALVE COVER AND FIRE HYDRANT VALVE COVER CURB
	6" INCH PCH MANHOLE WITH COVER AND CURB AND SIDEWALK AND STREET AND UTILITY LINES AND WATER MAIN AND GAS MAIN AND ELECTRIC LINES AND FIRE HYDRANT AND FIRE HYDRANT VALVE AND FIRE HYDRANT VALVE COVER AND FIRE HYDRANT VALVE COVER CURB AND FIRE HYDRANT VALVE COVER CURB SIDEWALK
	6" INCH PCH MANHOLE WITH COVER AND CURB AND SIDEWALK AND STREET AND UTILITY LINES AND WATER MAIN AND GAS MAIN AND ELECTRIC LINES AND FIRE HYDRANT AND FIRE HYDRANT VALVE AND FIRE HYDRANT VALVE COVER AND FIRE HYDRANT VALVE COVER CURB AND FIRE HYDRANT VALVE COVER CURB SIDEWALK AND FIRE HYDRANT VALVE COVER CURB SIDEWALK STREET

- CONSTRUCTION NOTES:**
- CONTRACTOR TO VERIFY LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES BEFORE BEGINNING WORK. LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES.
 - AN EXISTING CONDUIT AND ACCESSORIES SHALL BE IN ACCORDANCE WITH THE CURRENT NORTH DAKOTA REGULATIONS FOR CONSTRUCTION AND REPAIRS, MANUAL OR OTHER RELEVANT CODES, ETC.
 - ALL TRAFFIC CONTROL DURING CONSTRUCTION AND SHALL BE IN ACCORDANCE WITH MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING AREAS TO THE SAME OR BETTER CONDITION. ALL RESTORATION SHALL BE A PART OF THIS PROJECT (INCLUDES):
 - FIELD VERIFY EXISTING LOCATION AND DEPTH OF ALL EXISTING SEWER MAINS AND SANITARY SEWER LINES APPLICABLE BY PROJECT CONSTRUCTION PLAN OR COMPLETION, CHANGES OR CORRECTIONS MUST BE MADE BY THE CONTRACTOR (INCLUDES):
 - CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE CITY OF MINNESOTA PUBLIC WORKS DEPARTMENT. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FINISHED SURFACES (INCLUDES):
 - CONTRACTOR SHALL REMOVE & REPLACE ALL EXISTING AND INSTALLED MATERIALS WHEN PROPOSED CONSTRUCTION IS IN AREA.
 - ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE KEPT WITHIN THE PROPERTY BOUNDARY AND EXISTING DRIVE.
 - THE CONTRACTOR SHALL PROTECT ALL STRUCTURES AND FACILITIES ADJACENT TO THE SITE AT ALL TIMES.
 - THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES AT ALL TIMES.

- UTILITY NOTES:**
- CONTRACTOR SHALL EXTEND BUILDING UTILITY SERVICES UP TO 8 FEET FROM BUILDING. CONNECTION TO SERVICE WILL BE MADE BY OWNER. VERIFY SERVICE LOCATION WITH RECORDS, AND PLANNING BUREAU PRIOR TO CONSTRUCTION.
 - ALL PVC SANITARY SEWER SHALL BE 8" DIA.
 - ALL SANITARY SHALL BE 8" DIA. CL. 52 WITH A MINIMUM 2% FLOOR OVER TOP OF PIPE. ALL SANITARY SERVICE PIPE SHALL BE 10' DIA. WITH A MINIMUM 1.5' FLOOR OVER TOP OF PIPE.
 - CONTRACTOR SHALL REMOVE EXISTING SANITARY TO CITY OF MINNESOTA PUBLIC WORKS DEPT. LOCATED AT 1500 WASHINGTON RD.
- DETERMINED AND UTILITY INFORMATION WAS OBTAINED FROM A SURVEY PREPARED BY PROFESSIONAL ENGINEERING.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF MINNESOTA REQUIREMENTS.

NOTE:
THE LOCATION OF EXISTING UNDERGROUND UTILITIES THAT ARE SHOWN ARE SHOWN IN AN APPROXIMATE MANNER. IT IS NOT GUARANTEED THAT ANY OR ALL EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS. HE IS ADVISED TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MAY BE INCURRED BY THE FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES.



LISTED COPY OF THIS PLAN, SPECIFICATIONS OR NOTES MAY BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF BOLTON & MENK, INC.

John J. Kuchley
DATE: 10/12/2011

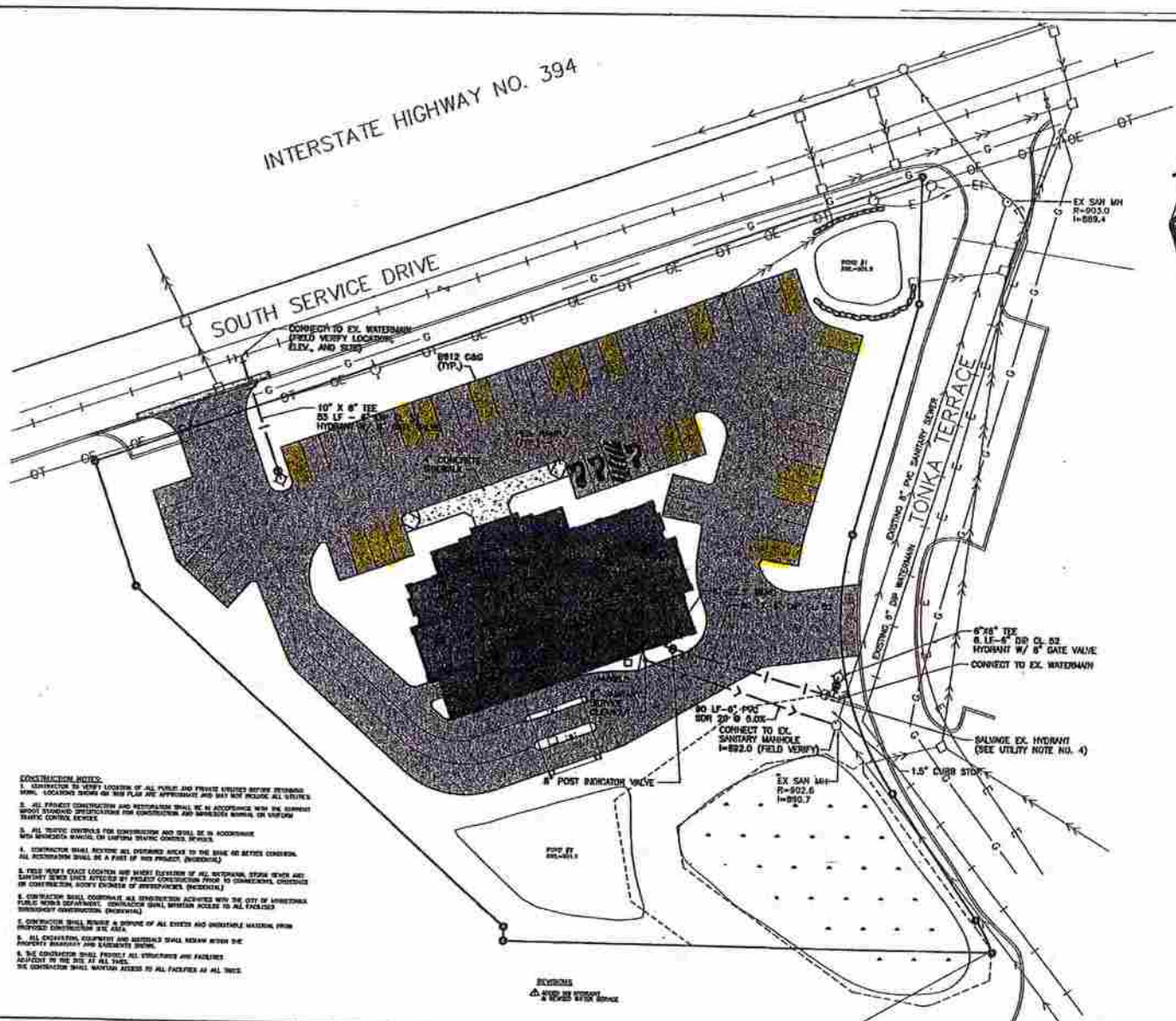
BOLTON & MENK, INC
CONSULTING ENGINEERS & SURVEYORS
MINNETONKA, MN | ST. LOUIS, MO | SLEEPY HOLLOW, VA
BIRMINGHAM, AL | CHICAGO, IL | JERICHO, NY | LEWISVILLE, MO

NO.	DATE	DESCRIPTION
1	10/12/2011	UTILITY PLAN

VOYAGER BANK
394 & TONKA TERRACE
UTILITY PLAN

C2

Tuesday 8:30
18 empty



LEGEND

FOUR INCH PIP	FOUR INCH PIP
	CATCHBASIN
	UTILITY POLE
	HYDRANT
	GATE VALVE
	STORM SEWER MANHOLE
	SANITARY SEWER MANHOLE
	STORM SEWER
	SANITARY SEWER
	ONE WIRE
	OVERHEAD ELECTRIC LINES
	UNDERGROUND ELECTRIC LINES
	OVERHEAD TELEPHONE LINES
	UNDERGROUND TELEPHONE LINES
	WATER MAIN
	CATCHBASIN
	MANHOLE
	PROPOSED CONCRETE SURFACE
	PROPOSED BITUMINOUS SURFACE
	PROPOSED GRADING
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED WATER MAIN
	PROPOSED WATER SERVICE
	PROPOSED WATER VALVE
	PROPOSED HYDRANT
	PROPOSED INLET PROTECTION
	PROPOSED UTILITY FENCE
	PROPOSED CONDUIT
	PROPOSED SPOT ELEV. (SUTER)

UTILITY NOTES:

- CONTRACTOR SHALL VERIFY LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES BEFORE BEGINNING WORK. LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES.
- ALL EXISTING UTILITIES AND STRUCTURES SHALL BE IN ACCORDANCE WITH THE CURRENT MOST RECENT SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE WORK AS SET FORTH IN THE CITY OF MINNETONKA'S STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE WORK.
- ALL EXISTING UTILITIES FOR CONSTRUCTION AND SHALL BE IN ACCORDANCE WITH THE CURRENT MOST RECENT SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE WORK AS SET FORTH IN THE CITY OF MINNETONKA'S STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE WORK.
- CONTRACTOR SHALL VERIFY ALL UTILITIES BEFORE THE START OF CONSTRUCTION. ALL UTILITIES SHALL BE IN ACCORDANCE WITH THE CURRENT MOST RECENT SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE WORK AS SET FORTH IN THE CITY OF MINNETONKA'S STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE WORK.
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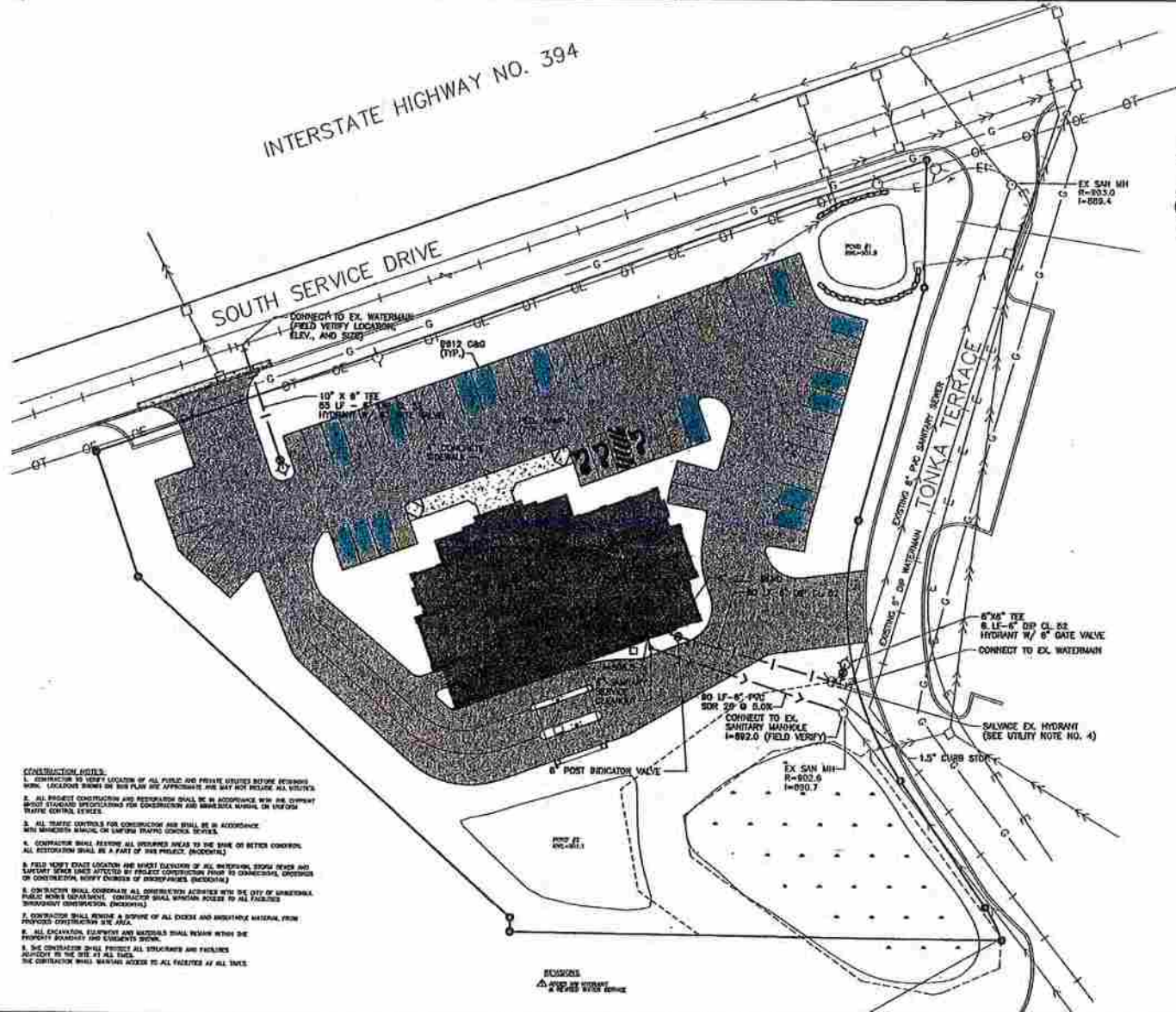
CONSTRUCTION NOTES:

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- ALL EXISTING UTILITIES AND STRUCTURES SHALL BE IN ACCORDANCE WITH THE CURRENT MOST RECENT SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE WORK AS SET FORTH IN THE CITY OF MINNETONKA'S STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE WORK.
- ALL EXISTING UTILITIES FOR CONSTRUCTION AND SHALL BE IN ACCORDANCE WITH THE CURRENT MOST RECENT SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE WORK AS SET FORTH IN THE CITY OF MINNETONKA'S STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE WORK.
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- CONTRACTOR SHALL VERIFY ALL UTILITIES BEFORE THE START OF CONSTRUCTION. ALL UTILITIES SHALL BE IN ACCORDANCE WITH THE CURRENT MOST RECENT SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE WORK AS SET FORTH IN THE CITY OF MINNETONKA'S STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE WORK.















































































<p>1. FROM LEFT TO RIGHT: PLYWOOD, 2\"/> </p>	<p>SCALE 0 10 20 FEET</p>	<p>BOLTON & MENK, INC. CONSULTING ENGINEERS & SURVEYORS MINNETONKA, MN FARMINGTON, MN SLEEPY HOLLOW, MN MINNEAPOLIS, MN BARNETT, MN DUBUQUE, MN ARLING, MN LIBERTY, MO</p>	<p>NO. 101 BY DATE REV.</p>	<p>VOYAGER BANK 394 & TONKA TERRACE UTILITY PLAN</p>	<p>C2</p>
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Tuesday 12 PM
16 empty

INTERSTATE HIGHWAY NO. 394
SOUTH SERVICE DRIVE



LEGEND

	EXIST. 60" DIA
	EXIST. 42" DIA
	EXIST. 30" DIA
	EXIST. 18" DIA
	EXIST. 12" DIA
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	EXIST. 2" DIA
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	EXIST. 0.000000000000000000013552502715837176571221234375" DIA
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CONSTRUCTION NOTES:

- CONTRACTOR TO VERIFY LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES BEFORE BEGINNING WORK. LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY NOT REFLECT ALL UTILITIES.
- ALL PROJECT CONSTRUCTION AND RESTORATION SHALL BE IN ACCORDANCE WITH THE CURRENT MOST RECENT SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE WORKING ON UNDERGROUND TRAFFIC SIGNAL SYSTEMS.
- ALL TRAFFIC CONTROL FOR CONSTRUCTION AND SHALL BE IN ACCORDANCE WITH MINNESOTA MANUAL ON SIGNING TRAFFIC CONTROL SIGNALS.
- CONTRACTOR SHALL RESTORE ALL DRAINAGE AREAS TO THE STATE OF BETTER CONDITION. ALL RESTORATION SHALL BE A PART OF THIS PROJECT. (BROOKING)
- FIELD VERIFY EXISTING LOCATIONS AND DEPTHS OF ALL INTERFERING SIGNAL WIRING AND SANITARY SERVICE LINES AFFECTED BY PROJECT CONSTRUCTION PRIOR TO CONSTRUCTION, DURING OR CONSTRUCTION. NOTIFY DIVISION OF TRANSPORTATION IMMEDIATELY.
- CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE CITY OF MINNETONKA PUBLIC WORKS DEPARTMENT. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES THROUGHOUT CONSTRUCTION (INCLUDING)
- CONTRACTOR SHALL REMOVE A COPY OF ALL CHECKS AND INVOICES FROM PROJECT OFFICE/CONSTRUCTION SITE AREA.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL REGULATIONS AND ORDINANCES APPLICABLE TO THE SITE AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES AT ALL TIMES.

UTILITY NOTES:

- CONTRACTOR SHALL VERIFY BUILDING UTILITY SERVICES UP TO 3 FEET FROM BUILDING. CONNECTION TO SERVICES WILL BE DONE BY GENERAL UTILITY SERVICE CONTRACTOR WITH RECORDS AND PLUMBING PLANS PRIOR TO CONSTRUCTION.
- ALL FIRE SERVICE MAINS SHALL BE 8" DIA.
- ALL BUILDING SHALL BE 3" DIA. ALL WITH A WORKING 2 1/2" FLOOR COVER OVER TOP OF PIPE. ALL SERVICE SHALL BE 3" DIA. BY LIVE & SHOWN 2 1/2" FLOOR COVER OVER TOP OF PIPE.
- CONTRACTOR SHALL VERIFY LOCATION OF CITY OF MINNETONKA PUBLIC WORKS FACILITY LOCATED AT TRAFFIC SIGNALS SITE.

FOR FURTHER AND UTILITY INFORMATION CALL OFFICE FROM A SURVEY PROVIDED BY PARKWAY ENGINEERS.

ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF MINNETONKA REGULATIONS.

NOTE:
THE LOCATION OF EXISTING INTERFERING UTILITIES THAT ARE SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. IT IS NOT GUARANTEED THAT ALL UTILITIES SHOWN ARE SHOWN. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION. ALL UTILITIES TO BE FIELD VERIFIED FOR THE JOB AND ALL UTILITIES WHICH SHOULD BE RECORDED BY THE FIELD SHALL BE LOCATED AND FIELD VERIFIED BY THE CONTRACTOR.

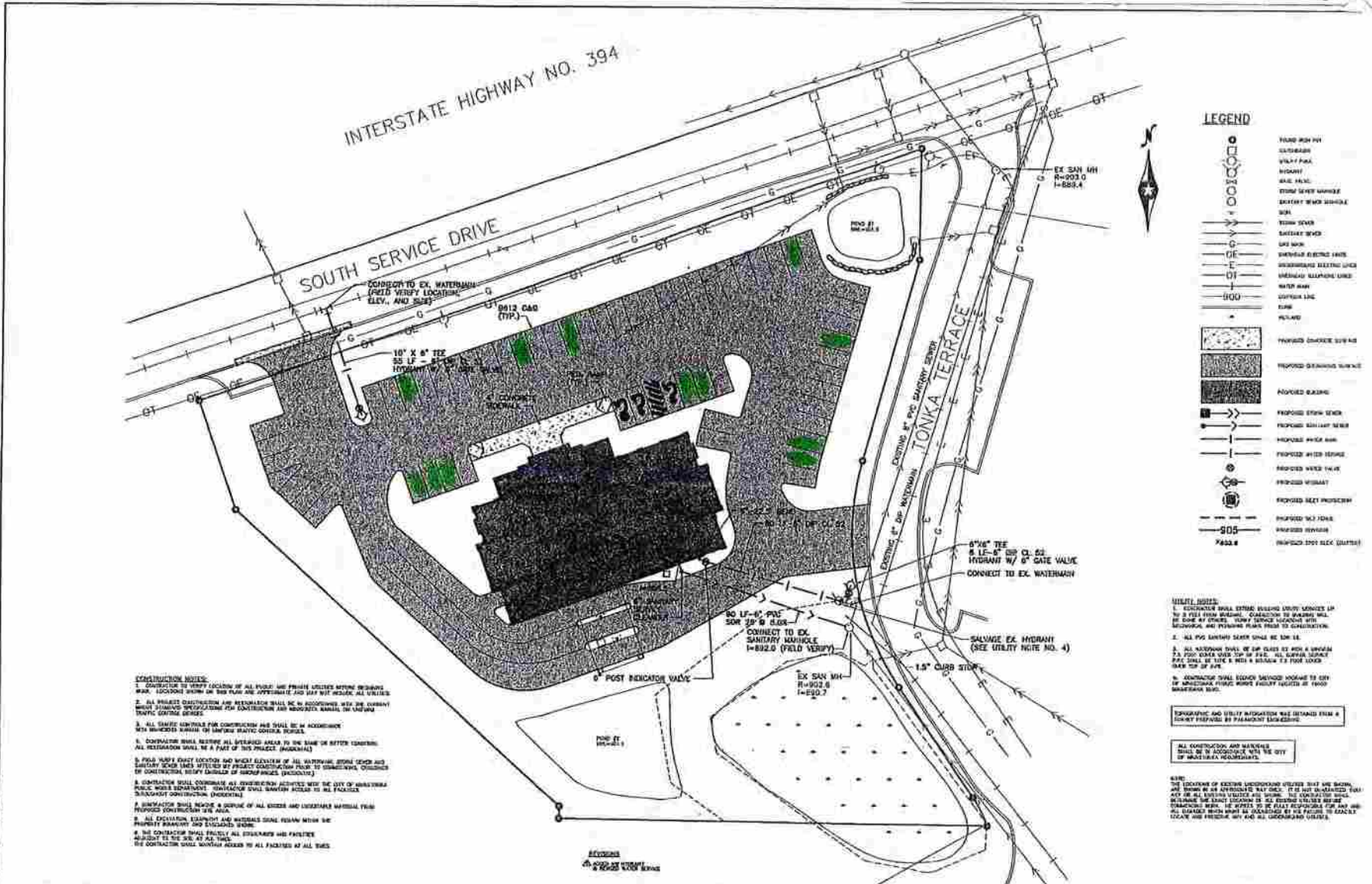


BOLTON & MENK, INC
CONSULTING ENGINEERS & SURVEYORS
WYOMING, WY FARMING, WY SHELBY, WY WYOMING, WY
BOULDER, WY CHAMBERLAIN, WY JARVIS, WY LARAMIE, WY





































NO.	BY	DATE
1	JW	10-25-23
VOYAGER BANK 394 & TONKA TERRACE UTILITY PLAN		

C2

Tuesday 4PM
12 empty



LEGEND

	4" SAN MH
	6" SAN MH
	8" SAN MH
	12" SAN MH
	15" SAN MH
	24" SAN MH
	30" SAN MH
	36" SAN MH
	42" SAN MH
	48" SAN MH
	60" SAN MH
	72" SAN MH
	84" SAN MH
	96" SAN MH
	108" SAN MH
	120" SAN MH
	132" SAN MH
	144" SAN MH
	156" SAN MH
	168" SAN MH
	180" SAN MH
	192" SAN MH
	204" SAN MH
	216" SAN MH
	228" SAN MH
	240" SAN MH
	252" SAN MH
	264" SAN MH
	276" SAN MH
	288" SAN MH
	300" SAN MH
	312" SAN MH
	324" SAN MH
	336" SAN MH
	348" SAN MH
	360" SAN MH

- CONSTRUCTION NOTES:**
- CONTRACTOR TO VERIFY LOCATION OF ALL PUBLIC USE UTILITIES BEFORE BEGINNING WORK. LOCATIONS WITHIN ONE FOOT FROM THE SURFACE AND MAY NOT INCLUDE ALL UTILITIES MUST BE MAINTAINED UNOCCUPIED AND UNOCCUPIED AREAS SHALL BE MAINTAINED WITH THE CURRENT TRAFFIC CONTROL DEVICES.
 - ALL UTILITY LOCATIONS AND REVISIONS SHALL BE IN ACCORDANCE WITH THE CURRENT TRAFFIC CONTROL DEVICES.
 - ALL UTILITY LOCATIONS FOR CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TRAFFIC CONTROL DEVICES.
 - CONTRACTOR SHALL MAINTAIN ALL UTILITIES UNDER THE SAME OR BETTER CONDITIONS. ALL REVISIONS SHALL BE A PART OF THIS PROJECT. (UNOCCUPIED)
 - FIELD VERIFY EXISTING LOCATION AND DEPTH ELEVATION OF ALL WATERMAIN, SEWER, GAS AND SANITARY MANHOLES UTILITIES BY PROJECT LOCATION. FIELD VERIFY TO DETERMINE LOCATION OF CONSTRUCTION, VERIFY LOCATION OF EXISTING MANHOLES. (UNOCCUPIED)
 - CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION ACTIVITIES WITH THE CITY OF MINNEAPOLIS PUBLIC WORKS DEPARTMENT. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PUBLIC THROUGHOUT CONSTRUCTION. (UNOCCUPIED)
 - CONTRACTOR SHALL MAINTAIN A RECORD OF ALL UTILITIES AND UTILITIES MATERIAL FROM THE PROJECT THROUGHOUT CONSTRUCTION. (UNOCCUPIED)
 - ALL EXCAVATION, EQUIPMENT AND MATERIALS SHALL BE MAINTAINED WITH THE PROPERTY BOUNDARY AND EXISTING DRIVE.
 - THE CONTRACTOR SHALL MAINTAIN ALL EXISTING AND EXISTING UTILITIES ALIGNED TO THE SIDE OF ALL LINES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES AT ALL TIMES.

- UTILITY NOTES:**
- CONTRACTOR SHALL VERIFY EXISTING UTILITY SERVICES IN THE FIELD FROM RECORDS. CONNECTION TO EXISTING SHALL BE DONE BY OTHERS. VERIFY SERVICE LOCATIONS WITH RECORDS AND FIELD VERIFY PRIOR TO CONSTRUCTION.
 - ALL EXISTING UTILITY SERVICES SHALL BE MAINTAINED.
 - ALL EXISTING UTILITY SERVICES SHALL BE MAINTAINED WITH THE CITY OF MINNEAPOLIS PUBLIC WORKS DEPARTMENT. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PUBLIC THROUGHOUT CONSTRUCTION. (UNOCCUPIED)
 - CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO CITY OF MINNEAPOLIS PUBLIC WORKS DEPARTMENT. (UNOCCUPIED)

CONTRACTOR AND UTILITY AGENCY HAS OBTAINED FROM A LICENSED PROFESSIONAL ENGINEER.

ALL CONSTRUCTION AND REVISIONS SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS REQUIREMENTS.

THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND UTILITIES MATERIAL FROM THE PROJECT THROUGHOUT CONSTRUCTION. (UNOCCUPIED)



LETTER COPY FOR THE CITY OF MINNEAPOLIS, IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS REQUIREMENTS. (UNOCCUPIED)

DATE: 1/17/17

BOLTON & MENK, INC.
CONSULTING ENGINEERS & SURVEYORS
MINNEAPOLIS, MN | FARGO, ND | SLEEPY CREEK, MN
MINNEAPOLIS, MN | MINNEAPOLIS, MN | MINNEAPOLIS, MN

NO.	DATE	DESCRIPTION
1	1/17/17	ISSUED FOR PERMIT
2	1/17/17	ISSUED FOR PERMIT
3	1/17/17	ISSUED FOR PERMIT
4	1/17/17	ISSUED FOR PERMIT
5	1/17/17	ISSUED FOR PERMIT
6	1/17/17	ISSUED FOR PERMIT
7	1/17/17	ISSUED FOR PERMIT
8	1/17/17	ISSUED FOR PERMIT
9	1/17/17	ISSUED FOR PERMIT
10	1/17/17	ISSUED FOR PERMIT

VOYAGER BANK
304 & TONKA TERRACE
UTILITY PLAN

C2

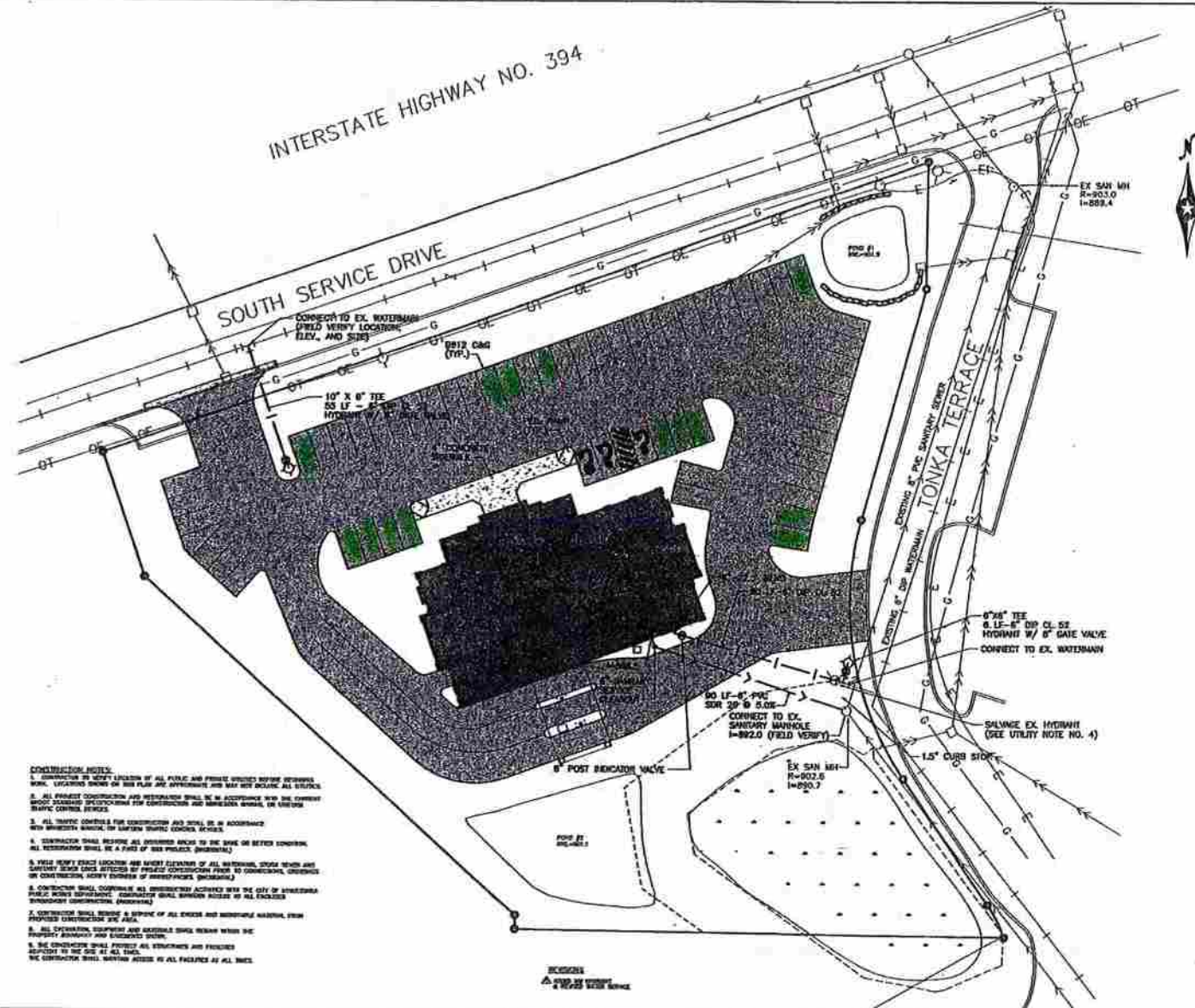
1/17/17 12:00 PM

Wednesday 12PM
14 empty

INTERSTATE HIGHWAY NO. 394

SOUTH SERVICE DRIVE

TONKA TERRACE
DRAINING BY 2" SANDWICH DRAIN



- LEGEND**
- FIELD MSH
 - EXISTING PAV
 - W/OUT POLE
 - W/OUT
 - 24\"/>

- UTILITY NOTES:**
- CONTRACTOR SHALL VERIFY EXISTING UTILITY SERVICES UP TO 2 FEET FROM SURFACE. CONNECTION BY BURIEDING WILL BE DONE BY CONTRACTOR. VERIFY SERVICE LOCATIONS WITH RECORDS AND PLACING MARKS PRIOR TO CONSTRUCTION.
 - ALL PVC SMOOTH BORE SHALL BE 12\"/>

- CONSTRUCTION NOTES:**
- CONTRACTOR TO VERIFY LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES BEFORE BEGINNING WORK. LOCATIONS SHOWN ON THIS PLAN AND APPROPRIATE AND MAY NOT BE ACCURATE. ALL UTILITIES SHALL BE MAINTAINED AND PROTECTED THROUGHOUT THE CONSTRUCTION AND OPERATING PHASES OF THE PROJECT. MAINTAIN ALL EXISTING UTILITIES UNLESS OTHERWISE SPECIFIED.
 - ALL TRAFFIC CONTROL FOR CONSTRUCTION AND SHALL BE IN ACCORDANCE WITH MINNESOTA STATE OR LOCAL TRAFFIC CONTROL AGENCIES.
 - CONTRACTOR SHALL RESTORE ALL EXISTING UTILITIES TO THE SAME OR BETTER CONDITION. ALL RESTORATION SHALL BE A PART OF THE PROJECT (BIDDING).
 - FIELD VERIFY SERVICE LOCATIONS AND VERIFY EXISTENCE OF ALL UTILITIES. VERIFY SERVICE AND LOCATION BEFORE CONSTRUCTION. VERIFY SERVICE LOCATIONS WITH RECORDS AND PLACING MARKS PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL COMPLY WITH ALL REGULATIONS AND ORDINANCES OF THE CITY OF MINNEAPOLIS PUBLIC WORKS DEPARTMENT. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL EXISTING UTILITIES THROUGHOUT CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY AND REPORT OF ALL EXISTING AND AVAILABLE MATERIAL FROM PROPOSED CONSTRUCTION AND AREA.
 - ALL EXISTING UTILITIES AND MATERIALS SHALL REMAIN WITHIN THE PROPERTY BOUNDARY AND EXISTING DRAINAGE.
 - THE CONTRACTOR SHALL PROVIDE ALL STRUCTURES AND FACILITIES ACCORDANT TO THE CITY OF MINNEAPOLIS AS ALL FACILITIES AS ALL FACILITIES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES AS ALL FACILITIES.

TOPOGRAPHIC AND UTILITY INFORMATION WAS OBTAINED FROM A SURVEY PROVIDED BY PLANNING ENGINEERS.

ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS REGULATIONS.

THE LOCATION OF EXISTING UTILITIES (WATER, SEWER, GAS, ETC.) IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE INCURRED BY THE FAILURE TO CHECK LOCAL AND PRIVATE MAPS AND ALL UNDERGROUND UTILITIES.



REVISIONS
1. REVISED BY: [Signature]

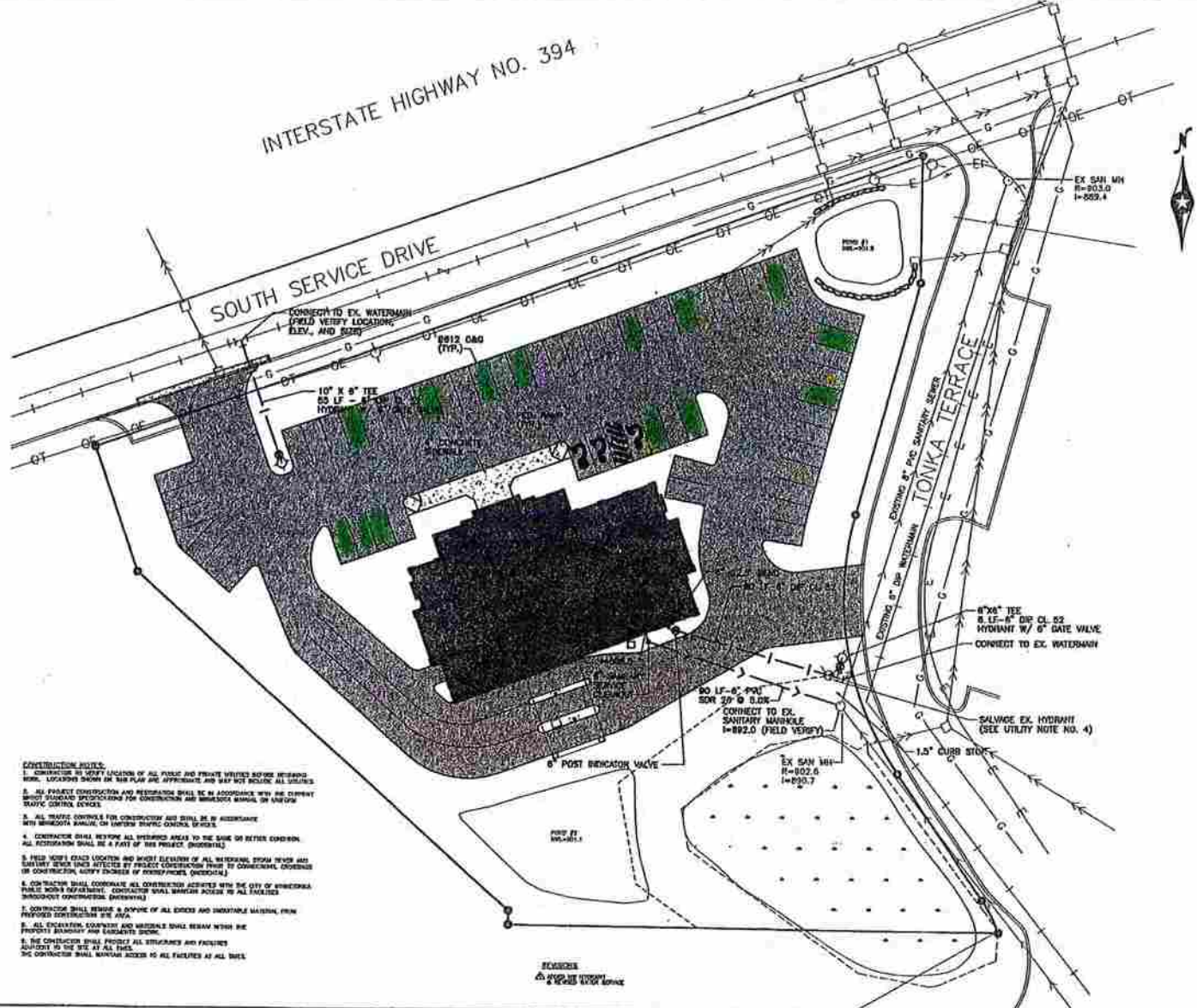
BOLTON & MENCK, INC
CONSULTING ENGINEERS & SURVEYORS
MINNEAPOLIS, MN ST. CLOUD, MN ST. PAUL, MN MILWAUKEE, WI CHICAGO, IL AUSTIN, TX SALT LAKE CITY, UT

NO.	DATE	DESCRIPTION
1	JUL 12 2024	ISSUED FOR PERMIT

VOYAGER BANK
384 & TONKA TERRACE
UTILITY PLAN

C2

Thursday 8:30AM
14 empty



LEGEND

○	ROUND IRON PIN
○	EXISTING
○	UTILITY POLE
○	WATER VALVE
○	EXISTING WATER MAIN
○	EXISTING SANITARY MANHOLE
○	NEW
○	EXISTING SEWER
○	SALEWAY SEWER
○	NEW MAIN
○	UNDERGROUND ELECTRIC LINES
○	UNDERGROUND TELEPHONE LINES
○	EXISTING MAIN
○	SECTION LINE
○	CURB
○	WELLS
○	PROPOSED ASPHALT SURFACE
○	PROPOSED GRAVEL SURFACE
○	PROPOSED PAVING
○	PROPOSED STONE BENCH
○	PROPOSED SANITARY BENCH
○	PROPOSED WATER MAIN
○	PROPOSED WATER SERVICE
○	PROPOSED WATER VALVE
○	PROPOSED HYDRANT
○	PROPOSED SILENT PROTECTION
○	PROPOSED 10" UTILITY
○	PROPOSED CURB
○	PROPOSED SPOT ELEV. (EXISTING)

- CONSTRUCTION NOTES:**
- CONTRACTOR TO VERIFY LOCATIONS OF ALL PUBLIC AND PRIVATE UTILITIES BEFORE BEGINNING WORK. LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY NOT REFLECT ALL UTILITIES.
 - ALL PROJECT CONSTRUCTION AND RESTORATION SHALL BE IN ACCORDANCE WITH THE CURRENT MOST RECENT SPECIFICATIONS FOR CONSTRUCTION AND RESTORATION MANUAL OR ANY OTHER STATUTE CONTROL DEVICES.
 - ALL PRIVATE CONTRACTS FOR CONSTRUCTION AND SHALL BE IN ACCORDANCE WITH MINNESOTA MANUAL OR ANY OTHER STATUTE CONTROL DEVICES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RESTORATION SHALL BE A PART OF THIS PROJECT (PROVIDENT).
 - FIELD VERIFY EXISTING LOCATIONS AND REPORT DEVIATIONS OF ALL UNDERGROUND UTILITY MAINS AND SANITARY SERVICE LINES AFFECTED BY PROJECT CONSTRUCTION PRIOR TO COMMENCING CONSTRUCTION (IF CONSTRUCTION, NOTIFY ENGINEER OF DEVIATIONS, (PROVIDENT).
 - CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE CITY OF MINNETONKA PUBLIC WORKS DEPARTMENT. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES THROUGHOUT CONSTRUCTION (PROVIDENT).
 - CONTRACTOR SHALL REMOVE & REMOVE OF ALL EXCESS AND UNDESIRABLE MATERIAL FROM PROPOSED CONSTRUCTION SITE AREA.
 - ALL EXCAVATION, CONCRETE AND MATERIALS SHALL BE REMOVED WITHIN THE PROPERTY BOUNDARY AND SCHEDULED WORK.
 - THE CONTRACTOR SHALL PROTECT ALL STRUCTURES AND FACILITIES ADJACENT TO THE SITE AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES AT ALL TIMES.

- UTILITY NOTES:**
- CONTRACTOR SHALL OBTAIN BUILDING UTILITY SERVICES UP TO 5 FEET FROM BUILDING. CONNECTION TO BUILDING SHALL BE DONE BY CONTRACTOR. UTILITY SERVICE EXISTING WITHIN BUILDINGS AND PLANNING SHALL BE PROVIDED TO CONSTRUCTION.
 - ALL P.O. SERVICE SHALL BE 18" DIA.
 - ALL WATERMAIN SHALL BE 18" DIA. WITH A MINIMUM 7.5' FOOT COVER OVER TOP OF PIPE. ALL SERVICE SERVICE SHALL BE 18" DIA. WITH A MINIMUM 7.5' FOOT COVER OVER TOP OF PIPE.
 - CONTRACTOR SHALL OBTAIN SCHEDULED SERVICE TO CITY OF MINNETONKA PUBLIC WORKS DEPARTMENT AT 1400 WASHINGTON BLVD.

EXCAVATION AND UTILITY INFORMATION WAS OBTAINED FROM A SURVEY PREPARED BY FARRINGTON CONSULTING.

ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF MINNETONKA RESOLUTIONS.

NOTE: THE LOCATION OF EXISTING UNDERGROUND UTILITIES THAT ARE SHOWN ARE SHOWN AS AN APPROXIMATION ONLY. IT IS NOT GUARANTEED THAT EXACTING THE EXACT LOCATION OF ALL UTILITIES SHOWN HEREON. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES BEFORE ANY AND ALL EXCAVATION WORK SHALL BE OBTAINED BY THE FAILURE TO SAFELY EXCAVATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES.



MINNETONKA, MN
307 N. WASHINGTON
DATE: 1-20-24

BEOLTON & MENK, INC
CONSULTING ENGINEERS & SURVEYORS
MINNETONKA, MN FARMVILLE, MN SLEEPY HOLLOW, MN WELLSVILLE, MN
CHURCHVILLE, MN CHURCHVILLE, MN WELLSVILLE, MN

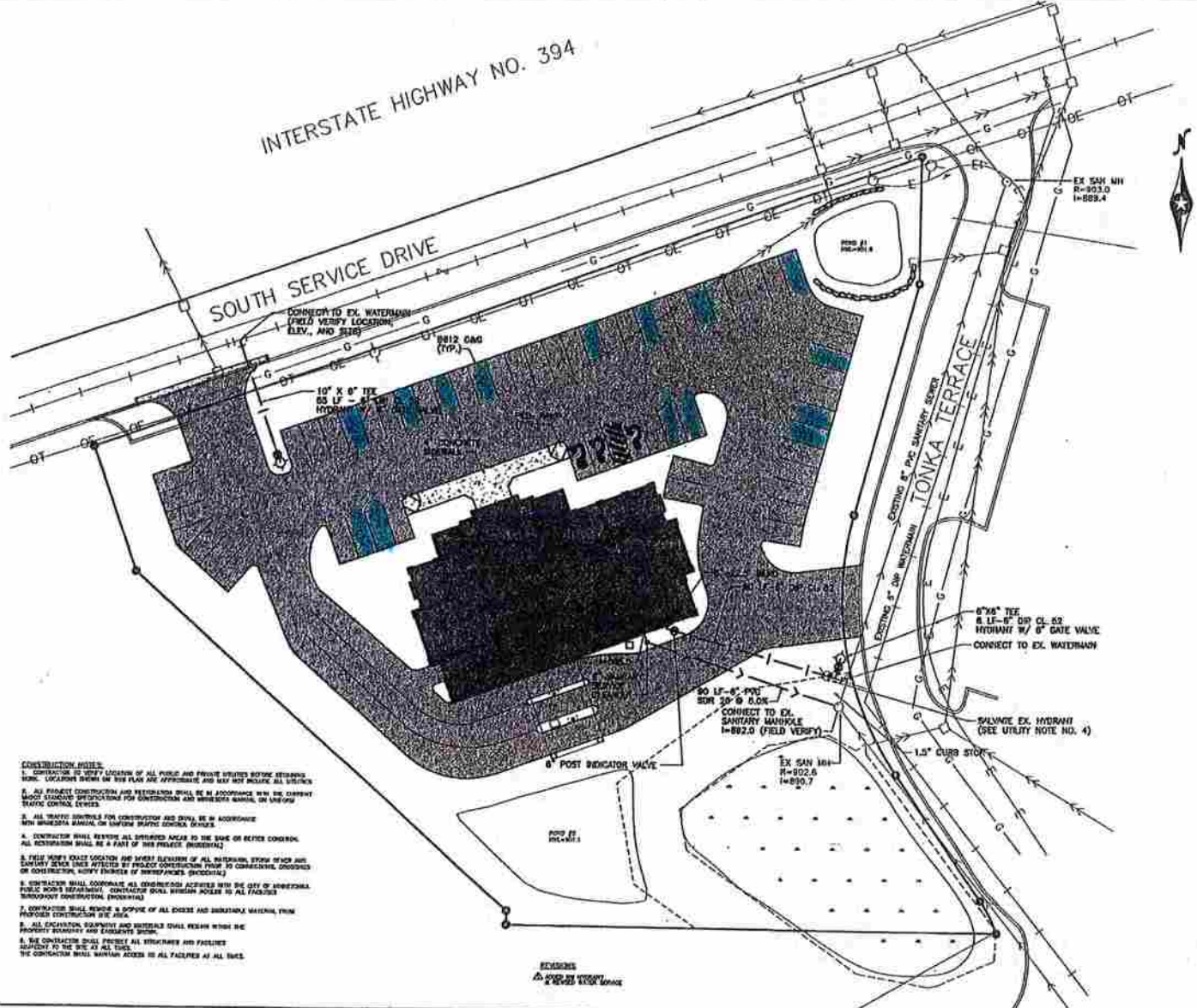
REV	BY	DATE
1	AM	8-20-24

VOYAGER BANK
304 & TONKA TERRACE
UTILITY PLAN

C2

REV. JUN. 14. 2024

Thursday 12PM
15 empty



LEGEND

○	FOUND R/W P&E
○	EXISTING
○	UTILITY PIPE
○	W/STAKE
○	DATE PILE
○	DOWN SLOPE MANHOLE
○	SHORTEST W/STAKE MANHOLE
○	W/STAKE
○	STORM SEWER
○	SANITARY SEWER
○	GAS MAIN
○	EXISTING ELECTRIC LINE
○	PROPOSED ELECTRIC LINE
○	EXISTING TELEPHONE LINE
○	PROPOSED TELEPHONE LINE
○	WATER MAIN
○	COVER LINE
○	CLUB
○	W/STAKE
○	PROPOSED DRIVEWAY SURFACE
○	PROPOSED SIDEWALK SURFACE
○	PROPOSED PAVING
○	PROPOSED STORM SEWER
○	PROPOSED SANITARY SEWER
○	PROPOSED WATER MAIN
○	PROPOSED WATER SERVICE
○	PROPOSED WATER TAP
○	PROPOSED HYDRANT
○	PROPOSED M&T PROTECTION
○	PROPOSED M&T FENCE
○	PROPOSED SIGNAGE
○	PROPOSED SIGN POST (OPTION)

UTILITY NOTES:

1. CONTRACTOR SHALL VERIFY BUILDING UTILITY SERVICES UP TO 5 FEET FROM BUILDING. CONNECTION TO BUILDING WILL BE DONE BY OWNER. VERIFY SERVICE LOCATION WITH NEIGHBOR AND PLUMBING PLANS PRIOR TO CONSTRUCTION.
2. ALL MANHOLES SHALL BE OF CLAY OR ENR 8 INSTEAD. 7.5 FEET COVER OVER TOP OF PIPE. ALL COVER SHOULD HAVE 12 IN. x 12 IN. x 12 IN. MANHOLE 7.5 FEET COVER OVER TOP OF PIPE.
3. ALL P&E SHOWN SHALL BE 20' DIA.
4. CONTRACTOR SHALL LOCATE SERVICE LINES TO CITY OF MINNESOTA PUBLIC WORKS BUREAU LOCATED IN 3044 WASHINGTON BLVD.

TOPOGRAPHIC AND UTILITY INFORMATION WAS OBTAINED FROM A SURVEY PREPARED BY PARSONS ENGINEERS.

ALL DIMENSIONS AND MARKINGS SHALL BE ACCORDANCE WITH THE CITY OF MINNESOTA REGULATIONS.

NOTE: THE LOCATION OF EXISTING UNDERGROUND UTILITIES THAT ARE SHOWN AND SHOWN BY AN OPERATOR'S FILE ONLY. IT IS NOT GUARANTEED THAT ANY OF THE UTILITIES SHOWN ARE CORRECT. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES AT ALL LOCATIONS BEFORE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES TO ANY UTILITIES OCCURRING BY ANY FAILURE TO CAREFULLY LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES.

CONSTRUCTION NOTES:

1. CONTRACTOR TO VERIFY LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES BEFORE BEGINNING WORK. LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND EXIST BUT DO NOT GUARANTEE ALL UTILITIES.
2. ALL PROJECT CONSTRUCTION AND RESTORATION SHALL BE IN ACCORDANCE WITH THE CURRENT MOST RECENT SPECIFICATIONS FOR CONSTRUCTION AND RESTORATION MANUAL, OR LATEST EDITION CONTROL DEVICES.
3. ALL TRAFFIC CONTROL FOR CONSTRUCTION AND DRIVE, AS IN ACCORDANCE WITH MINNESOTA MANUAL, OR LATEST EDITION CONTROL DEVICES.
4. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO THE SAME OR BETTER CONDITION. ALL RESTORATION SHALL BE A PART OF THIS PROJECT (BIDDENTIAL).
5. FIELD VERIFY EXISTING LOCATION AND DEPTH OF ALL UTILITIES, STORM SEWER AND SANITARY SEWER. LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE. LOCATIONS OF UTILITIES, HURRY ENGINEER'S RESPONSIBILITY (BIDDENTIAL).
6. CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION ACCESS TO THE CITY OF MINNESOTA PUBLIC WORKS BUREAU. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES THROUGHOUT CONSTRUCTION (BIDDENTIAL).
7. CONTRACTOR SHALL REMOVE A DOUBLE OF ALL EXCESS AND SURPLUSABLE MATERIAL FROM PROPOSED CONSTRUCTION SITE AREA.
8. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL REMAIN WITHIN THE PROPERTY BOUNDARY AND EXISTING DRIVE.
9. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES AND FACILITIES ADJACENT TO THE SITE AT ALL TIMES.
10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES AT ALL TIMES.

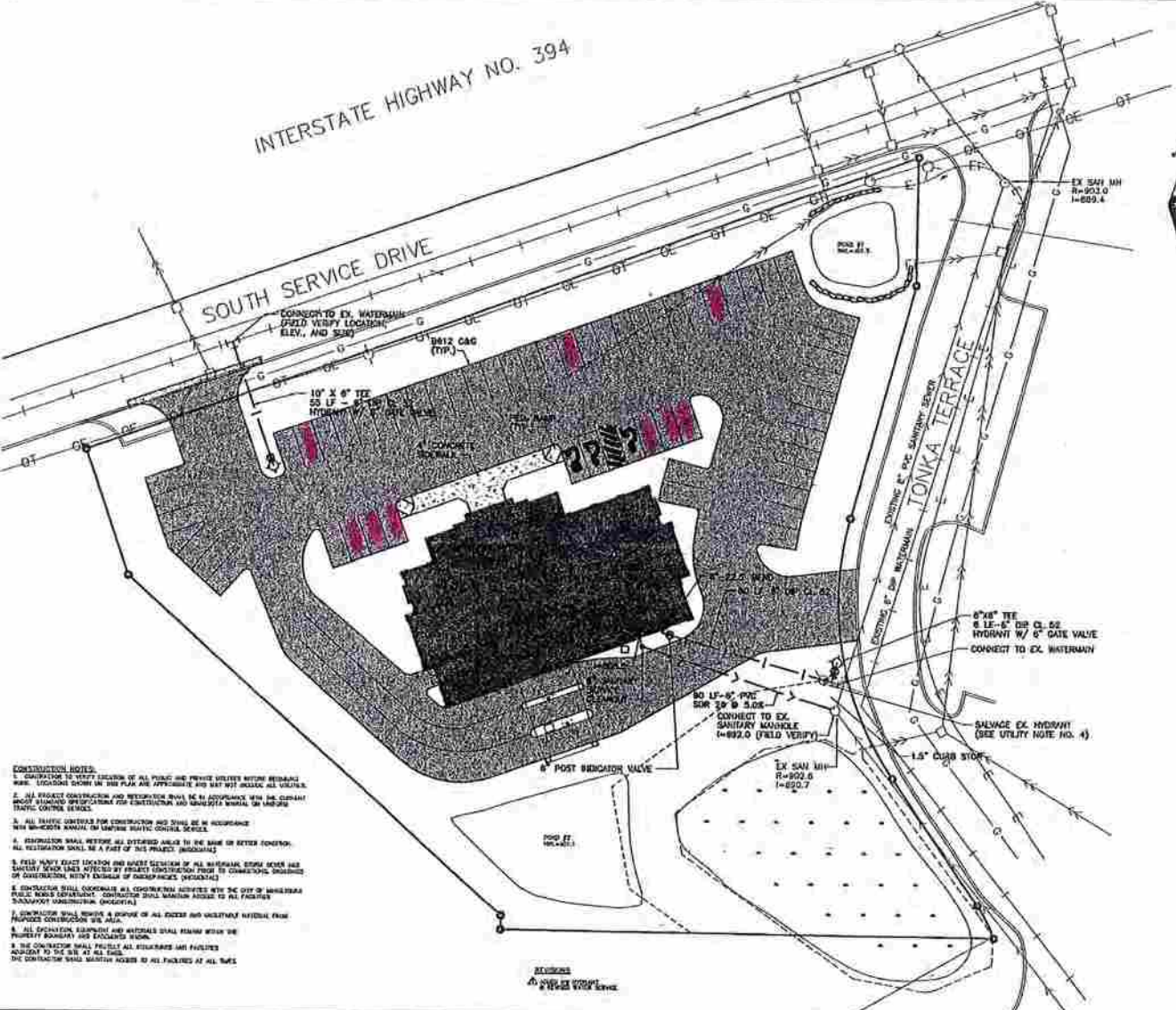
	1. GENERAL NOTES: SEE ALL NOTES ON DRAWING. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES BEFORE BEGINNING WORK. LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND EXIST BUT DO NOT GUARANTEE ALL UTILITIES.	2. ALL PROJECT CONSTRUCTION AND RESTORATION SHALL BE IN ACCORDANCE WITH THE CURRENT MOST RECENT SPECIFICATIONS FOR CONSTRUCTION AND RESTORATION MANUAL, OR LATEST EDITION CONTROL DEVICES.	3. ALL TRAFFIC CONTROL FOR CONSTRUCTION AND DRIVE, AS IN ACCORDANCE WITH MINNESOTA MANUAL, OR LATEST EDITION CONTROL DEVICES.	4. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO THE SAME OR BETTER CONDITION. ALL RESTORATION SHALL BE A PART OF THIS PROJECT (BIDDENTIAL).	5. FIELD VERIFY EXISTING LOCATION AND DEPTH OF ALL UTILITIES, STORM SEWER AND SANITARY SEWER. LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE. LOCATIONS OF UTILITIES, HURRY ENGINEER'S RESPONSIBILITY (BIDDENTIAL).	6. CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION ACCESS TO THE CITY OF MINNESOTA PUBLIC WORKS BUREAU. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES THROUGHOUT CONSTRUCTION (BIDDENTIAL).	7. CONTRACTOR SHALL REMOVE A DOUBLE OF ALL EXCESS AND SURPLUSABLE MATERIAL FROM PROPOSED CONSTRUCTION SITE AREA.	8. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL REMAIN WITHIN THE PROPERTY BOUNDARY AND EXISTING DRIVE.	9. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES AND FACILITIES ADJACENT TO THE SITE AT ALL TIMES.	10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES AT ALL TIMES.
	11. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES BEFORE BEGINNING WORK. LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND EXIST BUT DO NOT GUARANTEE ALL UTILITIES.	12. ALL PROJECT CONSTRUCTION AND RESTORATION SHALL BE IN ACCORDANCE WITH THE CURRENT MOST RECENT SPECIFICATIONS FOR CONSTRUCTION AND RESTORATION MANUAL, OR LATEST EDITION CONTROL DEVICES.	13. ALL TRAFFIC CONTROL FOR CONSTRUCTION AND DRIVE, AS IN ACCORDANCE WITH MINNESOTA MANUAL, OR LATEST EDITION CONTROL DEVICES.	14. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO THE SAME OR BETTER CONDITION. ALL RESTORATION SHALL BE A PART OF THIS PROJECT (BIDDENTIAL).	15. FIELD VERIFY EXISTING LOCATION AND DEPTH OF ALL UTILITIES, STORM SEWER AND SANITARY SEWER. LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE. LOCATIONS OF UTILITIES, HURRY ENGINEER'S RESPONSIBILITY (BIDDENTIAL).	16. CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION ACCESS TO THE CITY OF MINNESOTA PUBLIC WORKS BUREAU. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES THROUGHOUT CONSTRUCTION (BIDDENTIAL).	17. CONTRACTOR SHALL REMOVE A DOUBLE OF ALL EXCESS AND SURPLUSABLE MATERIAL FROM PROPOSED CONSTRUCTION SITE AREA.	18. ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL REMAIN WITHIN THE PROPERTY BOUNDARY AND EXISTING DRIVE.	19. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES AND FACILITIES ADJACENT TO THE SITE AT ALL TIMES.	20. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES AT ALL TIMES.

BOLTON & MENK, INC
CONSULTING ENGINEERS & SURVEYORS
MINNETONKA, MN FARGO, ND BEYERLY, MN WILSON, MN
BROOKVILLE, MN DUMK, MN WELLS, MN

NO.	BY	DATE
1	AM	12-20-20
VOYAGER BANK 304 & TONKA TERRACE UTILITY PLAN		

C2

Thursday 4pm
9 empty

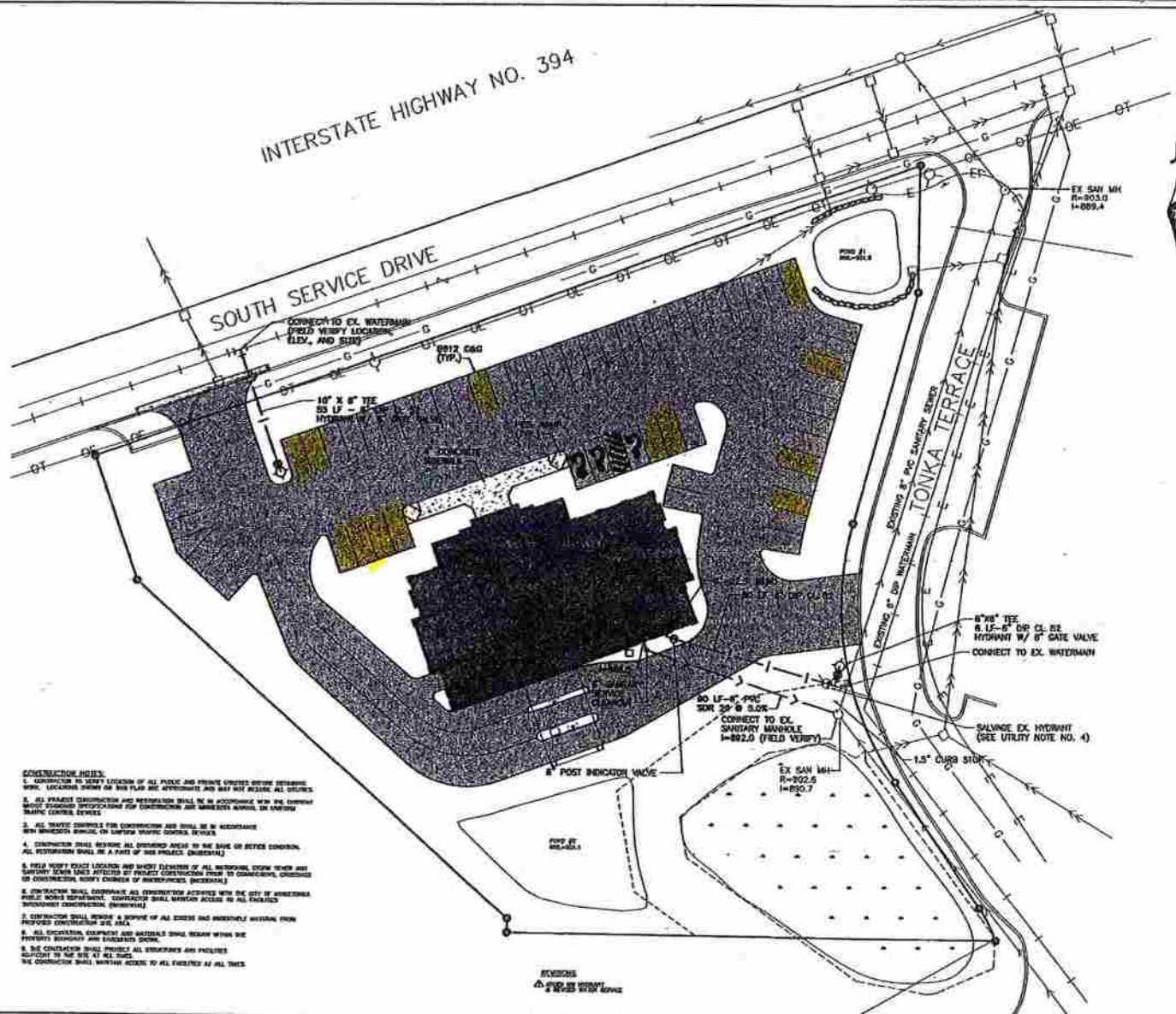


LEGEND

- 8" DIA. RISE
- 6" DIA. RISE
- 4" DIA. RISE
- 3" DIA. RISE
- 2" DIA. RISE
- 1" DIA. RISE
- 0.5" DIA. RISE
- 0.25" DIA. RISE
- 0.125" DIA. RISE
- 0.0625" DIA. RISE
- 0.03125" DIA. RISE
- 0.015625" DIA. RISE
- 0.0078125" DIA. RISE
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Friday 8:30 AM

13 empty



CONSTRUCTION NOTES:

1. CONTRACTOR TO VERIFY LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES BEFORE BEGINNING WORK. LOCATION SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY NOT INDICATE ALL UTILITIES.
2. ALL PRIVATE UTILITIES AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION AND MICHIGAN STATE UNIVERSITY TRAFFIC CONTROL DEVICE.
3. ALL TRAFFIC CONTROL FOR CONSTRUCTION AND SHALL BE IN ACCORDANCE WITH MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
4. CONTRACTOR SHALL MAINTAIN ALL EXISTING AREAS TO THE MAXIMUM EXTENT POSSIBLE. ALL RESTORATION SHALL BE A PART OF THIS PROJECT (CONTRACTOR).
5. FIELD VERIFY EXACT LOCATION AND HOLEY DIAMETER OF ALL UTILITIES BEFORE ANY EXISTING EXCAVATION WORK IS AFFECTED BY PROJECT CONSTRUCTION (FIELD VERIFY) IN CONSTRUCTION, ORIGINATOR OR CONTRACTOR, BIDDY CHIEF OF INTERFERENCE (NECESSARY).
6. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE CITY OF WARRENDALE PUBLIC WORKS DEPARTMENT. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING NEIGHBORHOOD CONNECTIONS (NECESSARY).
7. CONTRACTOR SHALL REMOVE & REPLACE ALL EXISTING AND NEIGHBORLY MATERIAL FROM PROPOSED CONSTRUCTION SITE AREA.
8. ALL EXISTING UTILITIES AND MATERIALS SHALL REMAIN WITHIN THE PROPERTY BOUNDARY AND EXISTING DEPTH.
9. THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND FACILITIES ADJACENT TO THE SITE AT ALL TIMES.
10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES.

UTILITY NOTES:

1. CONTRACTOR SHALL VERIFY ALL UTILITIES BEFORE ANY EXCAVATION WORK. ALL UTILITIES SHALL BE 2 TO 3 FEET FROM BUILDING. CONTRACTOR TO VERIFY THE DEPTH OF UTILITIES. VERIFY SERVICE LOCATIONS WITH NETWORKS, AND PLUMBING PLANS PRIOR TO CONSTRUCTION.
2. ALL PVE UTILITY DEPTH SHALL BE 24" MIN.
3. ALL UTILITY SHALL BE 18" DEPTH AS WITH A MINIMUM 22" DEPTH COVER OVER TOP OF PIPE. ALL UTILITY SERVICE PIPE SHALL BE 18" X 18" WITH A MINIMUM 12" FOOT COVER OVER TOP OF PIPE.
4. CONTRACTOR SHALL OBTAIN SAVED FROM THE CITY OF WARRENDALE PUBLIC WORKS DEPARTMENT AT 14000 WARRENDALE BLVD.

TOPOGRAPHY AND UTILITY INFORMATION WAS OBTAINED FROM A SURVEY PROVIDED BY PARAGON ENGINEERING.

ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF WARRENDALE SPECIFICATIONS.

NOTE: THE LOCATION OF EXISTING UTILITIES ARE SHOWN AND SHOWN IN AN APPROXIMATE MANNER. IT IS NOT GUARANTEED THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MAY OCCUR DURING THE CONSTRUCTION OF THIS PROJECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MAY OCCUR DURING THE CONSTRUCTION OF THIS PROJECT.



DATE: 12-15-24
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]

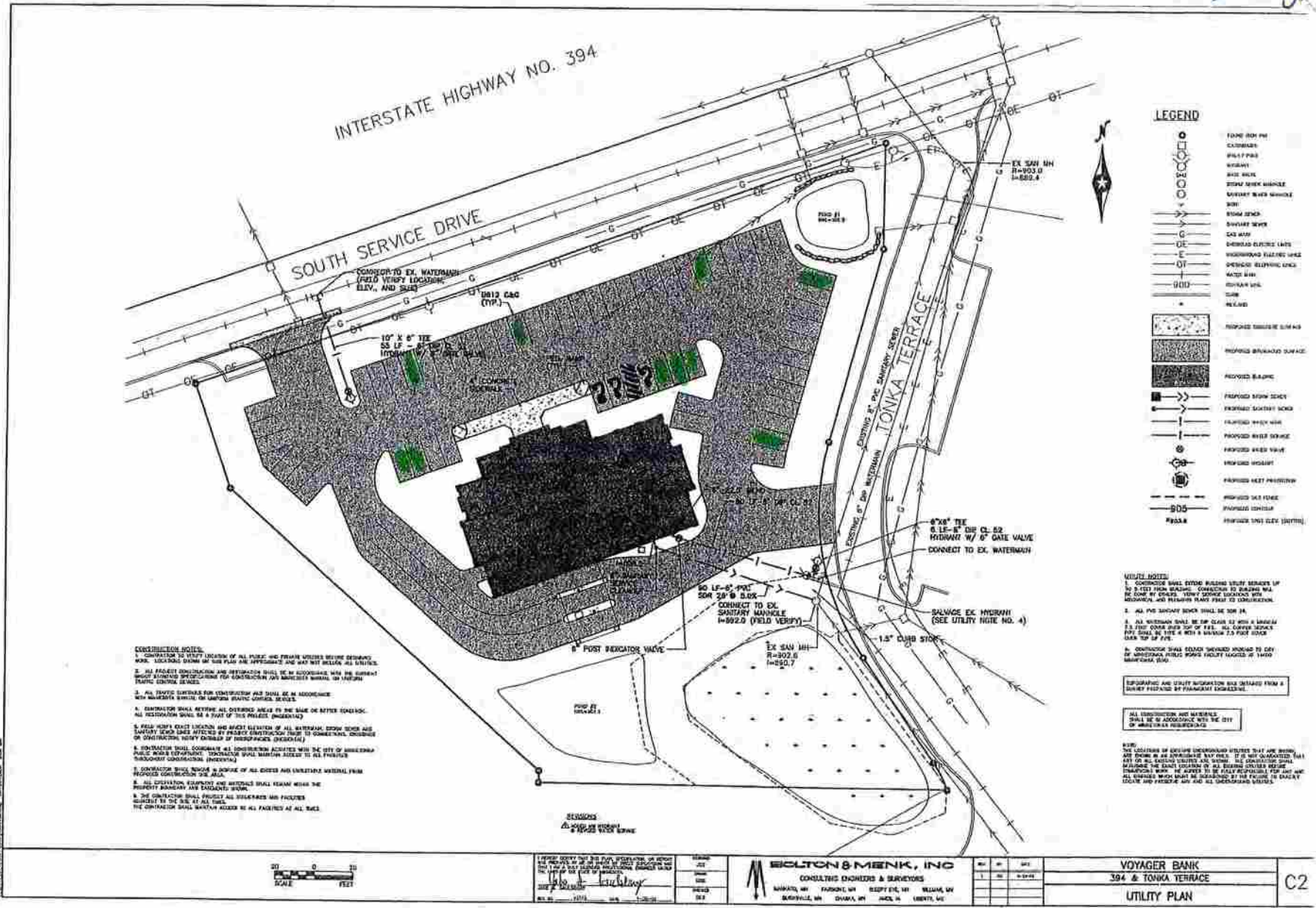
BOLTON & MENK, INC.
 CONSULTING ENGINEERS & SURVEYORS
 1000 W. FARMING, MI 48106
 1000 W. FARMING, MI 48106
 1000 W. FARMING, MI 48106

NO.	REV.	DATE	DESCRIPTION
1	01	12-15-24	ISSUED FOR PERMIT

VOYAGER BANK
 394 & TONKA TERRACE
 UTILITY PLAN

C2

Friday 12PM
10 empty



LEGEND

[Symbol]	FORM FOR THE
[Symbol]	CUTBERS
[Symbol]	WALK PITS
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GENERAL NOTES:

- CONTRACTOR SHALL VERIFY BUILDING UTILITY SERVICES UP TO 8 FEET FROM FINISH. CONNECTION TO BUILDING SHALL BE DONE BY CONTRACTOR. VERIFY SERVICE LOCATIONS WITH RECORDS AND PLEASE FILE PLANS FIRST TO CONSTRUCTION.
- ALL THE SHOWN POINT SHALL BE 50' DIA.
- ALL MANHOLES SHALL BE 50' DIA. TO 30" X 18" DIA. WITH 2.5' DIA. OVER SIZE OF 2.5". ALL COVER SHALL BE 24" DIA. IN TYP. & WITH A MINIMUM 2.5' DIA. OVER SIZE UP TO 2.5'.
- CONTRACTOR SHALL VERIFY SERVICES PROVIDED TO CITY OR MUNICIPAL PUBLIC WORKS AGENCY LOCATED IN 100' BUFFER ZONE.

TOPOGRAPHIC AND UTILITY INFORMATION SHALL OBTAINED FROM A SURVEY PROVIDED BY CONTRACTOR'S ENGINEER.

ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS REQUIREMENTS.

NOTE:
THE LOCATION OF EXISTING UNDERGROUND UTILITIES THAT ARE SHOWN AND FOUND IN AS SHOWN ON THIS PLAN IS AS SHOWN ON THIS PLAN. ANY CHANGES TO THE LOCATION OF EXISTING UTILITIES SHALL BE MADE BY THE CONTRACTOR BEFORE THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES BEFORE THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES BEFORE THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES BEFORE THE START OF CONSTRUCTION.

CONSTRUCTION NOTES:

- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES AND FIELD VERIFY SERVICE RECORDS. LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY NOT BE EXACT. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS REQUIREMENTS. VERIFY SERVICE LOCATIONS WITH RECORDS AND PLEASE FILE PLANS FIRST TO CONSTRUCTION.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS REQUIREMENTS. VERIFY SERVICE LOCATIONS WITH RECORDS AND PLEASE FILE PLANS FIRST TO CONSTRUCTION.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS REQUIREMENTS. VERIFY SERVICE LOCATIONS WITH RECORDS AND PLEASE FILE PLANS FIRST TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL UTILITIES AND SERVICES TO BE SHOWN ON THIS PLAN. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS REQUIREMENTS. VERIFY SERVICE LOCATIONS WITH RECORDS AND PLEASE FILE PLANS FIRST TO CONSTRUCTION.
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- CONTRACTOR SHALL VERIFY ALL UTILITIES AND SERVICES TO BE SHOWN ON THIS PLAN. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS REQUIREMENTS. VERIFY SERVICE LOCATIONS WITH RECORDS AND PLEASE FILE PLANS FIRST TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL UTILITIES AND SERVICES TO BE SHOWN ON THIS PLAN. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS REQUIREMENTS. VERIFY SERVICE LOCATIONS WITH RECORDS AND PLEASE FILE PLANS FIRST TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL UTILITIES AND SERVICES TO BE SHOWN ON THIS PLAN. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS REQUIREMENTS. VERIFY SERVICE LOCATIONS WITH RECORDS AND PLEASE FILE PLANS FIRST TO CONSTRUCTION.



EXISTING SANITARY SEWER
PROPOSED SANITARY SEWER
PROPOSED WATER MAIN
PROPOSED STORM SEWER
PROPOSED GATE VALVE
PROPOSED HYDRANT
PROPOSED CONTROL
PROPOSED TONGUE (SHOWN)

DATE: 12/15/21
BY: [Signature]

BOLTON & MENK, INC.
CONSULTING ENGINEERS & SURVEYORS
MINNEAPOLIS, MN 55401
DESIGN: [Signature]
DATE: 12/15/21

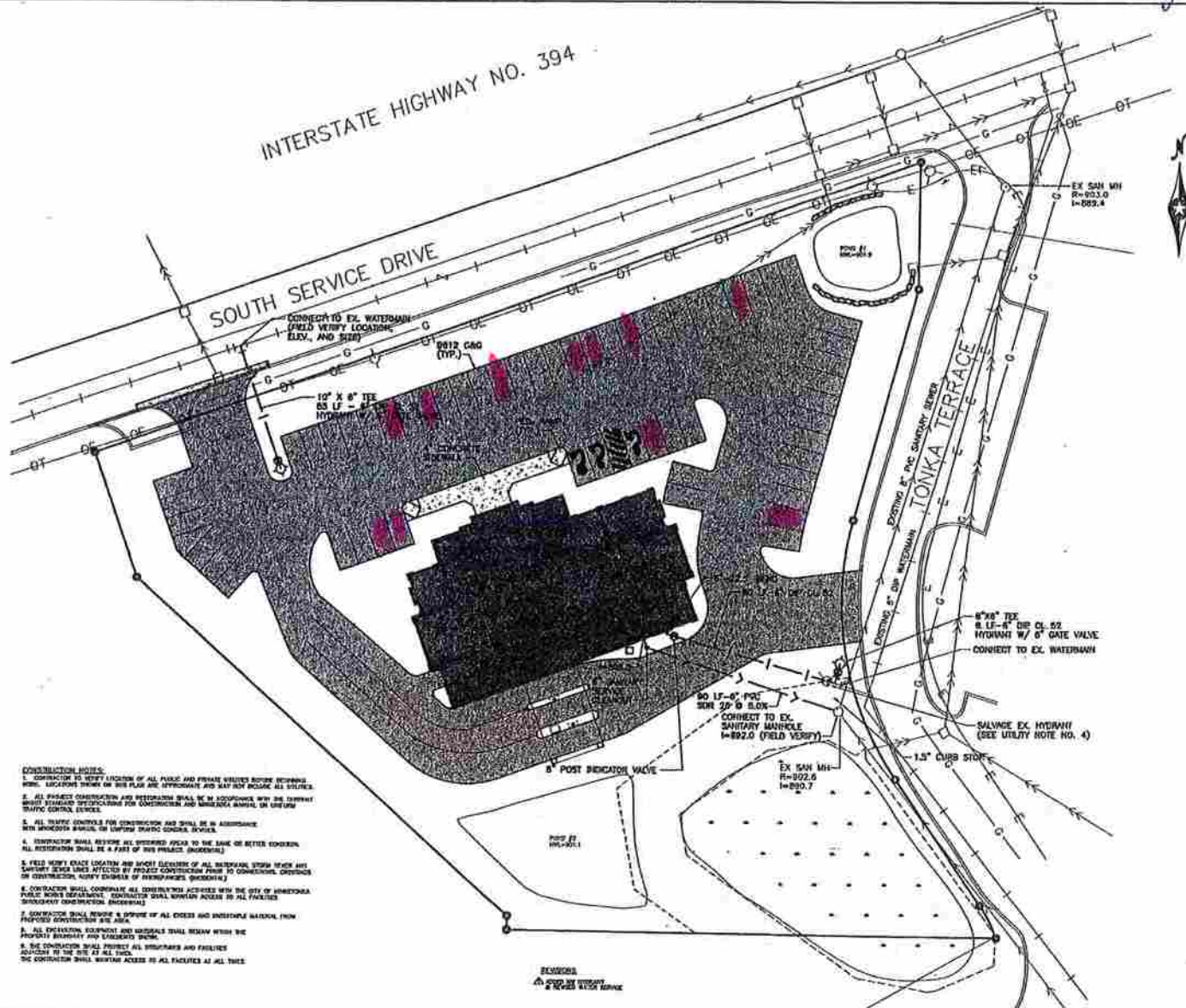
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VOYAGER BANK 394 & TONKA TERRACE			C2
UTILITY PLAN			

Friday 4PM
11 empty

INTERSTATE HIGHWAY NO. 394

SOUTH SERVICE DRIVE

TONKA TERRACE



LEGEND

○	FOUND IRON PIP
○	CONCRETE
○	UTILITY POLE
○	UTILITY
○	SLIT PIPE
○	STONE SEWER MANHOLE
○	BRICKWAY SEWER MANHOLE
○	SM
○	STORM SEWER
○	SEWER SINK
○	6" GAS MAIN
○	OVERHEAD ELECTRIC LINES
○	UNDERGROUND ELECTRIC LINES
○	OVERHEAD TELEPHONE LINES
○	WATER MAIN
○	COUPLED LINE
○	PIPE
○	WELDED
○	PROPOSED CONCRETE SURFACE
○	PROPOSED GRANITE SURFACE
○	PROPOSED GRASS
○	PROPOSED STONE WALK
○	PROPOSED SANITARY TRENCH
○	PROPOSED WATER MAIN
○	PROPOSED WATER SERVICE
○	PROPOSED WATER VALVE
○	PROPOSED WASTEWATER
○	PROPOSED WLET PROTECTION
○	PROPOSED WLET FRAME
○	PROPOSED MANHOLE
○	PROPOSED SPOT FILL (GRAVEL)

- CONSTRUCTION NOTES:**
- CONTRACTOR TO VERIFY LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES BEFORE BEGINNING WORK. LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY NOT BE EXACT. ALL UTILITIES MUST BE MARKED AND DEPTH RECORDED FOR CONSTRUCTION AND MAINTENANCE PURPOSES. USE UTILITY TRAFFIC CONTROL DEVICES.
 - ALL PROJECT CONSTRUCTION AND RESTORATION SHALL BE IN ACCORDANCE WITH THE CURRENT MISSOURI STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE MANUAL OR UTILITY TRAFFIC CONTROL DEVICES.
 - ALL TRAFFIC CONTROLS FOR CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT MISSOURI STANDARD SPECIFICATIONS.
 - RESTORATION SHALL BE TO ORIGINAL OR BETTER CONDITION. ALL RESTORATION SHALL BE A PART OF THIS PROJECT (AGREEMENT).
 - FIELD VERIFY EXISTING LOCATIONS AND DEPTHS OF ALL UNDERGROUND STORM SEWER AND SANITARY SEWER LINES ATTACHED BY PRIVATE CONSTRUCTION PRIOR TO COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES (CHECKING).
 - CONTRACTOR SHALL COMPLY AS CONSTRUCTION ACTIVITIES WITH THE CITY OF AMBURNIA PUBLIC WORKS DEPARTMENT. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES (STREETWAY CONSTRUCTION (AGREEMENT)).
 - CONTRACTOR SHALL REMOVE & REPAIR IF ALL EXCESS AND UNDESIRABLE MATERIAL FROM PROPOSED CONSTRUCTION SITE AREA.
 - ALL OPERATING EQUIPMENT AND MATERIALS SHALL REMAIN WITHIN THE PROPERTY BOUNDARY AND EXISTING DRIVE.
 - THE CONTRACTOR SHALL PROTECT ALL STRUCTURES AND FACILITIES ADJACENT TO THE SITE AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES AT ALL TIMES.

- UTILITY NOTES:**
- CONTRACTOR SHALL EXTEND BUILDING UTILITY SERVICES UP TO 5 FEET FROM BUILDING. CONNECTION TO BUILDING SHALL BE DONE BY OTHERS. UTILITY SERVICE CONNECTIONS WITH MANHOLES AND PLUMBING SHALL BE DONE BY CONTRACTOR.
 - ALL PVC SANITARY SEWERS SHALL BE 12" DIA.
 - ALL PIPELINES SHALL BE 12" DIA. 12" WITH A MINIMUM 12" DIA. COVER OVER TOP OF PIPE. ALL UTILITY SERVICE PIPE SHALL BE 12" DIA. WITH A MINIMUM 12" DIA. COVER OVER TOP OF PIPE.
 - CONTRACTOR SHALL OBTAIN LICENSED APPROVAL TO CITY OF AMBURNIA PUBLIC WORKS DEPARTMENT (SEE UTILITY NOTE NO. 4).
- TOPOGRAPHIC AND EXISTING INFORMATION WAS OBTAINED FROM A SURVEY PROVIDED BY PARAGON ENGINEERING.
- ALL CONSTRUCTION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE CITY OF AMBURNIA SPECIFICATIONS.

NOTE: THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHALL BE APPROXIMATE AND SHOWN AS AN APPROXIMATE ONLY ONLY. IT IS NOT GUARANTEED THAT ANY OR ALL EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY HIS FAILURE TO EXERCISE DUE CARE AND PRECAUTION AND ALL UNDERGROUND UTILITIES.



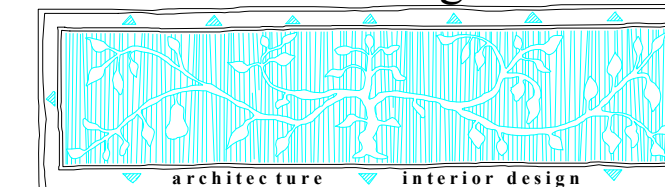
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BY: J. S. SULLIVAN

BOLTON & MENK, INC
CONSULTING ENGINEERS & SURVEYORS
1000 W. 11TH ST. SUITE 100
MARIETTA, MO 64467

REV	BY	DATE
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VOYAGER BANK
394 & TONKA TERRACE
UTILITY PLAN

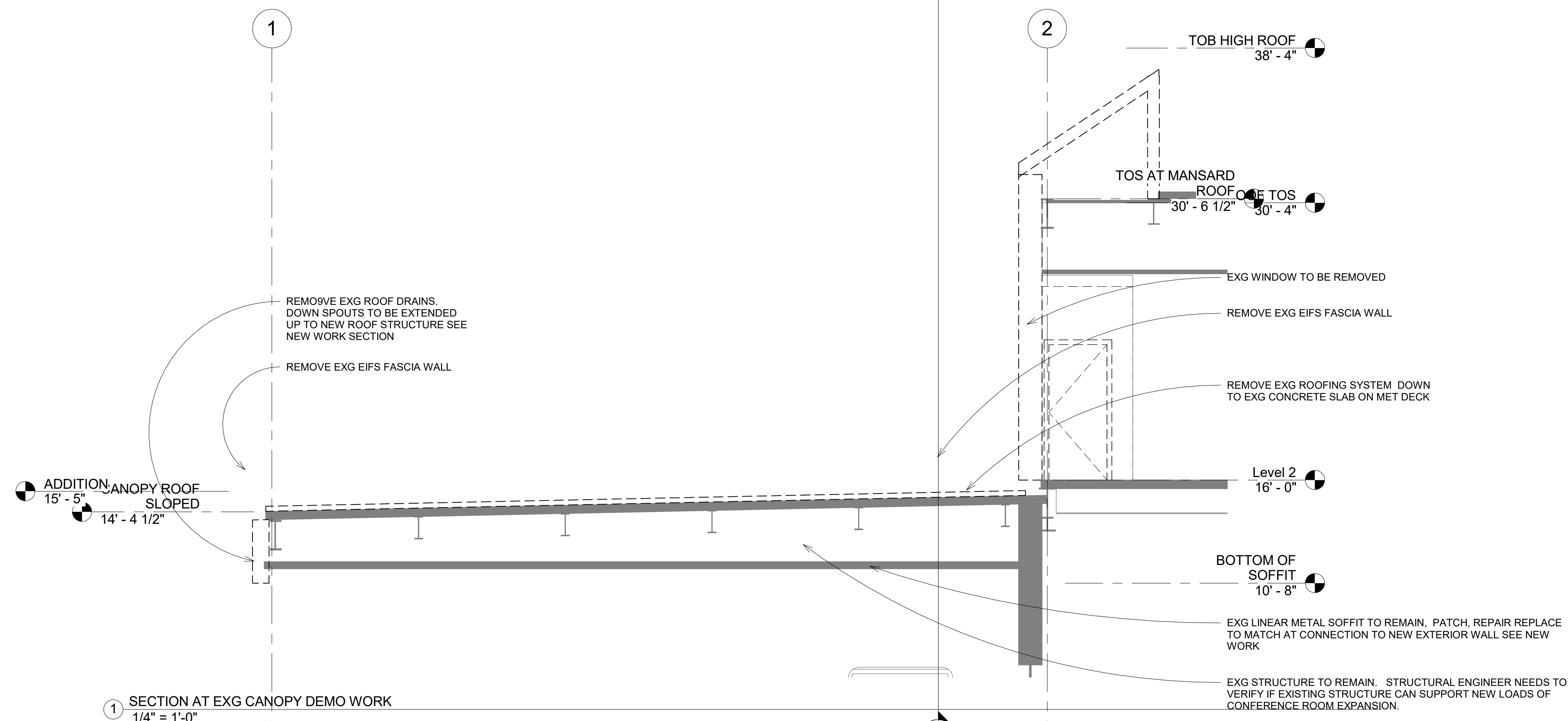
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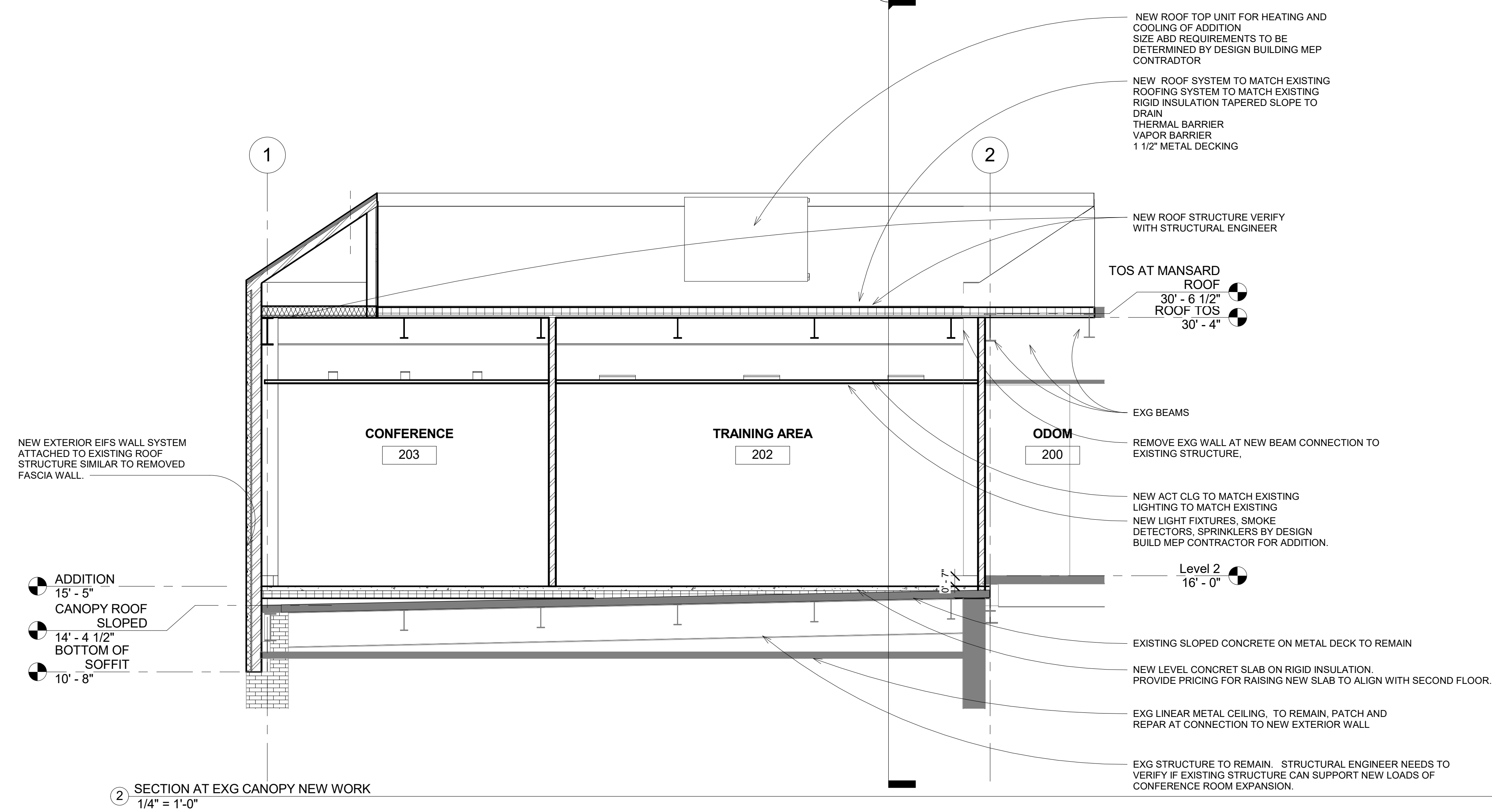
MILL CITY BUILDING

PRELIMINARY
NOT FOR
CONSTRUCTION

Revision Schedule		
Number	Revision Date	Description



1 SECTION AT EXG CANOPY DEMO WORK
1/4" = 1'-0"



2 SECTION AT EXG CANOPY NEW WORK
1/4" = 1'-0"

City Submittal

10653 Wayzata Blvd
Minnetonka, MN 55305

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA

DATE: _____ REG. NO. 16368

SIGNED _____

SECTIONS

COMM. NO. 2018-01

DATE 5/11/2018

DRAWN BY JVD

CHECKED BY JVD

A103

SHEET NUMBER

Resolution No. 2018-

Resolution approving a conditional use permit, with parking variance for a medical clinic at 10653 Wayzata Blvd.

Be it resolved by the City Council of the City of Minnetonka, Minnesota, as follows:

Section 1. Background.

- 1.01 The property is located at 10653 Wayzata Blvd. It is legally described as:
Lot 1, Block 2, Colonial Oaks, Hennepin County, Minnesota
- 1.02 Shawn Dahl of BTR Voyager, LLC is proposing to expand an existing medical clinic (Odom Health and Wellness) on the second floor of the building on the site. The proposed addition would be over the existing bank drive thru.
- 1.03 There is currently an approved conditional use permit for this medical clinic. However, this proposal would expand the medical clinic from 3,800 square feet to 4,885 square feet in size. This expansion requires an amendment of the existing conditional use permit.
- 1.04 The subject site currently has 58 parking spaces. However, by ordinance, the site requires 68 parking spaces, but a ten space, proof-of-parking was provided with the previous approval. The proposed request would require an additional six parking spaces on the site, creating a total requirement of 72 parking spaces. This requires a parking variance.
- 1.05 City Code §300.31 Subd. 4(b)(2)(d) allows hospitals and medical clinics on property designated for office, retail or service commercial uses within the Planned I-394 District (PID).
- 1.06 Minnesota Statute §462.357 Subd. 6, and City Code §300.07 authorizes the city to grant variances.
- 1.07 On June 28, 2018, the planning commission held a hearing on the proposal. The applicant was provided the opportunity to present information to the planning commission. The planning commission considered all of the comments received and the staff report, which are incorporated by reference into this resolution. The

commission recommended that the city council approve the permit.

Section 2. Standards.

2.01 City Code §300.21 Subd. 2 lists the following general standards that must be met for granting a conditional use permit:

1. The use is consistent with the intent of the ordinance;
2. The use is consistent with the goals, policies and objectives of the comprehensive plan;
3. The use does not have an undue adverse impact on governmental facilities, utilities, services or existing or proposed improvements;
4. The use is consistent with the city's water resources management plan;
5. The use is in compliance with the performance standards specified in §300.28 of the ordinance; and
6. The use does not have an undue adverse impact on the public health, safety or welfare.

2.02 City Code §300.31 Subd. 4(b)(2)(d) lists the following specific standards that must be met for granting a conditional use permit for hospitals and medical clinics uses:

1. Shall not be adjacent to low density residential areas;
2. Shall have direct access from the site to a collector or arterial street as defined in the comprehensive plan;
3. Shall not have emergency vehicle access adjacent to or located across a street from any residential use; and
4. May be required to submit a detailed parking analysis for uses exceeding 10,000 square feet. Additional parking may be required based on this analysis.

2.03 By City Code §300.07 Subd. 1, a variance may be granted from the requirements of the zoning ordinance when: (1) the variance is in harmony with the general purposes and intent of this ordinance; (2) when the variance is consistent with the comprehensive plan; and (3) when the applicant establishes that there are practical difficulties in complying with the ordinance. Practical difficulties means: (1) The proposed use is reasonable; (2) the need for a variance is caused by circumstances unique to the property, not created by the property owner, and not solely based on economic considerations; and (3) the proposed use would not alter the essential character of the surrounding area.

Section 3. Findings**3.01 General CUP Findings: The proposal meets the general conditional use permit standards.**

1. Medical clinics are a conditionally permitted use within the Planned I-394 District (PID). As proposed, the addition would meet all ordinance requirements, with the exception of parking.
2. The use is consistent with the goals, policies and objectives of the comprehensive plan. The subject site is guided for office use. Medical clinic uses are consistent with the uses within this land use category.
3. The proposal has been reviewed by the city's building, engineering, planning, natural resource, and fire staff. It is not anticipated to have an undue adverse impact on governmental facilities, utilities, services or existing or proposed improvements.
4. The use is consistent with the city's water resources management plan. The proposed addition would be located over an existing overhang with impervious surface below and would not create additional stormwater runoff.
5. The proposal is for a small addition within the footprint of an existing building. With the exception of the parking variance to allow a reduction of parking, the proposal would meet the standards outlined.
6. The use is not anticipated to have an undue adverse impact on the public health, safety or welfare.

3.02 Specific CUP Findings: The proposal meets the conditional use permit standards.

1. All of the surrounding land uses are office and medical uses, and all of the surrounding properties are guided for office use in the comprehensive plan. The site is not adjacent to any low-density residential properties.
2. The site has direct access from Wayzata Blvd, which is defined as an arterial street in the comprehensive plan.
3. The proposed medical use is a sports medicine and health clinic. It is not anticipated that the use would require emergency vehicle access. Additionally, the site access locations are not located adjacent to or across the street from any residential use properties.
4. The proposed clinic would be expanded to 4,885 square feet in size, a 1,060 square foot expansion from the previously approved clinic area. The applicant completed a parking utilization study covering a two-week period, Monday through Friday, in April and May 2018. The observation noted that over the two-week period there was an average of 13.3 parking

spaces available in the 58-stall parking lot, or 23 percent. Per city ordinance, the expansion of the medical clinic would require the site to have 74 parking spaces. Staff finds that there is adequate parking available to meet the increased parking need that would result from the expanded medical clinic.

Staff previously created a proof-of-parking plan with the 2017 conditional use permit approval indicating how ten additional parking stalls, resulting in the required 68 stalls, could be constructed if needed in the future. Per the conditions of approval, these stalls would need to be installed if there is an observed parking issue in the future.

3.03 Variance Standards: The proposal meets the variance standards, as:

1. Intent of the Ordinance. The proposal, and resulting variance request, would be in keeping with the city's zoning ordinance. The intent of the ordinance, as it pertains to parking requirements, is to ensure adequate parking is provided to meet the anticipated parking demand of the subject site. A parking utilization study completed over two weeks in April and May 2018. This study found that, on average, there were 13 parking spaces (23 percent) available on site. With this consideration, the proposed reduction in parking spaces would meet the intent of the ordinance. Based on the parking utilization study, the proposed use would demand less parking than required by ordinance.
2. Comprehensive Plan. The proposal would be consistent with the city's comprehensive plan. The subject property is guided for office use. A medical clinic is a conditionally permitted use within this land use designation.
3. Practical Difficulties. There are practical difficulties in complying with the ordinance.
 - a) Reasonableness: The request is reasonable. Based on the Institute of Transportation Engineers (ITE) Parking Generation manual, the office and clinic building uses would require an average peak period parking demand of 54 parking spaces. This is less parking than is currently on site.
 - b) Circumstance Unique to the Property: The applicant submitted parking utilization information for a two-week period in April and May 2018. The observation noted that, on average, there were 13 parking spaces available in the 58-stall parking lot.
 - c) Neighborhood Character: The parking variance would not adversely affect the character of the surrounding neighborhood as the site should meet the anticipated peak parking demand on site.

Section 4. City Council Action.

- 4.01 The above-described conditional use permit, with variance, is approved subject to the following conditions:
1. Subject to staff approval, the property must be developed and maintained in substantial conformance with the following documents:
 - Floor plans dated May 25, 2018.
 - Building elevations dated May 25, 2018.
 - Site plan dated May 25, 2018.
 2. Prior to issuance of a building permit:
 - a) This resolution must be recorded with Hennepin County prior to the issuance of a building permit.
 - b) The applicant must provide erosion control best management practices to prevent the construction activity from impacting the wetland and storm water pond, this includes inlet protection.
 3. The building must comply with all requirements of the Minnesota state building code, fire code, and health code and appropriate permits must be obtained.
 4. Canopy clearance height must be labeled on both sides of the canopy.
 5. Sign permits are required for any exterior signs.
 6. The city may require installation of proof-of-parking spaces if there is a demonstrated need for additional parking. Additional parking must meet all zoning code requirements.
 7. The city council may reasonably add or revise conditions to address any future unforeseen problems.
 8. Any change to the approved use that results in a significant increase in traffic, parking or a significant change in character would require a revised conditional use permit.

Adopted by the City Council of the City of Minnetonka, Minnesota, on July 9, 2018.

Brad Wiersum, Mayor

Attest:

David E. Maeda, City Clerk

Action on this resolution:

Motion for adoption:

Seconded by:

Voted in favor of:

Voted against:

Abstained:

Absent:

Resolution adopted

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the City Council of the City of Minnetonka, Minnesota, at a duly authorized meeting held on July 9, 2018.

David E. Maeda, City Clerk

Seal

MINNETONKA PLANNING COMMISSION
June 28, 2018

Brief Description	A conditional use permit for an educational institution at 18707 Old Excelsior Boulevard.
Recommendation	Recommend the city council adopt the resolution approving the permit

Proposal

The property at 18707 Excelsior Boulevard was developed in 2001. At that time, a roughly 9,180 square foot office building was constructed on the site and a second, “twin” office building was anticipated for future construction on the property immediately adjacent to the east. In the following years, plans for the adjacent property were changed and a senior assisted living facility was ultimately constructed.

In 2016, the Minnetonka School District purchased the subject property with the intent to use the building for its VANTAGE programs. The programs offer learning and study opportunities in “real world/hands-on” settings. VANTAGE programs generally consist of morning and afternoon “blocks.” Students attend classes at the high school building proper in the a.m. and at a VANTAGE site in the p.m. or vice-versa.

The school district is now specifically proposing to remodel the interior to the existing building to house the VANTAGE Health Sciences program. Ninety-one students are enrolled in the program for the 2018-2019 school year. The students will be instructed by four to six teachers, depending on the day’s topic. In its first year, the health sciences program will have an afternoon “block” only. The school district will provide a shuttle bus between the school and the VANTAGE site. However, students will also be allowed to drive to and park on the property. Similar to rules at the high school itself, student drivers may bring one other student with them.

<https://www.minnetonkaschools.org/academics/mhs/vantage/areas-of-study/health-science>

Staff analysis

A land use proposal is comprised of many details. In evaluating the proposal, staff first reviews these details and then aggregates them into a few primary questions or issues. The following outlines the primary questions associated with the applicant’s request and staff’s findings.

- **Is the proposed use reasonable for the site?**

Yes. Educational institutions are not specifically permitted in the B-1 zoning district. However, public buildings are conditionally-permitted, as are “other uses similar to those permitted”. Historically, the city has viewed schools as “similar” to public buildings and allowed them as conditional uses.

The proposal would meet the conditional use permit standards associated with public buildings. These standards are outlined in the “Supporting Information” section of this report.

- **Would parking standards be met?**

Yes. By city code, the proposed use requires 36 parking stalls. This is similar to the requirement for an office use of the building. The site contains 65 stalls and at least 10 additional stalls could be constructed on the property.

	Parking Rate	Parking Required
Previous Office Use	1 stall/250 sq.ft.	37 stalls
Proposed School Use	1 stall/3 students + 1 stall/instructor	36 stalls

Staff suggests, as a condition of approval, that the school district provide VANTAGE Health Science enrollment numbers to the city each year. Based on those numbers, the city may require construction of additional parking or more specific off-site parking and shuttle service to ensure parking does not become an issue in the future.

- **Would the proposed use negatively impact the surrounding area?**

No. Staff does not anticipate the school program would negatively impact the surrounding area.

- The proposal would result in no immediate changes to the exterior of the building or the grounds.
- The Institute of Transportation Engineers suggest that the proposed school would generate slightly fewer vehicle trips than an office building with same employee population.

	Trip Generation Rate	Trips for 91 persons
Office	0.48 trips per employee – a.m. peak hour	44 trips
	0.46 trips per employee – p.m. peak hour*	42 trips
High School	0.42 trips per student – a.m. peak hour	38 trips
	0.29 trips per student – p.m. peak hour*	26 trips

* p.m. peak hour for an office is 4-6 p.m.
 * p.m. peak hour for an office is 2-4 p.m.

Staff Recommendation

Recommend that the city council adopt the resolution approving a conditional use permit for educational institution at 18707 Old Excelsior Boulevard.

Originator: Susan Thomas, AICP, Assistant City Planner
 Through: Loren Gordon, AICP, City Planner

Supporting Information

**Surrounding
Land Uses**

Northerly: Single-family homes, zoned R-1
Easterly: Sunrise Assisted Living, zoned PUD
Southerly: Highway 7
Westerly: Single-family homes, zoned R-1

Planning

Guide Plan designation: office
Zoning: B-1, office

CUP Standards

The proposal would meet the general conditional use permit standards as outlined in City Code §300.21 Subd.2:

1. The use is consistent with the intent of this ordinance;
2. The use is consistent with the goals, policies and objectives of the comprehensive plan;
3. The use does not have an undue adverse impact on governmental facilities, utilities, services or existing or proposed improvements;
4. The use is consistent with the city's water resources management plan;
5. The use is in compliance with the performance standards specified in section 300.28 of this ordinance; and
6. The use does not have an undue adverse impact on the public health, safety or welfare.

The proposal would meet the specific conditional use permit standards as outlined in City Codes §300.21 Subd.5(h) and §300.21 Subd.3(m):

1. Consistency with the elements and objectives of the city's development guides, including the comprehensive plan and water resources management plan;

Finding: The proposed school has been reviewed by the city's building, engineering, planning, natural resources, and fire staff. Staff finds the proposal to be generally consistent with the city's development guides.

2. Consistency with this ordinance;

Finding: The proposal would meet all minimum ordinance standards.

3. Preservation of the site in its natural state to the extent practicable by minimizing tree and soil removal and designing grade changes

to be in keeping with the general appearance of neighboring developed or developing areas;

Finding: The proposed school would occupy an existing building on a developed site. At this time, no changes would be made to the exterior of the building or to the property.

4. Creation of a harmonious relationship of buildings and open spaces with natural site features and with existing and future buildings having a visual relationship to the development;

Finding: The proposed school would occupy an existing building on a developed site. At this time, no changes would be made to the exterior of the building or to the property.

5. Creation of a functional and harmonious design for structures and site features, with special attention to the following:

- a. an internal sense of order for the buildings and uses on the site and provision of a desirable environment for occupants, visitors and the general community;

- b. the amount and location of open space and landscaping;

- c. materials, textures, colors and details of construction as an expression of the design concept and the compatibility of the same with the adjacent and neighboring structures and uses; and

- d. vehicular and pedestrian circulation, including walkways, interior drives and parking in terms of location and number of access points to the public streets, width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic and arrangement and amount of parking.

Finding: The proposed school would occupy an existing building on a fully developed site. At this time, no changes would be made to the exterior of the building or to the property.

6. Promotion of energy conservation through design, location, orientation and elevation of structures, the use and location of glass in structures and the use of landscape materials and site grading; and

Finding: Interior renovations would meet current building code requirements, including those pertaining to energy efficiency.

7. Protection of adjacent and neighboring properties through

reasonable provision for surface water drainage, sound and sight buffers, preservation of views, light and air and those aspects of design not adequately covered by other regulations which may have substantial effects on neighboring land uses.

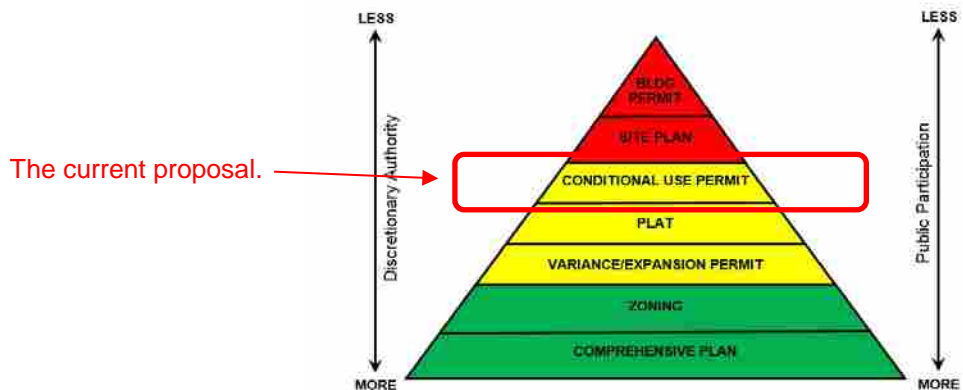
Finding: The proposed school would not negatively impact the surrounding area. The school occupancy would:

- Result in no immediate changes to the exterior of the building or the grounds.
- Generate fewer vehicle trips per day than an office building with similar number of employees.

Neighborhood Comments

The city sent notices to 52 area property owners and received no comments to date.

Pyramid of Discretion



Motion Options

The planning commission has three options:

1. Concur with the staff recommendation. In this case a motion should be made recommending the city council approve the request.
2. Disagree with staff's recommendation. In this case, a motion should be made recommending the council deny request. This motion must include a statement as to why denial is recommended.
3. Table the request. In this case, a motion should be made to table the item. The motion should include a statement as to why the request is being tabled with direction to staff, the applicant, or both.

Voting and Appeals

The planning commission makes a recommendation to the city council, which has final authority to approve or deny the request. Approval requires the affirmative vote of a simple majority.

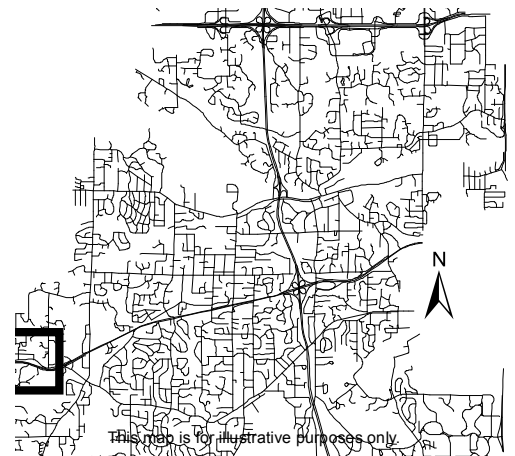
**Deadline for
Decision**

September 17, 2018



Location Map

Project: Minnetonka ISD 276
Address: 18707 Old Excelsior Blvd



Minnetonka Schools

Vantage Health Science Program

Minnetonka Public Schools District 276

18707 Excelsior Blvd, Minnetonka, MN 55345

BUILDING CODE SUMMARY

OCCUPANCY GROUP	E
CONSTRUCTION TYPE	IV
BASE ALLOWABLE HEIGHT (TABLE 503)	65'
SPRINKLER HEIGHT INCREASE (504.2)	85'
ACTUAL HEIGHT	25'
BASE ALLOWABLE STORIES (TABLE 503)	3
SPRINKLER STORY INCREASE (504.2)	4
ACTUAL STORIES	1
BASE ALLOWABLE AREA (TABLE 503)	25,500
FRONTAGE	401
PERIMETER	401
FRONTAGE FACTOR WITH 30' WIDTH	0.750
FRONTAGE INCREASE (506.2)	19,125
SPRINKLER INCREASE (506.3)	76,500
TOTAL ALLOWABLE AREA PER FLOOR	121,125
TOTAL ACTUAL FIRST FLOOR AREA	8,537
MAX TRAVEL DISTANCE (1016.2)	250'
MAX DEAD END GROUP E (1018.4)	50'
MAX DEAD END GROUP A (1018.4)	20'
COMMON PATH OF TRAVEL (TABLE 1014.3)	75'

CODE PLAN NOTES

- EXISTING AREAS ARE SPRINKLERED.
- ALL AREAS ARE E OCCUPANCY UNLESS OTHERWISE NOTED.
- CONSTRUCTION TYPE IV.
- NO CHANGE TO BUILDING AREA.
- OCCUPANT LOADS AND PLUMBING LOADS BASED ON TYPICAL EDUCATION USE.
- BUILDING IS FULLY SPRINKLERED IN ACCORDANCE WITH IBC 903.3.1.1.
- CORRIDOR FIRE-RESISTANT RATING NOT REQUIRED PER IBC TABLE 1018.1.
- GROUP A ASSEMBLY SPACES ARE NOT A SEPARATE OCCUPANCY FROM GROUP E PER IBC 303.1.3.
- THE FIELD INSPECTOR SHALL VERIFY THE CONDITION OF EXISTING CONSTRUCTION TYPE CLASSIFICATION AS INDICATED ON THE CODE ANALYSIS. ANY DISCREPANCIES IN THE TYPE OF CONSTRUCTION, OR NON-COMPLYING CONSTRUCTION NOTED BY THE FIELD INSPECTOR SHALL BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR AND THE DESIGNER. THE NON-COMPLYING WORK SHALL BE CORRECTED TO COMPLYING.
- SYSTEMS, DEVICES OR SAFEGUARDS THAT WERE REQUIRED BY THE CODE UNDER WHICH THE BUILDING WAS CONSTRUCTED SHALL BE MAINTAINED IN CONFORMANCE WITH THE REQUIREMENTS OF THAT CODE. THE FIRE WALLS/AREA SEPARATION WALLS MUST BE COMPLIANT WITH THE CODE UNDER WHICH THEY WERE CONSTRUCTED. THE CONTRACTOR SHALL SHOW THE FIELD INSPECTOR THE CONDITIONS OF THE EXISTING FIRE-WALLS/AREA SEPARATION WALLS TO VERIFY COMPLETE FIRE-RESISTIVE INTEGRITY AS INDICATED ON THE CODE PLAN. REQUIRED FIRE-WALLS/AREA SEPARATION WALLS MUST COMPLY WITH REQUIRED FIRE-RESISTIVE RATINGS AND PROVIDE COMPLETE BUILDING SEPARATION. NON-COMPLYING EXISTING FIRE-WALLS/AREA SEPARATION WALLS OR PORTIONS THEREOF WILL BE REQUIRED AND/OR SHALL BE UPGRADED TO MEET THE FIRE RESISTANCE RATING OF THE ASSEMBLY. THIS WORK SHALL BE COMPLETED PRIOR TO TEMPORARY CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF OCCUPANCY ISSUANCE FOR THIS BUILDING.

GOVERNING CODES

2015 MINNESOTA BUILDING CODE	2015 MINNESOTA PLUMBING CODE
2015 MINNESOTA FIRE CODE	2015 MINNESOTA MECHANICAL AND FUEL GAS CODE
2015 MINNESOTA ACCESSIBILITY CODE	2017 NATIONAL ELECTRICAL CODE

CODE PLAN LEGEND

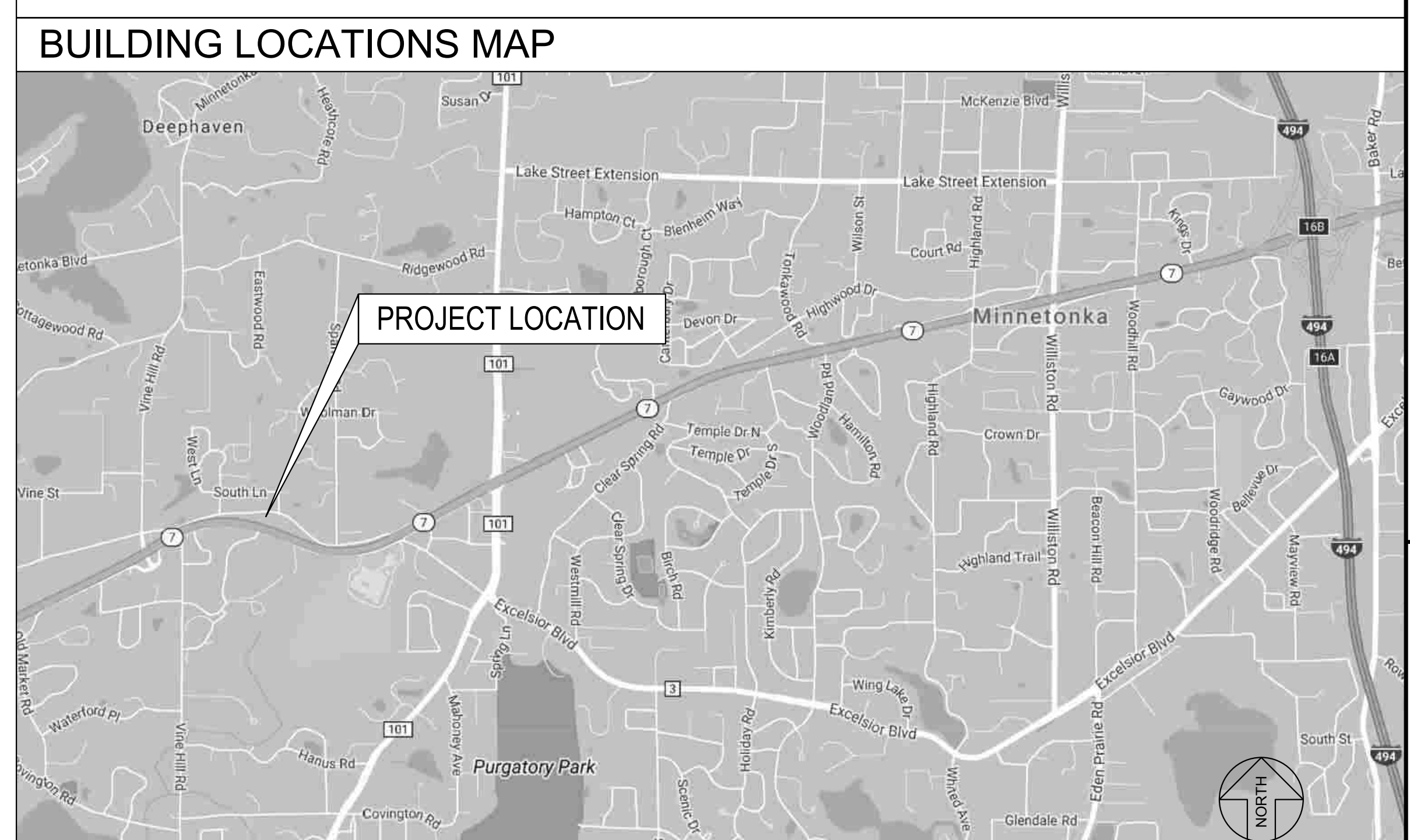
CLASSROOM	SPACE FUNCTION
220 SF	SPACE FUNCTION SF AREA
20 SF/OCC	OCCUPANT LOAD FACTOR
12 OCC	NUMBER OF OCCUPANTS
150 OCC	NUMBER OF OCCUPANTS
23 REQ	INCHES OF EXIT WIDTH REQUIRED
31 PROV	INCHES OF EXIT WIDTH PROVIDED
.....	SPACE FUNCTION BOUNDARY

PLUMBING FIXTURES

OCCUPANCY	OCCU-PANTS	WC	WOMEN	DRINKING	SERVICE
		LAV	LAV	FOUNTAINS	SINK
EDUCATIONAL	100	1.00	1.00	1.00	1
TOTAL REQUIRED	1.00	1.00	1.00	1.00	1
TOTAL PROVIDED	4.00	2.00	5.00	3.00	2.00

PLUMBING NOTES

- OCCUPANCY BASED ON MAXIMUM STAFF AND STUDENT LOAD.



PROJECT INFORMATION

OWNER
 MINNETONKA SCHOOLS I.S.D. NO. 276
 5621 COUNTY ROAD 101
 MINNETONKA, MINNESOTA 55345
 PHONE: 952-401-5024 FAX: 763-525-3289

CONTACT:
 DISTRICT EXECUTIVE DIRECTOR OF FINANCE/OPERATIONS: PAUL BOURGEOIS

ARCHITECT AND ENGINEERS
 ARMSTRONG, TORSETH, SKOLD, AND RYDEEN, INC.
 8501 GOLDEN VALLEY ROAD, SUITE 300
 GOLDEN VALLEY, MINNESOTA 55427
 PHONE: 763-545-3731 FAX: 763-525-3289

CONTACTS:
 ARCHITECTURE/PROJECT MGR: DAVID MARONEY, AIA
 JOSEPH ANTON
 MECHANICAL ENGINEER: BLAYNE PARKOS, PE
 ELECTRICAL ENGINEER: NICK ACHINA, PE
 TECHNOLOGY ENGINEER: DAVID BRIDGES
 LANDSCAPE ARCHITECT: RON SPODEN, ASLA

GENERAL NOTES

- CROSS-REFERENCE ARCHITECTURAL DRAWINGS WITH ELECTRICAL DRAWINGS TO ASSURE COORDINATION OF LOCATIONS, SIZES AND MATERIALS.
- CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE COMMENCING ANY WORK.
- DO NOT SCALE DRAWINGS FOR DIMENSIONS.
- VERIFY LOCATION, SIZE, AND WALL THICKNESS REQUIRED TO RECESS ARCHITECTURAL AND ELECTRICAL ITEMS. MAINTAIN FIRE RATING AT FIRE RATED CONSTRUCTION.
- ALL WOOD FRAMING AND BLOCKING CONCEALED IN CEILINGS AND PARTITIONS SHALL BE FIRE RETARDANT TREATED UON.
- OWNER SHALL OCCUPY PORTIONS OF THE BUILDINGS THROUGHOUT CONSTRUCTION. CONTRACTORS SHALL MAINTAIN CONDITIONS SUITABLE FOR OCCUPANCY IN ALL AREAS.
- INFORMATION FROM EXISTING DRAWINGS HAS BEEN USED IN THE PREPARATION OF THESE DOCUMENTS. CONTRACTOR SHALL VERIFY ALL INFORMATION RELATING TO THE WORK, INCLUDING BUT NOT LIMITED TO THE LOCATION OF EXISTING BUILDING UTILITIES.
- SEE OTHER ARCHITECTURAL DRAWINGS AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION AND ALTERATION INFORMATION.
- REMOVE AND SALVAGE ALL OWNER REQUESTED EQUIPMENT AND FIXTURES PRIOR TO COMMENCEMENT OF DEMOLITION.
- RETURN REMOVED UNUSED DOORS AND HARDWARE TO OWNER.
- PROVIDE TEMPORARY LIGHTING AND POWER WHERE REQUIRED TO COMPLETE THE WORK.
- NOTIFY THE OWNER AS SOON AS POSSIBLE OF THE PRESENCE OF HAZARDOUS MATERIALS IN WORK AREAS.
- CONTRACTOR TO COORDINATE SAW CUTTING AND REMOVAL OF EXISTING CONSTRUCTION.
- CONTRACTOR TO PATCH ADJACENT SURFACES TO MATCH EXISTING. PATCHED AND EXISTING SURFACES TO BE FLUSH AND PREPARED AS REQ'D TO RECEIVE NEW FINISHES.
- REMOVE DEVICES AND ASSOCIATED CONDUIT, WIRING, SUPPORTS, ETC NO LONGER SERVING AREAS OF WORK. PATCH SURFACES AS REQ'D FOR NEW FINISHES.
- PATCH UNUSED PENETRATIONS FOR FLOOR AND EXG WALLS TO REMAIN. MATCH EXG CONSTRUCTION. SEE ELEC.
- PAINT ENTIRE WALL WHERE EXISTING PAINTED WALLS HAVE BEEN MODIFIED.
- PAINT HM DOOR FRAMES AT DOORS LISTED IN DOOR SCHEDULES. MATCH EXG.
- CONTRACTOR TO MAINTAIN EXIT ROUTES.

LEGEND

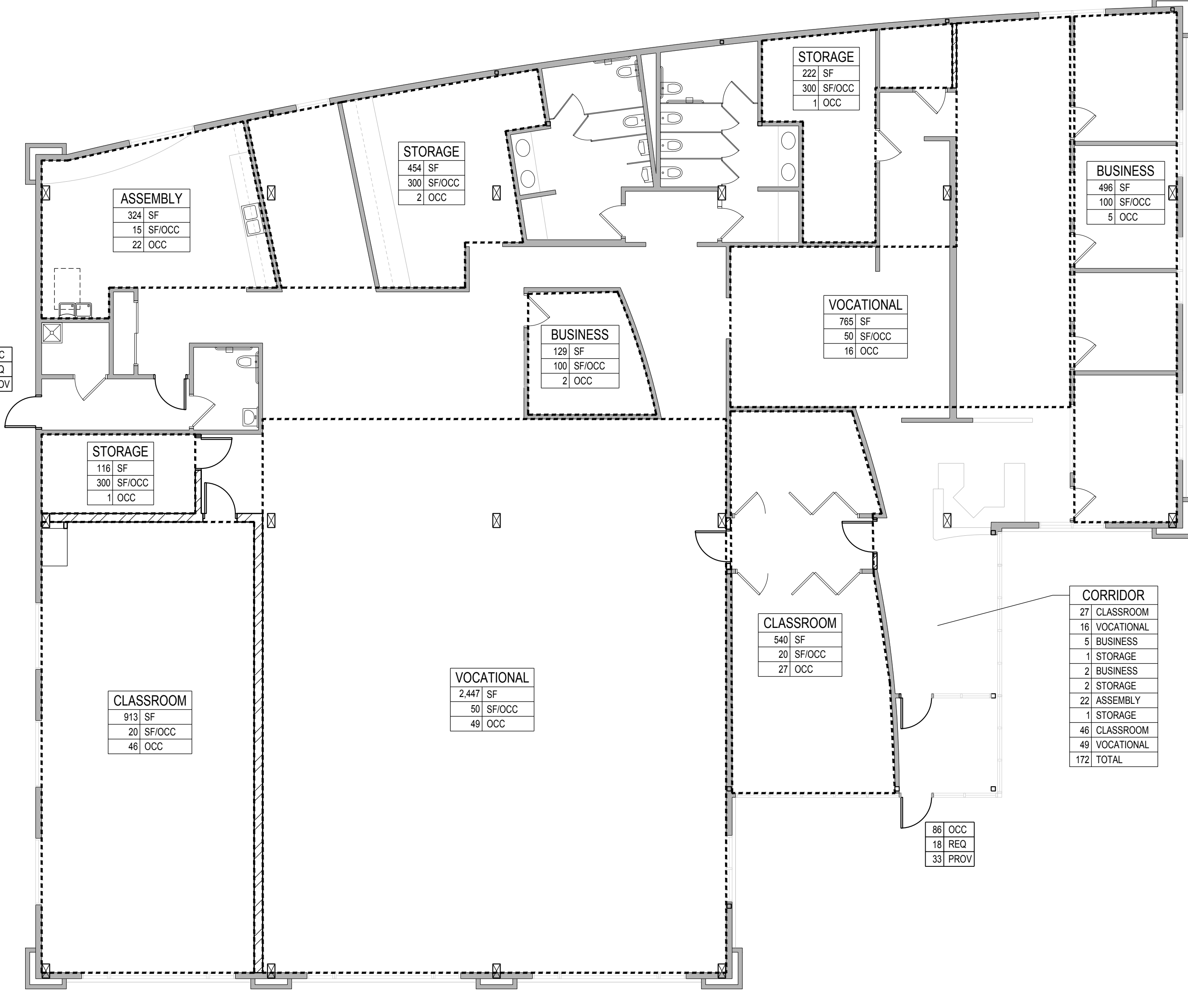
3	PLAN NOTE
OFFICE	ROOM NAME
A101	ROOM NUMBER
1 201	EXG CONDITIONS OR DETAIL NUMBER
1 201	SHEET NUMBER
1 201	NEW DOOR WITH NEW OR EXG FRAME. SEE DOOR SCHEDULE
1 201	EXG DOOR AND FRAME. SEE DOOR SCHEDULE
1 201	EXG DOOR AND FRAME TO REMAIN

MATERIAL SYMBOLS

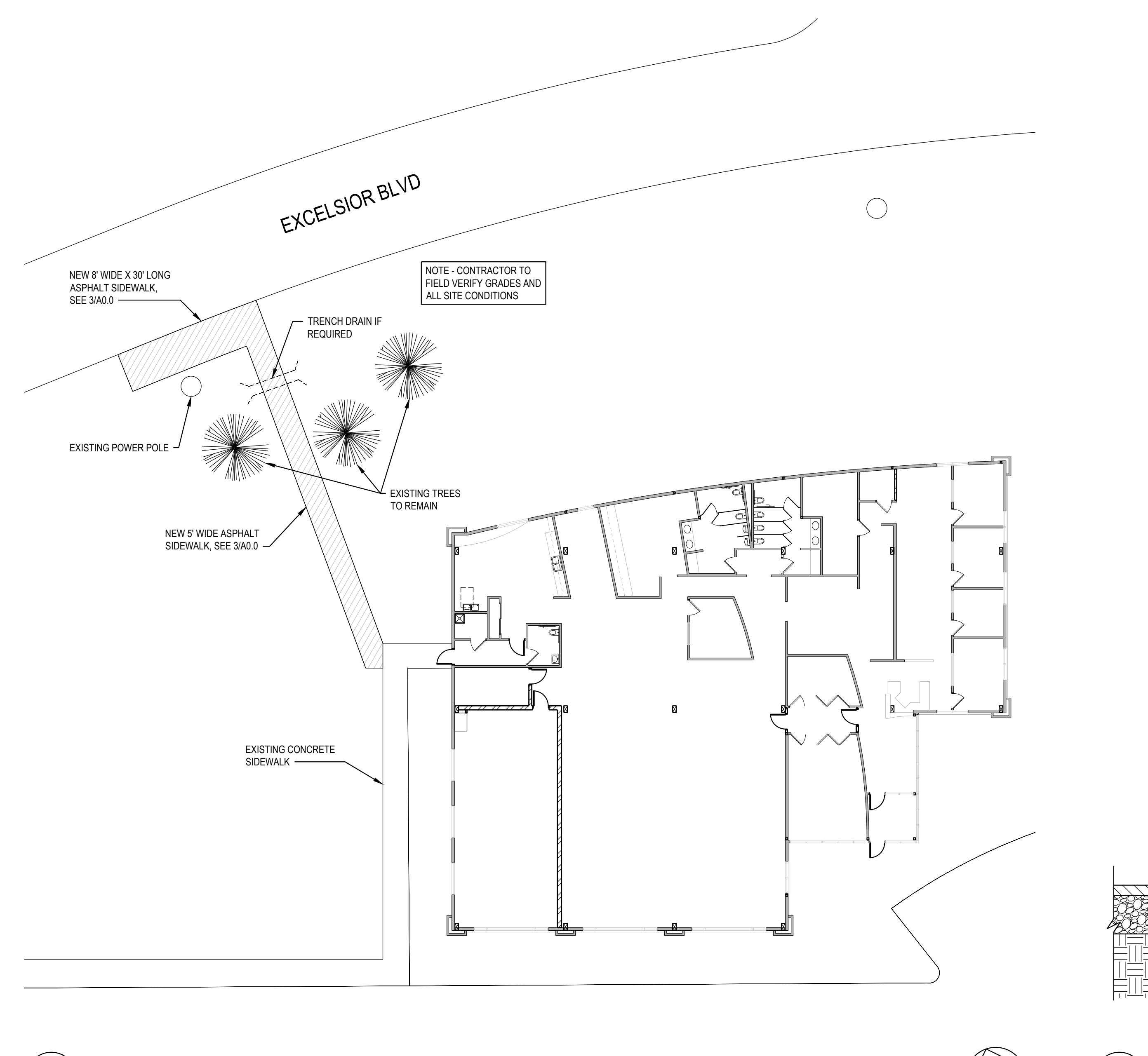
[Symbol]	CAST IN PLACE CONCRETE (CONC)	[Symbol]	METAL (MET) STEEL (STL)
[Symbol]	CONCRETE MASONRY UNITS (CMU)	[Symbol]	ROUGH WOOD (RW)
[Symbol]	PLASTER (PLAS) GYPSUM BOARD (GDB)	[Symbol]	FINISHED HARDWOOD (HWD)
[Symbol]	FACE BRICK (FB)	[Symbol]	PLYWOOD (PWD)
[Symbol]	EARTH	[Symbol]	ACOUSTICAL TILE (ACT) CERAMIC TILE (CT)
[Symbol]	POROUS FILL STONE OR GRAVEL	[Symbol]	CMU PARTITION WALL (PLAN VIEW)
[Symbol]	BATT INSULATION (INS)	[Symbol]	STEEL STUD PARTITION (PLAN VIEW)
[Symbol]	RIGID INSULATION (INS)	[Symbol]	EXG TO REMAIN POCHÉ (HALF-TONE)

SHEET INDEX

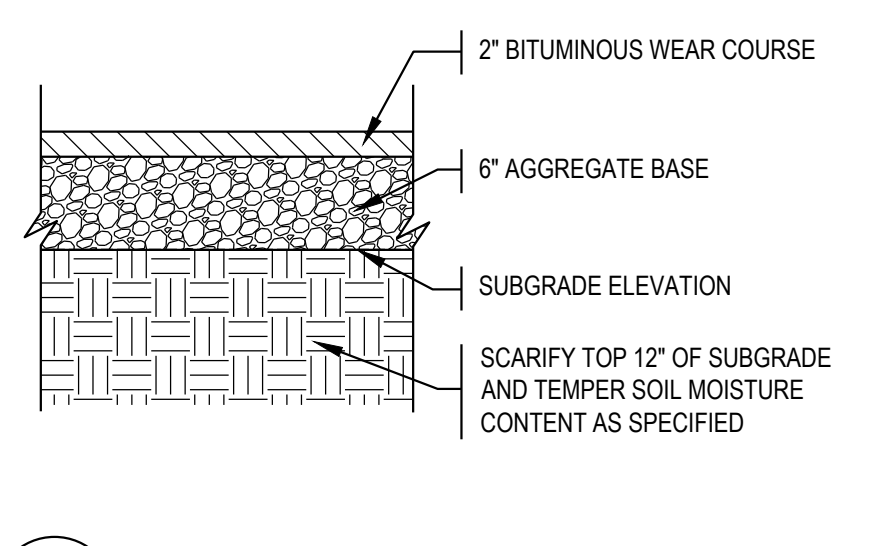
ARCHITECTURAL
A0.0 TITLE SHEET
A3.1 FLOOR PLANS AND DETAILS
MECHANICAL
M0.0 MECHANICAL TITLE SHEET
M1.1 PLUMBING PLANS, MECHANICAL SCHEDULES AND DETAILS
M2.1 MECHANICAL PLAN
ELECTRICAL
E1.0 ELECTRICAL PLANS



1 CODE AND REFERENCE PLAN
 A0.0
 1/8" = 1'-0"
 NORTH
 PLAN



2 SIDEWALK PLAN
 A0.0
 1/16" = 1'-0"
 NORTH
 PLAN



3 BITUMINOUS WALKWAY
 A0.0
 NOT TO SCALE

REVISIONS

Minnetonka Schools
 Vantage Health Science Program
 Minnetonka Public Schools District 276
 18707 Excelsior Blvd, Minnetonka, Minnesota 55345

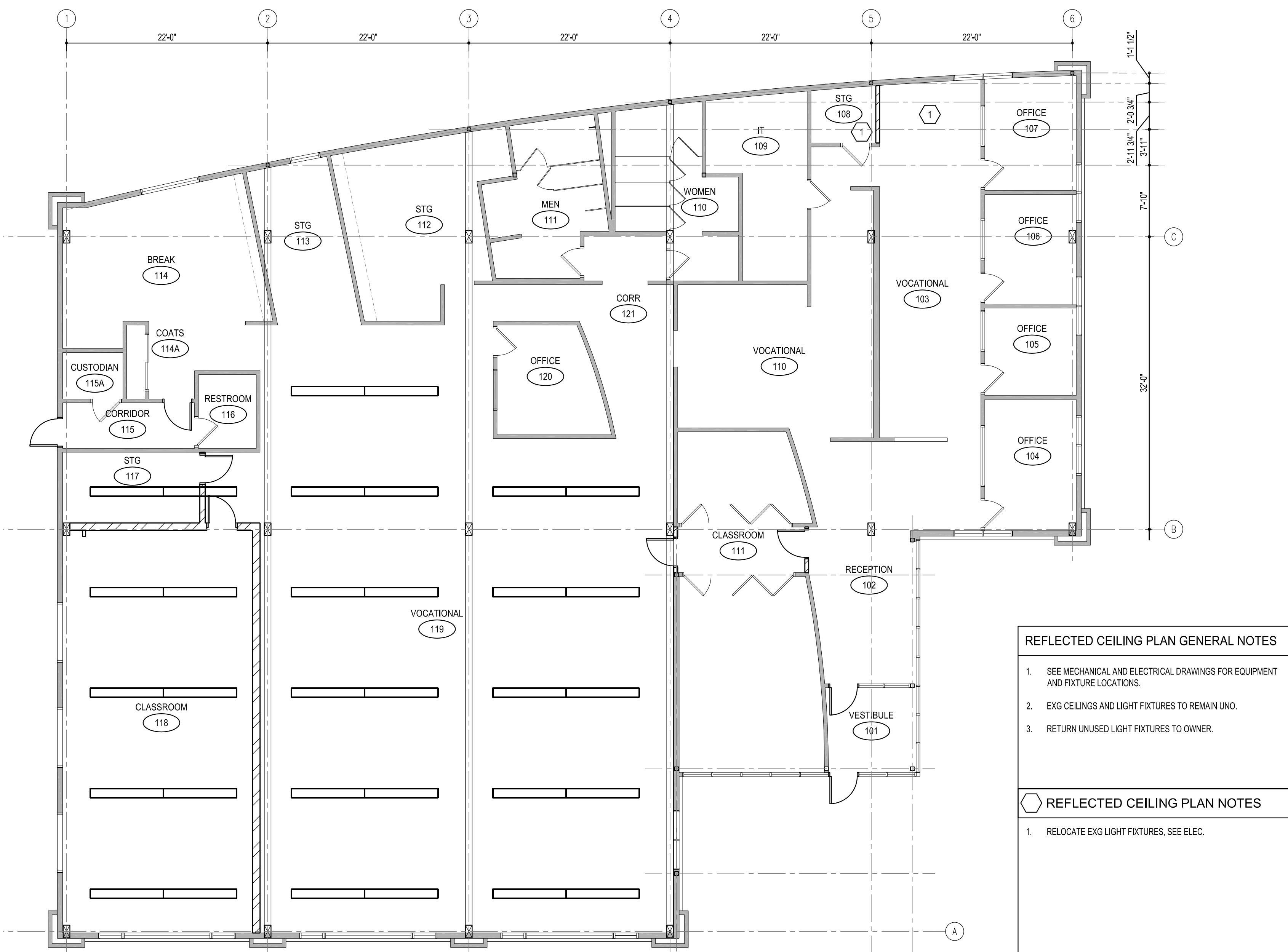
SIGNATURE / SEAL
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Minnesota.
 David M. Maroney, AIA
 TYPED OR PRINTED NAME
 MAY 23, 2018
 DATE
 20992
 LICENSE NUMBER
 KEYPLAN

DRAWN BY
 RB
 CHECKED BY
 DM
 ISSUED FOR
 CONSTRUCTION DOCUMENTS
 ISSUE DATE
 MAY 23, 2018
 SHEET NAME
 TITLE SHEET

ATS&R PROJECT NO.
 18026
 REVISION NO.

SHEET NUMBER

A0.0

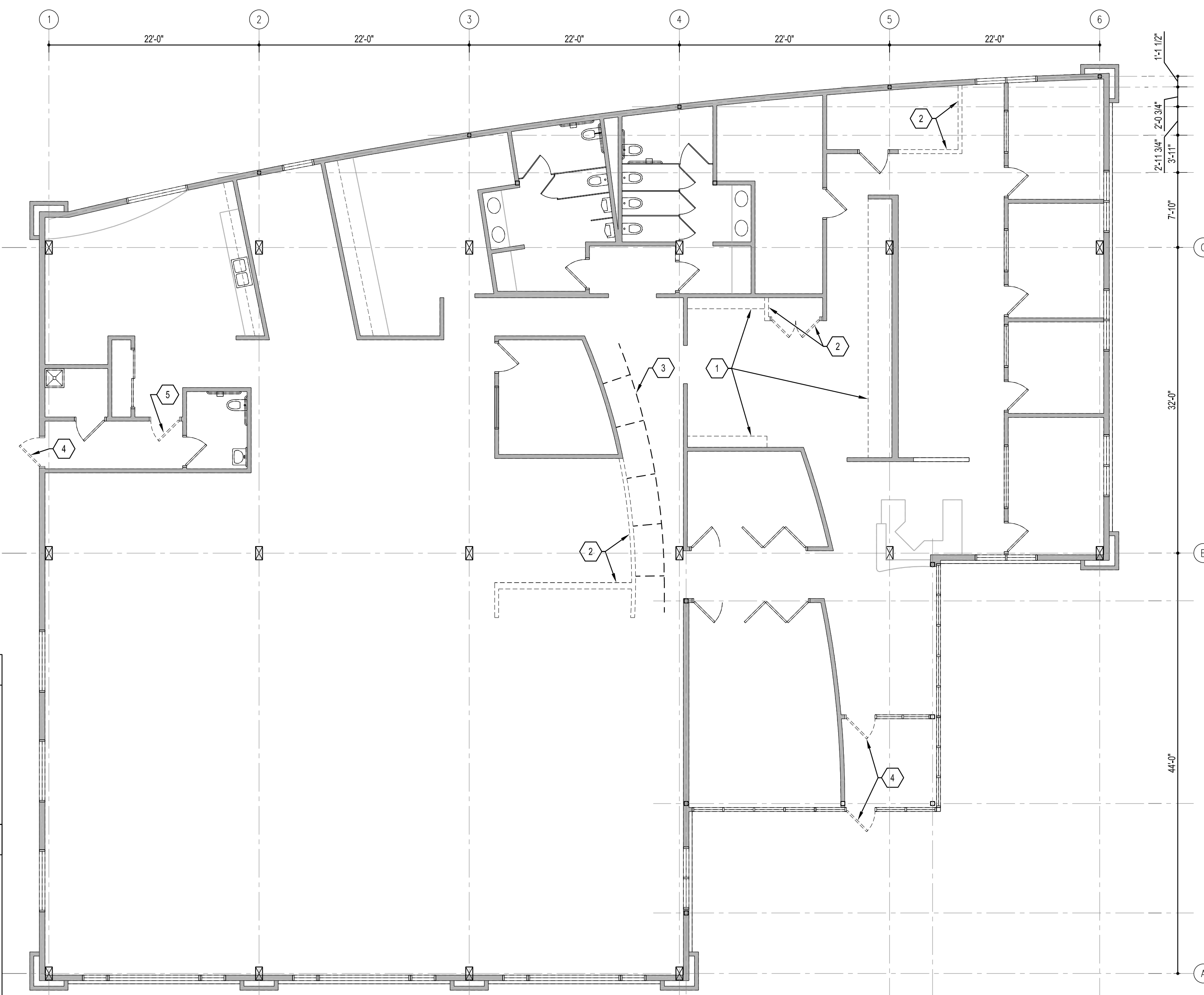


REFLECTED CEILING PLAN GENERAL NOTES

- SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR EQUIPMENT AND FIXTURE LOCATIONS.
- EXG CEILINGS AND LIGHT FIXTURES TO REMAIN UNO.
- RETURN UNUSED LIGHT FIXTURES TO OWNER.

REFLECTED CEILING PLAN NOTES

- RELOCATE EXG LIGHT FIXTURES. SEE ELEC.



DEMOLITION PLAN GENERAL NOTES

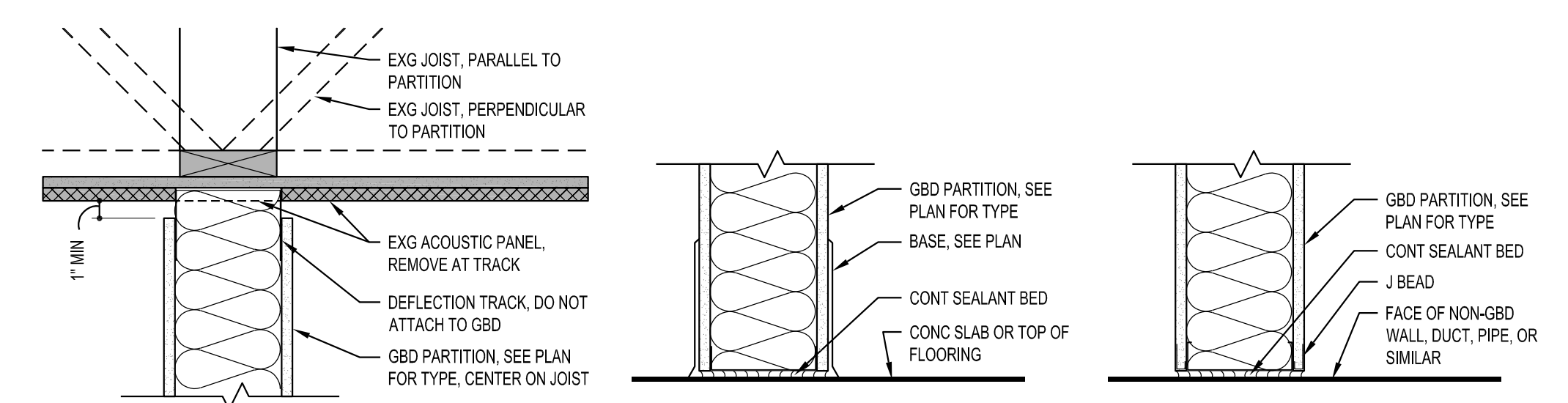
- INFORMATION FROM EXISTING DRAWINGS HAS BEEN USED IN THE PREPARATION OF THESE DOCUMENTS. CONTRACTOR SHALL VERIFY ALL INFORMATION RELATING TO THE WORK, INCLUDING BUT NOT LIMITED TO THE LOCATION OF EXISTING BUILDING UTILITIES.
- SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION AND ALTERATION INFORMATION.
- REMOVE AND SALVAGE ALL OWNER REQUESTED EQUIPMENT AND FIXTURES PRIOR TO COMMENCEMENT OF DEMOLITION.
- PROVIDE TEMPORARY LIGHTING AND POWER WHERE REQUIRED TO COMPLETE THE WORK.
- NOTIFY THE OWNER AS SOON AS POSSIBLE OF THE PRESENCE OF HAZARDOUS MATERIALS IN WORK AREAS.
- CONTRACTOR TO COORDINATE SAW CUTTING AND REMOVAL OF EXISTING CONSTRUCTION.
- CONTRACTOR TO PATCH ADJACENT SURFACES TO MATCH EXISTING. PATCHED AND EXISTING SURFACES TO BE FLUSH AND PREPARED AS REQ'D TO RECEIVE NEW FINISHES.
- REMOVE DEVICES AND ASSOCIATED CONDUIT, WIRING, SUPPORTS, ETC NO LONGER SERVING NEW ROOMS. PATCH SURFACES AS REQ'D FOR NEW FINISHES.
- PATCH UNUSED PENETRATIONS AT FLOOR AND EXG WALLS TO REMAIN. MATCH EXG CONSTRUCTION. SEE MECH AND ELEC.
- RETURN REMOVED DOOR FRAMES, DOORS, AND DOOR HARDWARE TO OWNER.

DEMOLITION PLAN LEGEND

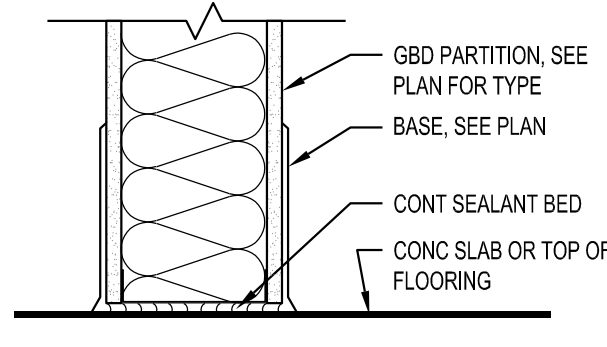
- REMOVE DOOR, FRAME, AND ASSOCIATED HARDWARE UNO
- REMOVE GBD PARTITION FROM FLOOR TO DECK ABOVE UNO. PATCH ADJACENT SURFACES AS REQ'D FOR NEW WORK. MATCH EXG CONSTRUCTION

DEMOLITION PLAN NOTES

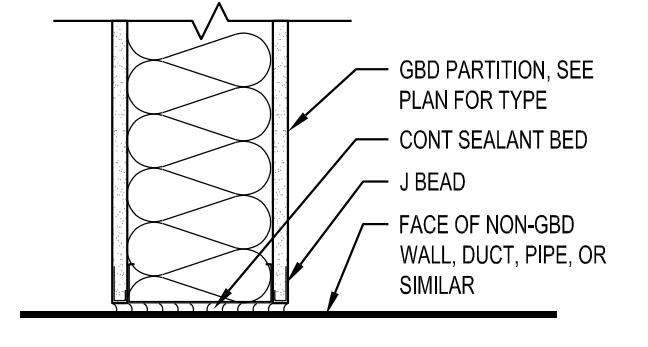
- MILLWORK REMOVED BY OWNER. CONTRACTOR TO PATCH ADJACENT SURFACE AS REQ'D FOR NEW FINISH. MATCH EXG CONSTRUCTION.
- PARTITION(S) AND DOOR(S) REMOVED BY OWNER. CONTRACTOR TO PATCH ADJACENT SURFACE AS REQ'D FOR NEW FINISH. MATCH EXG CONSTRUCTION.
- LIGHTING REMOVED BY OWNER. CONTRACTOR TO PATCH ADJACENT SURFACE AS REQ'D FOR NEW FINISH. MATCH EXG CONSTRUCTION.
- REMOVE DOOR AND ASSOCIATED HARDWARE. FRAME TO REMAIN.
- DOOR REMOVED BY OWNER. FRAME TO REMAIN.



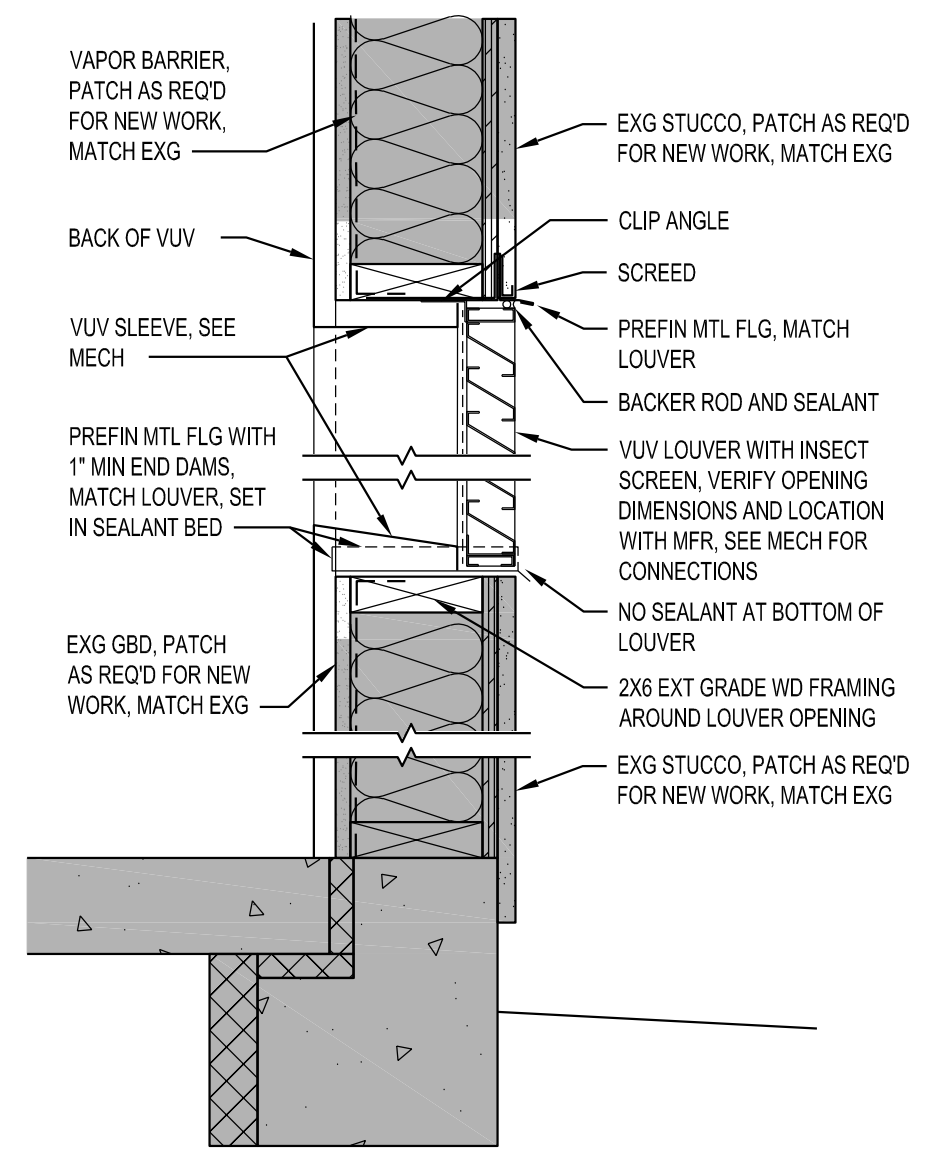
2 TOP OF GBD PARTITION
A3.1 1 1/2" x 1'-0"



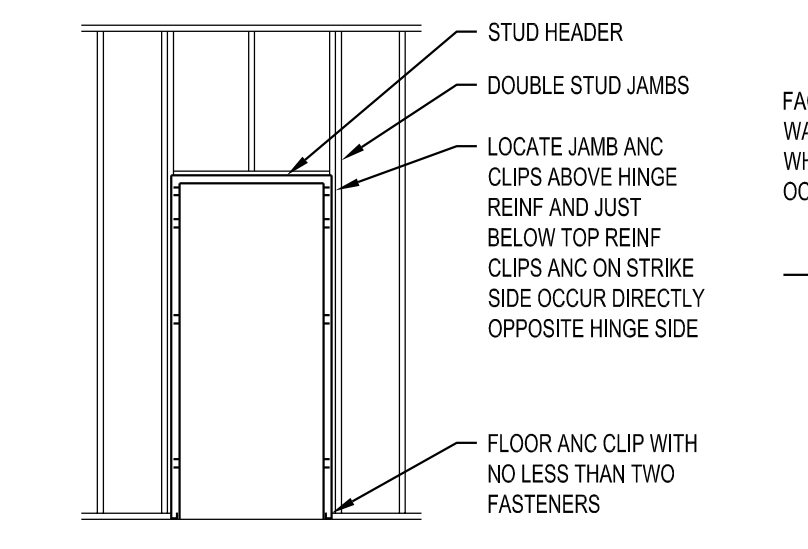
2A BOTTOM OF GBD PARTITION
A3.1 1 1/2" x 1'-0"



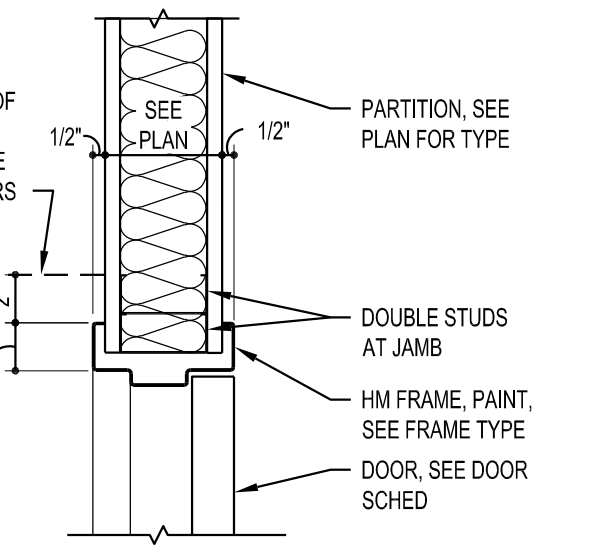
2B GBD PARTITION TERMINATION
A3.1 1 1/2" x 1'-0"



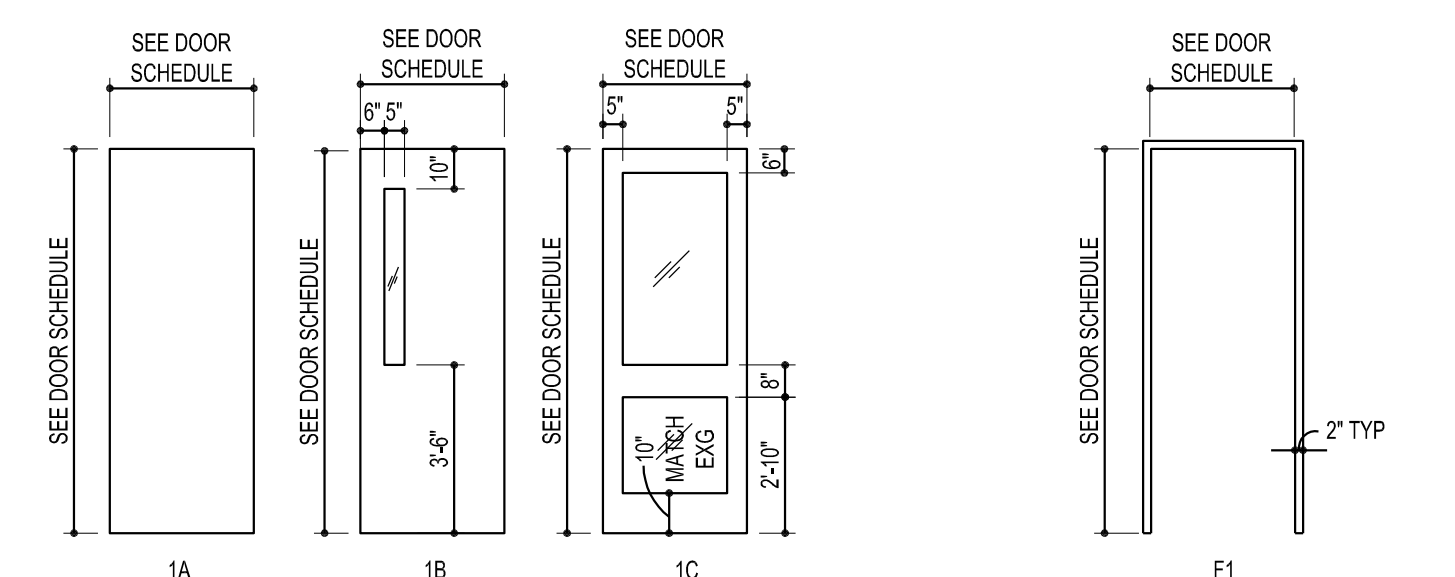
3C UNIT VENTILATOR LOUVER
A3.1 1 1/2" x 1'-0"



3 DOOR FRAMING
A0.0 1 1/2" x 1'-0"



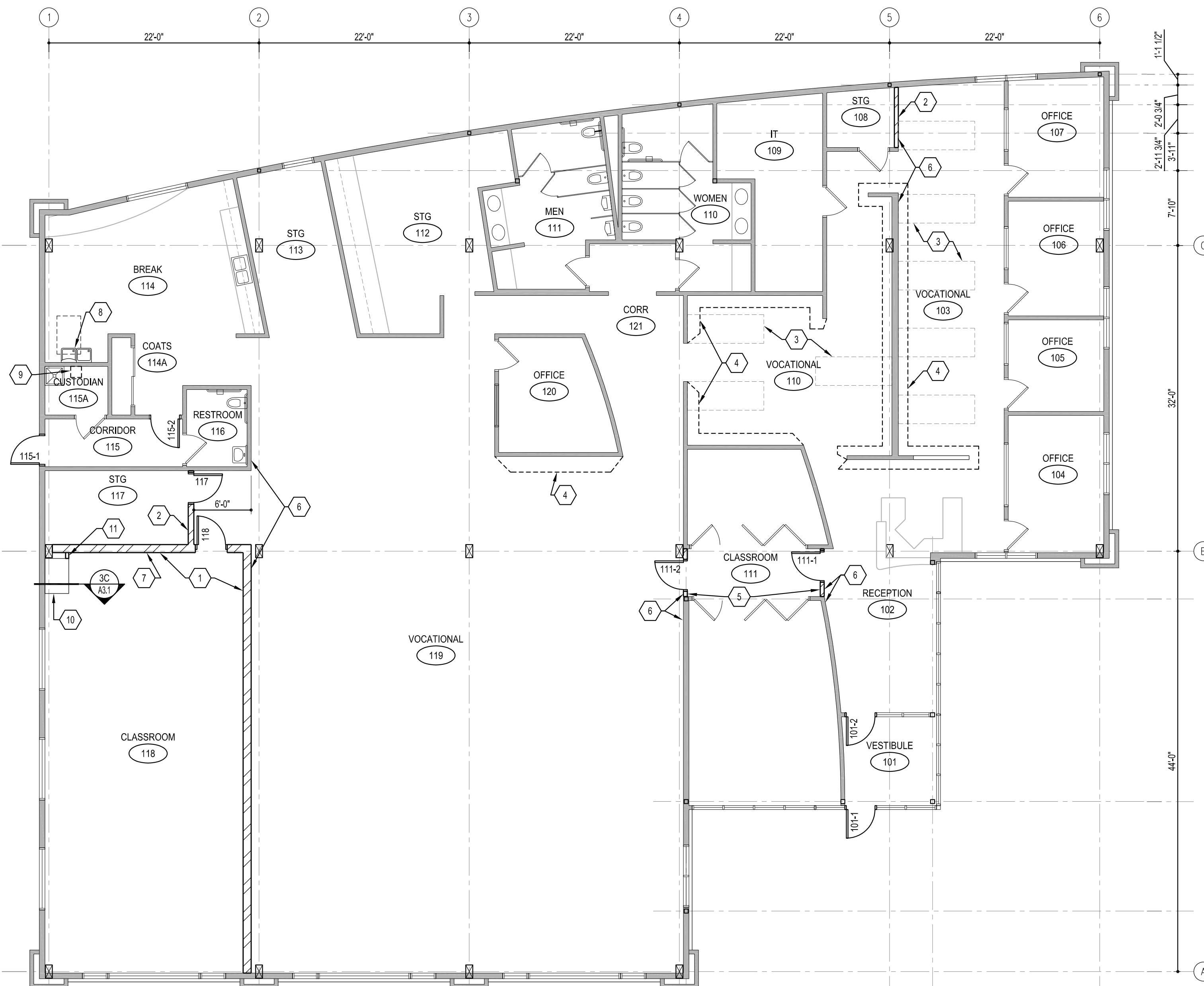
3A DOOR HEAD/JAMB
A0.0 1 1/2" x 1'-0"



DOOR SCHEDULE												DOOR SCHEDULE NOTES	
NUMBER	NOMINAL SIZE	MTL	GLASS	FRAME	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	HOW	DR AND FR LABEL	NOTES			
101-1	3'-0" X 6'-0"	AL	1C	GL1	EXG AL	-	EXG	-	-	A2	-	1,2	
101-2	3'-0" X 6'-0"	AL	1C	GL1	EXG AL	-	EXG	-	-	A3	-	1,2	
111-1	3'-0" X 6'-0"	WD	1B	GL2	HM	F1	-	3A/A3.1	3A/A3.1	-	1	-	
111-2	3'-0" X 6'-0"	WD	1B	GL2	HM	F1	-	3A/A3.1	3A/A3.1	-	1	-	
115-1	3'-0" X 6'-0"	HM	1C	-	EXG HM	-	EXG	-	-	2	-	1,2	
115-2	3'-0" X 6'-0"	WD	1C	GL2	EXG WD	-	-	-	-	3	-	1,2	
117	3'-0" X 6'-0"	WD	1A	GL2	HM	F1	-	3A/A3.1	3A/A3.1	-	4	-	
118	3'-0" X 6'-0"	WD	1B	GL2	HM	F1	-	3A/A3.1	3A/A3.1	-	4	-	

DOOR SCHEDULE NOTES

- FIELD VERIFY DOOR AND FRAME DIMENSIONS.
- MODIFY EXG FRAME AS REQ'D FOR NEW HARDWARE.



FLOOR PLAN GENERAL NOTES

- PAINT ENTIRE WALL WHERE EXISTING PAINTED WALLS HAVE BEEN MODIFIED.
- PATCH FLOOR AT MECHANICAL AND PLUMBING DEMOLITION AREA AS REQUIRED FOR NEW FINISHES. MATCH EXG CONSTRUCTION. SEE MECH DRAWINGS FOR LOCATIONS.
- SEE 414.1 FOR DOOR AND DOOR FRAME TYPES AND 3A3.1 FOR TYPICAL DOOR ANCHORS.

PARTITION GENERAL NOTES



- PROVIDE SEALANT AROUND PERIMETER OF STUD PARTITIONS WHERE ADJACENT MATERIAL IS NOT GYP BD.
- DO NOT INSTALL JUNCTION BOXES BACK TO BACK AT STUD PARTITIONS.
- PROVIDE PUTTY PADS AROUND JUNCTION BOXES AT STUD PARTITIONS.
- PROVIDE CONCEALED FIRE RETARDANT WOOD BLOCKING FOR WALL HUNG ITEMS ON STUD PARTITIONS.
- DIMENSIONS ARE TO FACE OF GYP BD UNO.
- SEE 2, 2A, 2B/A3.1 FOR TYP STUD PARTITION DETAILS.
- REMOVE EXG CARPET WHERE OCCURS BELOW NEW PARTITIONS.

FLOOR PLAN NOTES

- FULL HEIGHT PARTITION, 8" METAL STUDS WITH SOUND BATT. 1 LAYER 5/8" GBD GLASSROOM SIDE, 2 LAYERS 5/8" GBD OPPOSITE SIDE. PROVIDE ABUSE RESISTANT GBD TO 6'-0" AFF BOTH SIDES WITH TYPICAL GBD ABOVE, PAINT AND BASE TO MATCH EXG.
- 10'-0" HIGH PARTITION (FIELD VERIFY). MATCH EXG HEIGHT. 3 5/8" METAL STUDS WITH SOUND BATT. 1 LAYER 5/8" ABUSE RESISTANT GBD EACH SIDE, PAINT AND BASE TO MATCH EXG.
- BED BY OWNER, TYP.
- PATCH AND PAINT WALL. MATCH EXG.
- FULL HEIGHT PARTITION, 3 5/8" METAL STUDS WITH SOUND BATT. 1 LAYER 5/8" ABUSE RESISTANT GBD EACH SIDE, PAINT AND BASE TO MATCH EXG.
- ALIGN.
- ALIGN WITH ROOF JOIST ABOVE. FIELD VERIFY LOCATION.
- ADA COMPLIANT ELECTRIC WATER COOLER. CENTER ON WALL. SEE MECH.
- REMOVE AND PATCH CONC FLOOR FOR PLUMBING WORK. SEE MECH. MATCH EXG CONSTRUCTION.
- UNIT VENTILATOR. SEE MECH.
- PARTITION. MATCH HEIGHT OF UNIT VENTILATOR. 3 5/8" METAL STUDS. 1 LAYER 5/8" ABUSE RESISTANT GBD ONE SIDE, PAINT AND BASE TO MATCH EXG.



CITY OF
MINNETONKA

-  Parcels
-  City Boundary



1 in = approx. 50 ft

18707 Old Excelsior Blvd

Resolution No. 2018-

Resolution approving a conditional use permit for an educational institution at 18707 Old Excelsior Boulevard

Be it resolved by the City Council of the City of Minnetonka, Minnesota, as follows:

Section 1. Background.

- 1.01 Minnetonka Independent School District #276, has requested a conditional use permit to operate an educational institution within the B-1 zoning district.
- 1.02 The subject property is located at 18707 Old Excelsior Boulevard. It is legally described as:

Lot 1, Block 1, MINNETONKA BUSINESS DEVELOPMENT
- 1.03 City Code §300.17 Subd.4(m) allows public buildings as conditional uses within the B-1 zoning district.
- 1.04 City Code §300.17 Subd.4(p) allows “other uses similar to those permitted within this section, as determined by the city” as conditional uses within the B-1 zoning district.
- 1.05 The proposed school would be similar to a public building, as it is a place where a group of people would gather at a specified time for a specific purpose.
- 1.06 On June 28, 2018, the planning commission held a hearing on the proposal. The applicant was provided the opportunity to present information to the planning commission. The commission considered all of the comments received and the staff report, which are incorporated by reference into this resolution. The commission recommended that the city council approve the permit.

Section 2. General Standards.

- 2.01 City Code §300.21 Subd. 2 lists the following general standards that must be met for granting a conditional use permit:
 - 1. The use is consistent with the intent of the ordinance;
 - 2. The use is consistent with the goals, policies and objectives of the

comprehensive plan;

3. The use does not have an undue adverse impact on governmental facilities, utilities, services or existing or proposed improvements;
4. The use is consistent with the city's water resources management plan;
5. The use is in compliance with the performance standards specified in §300.28 of the ordinance; and
6. The use does not have an undue adverse impact on the public health, safety or welfare.

Section 3. Specific Standards.

3.01 City Codes §300.21 Subd.3(m) and §300.27 Subd.5(m) list the following specific standards that must be met for granting a conditional use permit for a public building within the B-1 zoning district.

1. Consistency with the elements and objectives of the city's development guides, including the comprehensive plan and water resources management plan;
2. Consistency with this ordinance;
3. Preservation of the site in its natural state to the extent practicable by minimizing tree and soil removal and designing grade changes to be in keeping with the general appearance of neighboring developed or developing areas;
4. Creation of a harmonious relationship of buildings and open spaces with natural site features and with existing and future buildings having a visual relationship to the development;
5. Creation of a functional and harmonious design for structures and site features, with special attention to the following:
 - a) an internal sense of order for the buildings and uses on the site and provision of a desirable environment for occupants, visitors and the general community;
 - b) the amount and location of open space and landscaping;
 - c) materials, textures, colors and details of construction as an expression of the design concept and the compatibility of the same with the adjacent and neighboring structures and uses; and
 - d) vehicular and pedestrian circulation, including walkways, interior drives and parking in terms of location and number of access

points to the public streets, width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic and arrangement and amount of parking.

6. Promotion of energy conservation through design, location, orientation and elevation of structures, the use and location of glass in structures and the use of landscape materials and site grading; and
7. Protection of adjacent and neighboring properties through reasonable provision for surface water drainage, sound and sight buffers, preservation of views, light and air and those aspects of design not adequately covered by other regulations which may have substantial effects on neighboring land uses.

Section 4. Findings.

4.01 The proposal would meet the general conditional use permit standards as outlined in City Code §300.21 Subd. 2.

4.02 The proposal would meet the specific conditional use permit standards as outlined in City Code §300.21 Subd.3(m) and §300.27 Subd.5(m)

1. The proposed educational use has been reviewed by the city's building, engineering, planning, natural resources, and fire staff. Staff finds the proposal to be generally consistent with the city's development guides.
2. The proposed educational use would meet all minimum ordinance standards.
3. The proposed educational use would occupy an existing building on a developed site. At this time, no changes would be made to the exterior of the building or to the property.
4. Interior building renovations would meet current building code requirements, including those pertaining to energy efficiency.
5. The proposed educational use would not negatively impact the surrounding area. The school occupancy would:
 - a) Result in no immediate changes to the exterior of the building or the grounds.
 - b) Generate slightly fewer vehicle strips than an office building with THE same employee population.

Section 5. City Council Action

- 5.01 The above-described conditional use permit is approved, subject to the following conditions:
1. Subject to staff approval, the property must be developed and maintained in substantial conformance with the following plans:
 - Building Permit Plan Set, dated May 23, 2018
 2. Prior to issuance of a building permit:
 - a) This resolution must be recorded with Hennepin County prior to issuance of a building permit.
 - b) Submit a revised site plan, removing the sidewalk connection between Old Excelsior Boulevard and the building.
 - c) Submit a landscape plan to bring the property into greater compliance with the approved 2001 landscape plan. The plan should include five small trees and some shrubs interspersed between existing trees adjacent to the Highway 7 right-of-way.
 3. If food is provided by the school for the students, the kitchen must meet all food code requirements, including construction and equipment.
 4. The building must be fire sprinkled or meet all minimum building and fire code requirements for schools.
 5. The school district must provide enrollment numbers to the city in August of each year. The numbers must specifically note how many students are enrolled to attend classes on the subject property. Based on those numbers, the city may require construction of additional parking or more stringent off-site shuttling to ensure parking does not become an issue in the future.
 6. The city council may reasonably add or revise conditions to address any future unforeseen problems.
 7. Any change to the approved use that results in a significant increase in traffic or a significant change in character would require a revised conditional use permit.

Adopted by the City Council of the City of Minnetonka, Minnesota, on July 9, 2018.

Brad Wiersum, Mayor

Attest:

David E. Maeda, City Clerk

Action on this resolution:

Motion for adoption:

Seconded by:

Voted in favor of:

Voted against:

Abstained:

Absent:

Resolution adopted.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the City Council of the City of Minnetonka, Minnesota, at a meeting held on July 9, 2018.

David E. Maeda, City Clerk

MINNETONKA PLANNING COMMISSION
June 28, 2018

Brief Description	Items concerning the proposed parking ramp addition at 12700 Whitewater Drive: 1) Major amendment to an existing master development plan; and 2) Final site and building plans, with a parking aisle width and stall length variances.
Recommendation	Recommend the city council approve the proposal

Proposal

Edward Farr, on behalf of the property owner, is proposing to increase an existing parking ramp from five levels to seven levels at 12700 Whitewater Drive. The subject property currently meets the ordinance with the number of parking spaces. However, the current leaseholder, United Health Group, has requested the property owner reconfigure the interior of the subject building to create a denser office environment. This interior change to the office building would allow additional workers on site, but would also necessitate additional parking. The existing site has 635 parking spaces (624 spaces required by city code). If approved, the number of parking spaces on site would increase to approximately 947 spaces.

The proposed parking ramp addition would be a vertical addition within the footprint of the existing ramp. If approved, the subject parking ramp would increase from 42 feet to 66 feet in height. With the parking ramp addition, the proposed ramp would be 17 feet shorter than the existing building on site, which is 83 feet in height. Within the application, the applicant has stated that the two added levels to the parking ramp would continue the same design as the existing ramp levels and no modifications would be made to the entrance or egress to the ramp, including the elevator and stair tower on the north side of the ramp.

Proposal Summary

The following is intended to summarize the applicant's proposal. Additional information associated with the proposal can be found in the "Supporting Information" section of this report.

- **Existing Site Conditions.**

The subject property is located on the northwest side of Whitewater Drive, adjacent to Interstate 494. Generally, the subject building and parking ramp are located on the highest points of the property, with grades sloping downward from both of them. To the west of the two structures is a low point that is classified as a wetland. Water from the subject buildings drain towards this point on the property and towards other low points along the west side of the property. (See attached.)

- **Planned Unit Development**

The property is located within the Minnetonka Corporate Center and is subject to the Minnetonka Corporate Center master development plan. The plan was approved in 1983 and originally envisioned a business park containing 15 development sites. A ten-story, 200,000 square foot office building was envisioned for Site 10, which is the subject property. (See attached.)

Since its approval, the Minnetonka Corporate Center master development plan has been amended on several occasions. In particular, the subject lot received an amendment in 1996 and 1997. (See below)

MDP	SITE 9	SITE 10*
1983 Original	Office 3-stories 60,000 SF	Office 10-stories 200,000 SF
1996 Amendment	Office 2-stories 82,460 SF	Office 6-stories, with a parking ramp 130,000 SF
1997 Amendment	Office 2-stories 82,460 SF	Office 6-story, with a parking ramp 156,000 SF

*Subject Property

- **1997 Site Plan Parking Variance**

In 1997, the city approved site and building plans with a parking aisle width and stall length variances. The city council approved a 2-foot variance (from 19 feet to 17 feet) for stall length and a 7-foot variance (from 23 feet to 16 feet) for aisle width. The city approved these variances as:

- The reduced parking aisle width and stall length allowed the parking ramp to maintain a smaller footprint, thereby, increasing tree preservation on the property; and
- Adequate maneuvering area would be accommodated within the ramp with the proposed variances.

There is mention in the applicant's narrative that the parking structure would be built such that additional parking levels could be added in the future. However, the city approvals did not outright permit this type of expansion. As such, the currently proposed addition requires a master development plan amendment and site and building plan review, with parking aisle width and stall length variances. If approved, the parking ramp additions would have the same parking aisle and stall dimensions as the lower five levels.

- **Site Impacts.**

Construction of the proposed parking lot would require access for construction equipment. Based on the access and construction plan provided by the applicant, nine significant trees and one high priority tree would be lost due to crane access to build the parking ramp addition. The removal would be allowed under the tree ordinance, as this project is not considered a redevelopment project. The tree ordinance defines redevelopment projects as removing or increasing the square footage of the principal structure by more than 50 percent of the building footprint. However, if approved, the applicant would be required to mitigate for the landscaping that will be lost in order to provide crane access to the site, as shown in their submitted landscaping plan. (See attached.)

There is a wetland located on the northwest side of the parking ramp. The applicant has proposed construction activities on the southeast corner of the parking structure. Erosion control fencing would be installed along the west perimeter of that work area to minimize any potential impacts on the wetland and proposes to use platforms or chairs suspended from the structure to avoid disturbance of the subject wetland.

- **Approvals.**

The proposal includes the following requests:

- 1) Master development plan;
- 2) Site and building plan with parking aisle width and stall length variances.

Primary Questions and Analysis

A land use proposal is comprised of many details. In evaluating a proposal, staff first reviews these details and then aggregates them into primary questions or issues. The following outlines both the primary questions associated with the subject proposal and staff's findings.

- **Is the variance for parking aisle width and stall length reasonable?**

Yes. The existing structure was approved with parking aisle width and stall length variances. The continuation of these variances on the upper levels would be appropriate as:

- The parking ramp has existed over 20 years without complaints regarding the narrow aisles and short parking stalls; and
- As stated in the previous variance, there is adequate maneuvering area within the ramp with the aisle width and stall length variances.

- **Does the construction plan adequately address site impacts?**

Yes. The applicant has proposed to replace landscaping lost during construction for the parking ramp. Additionally, the applicant has proposed staging for their construction as far away as possible from the wetland on the site. They have also proposed to install erosion control fencing to ensure protection of the wetland.

- **Is the proposed building and site design reasonable?**

Yes. The proposed site design is logical, limits site impacts, and makes good use of existing structures on the site. The proposed parking ramp addition would be located within the same footprint as the existing parking ramp structure. Due to the addition being strictly vertical, the proposed two level addition onto the existing five level parking structure would maintain traffic and pedestrian patterns and impervious surface on the site.

The proposed structure would also maintain the character of the subject site and overall development. The proposed structure would increase the parking ramp height by 24 feet. However, the proposed structure would be 66 feet in height, still 17 feet shorter than the existing principal structure. (See attached).

The proposed parking structure addition would use acid washed panels with exposed aggregate accent stripes, the same design and materials as the existing parking ramp.

Summary Comments

The proposed parking structure addition would be an investment into the existing office property and would maintain the character of the existing development within the Minnetonka Corporate Center. Staff supports and recommends approval of the proposal, subject to conditions.

Staff Recommendation

Recommend the city council adopt the resolution approving the Master Development Plan amendment and Site and Building Plan Review

Originator: Drew Ingvalson, Planner

Through: Loren Gordon, AICP, City Planner

Supporting Information

Project No.	96007.18a
Property	12700 Whitewater Drive
Applicant	Edward Farr, on behalf of the property owner
Surrounding Land Uses	Northerly: Office Building, zoned I-1, and guided for mixed use Northeasterly: Office building, zoned PUD, and guided for mixed use Southeasterly: Office building, zoned PUD, and guided for mixed use Southerly: Office building, zoned PUD, and guided for mixed use Westerly: Interstate Highway 494
Planning	Guide Plan designation: Mixed Use Zoning: PUD, Planned Unit Development
Existing Site	The subject site is improved with a 156,000 square foot, six story office building. The site also has a five story, 43-foot tall, parking ramp with 635 parking spaces.
Introduction	The city council introduced the ordinance to amend the existing master development plan on June 18, 2018 and referred it to the planning commission. The council asked questions about accessible parking requirements.
City Actions	<p>The Minnetonka Corporate Center Parking Ramp proposal requires the following applications:</p> <ul style="list-style-type: none">• Major amendment to an existing master development plan. By city code, any change to an approved master development plan that “substantially alters the location of buildings, parking areas or roads” is considered a “major” amendment that can only be approved by ordinance.• Final Site and Building Plan. By city code, site and building plan review is required for any expansion of an accessory structure (parking ramp).• Parking Aisle Width and Stall Length Variances. By City Code, 75 degree angle parking must have:<ul style="list-style-type: none">○ 9-foot wide stalls;○ 19-foot long stalls; and○ 23-foot wide aisles. <p>Consistent with the 1997 approved variance, the proposed parking ramp would have:</p> <ul style="list-style-type: none">○ 9-foot wide stalls;○ 17-foot long stalls; and○ 16-foot wide aisles.

Submitted Plan

The originally submitted plans show stall widths below the nine-foot stall width requirement and stall lengths below 17-foot requirement (see additional information below.) However, the applicant has agreed to meet the 1997 approved variance requirements for stall and aisle dimensions and all other parking requirements. With this agreement, the applicant submitted a diagram showing the proposed parking dimensions, meeting the variance approvals. A condition of approval has been added requiring the applicant to submit a revised striping plan for the entire structure that would meet the 1997 variance requirements prior to issuance of a building permit.

	City Ordinance	Submitted Plan	1997 VAR
Stall Width	9 ft.	8.5 ft.	9 ft.
Stall Length	19 ft.	16.5 ft.	17 ft.*
Aisle Width	23 ft.	20.5 ft.	16 ft.*

*Variance Needed

Development Standards

The proposed parking ramp, if approved, would be within the footprint of the existing parking ramp, meeting all development standard setbacks.

Natural Resources

Natural Resources has provided the following comments regarding the proposal:

- **Trees.** The removal limits of the tree ordinance do not apply to the subject project since the project is not considered a redevelopment by ordinance definition.

However, the applicant is required to mitigate for landscaping that is lost in order to provide for crane access to the site. The plan provided appears to meet this requirement, subject to conditions.

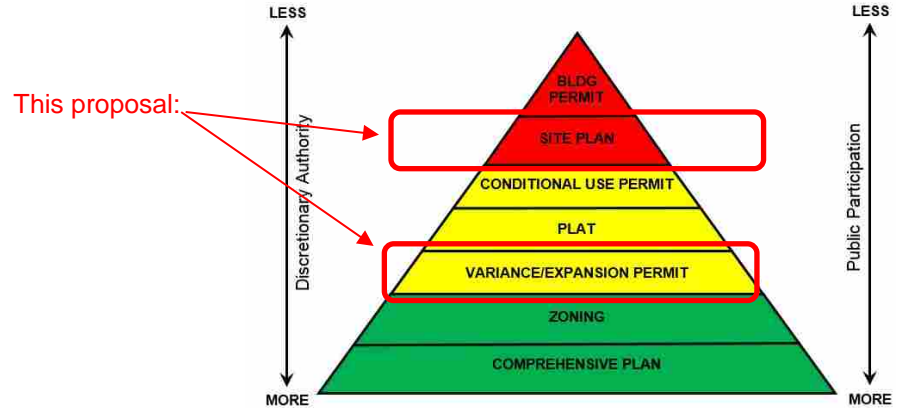
- **Wetland.** The wetland on the west side of the parking ramp would not be impacted. Additional protection would be required if any change in access is proposed.

If approved, best management practices must be followed during the course of site preparation and construction activities. This would include, but not limited to, installation and maintenance of a temporary rock driveway, erosion control, and tree protection fencing. As a condition of approval the applicant must submit a construction management plan detailing these management practices.

Building Design

The proposed ramp addition from five-stories to seven stories building would have a maximum height of 66 feet, 17 feet shorter than the principal building. The subject ramp would have acid washed panels with exposed aggregate accent stripes, matching the existing parking ramp. (See attached).

Pyramid of Discretion



Motion Options

The planning commission has three options:

1. Concur with staff's recommendation. In this case, a motion should be made recommending the city council adopt the ordinance and resolution approving the proposal.
2. Disagree with staff's recommendation. In this case, a motion should be made recommending the city council deny the requested master development plan amendment and final site and building plans with parking aisle and stall length variance request. This motion must include a statement as to why denial is recommended.
3. Table the requests. In this case, a motion should be made to table the item. The motion should include a statement as to why the request is being tabled with direction to staff, the applicant, or both.

Voting Requirement

The planning commission will make a recommendation to the city council on all aspects of the applicant's proposal. A recommendation requires an affirmative vote of a simple majority.

The city council's final approval requires affirmative votes as follows:

- Master Development Plan amendment: 4 votes
- Site and Building Plans: 5 votes, due to the parking variances.

Neighborhood Comments

The city sent notices to of 41 area property owners and received no comments to date.

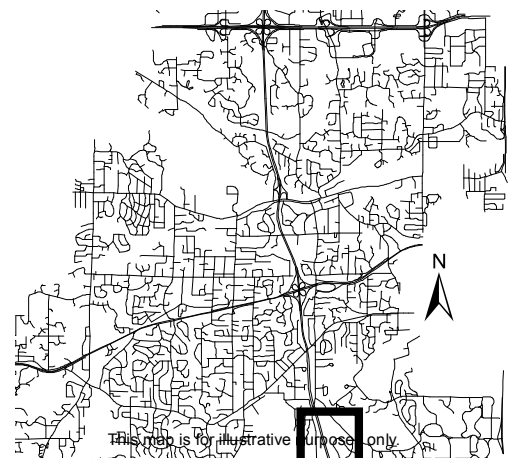
Deadline for Decision

September 17, 2018



Location Map

Project: Minnetonka Corp. Center ramp
Address: 12700 Whitewater Dr











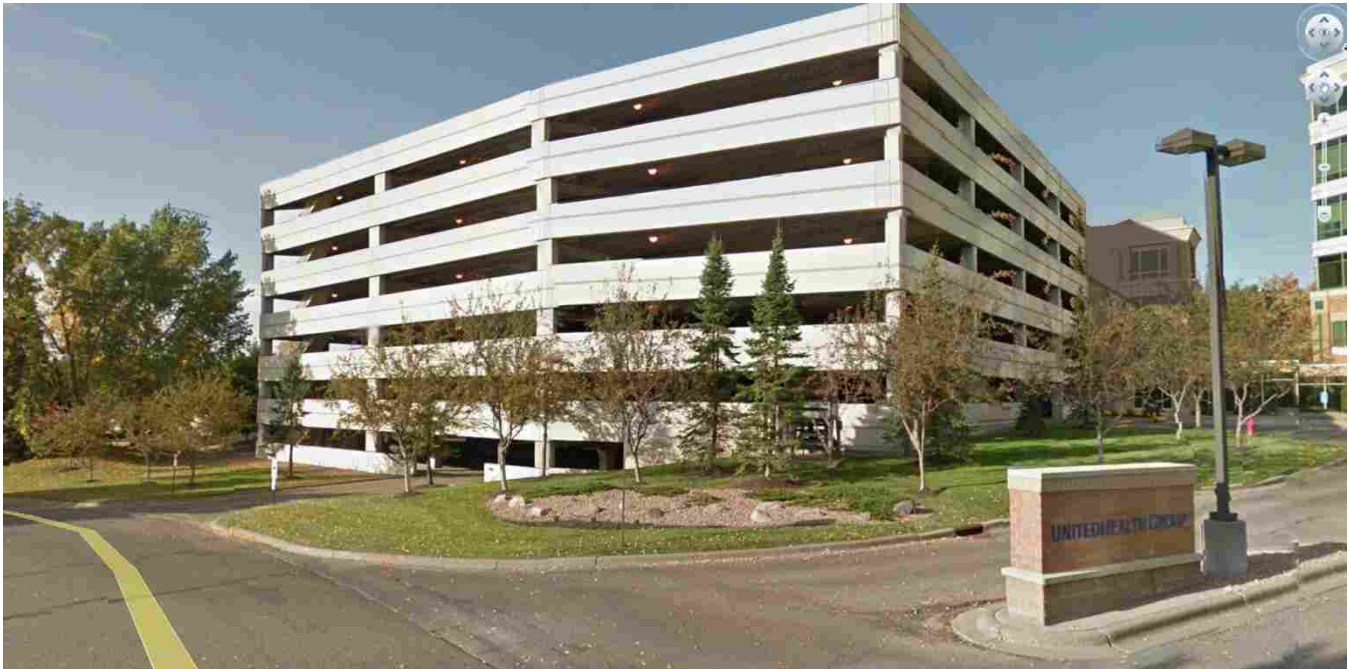
12700 Whitewater Dr. Parking Ramp Expansion

12700 Whitewater Dr., Minnetonka, MN

Minnetonka Corporate Center

Project Summary

May 24, 2018



View of parking structure after expansion

Our team looks forward to working with the City of Minnetonka to obtain all required approvals for the addition of two levels of parking to an existing five level parking structure at 12700 Whitewater Drive (the “Property”). It is our goal to fully integrate this addition into the existing design and appearance of the building and office park, as if the structure was originally constructed to this new size.

Owner: SNH Medical Office Properties Trust
Architect: Ed Farr, Edward Farr Architects

Site Information

Site Area: 259,510 SF / 5.9575 acres
Current Zoning: PUD (Minnetonka Corporate Center)
Proposed Zoning: No change
Proposed Work: Addition of 2 levels of parking to the existing 5 level parking structure
Proposed Parking: 943 spaces within structure; 4 spaces on surface; 947 spaces total

Overview: The Property's office building and adjacent parking structure were constructed in 1998, and is currently occupied by United Health Group. The current owner of the building, SNH Medical Office Properties Trust ("SNH"), is seeking to maintain this tenant. United Health Group's lease renewal is dependent on their ability to reconfigure the office space into a state of the art service center to be used by a number of different business lines within their organization. The service center will have a denser work environment and a significant amount of collaboration space. This increased density requires additional parking which must be provided to maintain United Health Group's presence in Minnetonka. Although the current parking provided at the Property fully complies with the requirements of the City's zoning ordinance (a minimum of 4 spaces per 1000 SF), the increased density of the service center now demands a much higher ratio. Accordingly, this proposed parking structure expansion will provide a ratio of 6 spaces/1000 SF.

Design: The existing parking ramp structure is a 5 level precast concrete component assembly including integrally colored off white exterior spandrels with an acid wash texture and exposed aggregate accents. Level A is entered via Whitewater Drive and is primarily enclosed parking, with much of its exterior below grade. Levels B through E are entered on level B via an access drive within the site. This entry will serve the additional parking on levels F and G. These additional levels will match the original design of precast concrete component construction, and maintain the perimeter shape with no encroachments upon required building setbacks. No site modifications will be necessary to provide additional access to or egress from the structure. An existing brick veneer and glass enclosed stair and elevator tower serving the ramp structure will remain as is and end service and access at Level E; however, SNH is seeking approval to extend this feature 2 stories as well to accommodate potential future needs.

Building Size and Height: The office building meets all zoning requirements, and there are no changes proposed for the office building or site F.A.R. The expansion of the parking structure does not affect any building setbacks. The office building height remains at 83'-0". The parking structure increases from 42'-0" to 63'-0".

Signage: No additional exterior building signage is being proposed.



Detail of acid washed panels with exposed aggregate accent stripe

Parking: The office building measures 156,000 GSF. The zoning requirement is 1 space per 250 SF, or 4 per 1,000; therefore, the required parking is 624 spaces. The expanded parking structure will provide 80 spaces within the enclosed Level A, and 863 spaces among the open Levels B through G. 4 existing additional spaces are provided outside of the parking structure. This amounts to a total of 947 spaces. Per the Minnesota State Building Code 2% of the parking must be accessible; therefore, 19 spaces must be accessible. This accessible parking will be spread throughout the parking structure with 4 spaces on level A, 4 spaces on level B, and 3 spaces on each of levels C, D, and E for a total of 17 within the parking structure. The remaining 2 spaces are outside of the ramp and are designated as van accessible. It should be noted that 4 van accessible parking spaces are required per code; however, the existing ramp construction precludes the use of internal parking for van accessible parking due to the inability to provide the required 98" minimum vertical clearance. Acknowledgement is made that we are short 2 van accessible spaces; however, it is common today that accessible vans are modified mini-vans which do not require taller clearances. Accessible parking spaces on levels B and E will be provided with 8' wide access aisles which are required for van accessible stalls.

Grading: The extent of grading is limited to restoration of the areas affected by construction, primarily the south side and southeast corner of the parking structure. This area will need to be modified to accommodate a large crane and for use as a staging area for unloading large precast concrete pieces. Some of this grading may need to occur on the adjacent property and SNH intends to work with that landowner with respect to access rights and construction management issues.

Landscaping: Proposed landscaping scope is limited to replacement / restoration of planting removed for construction purposes. This is limited to the south side and southeast corner of the parking structure, where construction activity is anticipated to occur. Per city requirements, significant trees that are removed will be replaced with a minimum 2" diameter B&B or 6' evergreens. The one high priority tree to be removed and replaced at an inch for inch ratio requirement is a cottonwood clump with 11 trunks, ranging in size from 2.5" to 13" in diameter and totaling 85". Efforts will be made to replace this tree with an inch per inch ratio, but we respectfully request that the City take into consideration the efforts made to preserve existing wooded areas during the initial development period in 1997. These tree preservation areas will be untouched by this project.

Wetland: A wetland exists on the west side of the property, northwest of the parking structure. Site disturbance work is concentrated at the southeast corner of the parking structure and erosion control will be provided at the west perimeter of that work to minimize any effect of this work on the wetland. Work required on the north and west sides of the structure such as joint sealant installation will be performed from platforms or bosun's chairs suspended from the structure to avoid disturbance of the site in proximity to the wetland.

Sanitary Sewer and Storm Water: The additional ramp levels require the extension of internal floor drains to upper levels. New intake will be minimal and within the capacity of the current pipe sizing. There will be no storm water changes since there is no increase in impervious surface area.

Lighting: Existing lighting on covered parking levels has already been converted to LED from HID, and lighting on new covered levels will match. The top level will be lit by pole mounted lighting as it is currently, but the lamping will be converted to LED.

Parking Ramp Expansion

12700 Whitewater Drive

Minnetonka, MN

SHEET INDEX

TITLE

A.01 COVER SHEET / CODE INFORMATION

SURVEY

EXISTING CONDITIONS SURVEY

CIVIL

- V1.0 EXISTING CONDITION PLAN
- C1.0 SITE DEMOLITION PLAN
- C1.1 SITE STAGING PLAN
- C2.0 SITE RESTORATION PLAN

LANDSCAPE

- L1.0 LANDSCAPE RESTORATION PLAN
- L1.1 LANDSCAPE DETAILS

ARCHITECTURAL

- A1.1 ARCHITECTURAL SITE PLAN
- A2.1 LEVEL E PLAN / LEVEL B PLAN
- A2.2 LEVEL F PLAN
- A2.3 LEVEL G PLAN
- A3.1 EXTERIOR ELEVATIONS
- A4.1 BEFORE AND AFTER VIEWS

ARCHITECT:

EDWARD FARR ARCHITECTS
7710 GOLDEN TRIANGLE DRIVE
EDEN PRAIRIE, MN 55344
PHONE: 952-943-9660

CONTACT: MARC WILLIAMSON

STRUCTURAL:

ERICKSEN ROED & ASSOCIATES
2550 UNIVERSITY AVE. WEST
ST PAUL, MN 55114
PHONE: 651-251-7570

CONTACT: MIKE DeSUTTER, PE

CIVIL ENGINEER:

EVS, INC.
10025 VALLEY VIEW RD.
SUITE 140
EDEN PRAIRIE, MN 55344
PHONE: 952-646-0236

CONTACT: DAN BOWAR, PE

SURVEYOR:

HTPO
7510 MARKET PLACE DR.
EDEN PRAIRIE, MN 55344
PHONE: 952-829-0700

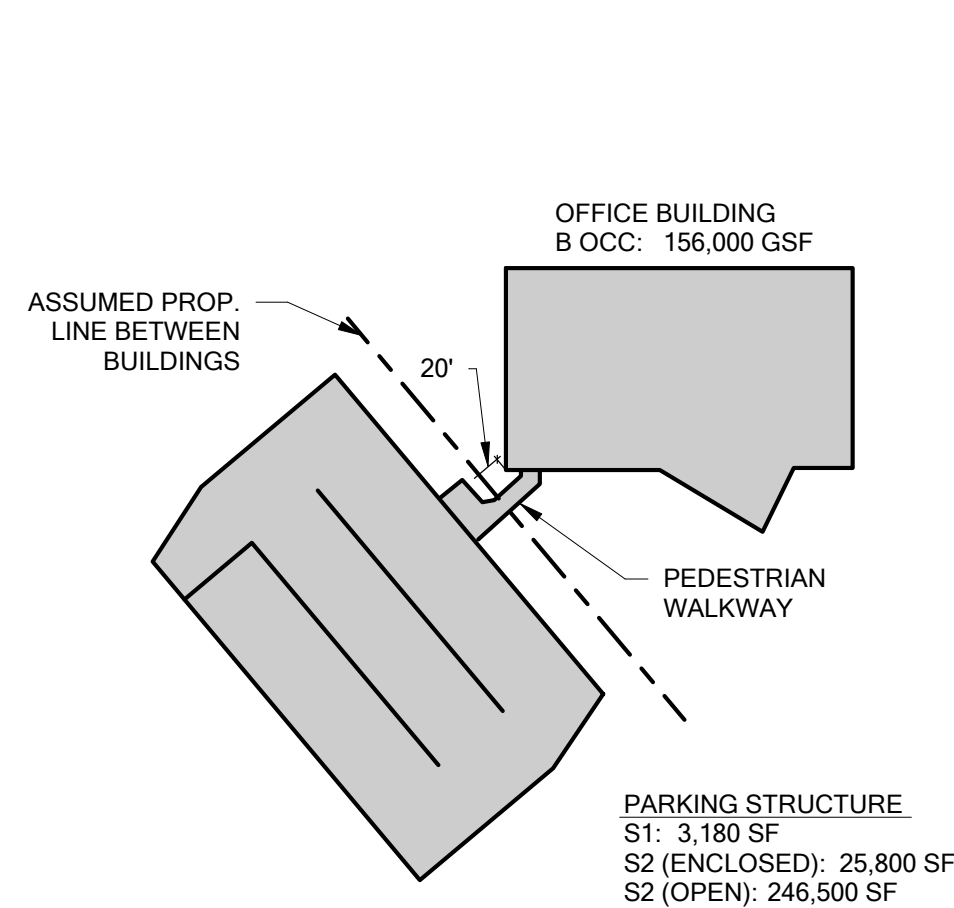
CONTACT: TIM SORENSON, LS

LANDSCAPE:

EVS, INC.
10025 VALLEY VIEW RD.
SUITE 140
EDEN PRAIRIE, MN 55344
PHONE: 952-646-0236

CONTACT: DAN BOWAR

CODE INFORMATION



BUILDING CODE DATA:

APPLICABLE CODES: ORIGINAL CONSTRUCTION: UBC 1994 EDITION & STATE OF MINNESOTA - 1994 EDITION - ADOPTED PROPOSED ADDITION: 2012 IBC AS MODIFIED BY THE 2015 MINNESOTA STATE BUILDING CODE

BUILDING DATA:	OCCUPANCY	CONSTR. TYPE
OFFICE BUILDING	B - OFFICE	II - FR (I-B)
PEDESTRIAN WALKWAY	NA	II - N
ENCL. PARKING GARAGE	S3 (S2)	II - 1HR (II-A)
OPEN PARKING GARAGE	S4 (S2)	II - 1HR (II-A)
MOD. HAZ. STORAGE	S1	II - 1HR (II-A)

	OFFICE BUILDING	PARKING STRUCTURE
BASIC ALLOWABLE AREA	39,900 SF	50,000 SF/TIER
INCREASE OVER ONE STORY	39,900 SF	N/A
INCREASE FOR SEP. 2 SIDES	39,900 SF	N/A
SPRINKLERED	119,700 SF	ENCLOSED AREA
ADJUSTED ALLOWABLE AREA	239,400 SF	500,000 SF
ALLOWABLE NUMBER OF STORIES	12	10 TIERS
NUMBER OF STORIES	6	7 TIERS
AREA PER FLOOR	25,864 GSF	43,425 GSF
TOTAL AREA	156,000 GSF	278,000 GSF
# OCCUPANTS / FLOOR	259	215
REQ. EXIT WIDTH AT STAIRWAYS	78"	65"
ACT. EXIT WIDTH (#EXITS)	108* (3)	72* (2)

ZONING DATA:

ZONING DISTRICT: PUD - MIXED USE
PER 1996 MASTER PUD - MINNETONKA CORPORATE CENTER

LOT AREA: 5.9575 ACRES (259,510 SF)
COVERAGE (FAR): 156,000 GSF/259,510 = .06 (NO CHANGE)

MAX ALLOW HT: PER PUD
ACTUAL HEIGHT:
OFFICE BLDG: 85'-0" (NO CHANGE)
PARKING STRUCTURE: 67'-0" (21' INCREASE)

SETBACKS:
FRONT YARD: 35'-0" OR BLDG HT
SIDE YARD: 35'-0" OF BLDG SETBACK
EAST SIDE: NONE PER LOT SPLIT
REAR YARD: 35'-0" OR BLDG HT
FROM I-494: 50'-0"
PARKING: PER PUD

PARKING REQUIRED:
OFFICE USE: 1 PER 250 SF OR 4 PER 1000 SF
156,000 GSF / 1000 = 156. 4 X 156 = 624 SPACES (635 EXIST)

PARKING PROVIDED:
SURFACE: 004 SPACES (NO CHANGE)
LEVEL A (ENCLOSED) 080 SPACES (NO CHANGE)
LEVEL B (OPEN) 143 SPACES (ADD 2)
LEVEL C - G (OPEN) 720 SPACES (ADD 310)
TOTAL 947 SPACES TOTAL (6.07/1000 SF)

ACCESSIBLE PARKING: REQUIRED
(MSBC ACCESSIBILITY CODE SECTION 1106.1)
OVER 900 SPACES PROVIDED: 2% MUST BE ACCESSIBLE:
947 X .02 = 18.94 = 19 ACCESSIBLE SPACES REQUIRED.
VAN ACCESSIBLE (1/6) = 4*
SURFACE: 02 PROVIDED (EXISTING, VAN)
LEVEL A (ENCLOSED): 04 PROVIDED (EXISTING)
LEVEL B (OPEN) 04 PROVIDED (1 ADDED)
LEVEL C (OPEN) 03 PROVIDED (EXISTING)
LEVEL D (OPEN) 03 PROVIDED (EXISTING)
LEVEL E (OPEN) 03 PROVIDED (NEW)
LEVELS F AND G (OPEN) 00 PROVIDED
TOTAL 19 PROVIDED (2 VAN ACCESSIBLE)

* EXISTING RAMP CONSTRUCTION DOES NOT ALLOW THE REQUIRED 98" MINIMUM VERTICAL CLEARANCE, THEREFORE NO ADDITIONAL VAN ACCESSIBLE STALLS MEETING THE MINIMUM HEIGHT REQUIREMENT CAN BE PROVIDED WITHIN THE STRUCTURE; HOWEVER, ADDED ACCESSIBLE STALLS WITHIN THE RAMP WILL PROVIDE 8' WIDE UNIVERSAL ACCESS AISLE WIDTH THAT CAN SERVE FOR CONTEMPORARY "MINIVAN" ACCESSIBLE VEHICLES.

VICINITY MAP



I hereby certified that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota

Edward A. Farr
Date 05-24-2018 Reg. No. 16362

Project Manager

MRW

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ARCHITECTS INC

7710 Golden Triangle Drive
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Tel: 952.943.9660
www.edfarrarch.com

Client

THE
RMR
GROUP

Project

12700 Whitewater Dr.
Parking Ramp
Expansion

Location

Minnetonka Corporate
Center
12700 Whitewater Dr
Minnetonka, MN

Issued For

CITY SUBMITTAL 05/24/2018

Sheet Title

COVER SHEET / CODE
INFORMATION

Project Number Sheet Number

18.031 A0.1

FILE: P:\2008\08-061-12700 Whitewater Drive\CADD\DWG\SURVEY\08-061.3-12700 Whitewater Dr.dwg LAYOUT: Survey
 USER: tsorenson XREF(S): 08-061.2-12700 Whitewater Dr_XREF.dwg



Description of Property Surveyed

That part of Lot 4, Block 2, Minnetonka Corporate Center, according to the recorded plat thereof, recorded as Document No. 4876699, Hennepin County, Minnesota, lying Northerly of the following described line, and the Easterly and Westerly extensions of said line:

Beginning at a point on the Westerly line of said Lot 4 distant 142.00 feet Northerly from the most Southerly corner of said Lot 4, as measured along said Westerly line; thence Easterly a distance of 358.59 feet to a point on the Easterly line of said Lot 4 distant 114.51 feet Northerly from the Southeast corner of said Lot 4, as measured along said Easterly line, and there terminating.

Abstract Property

General Survey Notes

- All distances are in US survey feet.
- Bearings are based on the Hennepin County Coordinate System (NAD83 86 Adj).
- Please note the boundary information shown hereon is per an ALTA/NSPS Land Title Survey performed by HTPO dated August 16, 2017.
- Site Address: 12700 Whitewater Drive, Minnetonka, MN 55343.
- This survey was prepared for the purpose of showing the existing conditions for site design.
- The current Zoning for the subject property is PUD (Planned Unit Development) per a Zoning Letter from the City of Minnetonka dated August 8, 2017. The setback, height, and floor space area restrictions for said zoning designation were obtained from a draft Zoning Assessment, dated August 31, 2017, conducted by Key Zoning Assessments, LLC, supplied to HTPO by the client and are as follows:

Minimum Setbacks:
 Front: Per Site Plan: 35 feet Side: North: Per Site Plan: 50 feet Rear: Per Site Plan: 50 feet Parking Front: Per Site Plan: 20 feet
 East: Per Site Plan: 20 feet
 South: Per Site Plan: 35 feet

Maximum Height: Per Approval: 6 stories for Office, 5 stories for Parking Garage
 Lot Area: No requirement
 Maximum Floor Area: Per Approval: 156,000 square feet
 Minimum Parking: Per Approval: 1 space for each 250 square feet, 599 spaces minimum

- Elevations are based on Mn/DOT Geodetic Station Name: 2773 G which has an elevation of 936.88 (NAVD88). Benchmarks for the site are the top nut of hydrant on Whitewater Drive in the easterly portion of the subject property which has an elevation of 970.60 feet, and the top nut of hydrant in the outside driveway and parking area in the central portion of the subject property which has an elevation of 972.34.
- The subsurface utility information in this plan is Utility Quality Level "D". This Utility Quality Level was determined according to the guidelines of CI-ASCE 38-02, entitled "Standard Guideline for the Collection and Depiction of Existing Subsurface Utility Data."
- Please note this survey was prepared without the benefit of a title commitment. There may be easements of record that are not shown hereon.
- The site has a total of 646 Parking Stalls: 642 inside and 4 outside. The following stalls are included in the parking ramp: 78 enclosed stalls; 4 Handicap spaces on level A, 3 Handicap spaces on level B, and 3 Handicap spaces on level D. Outside of the parking ramp, there are 2 Regular stalls and 2 Handicap spaces. Please note that we cannot list the regular parking spaces for each level because we cannot determine where one level begins and the other ends due to parking stalls that are located on the transition ramps.

Minnesota Certification

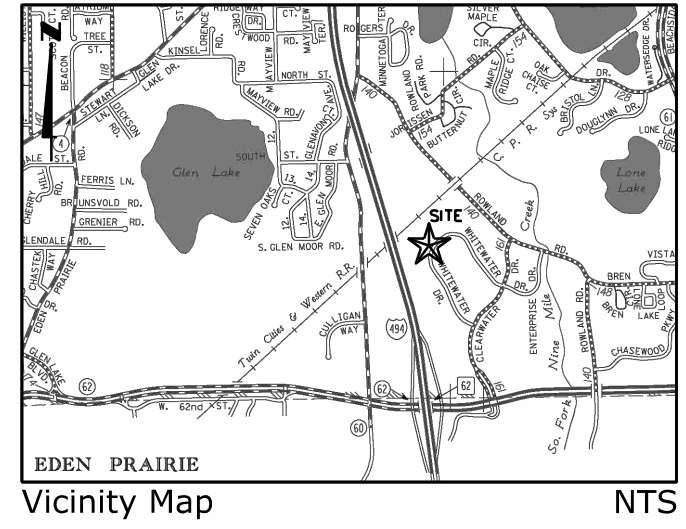
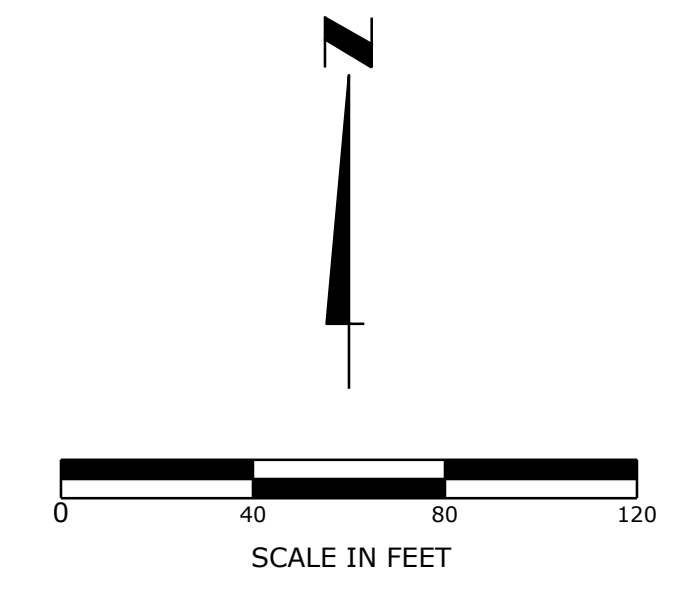
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 8th day of May, 2018.

Timothy L. Sorenson
 Timothy L. Sorenson Minnesota License No. 48087

LINETYPE & SYMBOL LEGEND

— GAS —	— GAS —	GASMAIN	⊕ BOLLARD	⊕ GAS METER
— WATERMAIN —	— WATERMAIN —	WATERMAIN	⊕ SIGN	⊕ WATER VALVE
— SANITARY SEWER —	— SANITARY SEWER —	SANITARY SEWER	⊕ FLAG POLE	⊕ CATCH BASIN
— STORM SEWER —	— STORM SEWER —	STORM SEWER	⊕ HANDICAP SYMBOL	⊕ SANITARY MANHOLE
— OVERHEAD UTILITIES —	— OVERHEAD UTILITIES —	OVERHEAD UTILITIES	⊕ HYDRANT	⊕ STORM MANHOLE
— TELEPHONE LINE —	— TELEPHONE LINE —	TELEPHONE LINE	⊕ LIGHT	⊕ SET IRON MONUMENT
— ELECTRIC LINE —	— ELECTRIC LINE —	ELECTRIC LINE	⊕ HANDHOLE	⊕ DECIDUOUS TREE
— CHAINLINK FENCELINE —	— CHAINLINK FENCELINE —	CHAINLINK FENCELINE	⊕ UTILITY MANHOLE	⊕ CONIFEROUS TREE
— BLOCK RETAINING WALL —	— BLOCK RETAINING WALL —	BLOCK RETAINING WALL	⊕ POWER POLE	⊕ ELECTRICAL METER
			⊕ ELECTRIC BOX	⊕ ELECTRIC TRANSFORMER



Existing Conditions Survey

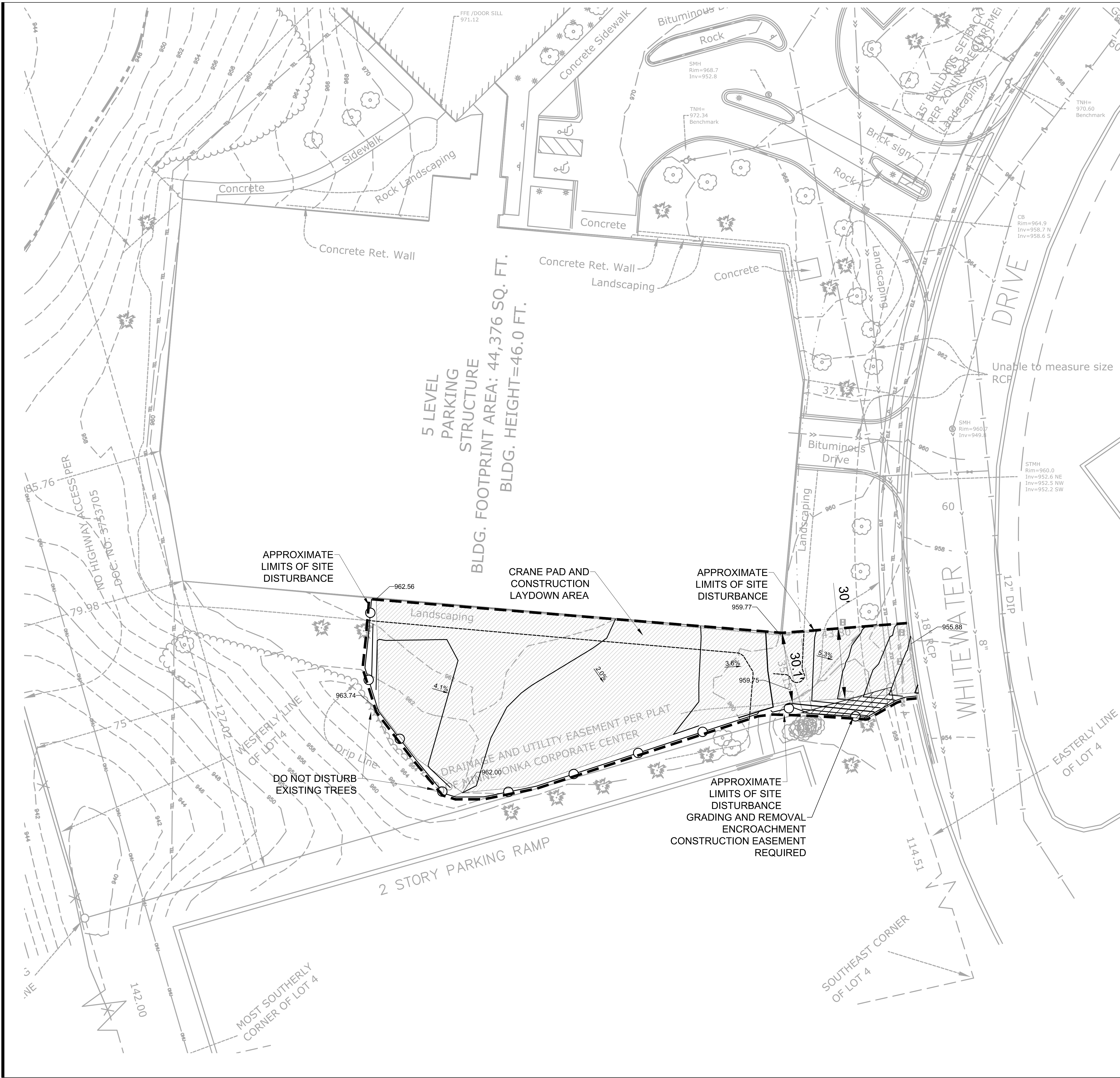
12700 Whitewater Drive

Minnetonka, MN

HANSEN THORP PELLINEN OLSON, Inc.
 7510 Market Place Drive Eden Prairie, MN 55344
 952-829-0700 952-829-7806 fax

Revision

Project No. 08-061.3
 Drawn by DRB
 Checked by TLS
 Book/Page
 Date: 5-08-2018
 Client:



- GRADING SEQUENCE**
1. INSTALL ROCK CONSTRUCTION ENTRANCE.
 2. PLACE INLET PROTECTION ON ALL DOWNSTREAM INLETS WHICH MAY RECEIVE RUNOFF FROM THE SITE.
 3. INSTALL PERIMETER SEDIMENT CONTROL DEVICES (SILT FENCE)
 4. REMOVE TREES AND VEGETATION AS NOTED.
 5. STRIP TOPSOIL, STOCKPILE AND STABILIZE IN BERM FOR FUTURE SPREADING.
 6. INSTALL STABILIZED CRANE PAD AND WORK SURFACE.
 7. PROVIDE REGULAR INSPECTION OF BMP'S AND PROVIDE STREET SWEEPING ON A REGULAR BASIS AS NECESSARY.
 8. ALL SOILS WILL BE COMPACTED AS REQUIRED FOR CRANE LOADS. REQUIREMENTS TO BE DETERMINED BY CONTRACTOR.
 9. COMPLETE SITE GRADING PER PLAN.
 10. RESPREAD TOPSOIL.
 11. STABILIZE DENUDED AREAS AND STOCKPILES WITHIN TIME FRAME LISTED IN EROSION PREVENTION PRACTICES.
- GENERAL NOTES**

1. CONTRACTOR TO ADHERE TO ALL REQUIREMENTS OF THE MINNESOTA POLLUTION CONTROL AGENCY NPDES PERMIT, INCLUDING THE REQUIREMENT TO MINIMIZE THE AREA DISTURBED BY GRADING AT ANY GIVEN TIME AND TO COMPLETE TURF RESTORATION IN THE TIME REQUIRED BY THE PERMIT AFTER COMPLETION OF WORK.
2. A COPY OF THESE PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
3. BMP'S REFER TO EROSION AND SEDIMENT CONTROL PRACTICES DEFINED IN THE MPCA PROTECTION WATER QUALITY IN URBAN AREAS AND THE MINNESOTA CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL PLANNING HANDBOOK.
4. ALL EROSION AND SEDIMENT CONTROL FACILITIES (BMP'S) SHALL BE INSTALLED AND IN OPERATION PRIOR TO LAND DISTURBANCE ACTIVITIES. SOME EROSION CONTROL SUCH AS CHECK DAMS AND TEMPORARY SILT POND MAY BE INSTALLED AS GRADING OCCURS IN THE SPECIFIC AREA. THEY SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR EROSION HAS PASSED.
5. THE BMP'S SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS FOR THE ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS DICTATE, THE PERMITTEE SHALL ANTICIPATE THAT MORE BMP'S WILL BE NECESSARY TO ENSURE EROSION AND SEDIMENT CONTROL ON THE SITE. DURING THE COURSE OF CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE PERMITTEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY CONSTRUCTION ACTIVITIES AND/OR CLIMATIC EVENTS AND TO PROVIDE ADDITIONAL BMP'S OVER AND ABOVE THE MINIMUM REQUIREMENTS SHOWN ON THE PLANS THAT MAY BE NEEDED TO PROVIDE EFFECTIVE PROTECTION OF WATER AND SOIL RESOURCES.
6. ALL TREES NOT LISTED FOR REMOVAL SHALL BE PROTECTED. DO NOT OPERATE EQUIPMENT WITHIN THE DRIP LINE, ROOT ZONES OR WITHIN TREE PROTECTION FENCE AREAS. SEE TREE PROTECTION PLAN FOR ADDITIONAL REQUIREMENTS AND PRACTICES.
7. WHEREVER POSSIBLE, PRESERVE THE EXISTING TREES, GRASS AND OTHER VEGETATIVE COVER TO HELP FILTER RUNOFF.
8. OPERATE TRACK EQUIPMENT (DOZER) UP AND DOWN EXPOSED SOIL SLOPES ON FINAL PASS, LEAVING TRACK GROOVES PERPENDICULAR TO THE SLOPE. DO NOT BACK-BLADE. LEAVE A SURFACE ROUGH TO MINIMIZE EROSION.
9. TEMPORARY SEED SHALL BE DONE IN ACCORDANCE TO MNDOT 2575 & 3876. CONSISTING OF:
 - MN SEED MIX 22-111 @ 40 LBS. PER ACRE OR APPROVED EQUAL.
 - MULCH SHALL BE MNDOT TYPE 3 @ 2 TONS PER ACRE OR APPROVED EQUAL AND DISK ANCHORED IN PLACE OR APPROVED EQUAL, INSTALLED TO MINIMUM 90% COVERAGE OF THE SURFACE AREA DISTURBED.
 - TYPE 1 FERTILIZER, 10-10-20 @ 200 LBS. PER ACRE.
 - OR AS NOTED ON THE FINAL LANDSCAPE PLAN.
10. PERMANENT TURF RESTORATION SHALL BE DONE IN ACCORDANCE WITH MNDOT 2575 & 3876. CONSISTING OF:
 - MN SEED MIX 25-121 AT 75 LBS. PER ACRE.
 - MULCH SHALL BE MNDOT TYPE 3 @ 2 TONS PER ACRE OR APPROVED EQUAL AND DISK ANCHORED IN PLACE OR APPROVED EQUAL, INSTALLED TO MINIMUM 90% COVERAGE OF THE SURFACE AREA DISTURBED.
 - TYPE 3 FERTILIZER, 22-5-10 80%W.I.N. @ 350 LBS. PER ACRE.
 - OR AS NOTED ON THE FINAL LANDSCAPE PLAN.
11. CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED AREAS.
12. THE CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS AS NEEDED FOR DUST CONTROL.
13. WITHIN 7 DAYS OF COMPLETION OF THE SITE GRADING OPERATIONS THE ENTIRE SITE (EXCEPT ROADWAYS) SHALL HAVE BEEN SEEDED AND MULCHED AND SILT FENCE SHALL BE INSTALLED.
14. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROPERLY DISPOSED OF WITH THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.

I hereby certified that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Daniel E. Bowar
Date _____ Reg. No. 45081

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Eden Prairie, Minnesota 55344 www.edfarrarch.com

Client
THE RMR GROUP

Project
12700 Whitewater Dr.
Parking Ramp
Expansion

Location
Minnetonka Corporate
Center
12700 Whitewater Dr
Minnetonka, MN

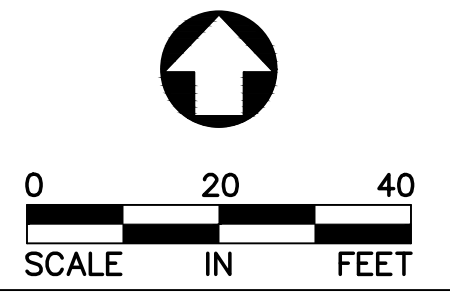
Issued For
CITY SUBMITTAL

Date
05/24/2018

Sheet Title
SITE STAGING PLAN

Project Number
18.031

Sheet Number
C1.1

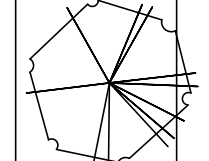
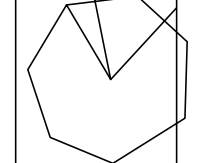
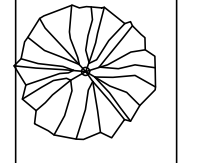
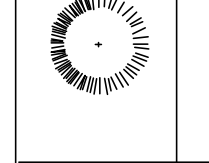







NOTES

1. PLANTING COUNTS ARE SHOWN ON THE LANDSCAPE LEGEND SHEET L-2
2. PLANTINGS REFLECT THE REPLACEMENT OF 2 SIGNIFICANT TREES AND ONE HIGH PRIORITY TREE.
3. ALL DISTURBED AREAS TO BE SODDED LAWN
4. ALL PLANTED AREAS TO BE IRRIGATED.

LANDSCAPE SYMBOLS	
SYMBOL COMMON NAME / BOTANICAL NAME	
EVERGREEN & DECIDUOUS TREES	
	SWAMP WHITE OAK QUERCUS BICOLOR
	AMERICAN LINDEN 'BOULEVARD' TILIA AMERICANA 'BOULEVARD'
	SUGAR MAPLE 'GREEN MOUNTAIN' ACER SACCHARUM 'GREEN MOUNTAIN'
	BLACK HILLS SPRUCE PICEA GLAUCA DENSATA
	SERVICEBERRY AMELANCHIER X GRANDIFLORA

I hereby certified that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota

Kathy O'Connell
Date _____ Reg. No. XXXXX

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Tel: 952.943.9660 www.edfarrarch.com

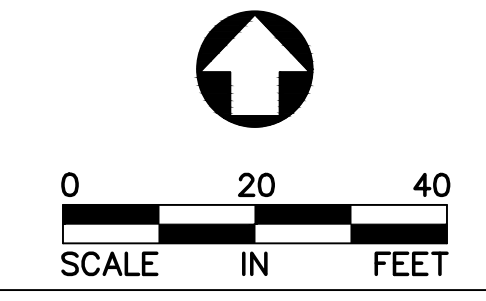
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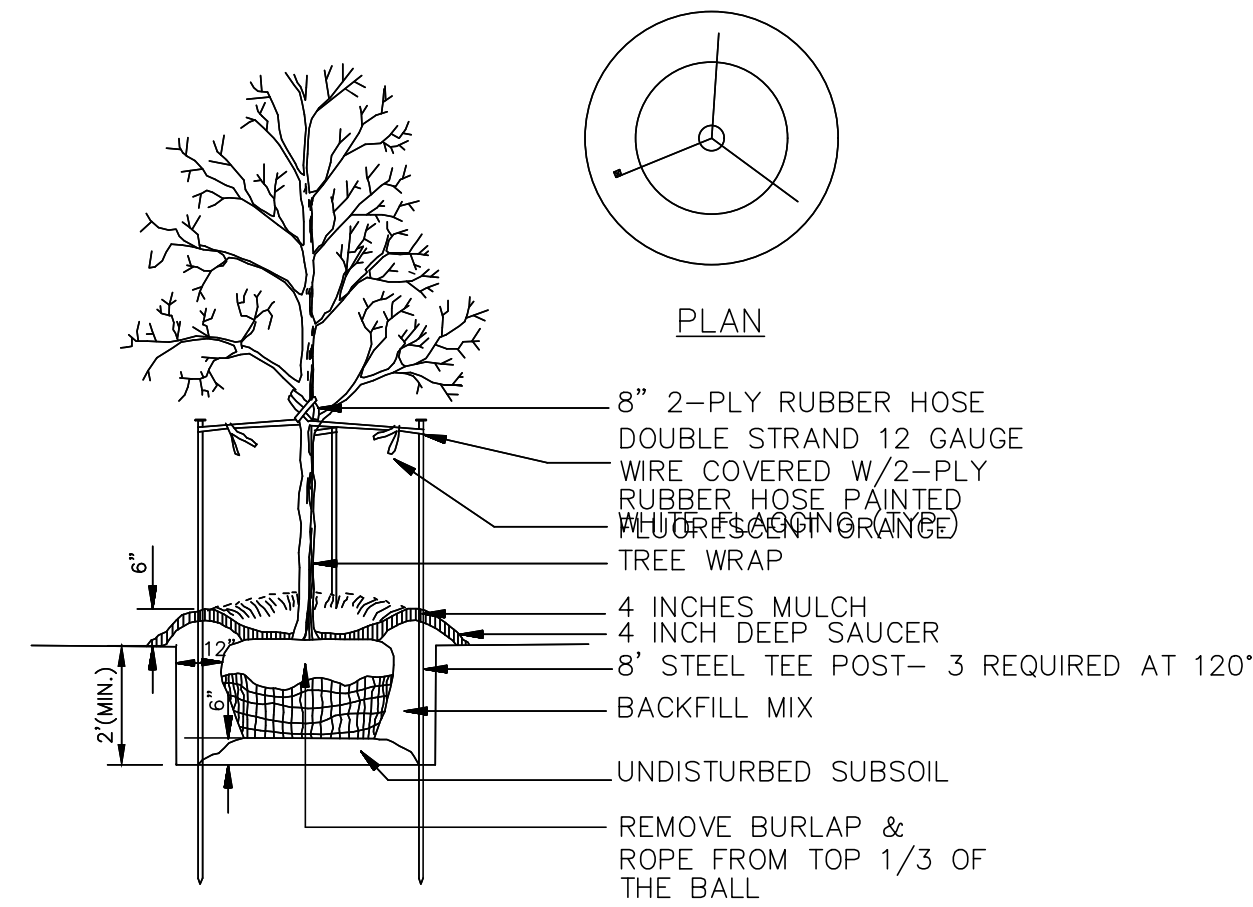
Project: 12700 Whitewater Dr. Parking Ramp Expansion

Location: Minnetonka Corporate Center
12700 Whitewater Dr
Minnetonka, MN

Issued For: CITY SUBMITTAL Date: 05/24/2018

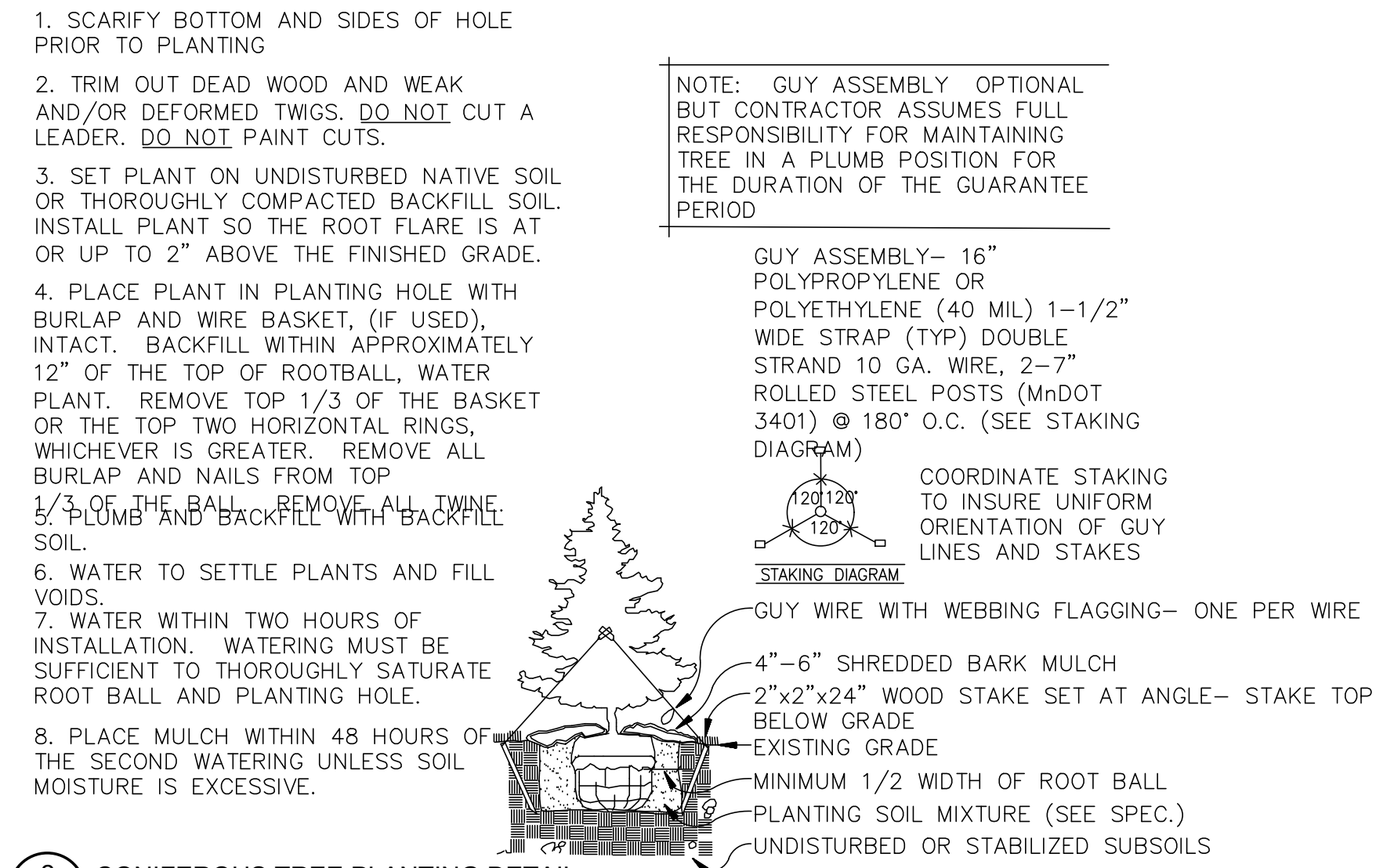
Sheet Title: LANDSCAPE RESTORATION PLAN
Project Number: 18.031 Sheet Number: L1.0





NOTE: SEE PLANTING NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

1 DECIDUOUS TREE PLANTING DETAIL
L-202 NOT TO SCALE



2 CONIFEROUS TREE PLANTING DETAIL
L-202 NOT TO SCALE

LANDSCAPE LEGEND					
SYMBOL	COMMON NAME / BOTANICAL NAME	SIZE	ROOT	QTY	COMMENTS
EVERGREEN & DECIDUOUS TREES					
	SWAMP WHITE OAK QUERCUS BICOLOR	4"	B&B	2	-
	AMERICAN LINDEN 'BOULEVARD' TILIA AMERICANA 'BOULEVARD'	4"	B&B	3	-
	MAPLE 'GREEN MOUNTAIN' ACER SACCHARUM 'GREEN MOUNTAIN'	3.5"	B&B	1	-
	BLACK HILLS SPRUCE PICEA GLAUCA DENSATA	8'HT	B&B	5	-
	SERVICEBERRY AMELANCHIER X GRANDIFLORA	8'HT	B&B	6	CLUMP FORM

NOTES

- PLANTING COUNTS SHOWN ON LANDSCAPE LEGEND REFLECT THE TOTAL PLANT COUNT OF ALL SHEETS
- PLANTINGS REFLECT THE REPLACEMENT OF 2 SIGNIFICANT TREES AND ONE HIGH PRIORITY TREE.
- ALL DISTURBED AREAS TO BE SODDED LAWN
- ALL PLANTED AREAS TO BE IRRIGATED.

PLANTING NOTES

- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE AND BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE LANDSCAPE LEGEND.
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING, OR AFTER INSTALLATION.
- NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK," ANSI-Z60, LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS.
- EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED TO THE DRIP LINE FROM ALL CONSTRUCTION TRAFFIC, STORAGE OF MATERIALS ETC. WITH 4' HT. ORANGE PLASTIC SAFETY FENCING ADEQUATELY SUPPORTED BY STEEL FENCE POSTS 6' O.C. MAXIMUM SPACING.
- ALL PLANT MATERIAL QUANTITIES, SHAPES OF BEDS AND LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN AND ADJUSTED TO CONFORM TO THE EXACT CONDITIONS OF THE SITE. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIALS PRIOR TO INSTALLATION.
- ALL TREES MUST BE PLANTED, MULCHED, AND STAKED AS SHOWN IN THE DETAILS.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
- MULCH: SHREDDED HARDWOOD MULCH, CLEAN AND FREE OF NOXIOUS WEEDS OR OTHER DELETERIOUS MATERIAL. IN ALL MASS PLANTING BEDS AND FOR TREES, UNLESS INDICATED AS ROCK MULCH ON DRAWINGS, SUBMIT SAMPLE TO LANDSCAPE ARCHITECT PRIOR TO DELIVERY ON-SITE FOR APPROVAL. DELIVER MULCH ON DAY OF INSTALLATION. USE 4" FOR TREES, SHRUB BEDS, AND 3" FOR PERENNIAL/GROUND COVER BEDS, UNLESS OTHERWISE DIRECTED.
- THE PLAN TAKES PRECEDENCE OVER THE LANDSCAPE LEGEND IF DISCREPANCIES EXIST. THE SPECIFICATIONS TAKE PRECEDENCE OVER THE PLANTING NOTES AND GENERAL NOTES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE THE WORK SHOWN ON THE PLAN. VERIFY ALL QUANTITIES SHOWN ON THE LANDSCAPE LEGEND.
- LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.
- THE CONTRACTOR SHALL KEEP PAVEMENTS, PLANTERS AND BUILDINGS CLEAN AND UNSTAINED. ALL PEDESTRIAN AND VEHICLE ACCESS TO BE MAINTAINED THROUGHOUT CONSTRUCTION PERIOD. ALL WASTES SHALL BE PROMPTLY REMOVED FROM THE SITE. ANY PLANT STOCK NOT PLANTED ON DAY OF DELIVERY SHALL BE HEeled IN AND WATERED UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAVED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
- LOCATE AND VERIFY ALL UTILITIES, INCLUDING IRRIGATION LINES, WITH THE OWNER FOR PROPRIETARY UTILITIES AND GOPHER STATE ONE CALL AT 454-0002 (TWIN CITIES METRO AREA) OR 800-252-1166 (GREATER MINNESOTA) 48 HOURS BEFORE DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ANY DAMAGES TO SAME. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- USE ANTI-DESICCANT (WILT PRUF OR APPROVED EQUAL) ON DECIDUOUS PLANTS MOVED IN LEAF AND FOR EVERGREENS MOVED ANYTIME. APPLY AS PER MANUFACTURER'S INSTRUCTION. ALL EVERGREENS SHALL BE SPRAYED IN THE LATE FALL FOR WINTER PROTECTION DURING WARRANTY PERIOD.
- PLANTING SOIL FOR TREES, SHRUBS AND GROUND COVERS: FERTILE FRIABLE LOAM CONTAINING A LIBERAL AMOUNT OF HUMUS AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHALL COMPLY WITH MNDOT SPECIFICATION 3877 TYPE B SELECT TOPSOIL. MIXTURE SHALL BE FREE FROM HARDPACK SUBSOIL, STONES, CHEMICALS, NOXIOUS WEEDS, ETC. SOIL MIXTURE SHALL HAVE A PH BETWEEN 6.1 AND 7.5 AND 10-10-10 FERTILIZER AT THE RATE OF 3 POUNDS PER CUBIC YARD. IN PLANTING BEDS INCORPORATE THIS MIXTURE THROUGHOUT THE ENTIRE BED BY ROTOTILLING INTO THE TOP 12" OF SOIL.
- ALL PLANTS SHALL BE GUARANTEED FOR ONE COMPLETE GROWING SEASON (APRIL 1 - NOVEMBER 1), UNLESS OTHERWISE SPECIFIED. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND PLANTS.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 3 DAYS PRIOR TO PLANNED DELIVERY. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 24 HOURS IN ADVANCE OF BEGINNING PLANT INSTALLATION.
- SEASONS/TIME OF PLANTING: NOTE: THE CONTRACTOR MAY ELECT TO PLANT IN OFF-SEASONS ENTIRELY AT HIS/HER RISK.
 - DECIDUOUS POTTED PLANTS: APRIL 1-JUNE 1; AUG. 21-NOV. 1
 - DECIDUOUS B&B: APRIL 1-JUNE 1; AUG. 21-NOV. 1
 - EVERGREEN POTTED PLANTS: APRIL 1-JUNE 1; AUG. 21-OCT. 1
 - EVERGREEN B&B: APRIL 1-MAY 15; AUG. 21-SEPT. 15
- MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE. PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF THE PLANTS IS COMPLETE. INSPECTION HAS BEEN MADE, AND PLANTINGS ARE ACCEPTED EXCLUSIVE OF THE GUARANTEE. MAINTENANCE SHALL INCLUDE WATERING, CULTIVATING, MULCHING, REMOVAL OF DEAD MATERIALS, RE-SETTING PLANTS TO PROPER GRADE AND KEEPING PLANTS IN A PLUMB POSITION. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL CONTINUE TO BE RESPONSIBLE FOR KEEPING THE TREES PLUMB THROUGHOUT THE GUARANTEE PERIOD.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL LANDSCAPE LEGEND SPECIFICATIONS.
- WATERING: MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS ONCE A WEEK. IN EXTREMELY HOT, DRY WEATHER, WATER MORE OFTEN AS REQUIRED BY INDICATIONS OF HEAT STRESS SUCH AS WILTING LEAVES. CHECK MOISTURE UNDER MULCH PRIOR TO WATERING TO DETERMINE NEED. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER.
- CONTRACTOR SHALL REQUEST IN WRITING, A FINAL ACCEPTANCE INSPECTION.
- ALL DISTURBED AREAS TO BE SEEDED, ARE TO RECEIVE 4" TOP SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

I hereby certified that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota

Kathy O'Connell
Date _____ Reg. No. XXXXX

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EDWARD FARR ARCHITECTS INC.
7710 Golden Triangle Drive Eden Prairie, Minnesota 55344
Tel: 952.943.9660 www.edfarrarch.com

Client
THE RMR GROUP

Project
12700 Whitewater Dr. Parking Ramp Expansion

Location
Minnetonka Corporate Center
12700 Whitewater Dr
Minnetonka, MN

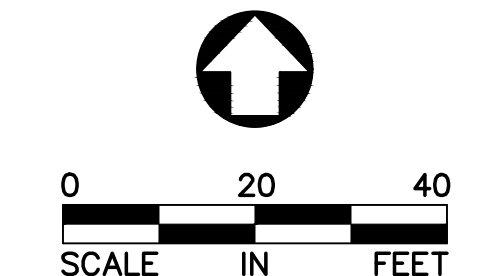
Issued For
CITY SUBMITTAL

Date
05/24/2018

Sheet Title
LANDSCAPE DETAILS

Project Number
18.031

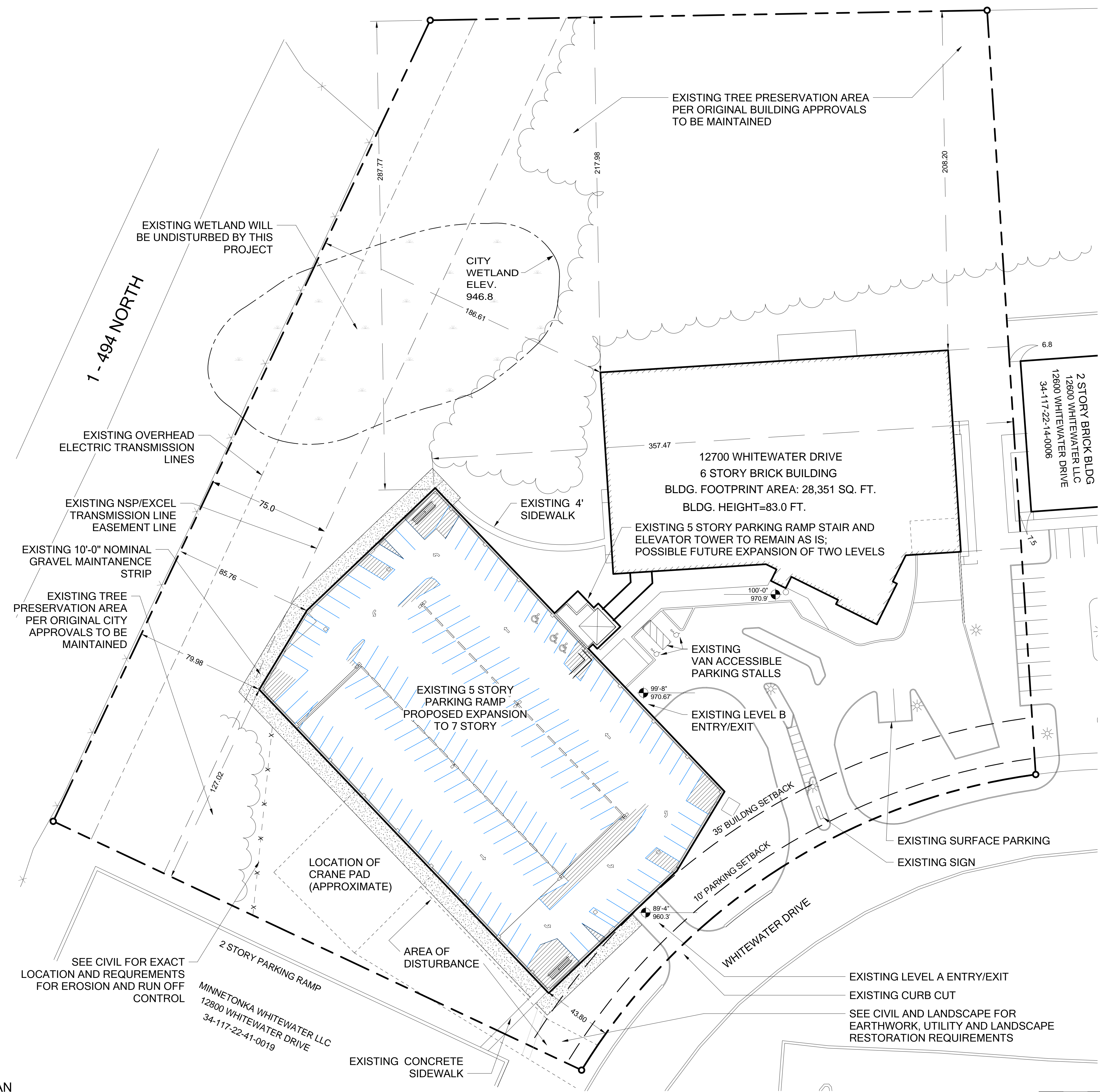
Sheet Number
L1.1



I hereby certified that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota

Edward A. Farr
Date 05-24-2018 Reg. No. 16362

Project Manager
MRW
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EDWARD FARR ARCHITECTS INC
7710 Golden Triangle Drive Eden Prairie, Minnesota 55344 Tel: 952.943.9600 www.edfarrarch.com

Client
THE RMR GROUP

Project
12700 Whitewater Dr. Parking Ramp Expansion

Location
Minnetonka Corporate Center
12700 Whitewater Dr
Minnetonka, MN

Issued For
CITY SUBMITTAL

Date
05/24/2018

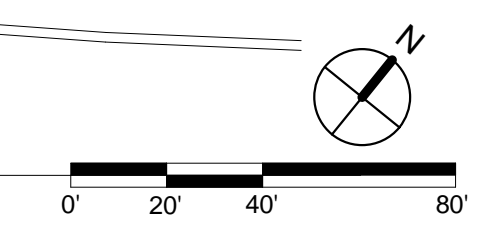
Sheet Title
ARCHITECTURAL SITE PLAN

Project Number
18.031

Sheet Number
A1.1

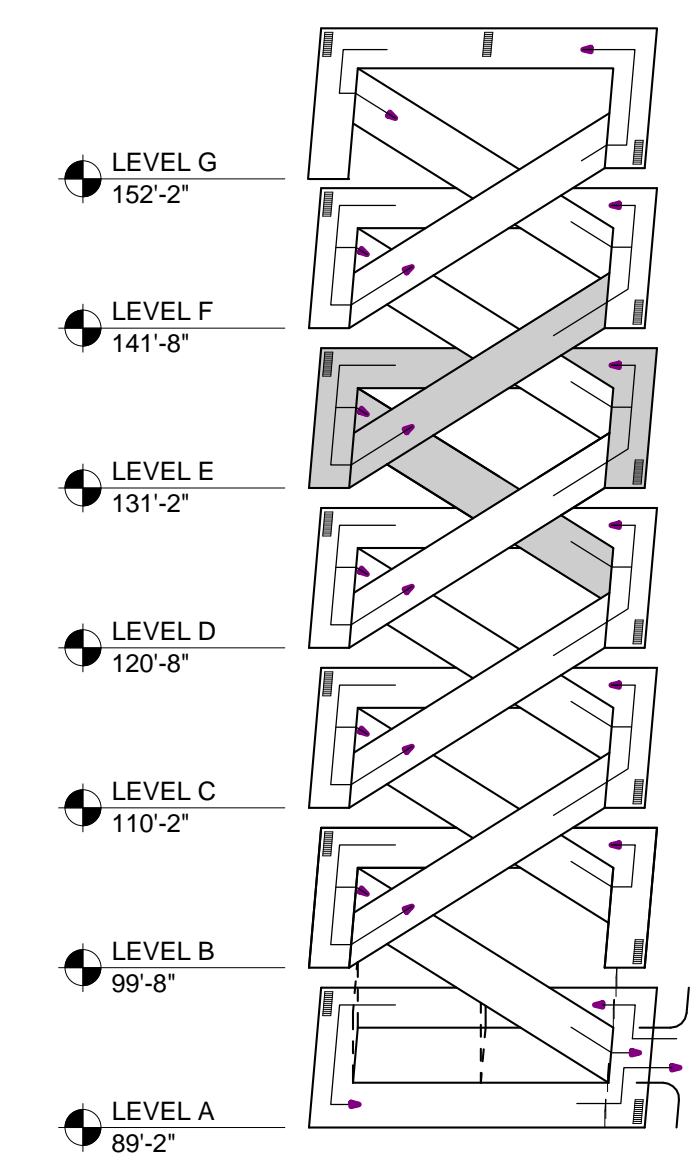
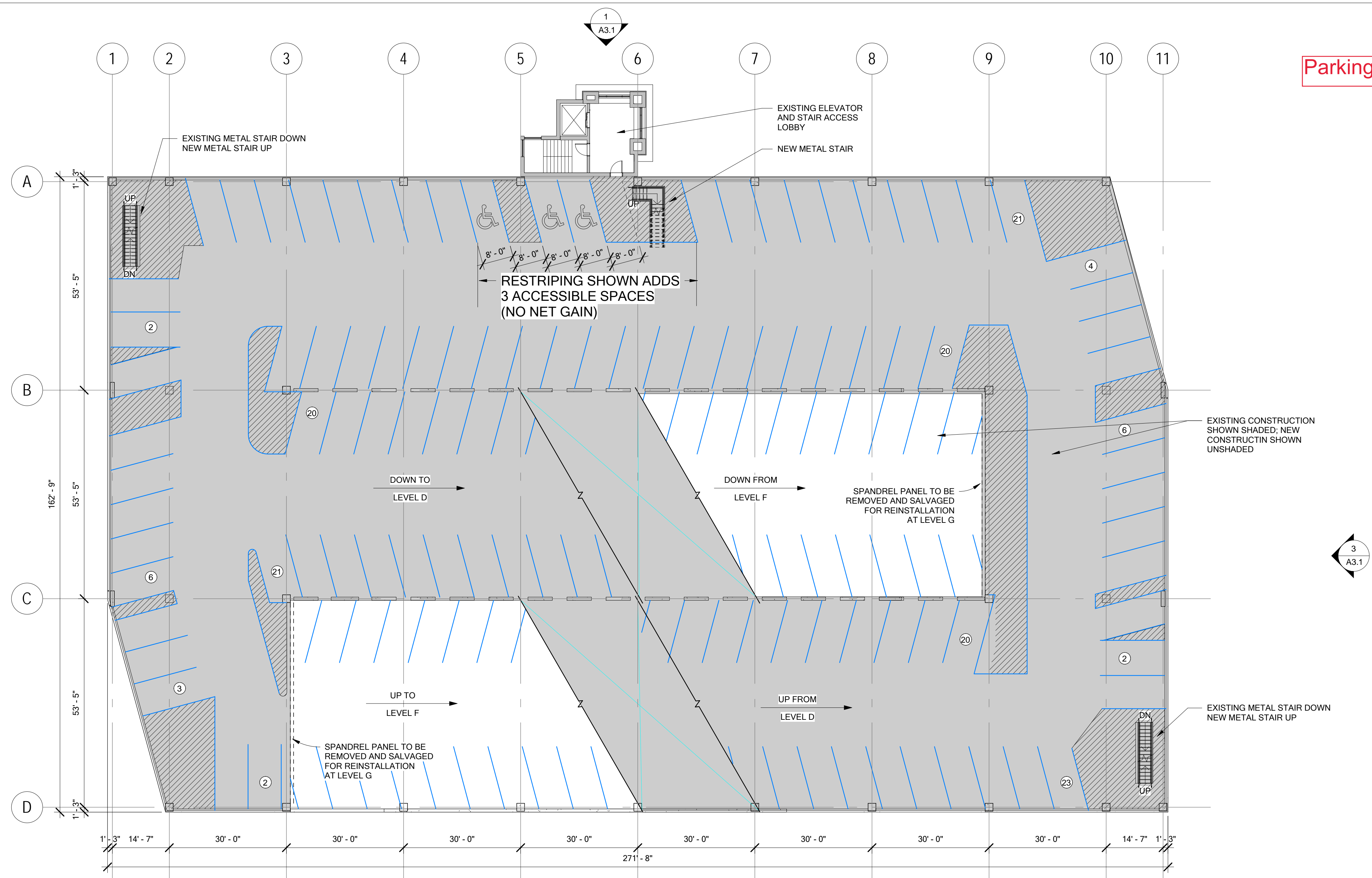
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1 SITE PLAN
A1.1 SCALE: 1" = 30'-0"

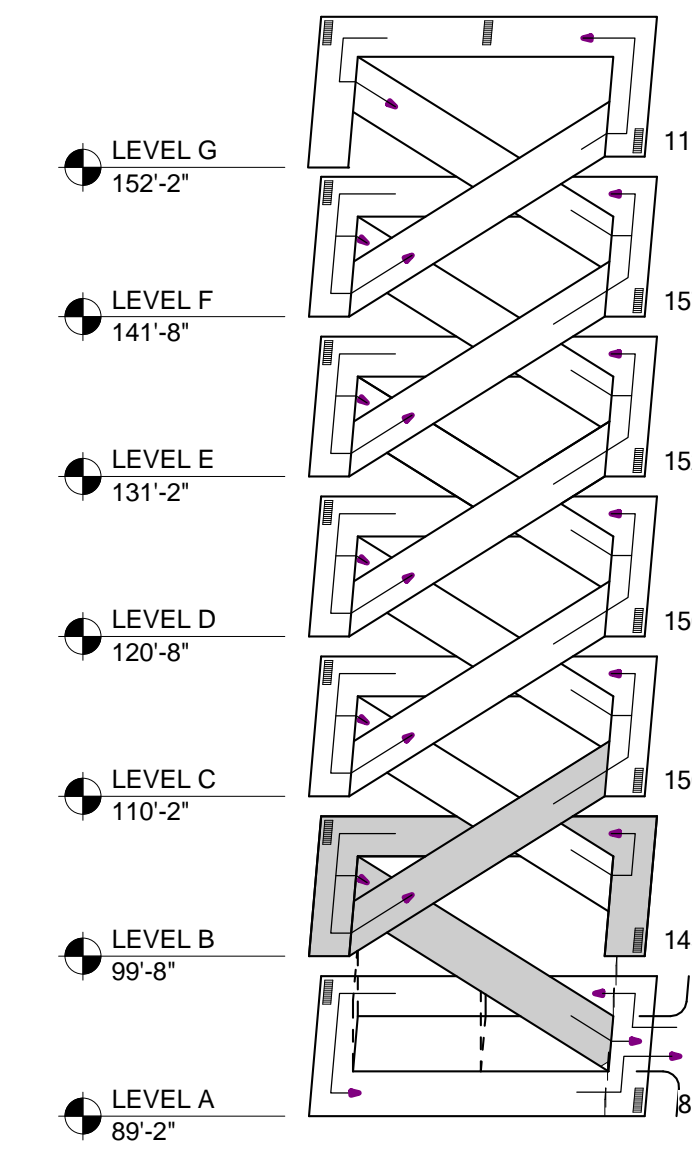
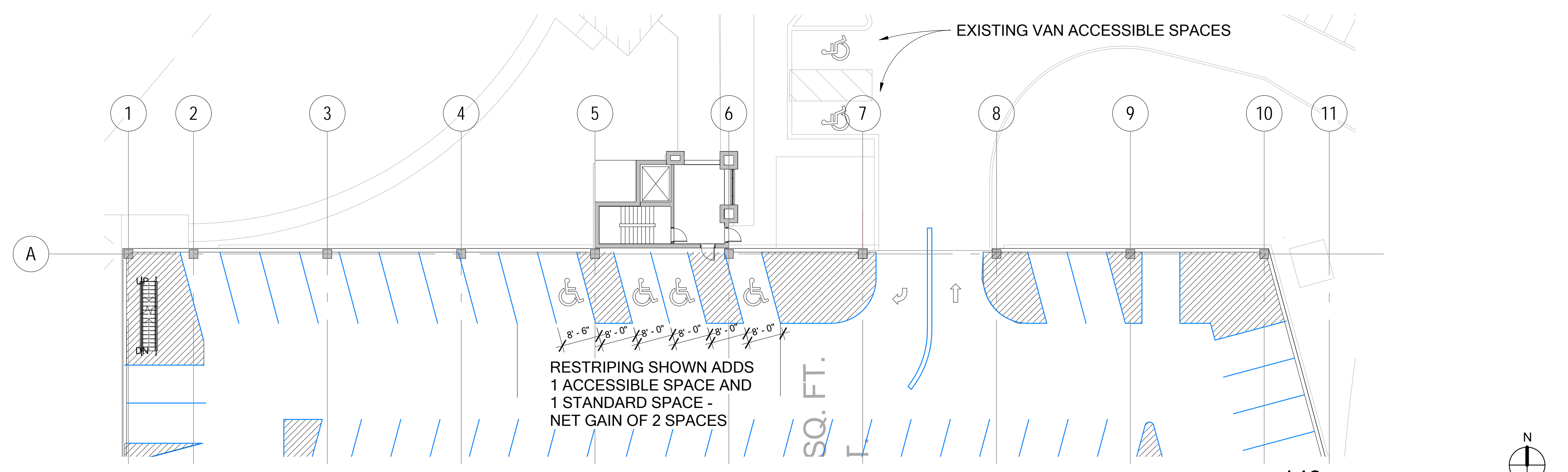
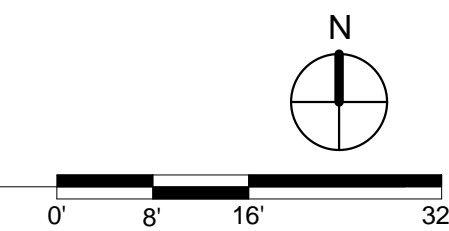


Parking Stall Dimensions Not to Scale

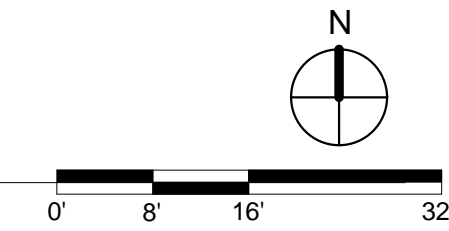
I hereby certified that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota
 Edward A. Farr
 Date 05-24-2018 Reg. No. 16362
 Project Manager
 MRW
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1 LEVEL E
 A2.1 SCALE: 1/16" = 1'-0"



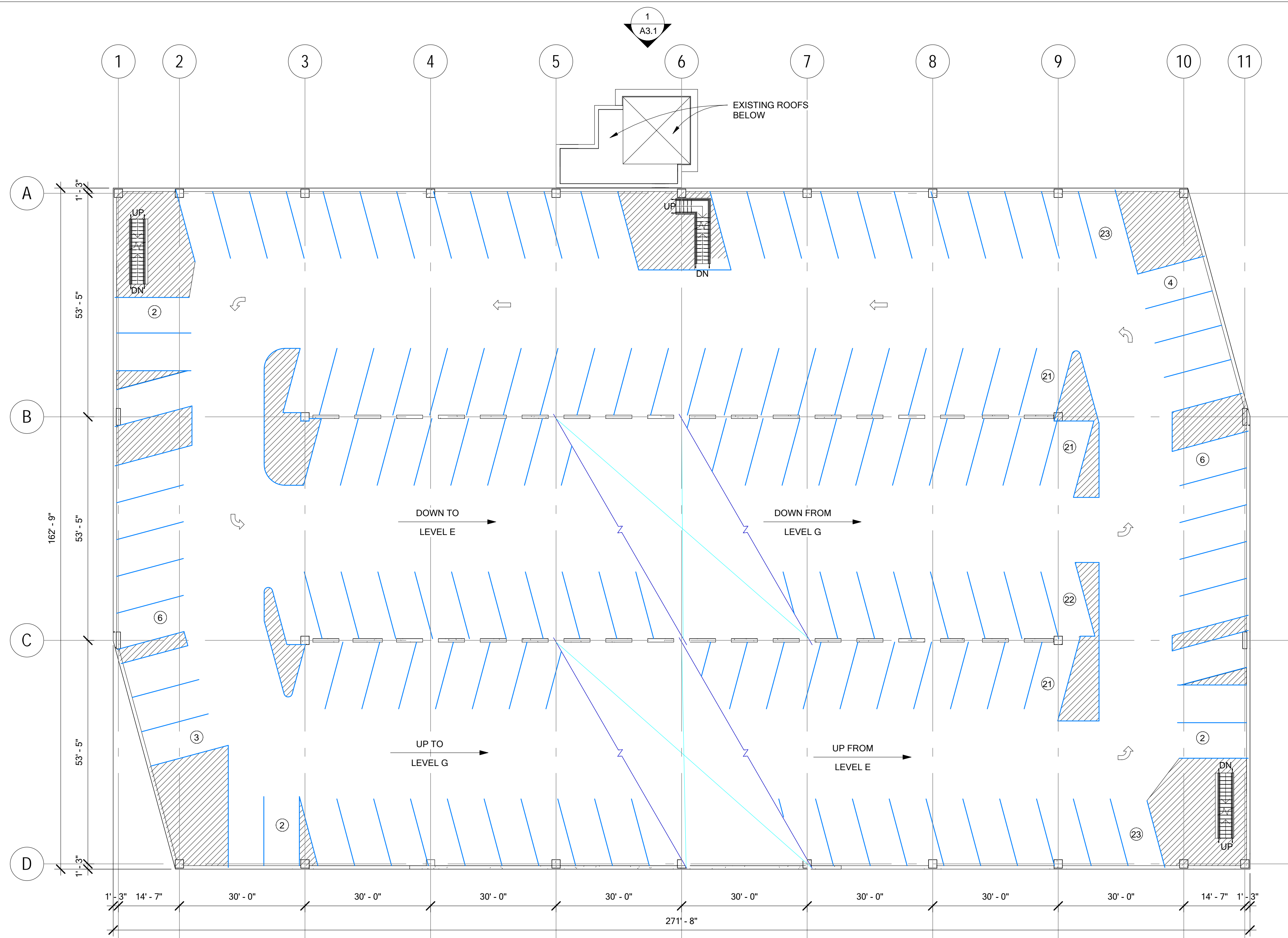
2 LEVEL B (PARTIAL)
 A2.1 SCALE: 1/16" = 1'-0"



Client
 THE RMR GROUP
 Project
 12700 Whitewater Dr. Parking Ramp Expansion
 Location
 Minnetonka Corporate Center
 12700 Whitewater Dr
 Minnetonka, MN
 Issued For
 CITY SUBMITTAL
 Date
 05/24/2018
 Sheet Title
 LEVEL E PLAN
 LEVEL B PLAN
 Project Number
 18.031
 Sheet Number
 A2.1

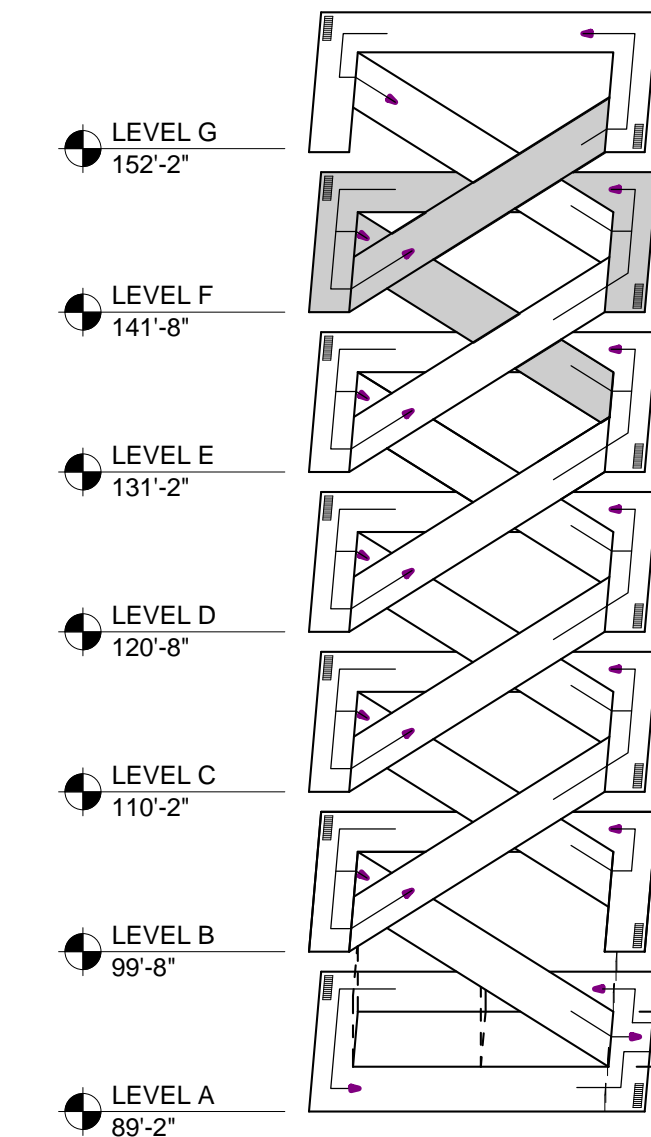
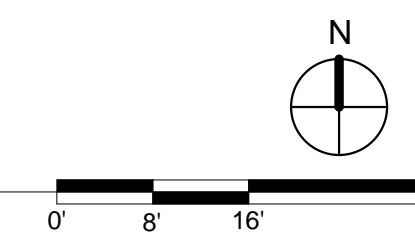
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R18_MRW.dwg



Parking Stall Dimensions Not to Scale

1 LEVEL F
A2.2 SCALE: 1/16" = 1'-0"



I hereby certified that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota

Edward A. Farr *Edward A. Farr*
 Date 05-24-2018 Reg. No. 16362
 Project Manager
 MRW
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EDWARD FARR ARCHITECTS INC
 7710 Golden Triangle Drive Tel: 952.943.9600
 Eden Prairie, Minnesota 55344 www.edfarrarch.com

Client
THE RMR GROUP

Project
 12700 Whitewater Dr.
 Parking Ramp
 Expansion

Location
 Minnetonka Corporate Center
 12700 Whitewater Dr
 Minnetonka, MN

Issued For
 CITY SUBMITTAL

Date
 05/24/2018

Sheet Title
LEVEL F PLAN

Project Number
 18.031

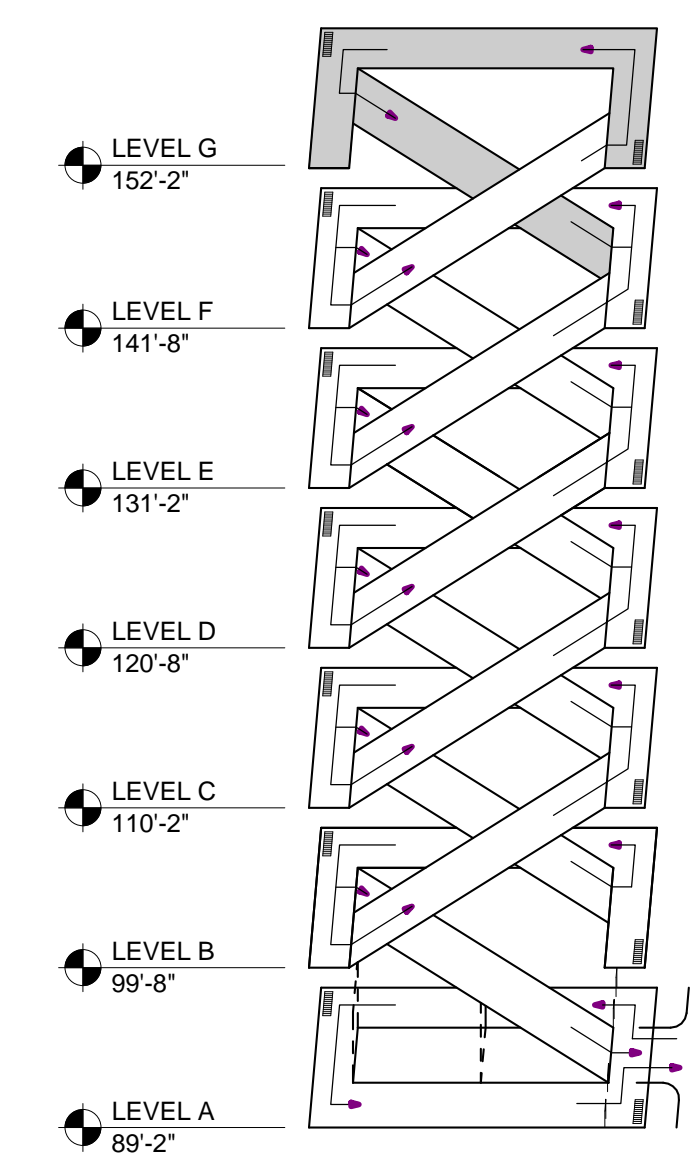
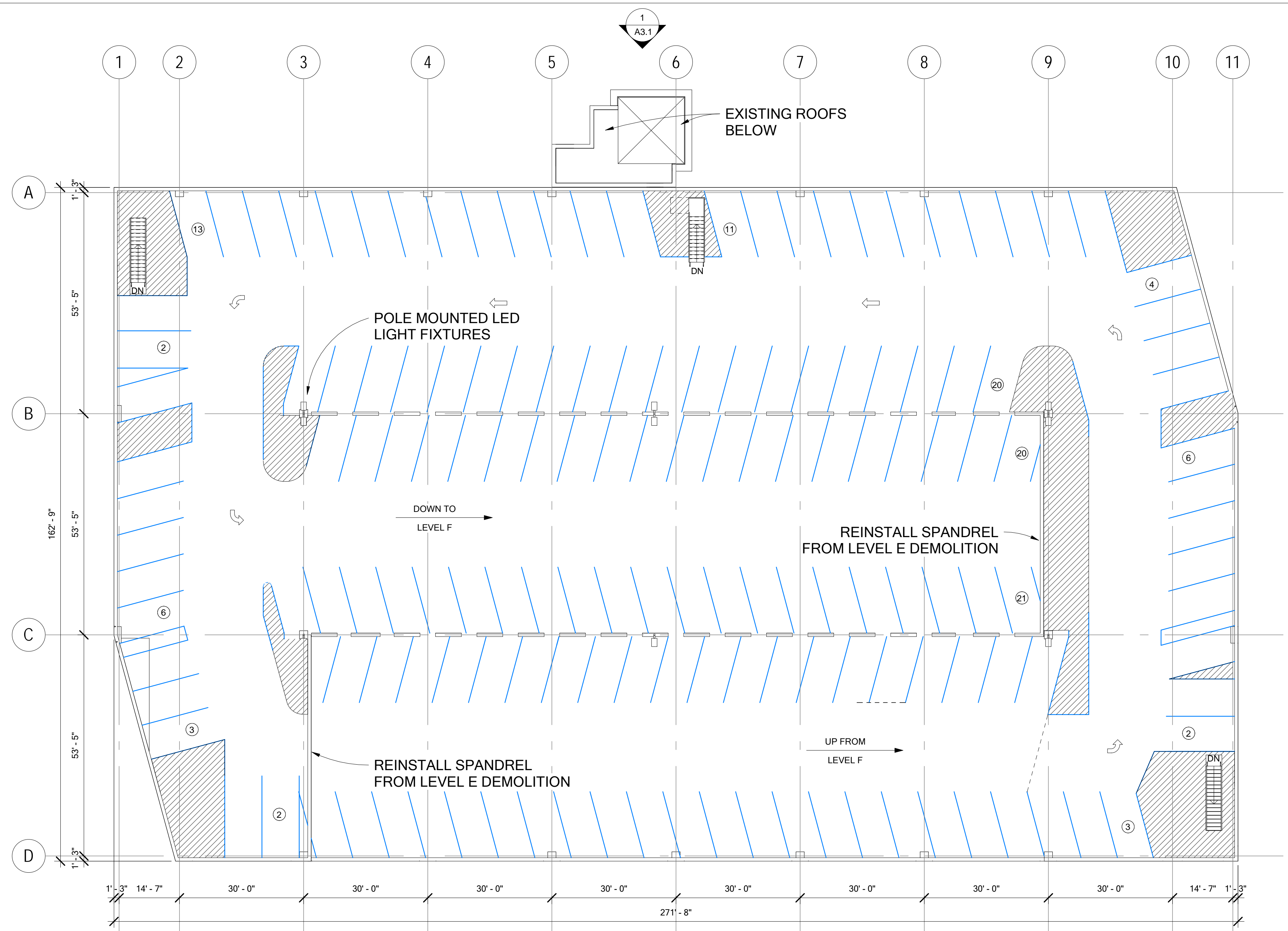
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I hereby certified that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota

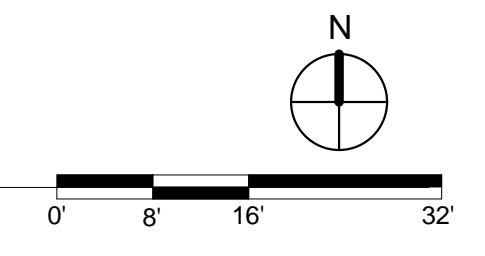
Edward A. Farr
Date 05-24-2018 Reg. No. 16362

Project Manager
MRW
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Parking Stall Dimensions Not to Scale



1 LEVEL G
A2.3 SCALE: 1/16" = 1'-0"



111

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Client
THE RMR GROUP

Project
12700 Whitewater Dr.
Parking Ramp
Expansion

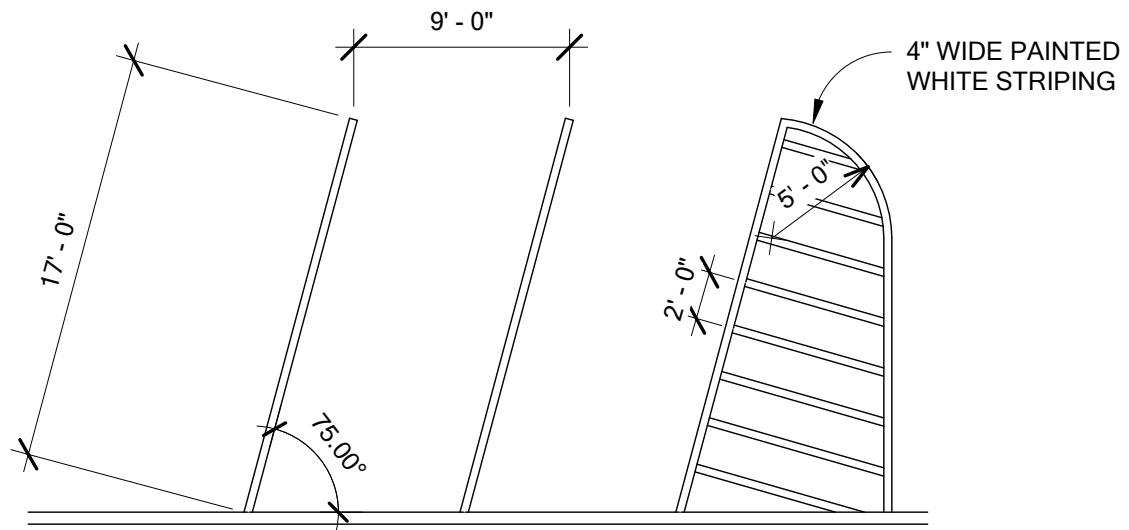
Location
Minnetonka Corporate
Center
12700 Whitewater Dr
Minnetonka, MN

Issued For Date
CITY SUBMITTAL 05/24/2018

Sheet Title
LEVEL G PLAN

Project Number Sheet Number
18.031 A2.3

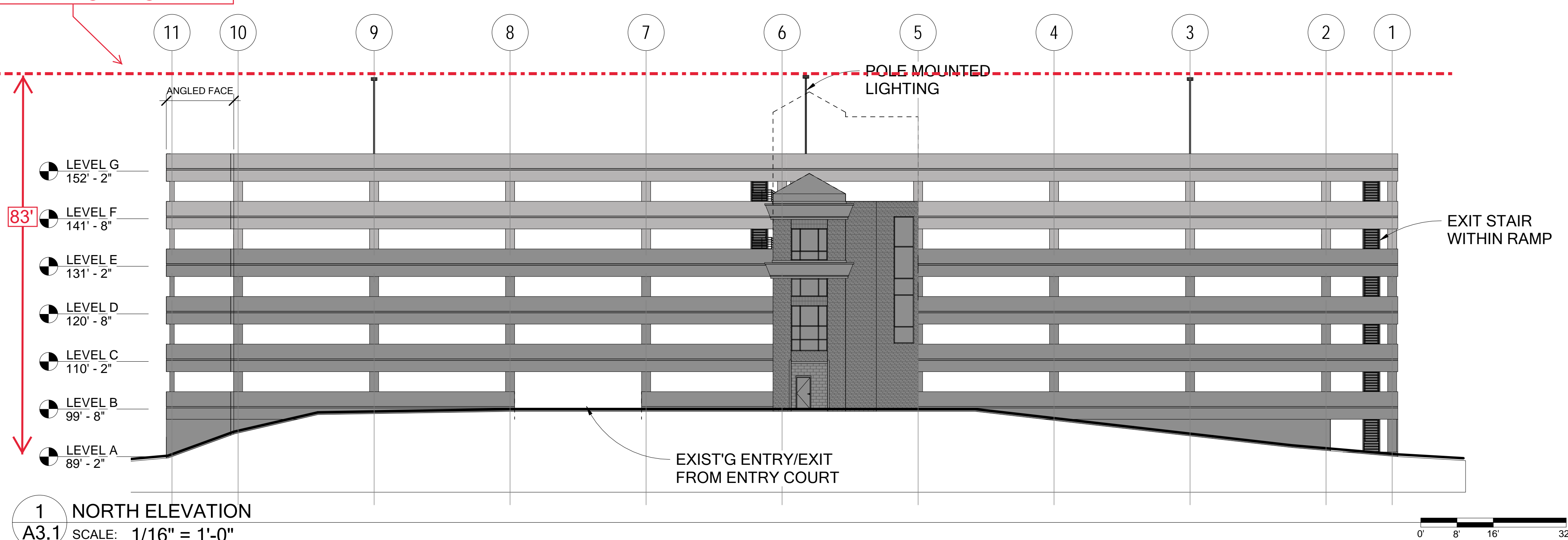
Parking Stall Dimensions



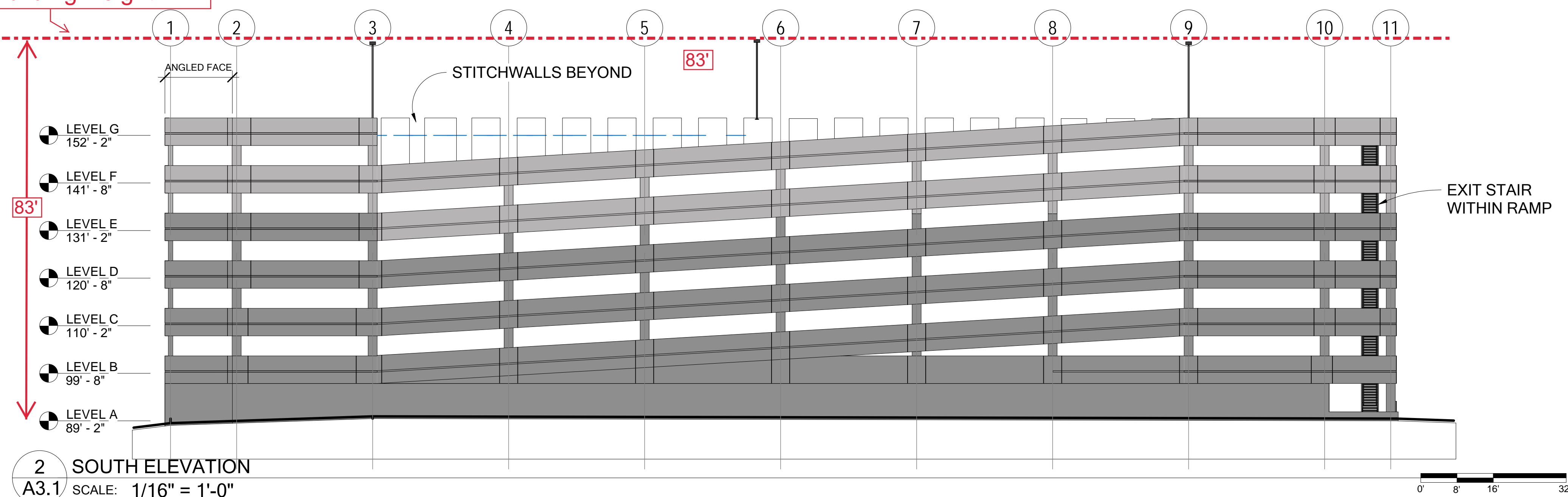
I hereby certified that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota

Edward A. Farr *Edward A. Farr*
 Date 05-24-2018 Reg. No. 16362
 Project Manager
 MRW
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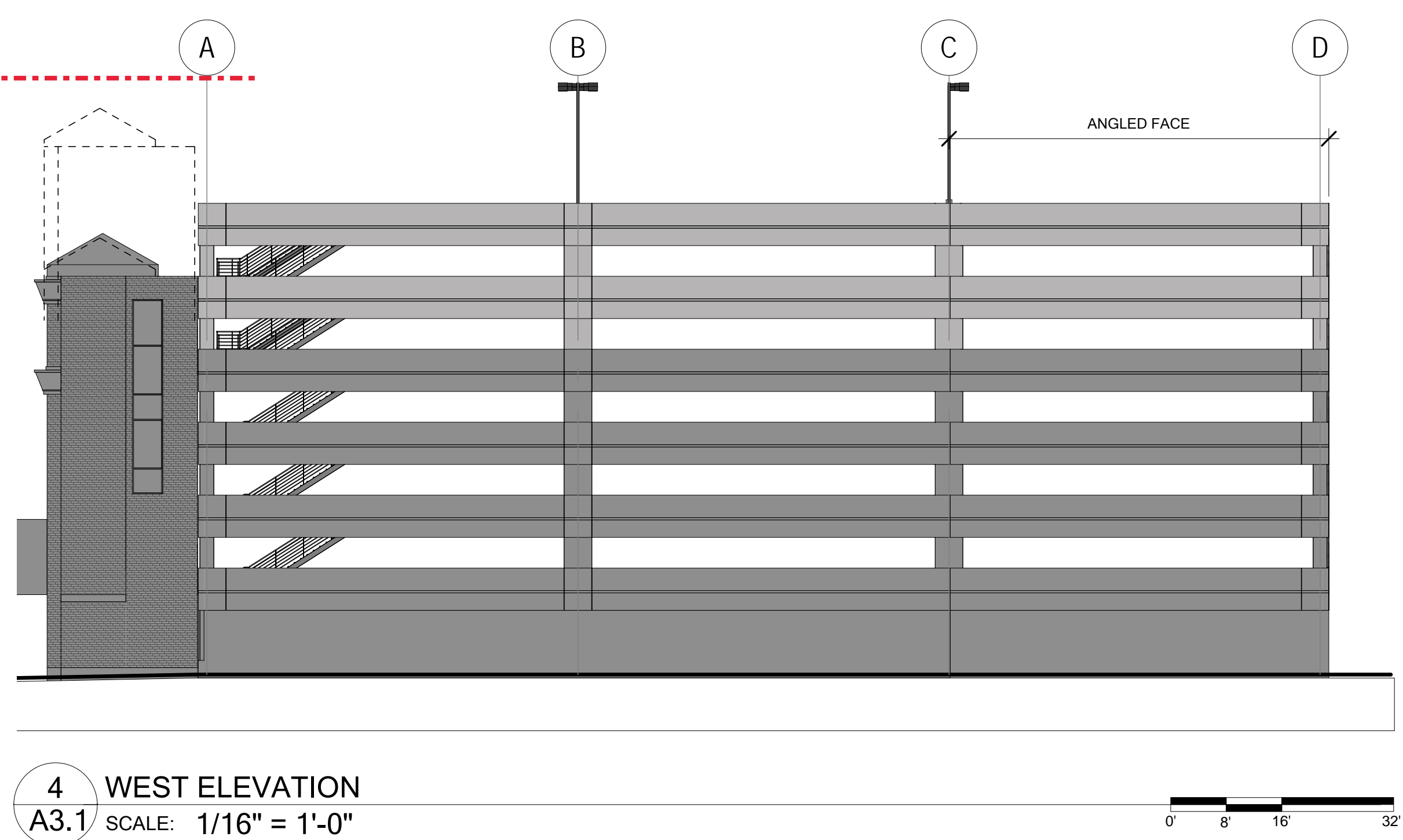
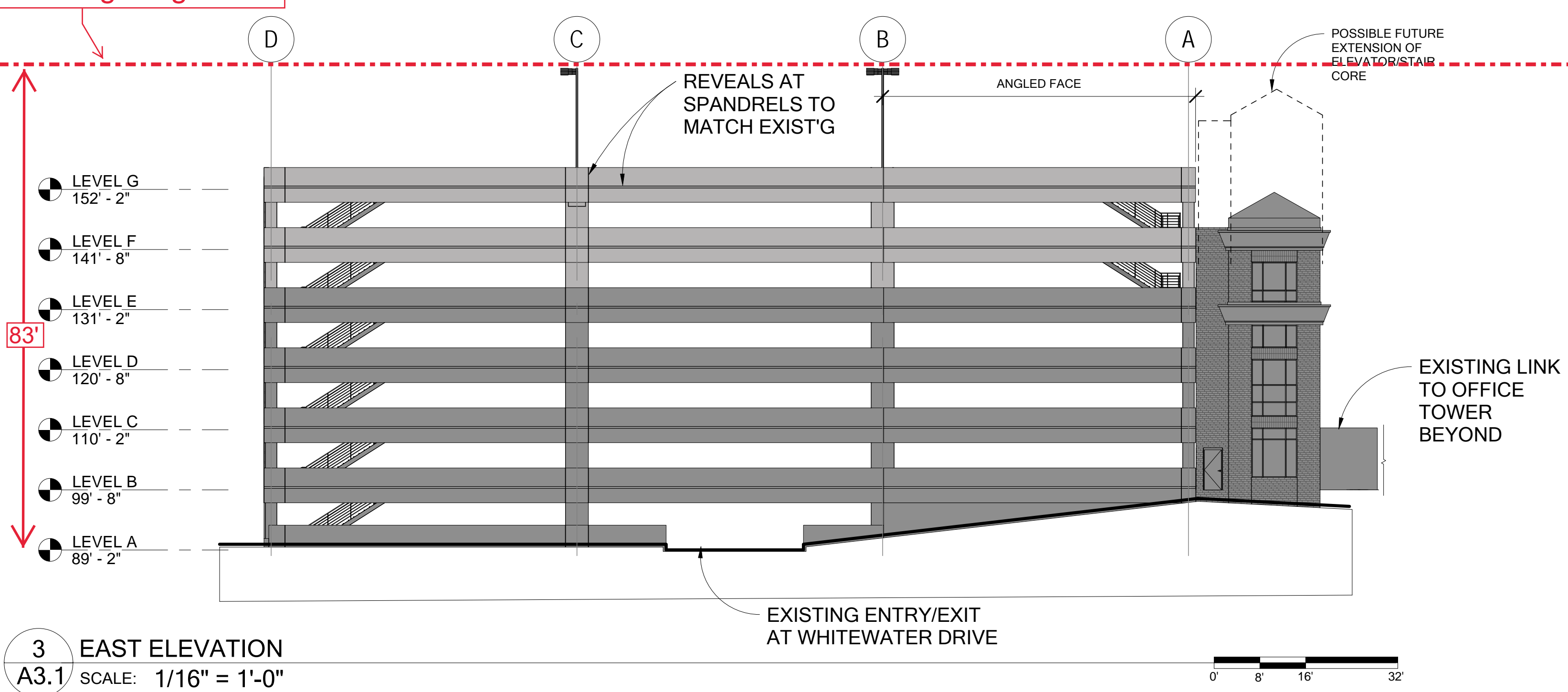
Principal Building Height



Principal Building Height



Principal Building Height



Client
THE RMR GROUP

Project
 12700 Whitewater Dr. Parking Ramp Expansion

Location
 Minnetonka Corporate Center
 12700 Whitewater Dr
 Minnetonka, MN

Issued For
 CITY SUBMITTAL

Date
 05/24/2018

Sheet Title
EXTERIOR ELEVATIONS

Project Number
 18.031

Sheet Number
 A3.1



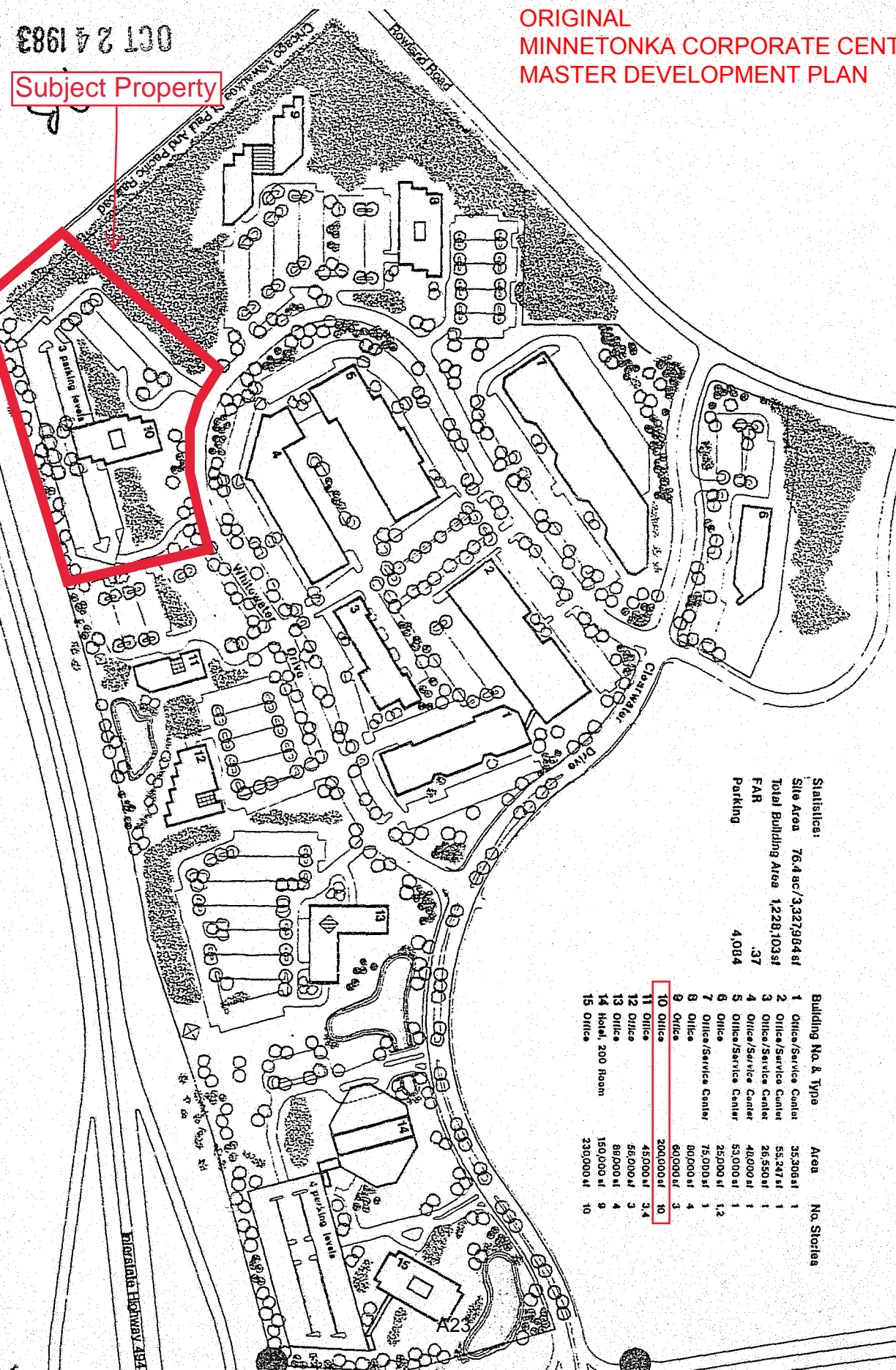
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ORIGINAL
MINNETONKA CORPORATE CENTER
MASTER DEVELOPMENT PLAN

OCT 24 1983

Subject Property

Site Development Control Plan
MINNETONKA CORPORATE CENTER
Planned: Crow Company Development
Architects/Planners: Wiseman Associates
Landscape Architects/Planners: Hansen Thorp And Peterson Engineers/Planners
3/17/83



Statistics:
Site Area 76.4 ac/3,327,984 sf
Total Building Area 1,228,103 sf
FAR .37
Parking 4,084

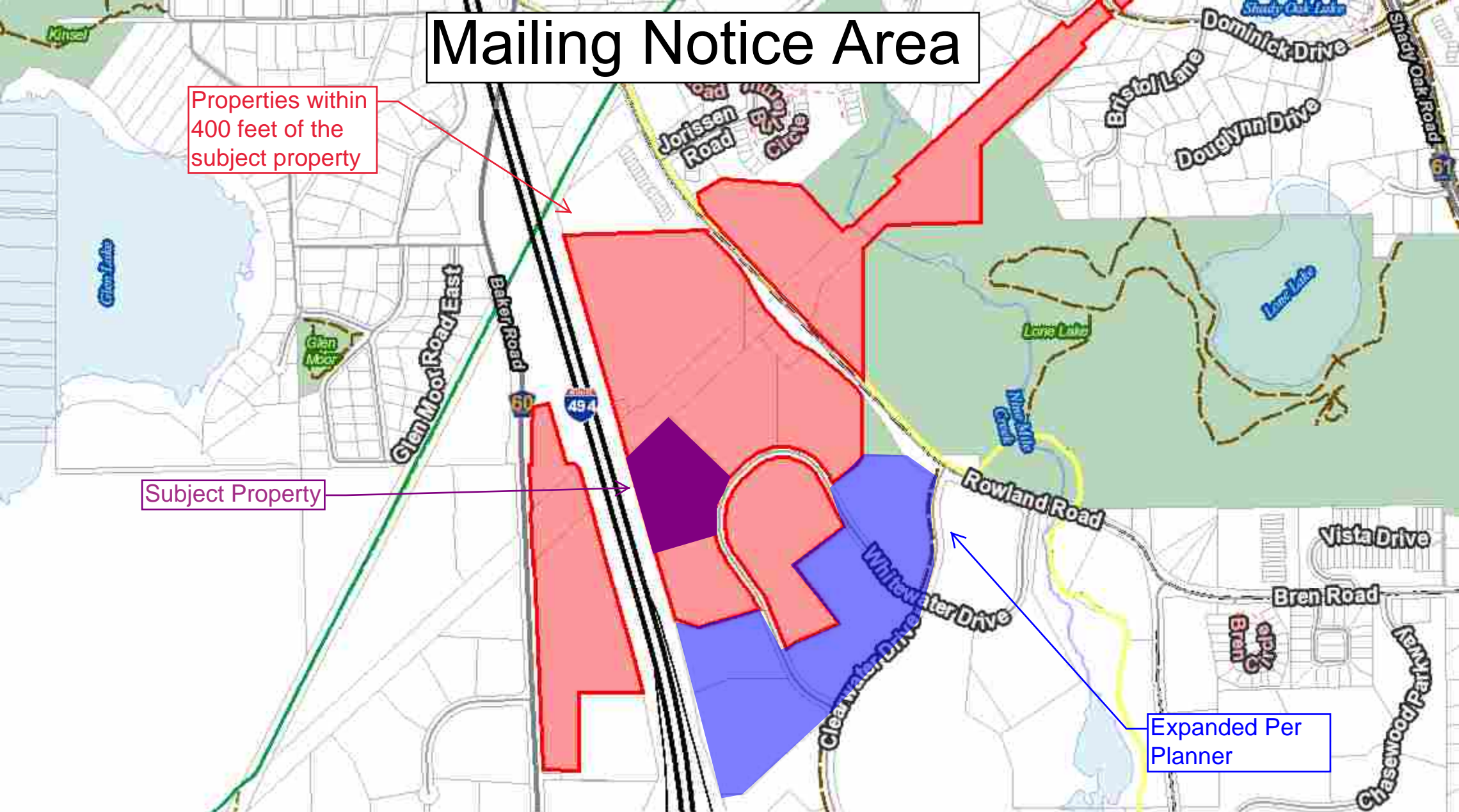
Building No. & Type	Area	No. Stories
1 Office/Service Center	35,306 sf	1
2 Office/Service Center	55,247 sf	1
3 Office/Service Center	26,550 sf	1
4 Office/Service Center	48,000 sf	1
5 Office/Service Center	53,000 sf	1
6 Office	25,000 sf	12
7 Office/Service Center	75,000 sf	1
8 Office	80,000 sf	4
9 Office	80,000 sf	3
10 Office	200,000 sf	10
11 Office	45,000 sf	3, 4
12 Office	56,000 sf	3
13 Office	88,000 sf	4
14 Hotel, 200 Room	150,000 sf	9
15 Office	230,000 sf	10

Mailing Notice Area

Properties within 400 feet of the subject property

Subject Property

Expanded Per Planner



Ordinance No. 2018-

**An ordinance amending the existing master development plan of
Minnetonka Corporate Center as it pertains to the property at
12700 Whitewater Drive**

The City Of Minnetonka Ordains:

Section 1.

- 1.01 This ordinance hereby amends the Minnetonka Corporate Center master development plan as it pertains to the property at 12700 Whitewater Drive.
- 1.02 The site is located at 12700 Whitewater Drive. It is legally described on EXHIBIT A of this resolution.
- 1.03 The amendment approves a two level parking ramp addition, from five stories to seven stories.

Section 2.

- 2.01 This ordinance is based on the following findings:
 1. The proposal is consistent with the 2030 Comprehensive Guide Plan.
 2. The amendment would not negatively impact the public health, safety, and welfare.

Section 3.

- 3.01 Approval is subject to the following conditions:
 1. The site must be developed and maintained in substantial conformance with the following plans:
 - Site Demolition Plan dated May 25, 2018
 - Site Staging Plan dated May 25, 2018
 - Site Restoration Plan dated May 25, 2018
 - Landscape Restoration Plan dated May 25, 2018
 - Architectural Site Plan dated May 25, 2018
 - Level E Plan and Level B Plan dated May 25, 2018
 - Level F Plan dated May 25, 2018
 - Level G Plan dated May 25, 2018
 - Exterior Elevation Plans dated May 25, 2018

- Parking Stall Dimensions dated June 21, 2018

The above plans are hereby adopted as the master development plan for the 12700 Whitewater Drive.

2. Development must further comply with all conditions as outlined in City Council Resolution No. 2018-____, adopted by the Minnetonka City Council on July 9, 2018.

Section 4. A violation of this ordinance is subject to the penalties and provisions of Chapter XIII of the city code.

Section 5. This ordinance is effective immediately.

Adopted by the city council of the City of Minnetonka, Minnesota, on July 9, 2018.

Brad Wiersum, Mayor

Attest:

David E. Maeda, City Clerk

Action on this Ordinance:

Date of introduction: June 18, 2018
 Date of adoption: July 9, 2018
 Motion for adoption:
 Seconded by:
 Voted in favor of:
 Voted against:
 Abstained:
 Absent:
 Ordinance adopted.

Date of publication:

I certify that the foregoing is a correct copy of an ordinance adopted by the city council of the City of Minnetonka, Minnesota at a regular meeting held on July 9, 2018.

David E. Maeda, City Clerk

EXHIBIT A

That part of Lot 4, Block 2, Minnetonka Corporate Center, according to the recorded plat thereof, recorded as Document No. 4876699, Hennepin County, Minnesota, lying Northerly of the following described line, and the Easterly and Westerly extensions of said line:

Beginning at a point on the Westerly line of said Lot 4 distant 142.00 feet Northerly from the most Southerly corner of said Lot 4, as measured along said Westerly line; thence Easterly a distance of 358.59 feet to a point on the Easterly line of said Lot 4 distant 114.51 feet Northerly from the Southeast corner of said Lot 4, as measured along said Easterly line, and there terminating.

Resolution No. 2018-

Resolution approving final site and building plans, with parking variances for aisle width and stall length, for a parking ramp at 12700 Whitewater Drive

Be it resolved by the City Council of the City of Minnetonka, Minnesota, as follows:

Section 1. Background.

- 1.01 The subject property is located at 12700 Whitewater Drive. It is legally described on EXHIBIT A of this resolution.
- 1.02 Edward Farr, on behalf of the property owner, is proposing to increase an existing parking ramp on the property from five levels to seven levels.
- 1.03 The proposed parking ramp addition would be a vertical addition within the footprint of the existing ramp. If approved, the parking ramp would increase from 42 feet to 66 feet in height. The two added levels to the parking ramp would continue the same design as the existing ramp levels and no modifications would be made to the entrance or egress to the ramp, including the elevator and stair tower on the north side of the ramp.
- 1.04 City Code §300.27 provides standards and authorizes the city to grant site and building plans.
- 1.05 Minnesota Statute §462.357 Subd. 6, and City Code §300.07 authorizes the city to grant variances.
- 1.06 On June 28, 2018, the planning commission held a hearing on the proposal. The applicant was provided the opportunity to present information to the commission. The commission considered all of the comments received and the staff report, which are incorporated by reference into this resolution. The commission recommended that the city council approve the final site plan, with parking aisle width and stall length variances, for a parking ramp addition.

Section 2. Standards.

- 2.01 City Code §300.27, Subd. 5, outlines that the following must be considered in the evaluation of site and building plans:

1. Consistency with the elements and objectives of the city's development guides, including the comprehensive plan and water resources management plan;
2. Consistency with this ordinance;
3. Preservation of the site in its natural state to the extent practicable by minimizing tree and soil removal and designing grade changes to be in keeping with the general appearance of neighboring developed or developing areas;
4. Creation of a harmonious relationship of buildings and open spaces with natural site features and with existing and future buildings having a visual relationship to the development;
5. Creation of a functional and harmonious design for structures and site features, with special attention to the following:
 - a) An internal sense of order for the buildings and uses on the site and provision of a desirable environment for occupants, visitors and the general community;
 - b) The amount and location of open space and landscaping;
 - c) Materials, textures, colors and details of construction as an expression of the design concept and the compatibility of the same with the adjacent and neighboring structures and uses; and
 - d) Vehicular and pedestrian circulation, including walkways, interior drives and parking in terms of location and number of access points to the public streets, width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic and arrangement and amount of parking.
6. Promotion of energy conservation through design, location, orientation and elevation of structures, the use and location of glass in structures and the use of landscape materials and site grading; and
7. Protection of adjacent and neighboring properties through reasonable provision for surface water drainage, sound and sight buffers, preservation of views, light and air and those aspects of design not adequately covered by other regulations which may have substantial effects on neighboring land uses.

2.02

By City Code §300.07 Subd. 1, a variance may be granted from the requirements of the zoning ordinance when: (1) the variance is in harmony with the general purposes and intent of this ordinance; (2) when the variance is consistent with the comprehensive plan; and (3) when the applicant establishes that there are practical difficulties in complying with

the ordinance. Practical difficulties means: (1) The proposed use is reasonable; (2) the need for a variance is caused by circumstances unique to the property, not created by the property owner, and not solely based on economic considerations; and (3) the proposed use would not alter the essential character of the surrounding area.

Section 3. Findings.

3.01 The city has considered the items outlined in City Code §300.27, Subd. 5 and finds the following:

1. The proposal has been reviewed by city planning, engineering, natural resources, public works, fire, and legal staff and found to be generally consistent with the city's development guides.
2. The proposal would be generally consistent with the zoning ordinance, as well as the original master development plan for the site.
3. The proposed ramp addition would be within the existing foot print of the parking ramp. As such, ground work and tree removal for the subject proposal would be minimal and only a result of construction staging and access for a crane. However, all landscaping lost due to construction would need to be replaced per a condition of approval.
4. The proposed site design is logical, limits site impacts, and makes good use of existing structures on the site.
 - a) The proposed parking ramp addition would be located with the same footprint as the existing parking ramp structure. Due to the addition being strictly vertical, the proposed two level addition onto the existing five level parking structure would maintain traffic and pedestrian patterns and impervious surface on the site.
 - b) The proposed structure would also maintain the character of the subject site and overall development. The proposal would increase the parking ramp height by 24 feet. The proposed structure would be 66 feet in height, 17 feet shorter than the existing principal structure.
 - c) Traffic patterns, vehicular and pedestrian circulation, and the internal sense of order between structures would be unchanged as the ramp addition will be within the same footprint as the existing structure.
 - d) Landscaping would need to be removed for construction access; however, the landscaping lost would be replaced per a condition of this resolution.

- e) Building onto the existing structure to accommodate additional parking would promote energy conservation.
- f) As new construction, the proposed ramp would meet all current building code standards including those pertaining to energy conservation.
- g) The proposal would not negatively impact adjacent or neighboring properties.

3.02 Variance Standards: Staff finds that the proposal meets the variance standards, as:

1. The proposal, and resulting variance request, would be in keeping with the city's zoning ordinance. The intent of the ordinance, as it pertains to parking requirements, is to ensure adequate parking maneuvering space when driving through parking lots and between vehicles when parking. The subject ramp has function with the same widths and stall lengths as proposed for over 20 years without issue.
2. The proposed parking ramp addition would be an investment into an office property and would be consistent with the city's comprehensive plan.
3. There are practical difficulties in complying with the ordinance.
 - a) Reasonableness: The parking ramp has existed over 20 years without complaints regarding the narrow aisles and short parking stalls.
 - b) Circumstance Unique to the Property: The subject property was approved with parking aisle and stall length variances in 1997. The added levels would continue the striping that is currently present on the existing five levels of the ramp. Requiring wider aisles and longer parking spaces would be problematic with attempting to build within the same footprint as the existing structure.
 - c) Neighborhood Character: The parking variance would not adversely affect the character of the surrounding neighborhood as the parking variances are for interior requirements.

Section 3. City Council Action.

3.01 The above-described site and building plans are hereby approved subject to the following conditions:

1. Subject to staff approval, the site must be developed and maintained in substantial conformance with the following plans, except as modified by the conditions below:
 - Site Demolition Plan dated May 25, 2018
 - Site Staging Plan dated May 25, 2018
 - Site Restoration Plan dated May 25, 2018
 - Landscape Restoration Plan dated May 25, 2018
 - Architectural Site Plan dated May 25, 2018
 - Level E Plan and Level B Plan dated May 25, 2018
 - Level F Plan dated May 25, 2018
 - Level G Plan dated May 25, 2018
 - Exterior Elevation Plans dated May 25, 2018
 - Parking Stall Dimensions dated June 21, 2018

2. A building permit is required. Unless authorized by appropriate staff, no site work may begin until a complete building permit application has been submitted, reviewed by staff, and approved. Prior to issuance of a building permit the applicant must submit the following:
 - a) A construction management plan. This plan must be in a city approved format and outline minimum site management practices and penalties for non-compliance.

 - b) A revised landscaping plan.
 - 1) The Linden trees proposed must be pulled back out of the drainage and utility easement.

 - 2) The proposed plan must mitigate for the landscaping lost in order to provide for crane access to the site. The plan they provided meets the required mitigation.

 - 3) All deciduous trees must be planted at least 15-feet behind the curb and 10-feet behind the sidewalk and all evergreen trees be planted at least 20-feet behind the curb and 15-feet behind the sidewalk.

 - 4) Tree protection fencing must be installed on the south and west edge of the limits of disturbance to protect the trees intended to be saved. Fencing adjacent to the Colorado spruce on the northeast corner of the neighboring property must be moved north 5-feet to protect the tree. The fencing must be inspected by city staff prior to issuance of the building permit.

 - c) A traffic control plan.

- d) A snow removal plan for the ramp addition. Snow on the ramp may not be plowed off the top tier into the wetland or onto the trees below.
- e) A revised striping plan showing that it meets the following dimensions.

	2018 VAR
Stall Width	9 ft.
Stall Length	17 ft.*
Aisle Width	16 ft.*

*Variance

- f) Cash escrow in an amount to be determined by city staff. This escrow must be accompanied by a document prepared by the city attorney and signed by the builder and property owner. Through this document the builder and property owner will acknowledge:
 - The property will be brought into compliance within 48 hours of notification of a violation of the construction management plan, other conditions of approval, or city code standards; and
 - If compliance is not achieved, the city will use any or all of the escrow dollars to correct any erosion and/or grading problems.
3. No impact to the wetland on the west side of the parking ramp is allowed to occur. If any change in access is proposed, the wetland must be protected and natural resource impacts will need to be re-evaluated.
 4. The applicant must follow standard erosion control best management practices including inlet protection to prevent construction activity from impact surface waters.
 5. During construction the street must be kept free of debris and sediment.
 6. The property owner is responsible for replacing any required landscaping that dies.

Adopted by the City Council of the City of Minnetonka, Minnesota, on July 9, 2018.

Brad Wiersum, Mayor

Attest:

David E. Maeda, City Clerk

Action on this resolution:

Motion for adoption:

Seconded by:

Voted in favor of:

Voted against:

Abstained:

Absent:

Resolution adopted.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the City Council of the City of Minnetonka, Minnesota, at a duly authorized meeting held on July 9, 2018.

David E. Maeda, City Clerk

EXHIBIT A

That part of Lot 4, Block 2, Minnetonka Corporate Center, according to the recorded plat thereof, recorded as Document No. 4876699, Hennepin County, Minnesota, lying Northerly of the following described line, and the Easterly and Westerly extensions of said line:

Beginning at a point on the Westerly line of said Lot 4 distant 142.00 feet Northerly from the most Southerly corner of said Lot 4, as measured along said Westerly line; thence Easterly a distance of 358.59 feet to a point on the Easterly line of said Lot 4 distant 114.51 feet Northerly from the Southeast corner of said Lot 4, as measured along said Easterly line, and there terminating.