

**City Council Agenda Item #14\_  
Meeting of Oct. 7, 2019**

**Brief Description**            Items concerning the Hennepin County Medical Examiner's Office Project at 14300 Co. Rd. 62

- 1)        Major amendment to an existing master development plan;
- 2)        Conditional use permit; and
- 3)        Site and building plan review

**Recommendation**        Adopt the ordinance and resolution approving the project

**Background**

In Feb. 2019, the city council reviewed plans to develop the facility on the "eastern" portion of the County Home School (CHS) property. The council introduced the ordinance, but prior to the planning commission public hearing, the county decided to reconsider site options after staff raised a number of concerns about the access road disturbance, steep slopes, grading impacts and future site development.

**Proposal**

Hennepin County has revisited site development of the CHS site for the Medical Examiner's Office. The new plan proposes to construct a new medical examiner's facility on the west side of the CHS site at 14300 County Road 62. The proposed two-story, 58,000-square-foot building and associated parking are located south of the existing CHS complex, on the site of four existing CHS cottages.

The project will utilize the existing exit road from County Road 62 and the existing north/south access road to enter visitor parking, secured staff parking, and the secured CHS facility. The building would include office, autopsy, and conference spaces. The county anticipates the facility would also serve as a teaching and training facility for students, university faculty, and practitioners. There would not be a crematorium in the building.

**Planning Commission Meeting**

The planning commission reviewed the project at their Sept. 19, 2019 meeting. The commission asked a few questions about proximity to other site uses, landscaping, and building efficiency. There was no public comment.

**Since the Planning Commission Meeting**

As a point of interest, the county is continuing to develop final landscape plans for the project. Conceptual plans are included in the packet illustrating the elements to be included in a final plan – deciduous and evergreen trees, shrubs, grasses, and perennials. Recently the city updated its landscaping requirements to require that 25 percent of the plantings be pollinator-friendly. Although staff has not reviewed a final plan, the conceptual plan suggests the project will easily comply with the ordinance. The approval conditions require the final landscaping plan to meet the ordinance.

**Staff Recommendation**

Adopt the ordinance and resolution approving the project.

Submitted through:

Mike Funk, Assistant City Manager

Julie Wischnack, AICP, Community Development Director

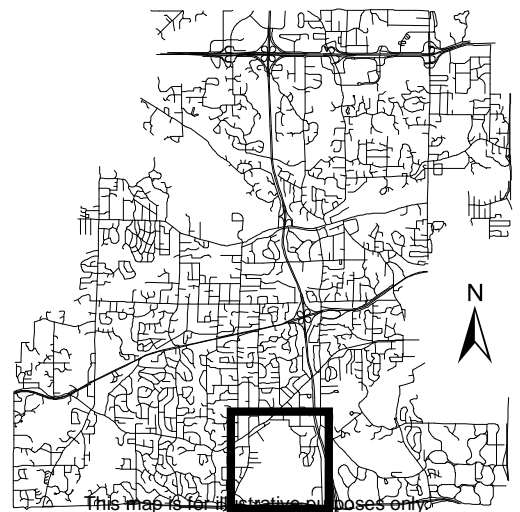
Originated by:

Loren Gordon, AICP, City Planner



**Location Map**

Project: Hennepin County  
 Medical Examiner's Office  
 Address: 14300 Co Rd 62



This map is for illustrative purposes only.

**MINNETONKA PLANNING COMMISSION**  
**Sept. 19, 2019**

**Brief Description**

Items concerning the Hennepin County Medical Examiner's Office Project at 14300 Co. Rd. 62:

- 1) Major amendment to an existing master development plan;
- 2) Conditional use permit and;
- 3) Site and building plan review

**Recommendation**

Recommend the city council adopt the ordinance and resolution approving the project.

**Proposal**

Hennepin County is proposing to construct a new medical examiner's facility on the west side of the County Home School site (CHS) at 14300 County Road 62. The proposed two-story, 58,000-square-foot building and associated parking are located south of the existing CHS complex, on the site of four existing CHS cottages.

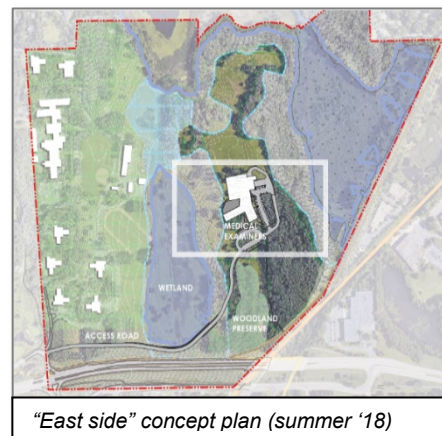


The project will utilize the existing access road from County Road 62 and the existing north/south access road to enter visitor parking, secured staff parking, and the secured CHS facility.

The building would include office, autopsy, and conference spaces. The county anticipates the facility would also serve as a teaching and training facility for students, university faculty, and practitioners. There would not be a crematorium in the building. The facility will replace the current downtown Minneapolis location. All operations from the downtown facility location would be moved to the Minnetonka site. The Hennepin County Medical Examiner's Office serves Hennepin, Dakota and Scott Counties.

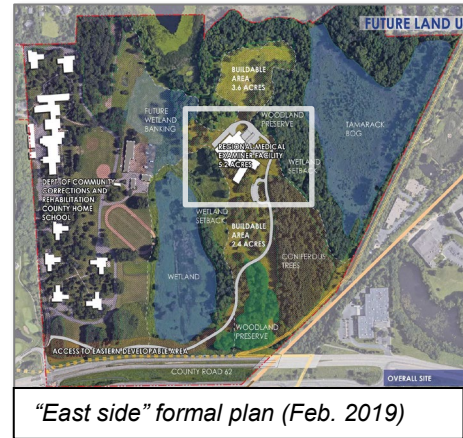
**Plan Submissions**

During the summer of 2018, the Hennepin County presented a concept plan to the neighborhood, planning commission and city council to develop the "eastern" portion of the CHS site for an informal review. The council introduced the ordinance, but prior to the planning commission public hearing, the county decided to reconsider site options after staff raised a number of concerns about the access road disturbance, steep slopes, grading impacts and future site development.

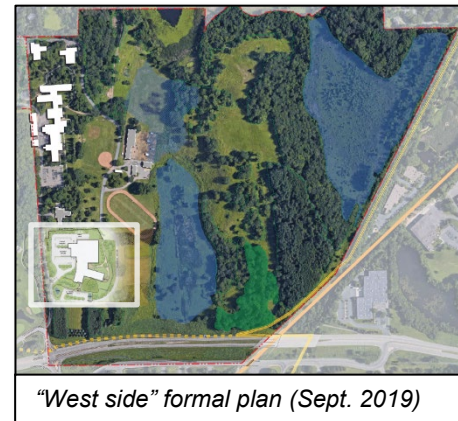


*"East side" concept plan (summer '18)*

In Feb. 2019, the city council reviewed formal development plans to develop the facility on the “eastern” portion of the CHS property. The proposed facility moved north of the location shown in the concept plan to reduce site impacts. The council introduced the ordinance, but prior to the planning commission public hearing, the county decided to reconsider site options after staff raised a number of concerns about the access road disturbance, steep slopes, grading impacts and future site development.



After considering other site development options, the county developed a revised plan to move the facility from the undeveloped east to the developed west side of the property. The current formal development plan proposes a “west side” CHS site location. The location is on a portion of the site where cottages exist.



The proposal requires the approval of:

- 1) Master Development Plan Amendment.** By City Code §300.22 Subd.9, the proposal requires a major amendment to the existing civic center master development plan, as the proposal: (1) substantially alters the location of buildings; and (2) increases the gross floor area of the building by more than 10 percent. Major amendments can only be approved by ordinance.
- 2) Conditional Use Permit.** By City Code §300.22 Subd.3, all uses allowed by conditional use permit within any other district are allowed by conditional use permit in a PUD. Public buildings are conditionally-permitted uses in all zoning districts.
- 3) Site and Building Plan Review.** By city code, site and building plan review is required for the construction of any non-single-family residential building.

### **Primary Questions and Analysis**

The planning commission's charge is to review proposed land uses and determine whether they are appropriate given zoning ordinance standards and land use policy. The following outlines the primary land use questions associated with the proposed improvements and staff's findings.

**1. Is the proposed use appropriate?**

Yes. Hennepin County has operated uses serving the public's interest for over a century at this location. Development of the medical examiner's office at this location is logical and reasonable.

**2. Are the anticipated impacts acceptable?**

Yes. The anticipated impacts are acceptable. The proposed plans allow for reuse of the cottages area of the property that will be vacated after providing services for more than 50 years. Reuse of this area avoids the development of other undisturbed areas of the property. Unlike other areas of the property, there are no woodland preservation areas, wetlands, or steep slopes.

### **Staff Recommendation**

Recommend the city council adopt the ordinance and resolutions approving the medical examiner's office located at 14300 Co. Rd. 62.

Originator: Loren Gordon, AICP, City Planner

**Supporting Information**

**Surrounding Land Uses**                      Northerly:      Single-family homes and Glen Lake  
    Easterly:      Industrial uses  
    Southerly:     Industrial uses  
    Westerly:      Golf Course and single-family homes

**Planning**                                      Existing Zoning:                                      PUD  
    Guide Plan designation:                                      Institutional

**Shoreland Management:**                      The proposed facility is located outside the Shoreland Management area of Glen Lake.

**Steep Slopes:**                                      The proposed facility location is not located on steep slope areas.

**Wetlands:**                                      There are wetlands adjacent to the proposed facility location and storm water infiltration basin. The proposed development will not impact the wetland.

**Access:**                                      The proposed facility will utilize the existing site access at Co. Rd. 62 which is a signalized intersection. The Glen Lake Golf Course also shares this access.

**Misc. Standards**                                      The development proposes the following standards:

		Required*	Existing Cottages*	Proposed*
Building setbacks	North	n/a	1570 ft	1570 ft
	South	n/a	410 ft	410 ft
	East	n/a	1400 ft	1400 ft
	West	n/a	215 ft	215 ft
Parking lot setbacks	North	n/a	-	1520 ft
	South	n/a	-	300 ft
	East	n/a	-	1275 ft
	West	n/a	-	80 ft
Impervious surface (160 ac site)		n/a	9%	11%
Parking		66 stalls	-	78 stalls

## Review Standards

Based on the required applications for project review, the following sections of city code are applicable.

- Section 300.22. Subd. 4 Planned Unit Development General Standards

A PUD may be approved when the following general standards are met:

<b>Standard</b>	<b>Compliance?</b>
The PUD results in at least one of the public benefits as outlined in section 2 of this ordinance	Yes. Development is compatible with existing, surrounding development type and intensity that is no longer allowed in other existing zoning districts.
The PUD is consistent with and advances the community-wide goals of the comprehensive plan	Yes. The property has long been guided for institutional use in the comprehensive plan. Continued public use of the property advances community-wide goals.
The PUD is appropriately integrated into existing and proposed surrounding development. This does not mean the PUD reflects the specific standards of the surrounding area such as lot size, density, setbacks, or design. While integration may be achieved through such standards, it may also be achieved through the continuation of existing land use types, architectural transitions, landscape buffering, or other means.	The proposed development plan utilizes land already under use on the CHS site. The redevelopment of this area is appropriately integrated into the site through the use of existing roadways and utilities. The location provides a transition of use from Co. Rd. 62 through the site to other uses. Redevelopment at this location also prevents the disturbance of other undeveloped areas of the site.



- Section 300.27. Site and Building Plan Review

<b>In evaluating a site and building plan, the planning commission and city council shall consider its compliance with the following:</b>	<b>Compliance?</b>
a) consistency with the elements and objectives of the city's development guides, including the comprehensive plan and water resources management plan;	Yes
b) consistency with this ordinance;	Yes
c) preservation of the site in its natural state to the extent practicable by minimizing tree and soil removal and designing grade changes to be in keeping with the general appearance of neighboring developed or developing areas;	Yes
d) creation of a harmonious relationship of buildings and open spaces with natural site features and with existing and future buildings having a visual relationship to the development;	Yes
e) creation of a functional and harmonious design for structures and site features, with special attention to the following:	
1) an internal sense of order for the buildings and uses on the site and provision of a desirable environment for occupants, visitors and the general community;	Yes
2) the amount and location of open space and landscaping;	Yes
3) materials, textures, colors and details of construction as an expression of the design concept and the compatibility of the same with the adjacent and neighboring structures and uses; and	Yes
4) vehicular and pedestrian circulation, including walkways, interior drives and parking in terms of location and number of access points to the public streets, width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic and arrangement and amount of parking.	Yes
f) promotion of energy conservation through design, location, orientation and elevation of structures, the use and location of glass in structures and the use of landscape materials and site grading; and	Yes
g) protection of adjacent and neighboring properties through reasonable provision for surface water drainage, sound and sight buffers, preservation of	Yes

views, light and air and those aspects of design not adequately covered by other regulations which may have substantial effects on neighboring land uses.	
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## History

The County Home School property has served the changing needs of its residents for over a century. In 1916, the Glen Lake Sanatorium was built on the current site of the Glen Lake Golf Course. In the 1950's and 60's corrections facility administration and treatment program buildings were constructed. (The red outline indicates the medical examiner's location in the photo series).

**1940**



**1969**



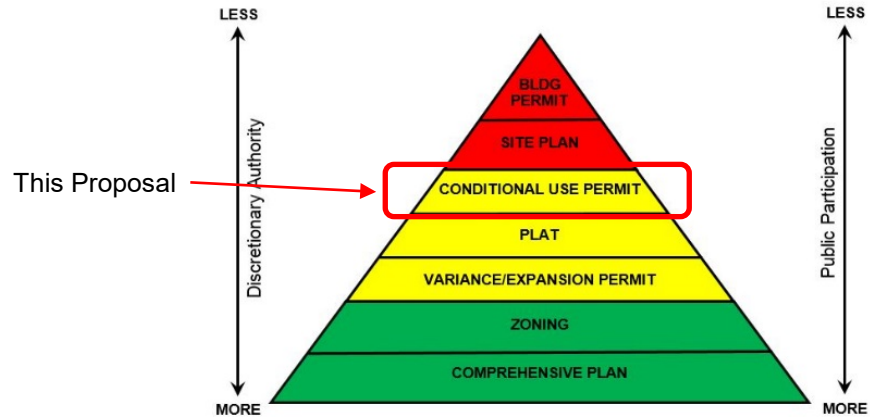
**2018**



**Neighborhood Comments**

The city has sent notice to 986 area property owners and has received no written comments to date.

**Pyramid of Discretion**



**Motion Options**

The planning commission has three options:

1. Concur with the staff recommendation. In this case a motion should be made recommending the city council adopt the ordinance and resolutions approving proposal.
2. Disagree with staff's recommendation. In this case, a motion should be made recommending the city council deny the proposal. This motion must include a statement as to why denial is recommended.
3. Table the request. In this case, a motion should be made to table the items. The motion should include a statement as to why the requests are being tabled with direction to staff, the applicant, or both.

**Voting Requirement**

The planning commission will make a recommendation to the city council. A recommendation for approval requires an affirmative vote of a simple majority. The city council's final approval requires an affirmative vote of a simple majority.

**Deadline for Decision**

Jan. 31, 2020



## SITE PLAN

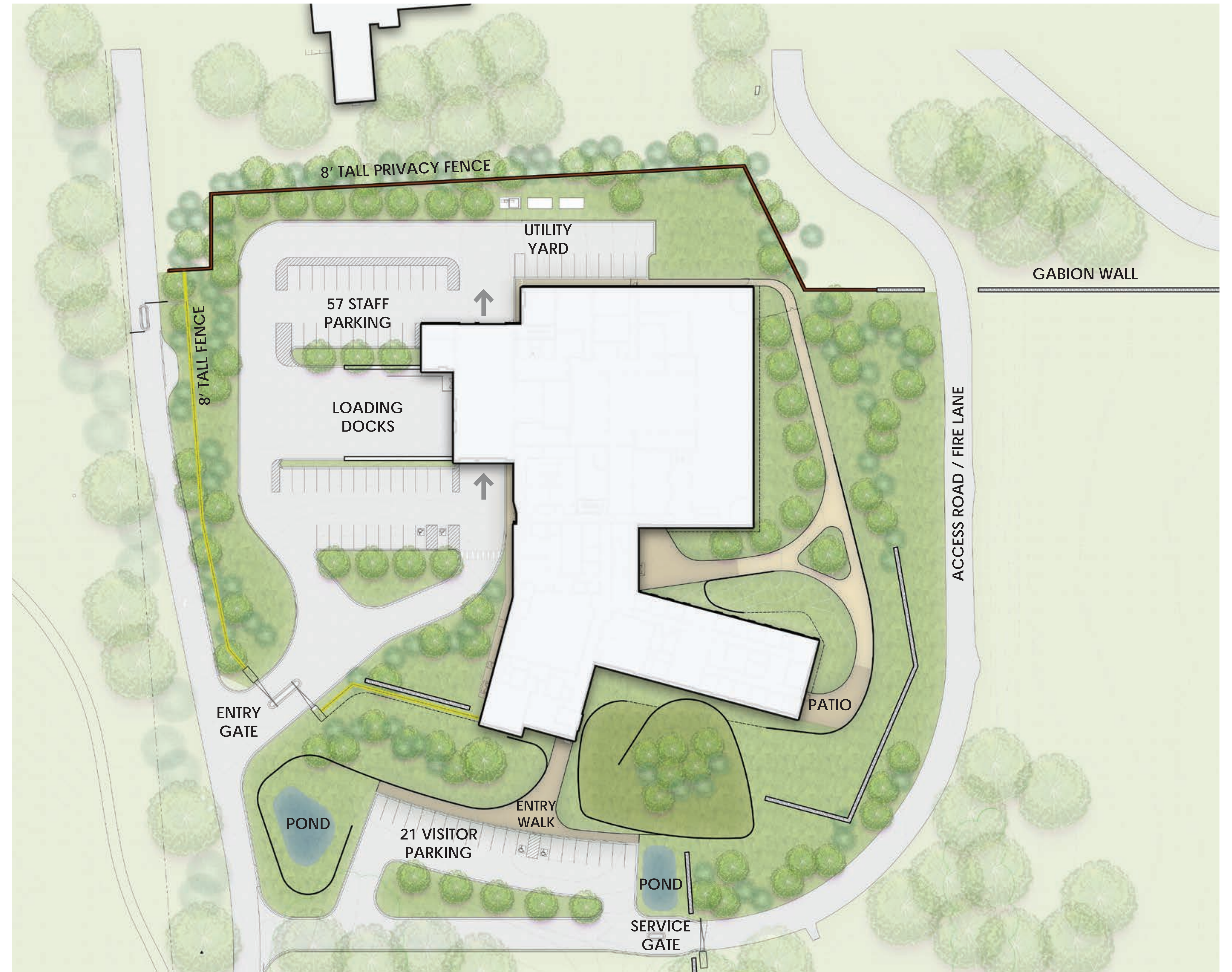
VISITOR PARKING: 21 STALLS  
STAFF PARKING: 57 STALLS

8' TALL SOLID PRIVACY FENCE  
8' TALL METAL FENCE

ENTRY GATE  
RELOCATED HOME SCHOOL GATE  
ACCESS ROAD / FIRE LANE

ENTRY LANDSCAPE  
COURTYARD  
EAST PATIO

STORMWATER BASINS / RAIN GARDENS



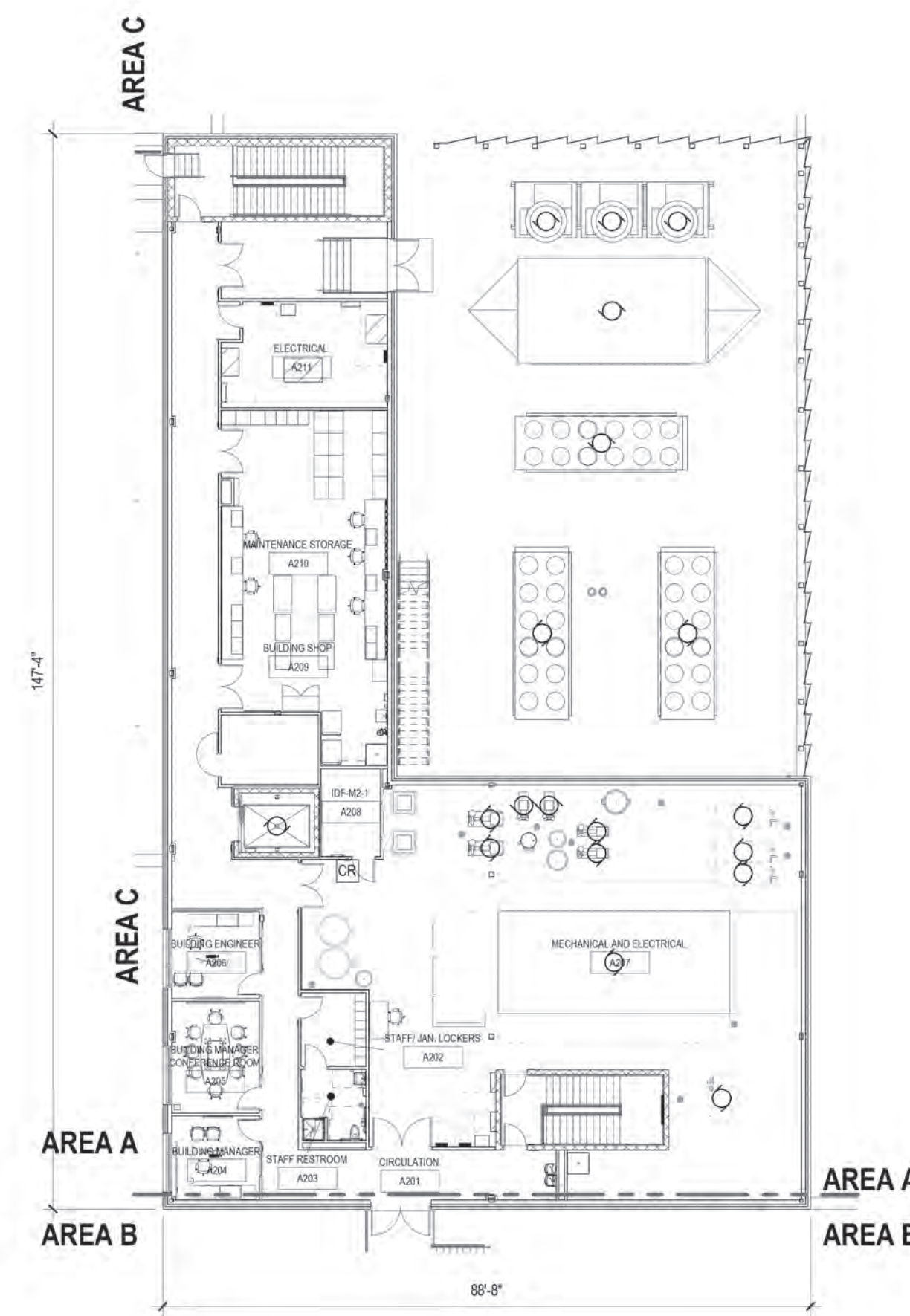
AUGUST 08, 2019







**A1** OVERALL FLOOR PLAN, LEVEL 1  
SCALE: 1/16" = 1'-0"



**C5** OVERALL FLOOR PLAN, LEVEL 2 (AREA A)  
SCALE: 1/16" = 1'-0"





# HENNEPIN COUNTY MEDICAL EXAMINERS

MINNETONKA, MN  
DF/ DAMON FARBER

SEPTEMBER 6, 2019

## LANDSCAPE REVIEW MEETING

# SITE PLAN (aug. 6)

VISITOR PARKING: 21 STALLS  
 STAFF PARKING: 58 STALLS

8' TALL SOLID BARRIER  
 8' TALL FENCE

ENTRY GATE  
 RELOCATED HOME SCHOOL GATE  
 ACCESS ROAD / FIRE LANE

ENTRY LANDSCAPE  
 COURTYARD  
 EAST PATIO

STORMWATER BASINS / RAIN GARDENS







# FENCES/WALLS/EDGES



6' tall wood fence



6' tall welded wire steel fence



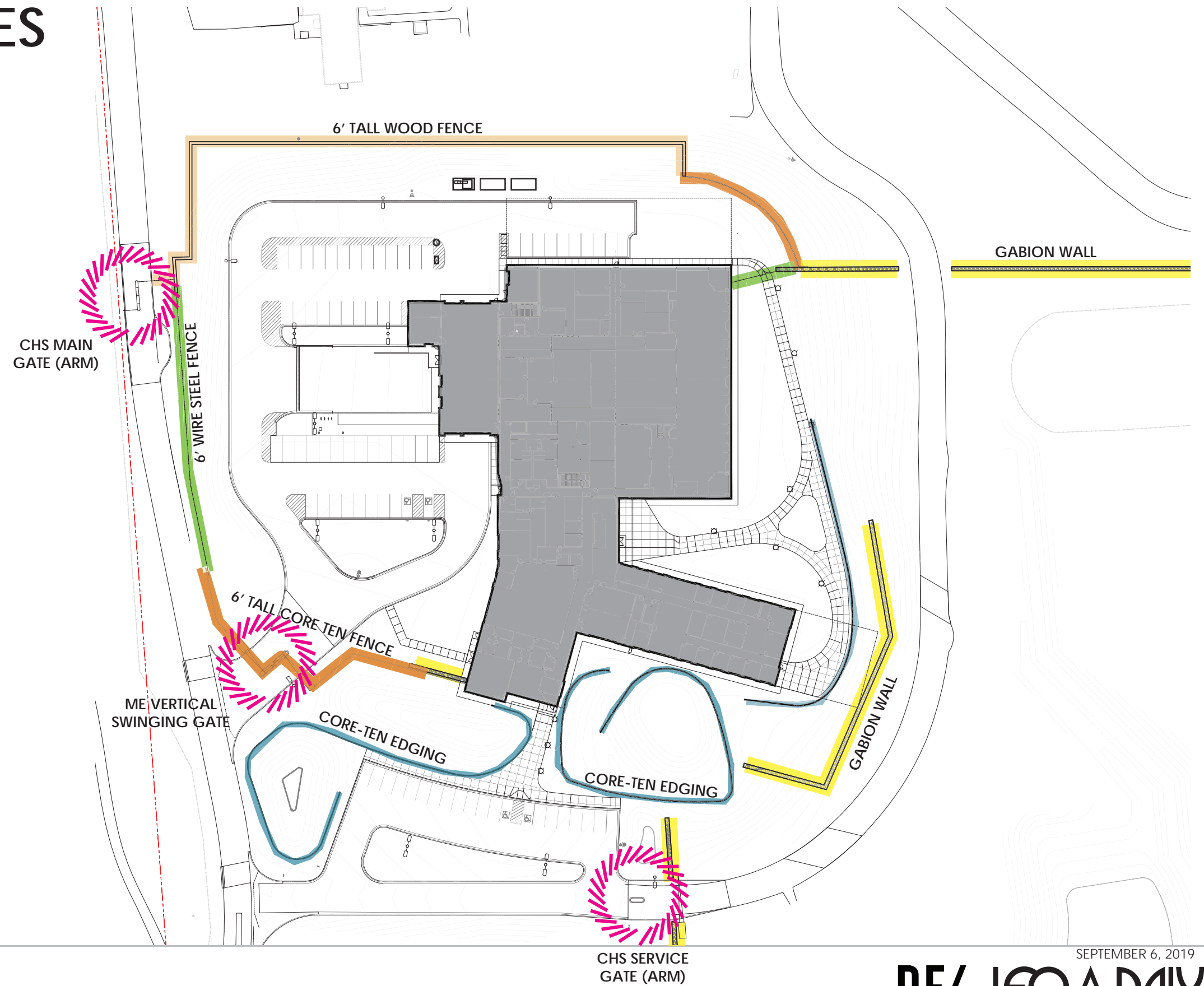
6' core-ten fence



core-ten edging



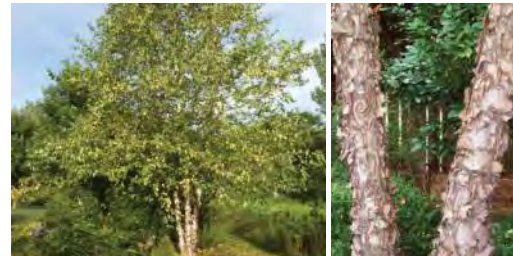
gabion wall



# DECIDUOUS TREES



sugar maple



river birch



kentucky coffeetree



prairie dream birch



siouxland cottonwood



swamp white oak



bur oak



red oak



prairie gold aspen



american hornbeam



# EVERGREEN TREES



eastern red cedar



black hills spruce



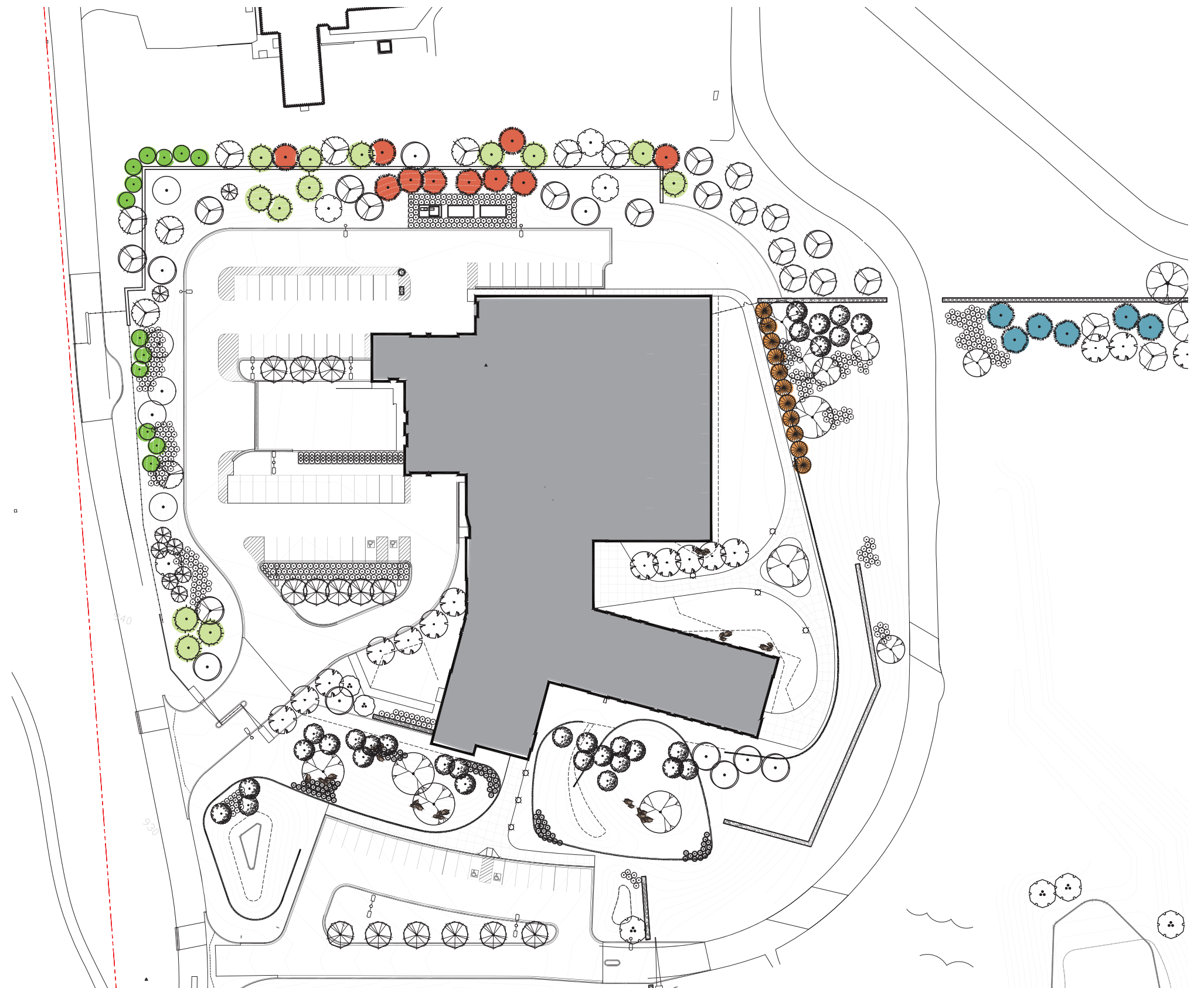
red pine



white pine



american arborvitae



# SHRUBS



black chokeberry



gray dogwood



red twig dogwood



american hazelnut



ninebark



smooth sumac



gro-low sumac



bush honeysuckle



nannyberry



grey owl juniper





# GRASSES / PERENNIALS



side oats grama



little bluestem



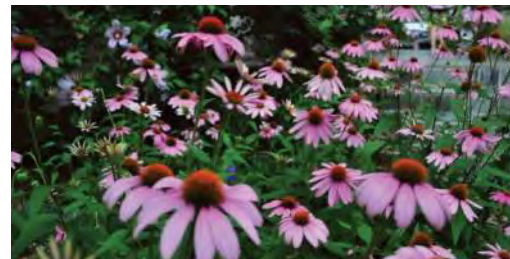
prairie dropseed



prairie cordgrass



gayfeather



purple coneflower



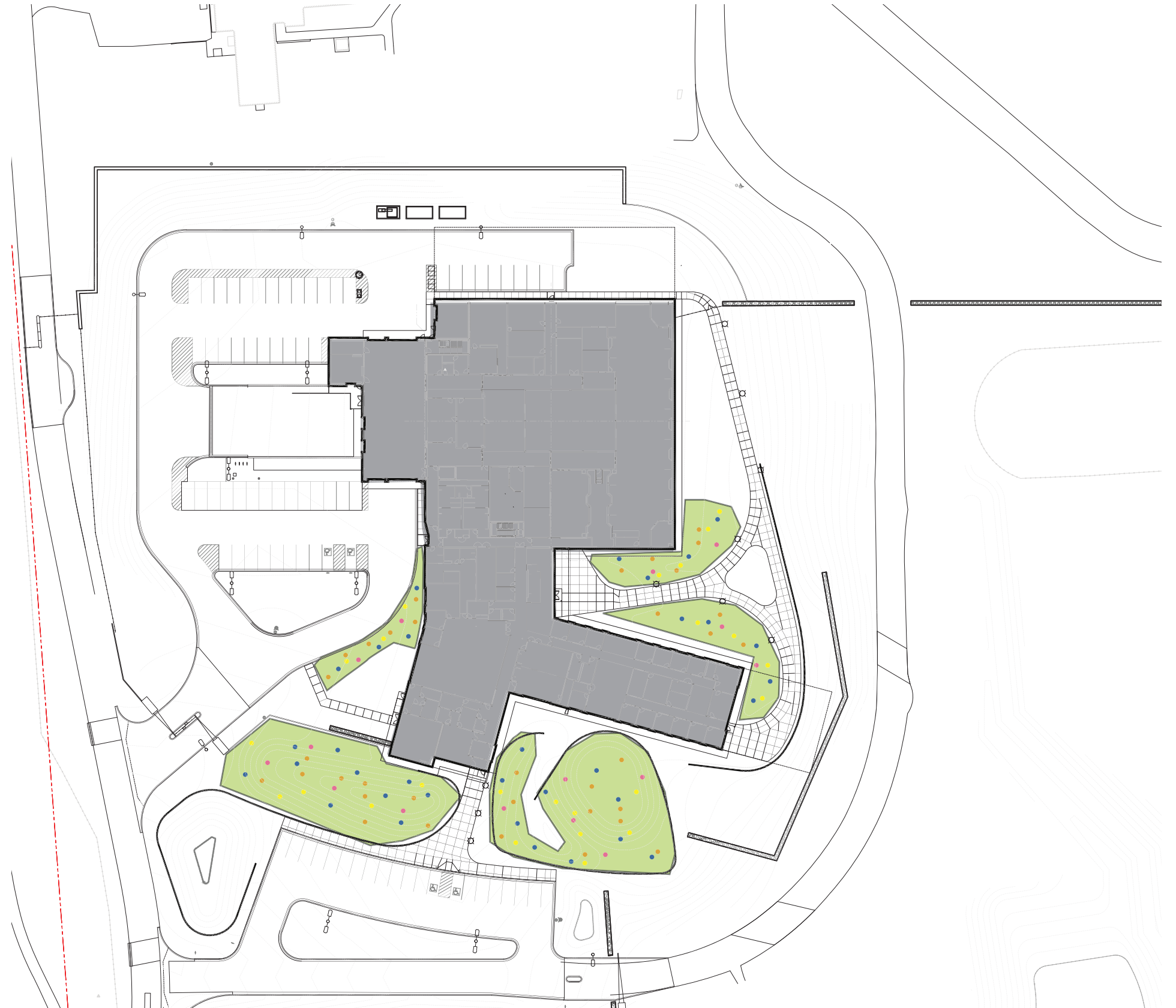
white swan coneflower



cup plant



blue wild indigo



# SEED / SOD



short prairie dry mix



basin mix



pollinator lawn mix



fescue sod

# ROCK / BOULDERS



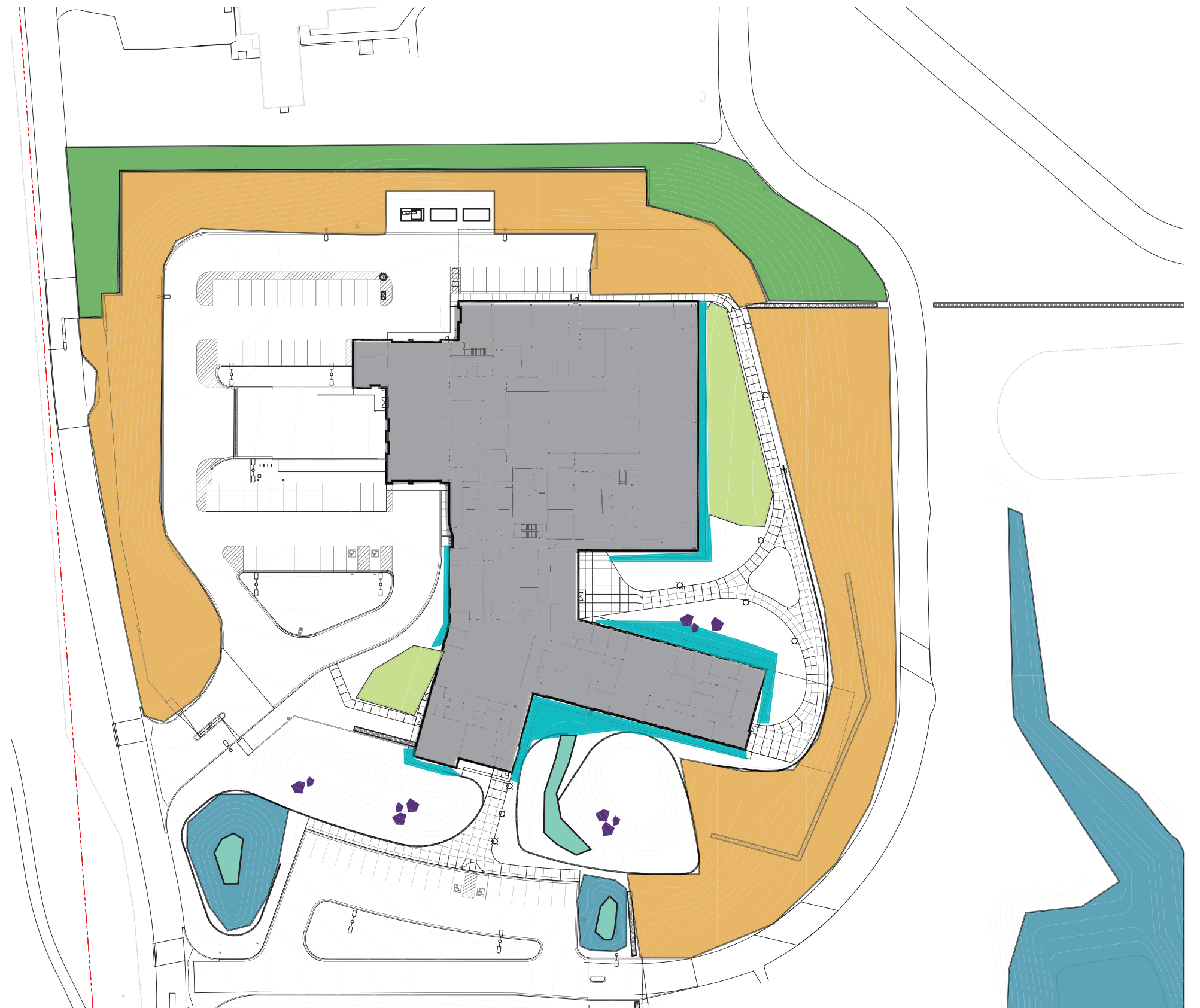
1-2" grey trap rock



4-6" grey trap / rip rap



grey trap rock boulders





HENNEPIN COUNTY  
 MEDICAL EXAMINER  
 FACILITY  
 MINNETONKA, MN

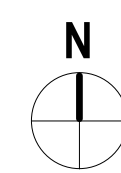
HENNEPIN COUNTY  
 A 2208 GOVERNMENT CENTER, MINNEAPOLIS, MN  
 55415

PROJECT NO. 023-10155-025  
 07/26/2019  
 HCME 95% CONSTRUCTION  
 DOCUMENTS

LEO A DALY

PLANNING  
 ARCHITECTURE  
 ENGINEERING  
 INTERIORS

- EST. 1915
- ABU DHABI
- ATLANTA
- AUSTIN
- CHICAGO
- COLLEGE STATION
- CORPUS CHRISTI
- DALLAS
- FLINT
- FORT WORTH
- HOUSTON
- LAN - MONTGOMERY COUNTY
- LANSING
- LAREDO
- LAS VEGAS
- LOS ANGELES
- MIAMI
- MIDWEST
- MILPITAS
- MINNEAPOLIS
- NORMAN
- OMAHA
- ORANGE
- SACRAMENTO
- SAN ANTONIO
- SAN MARCOS
- TAMPA
- WACO
- WASHINGTON, DC
- WEST PALM BEACH



**OVERALL PLAN GENERAL NOTES**

- 1. FOR STRUCTURAL GENERAL NOTES - SEE SHEET 8001
- 2. EL. 100'-0" = ELEVATION 961.5 ON CIVIL PLANS
- 3. (A) INDICATES SPREAD FOOTING TYPE
- 4. TOP OF FOOTING ELEVATION = 99'-0" UNLESS NOTED THUS: 97'-0"
- 5. \* INDICATES DIMENSIONS TO BE COORDINATED WITH OTHER DISCIPLINES. COORDINATE WITH CIVIL, MECHANICAL, ELECTRICAL AND ARCHITECTURAL DRAWINGS AND EQUIPMENT SUPPLIED FOR OPENING SIZES AND LOCATIONS AND SUPPORT LOCATIONS.

**HENNEPIN COUNTY  
MEDICAL EXAMINER  
FACILITY  
MINNETONKA, MN**



**HENNEPIN COUNTY**  
A 2208 GOVERNMENT CENTER,  
MINNEAPOLIS, MN 55415



730 SECOND AVE SOUTH, SUITE 1300,  
MINNEAPOLIS, MN 55402-2455  
T: 612.338.8741

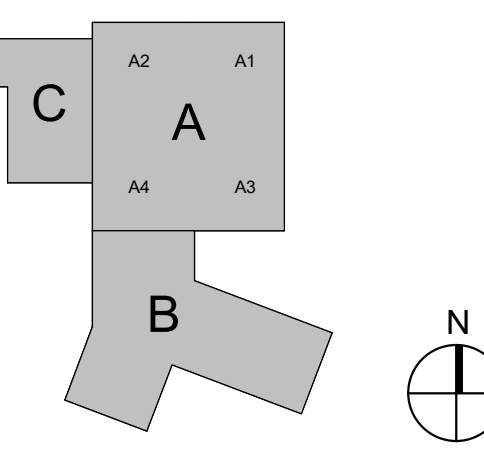
**LABORATORY EQUIPMENT DESIGN**  
MCCLAREN, WILSON, & LAWRIE  
11798 N LAKE RIDGE PKWY., ASHLAND, VA  
23005 T: 804-228-7473

**ELAN DESIGN**  
CIVIL ENGINEERING  
ELAN DESIGN LAB  
901 NORTH THIRD STREET, SUITE 120,  
MINNEAPOLIS, MN 55401 T: 612-280-7800

**DF/**  
LANDSCAPE ARCHITECTURE  
DAMON FARBER  
401 SECOND AVE NORTH, SUITE 410,  
MINNEAPOLIS, MN 55401 T: 612-332-7522

**trueNORTH consulting group**  
TELECOMMUNICATIONS ENGINEERING  
TRUE NORTH CONSULTING  
140 THIRD STREET SOUTH, STILLWATER,  
MN 55082 T: 651-705-1231

**KEY PLAN**



**REVISIONS**

NO.	DESCRIPTION	DATE

**FILE LOG**

ACTIVITY	BY
Manager	T. POWERS
Design	S. ANDERSEN
Draw	A.J. RUB
Check	A. SMITH

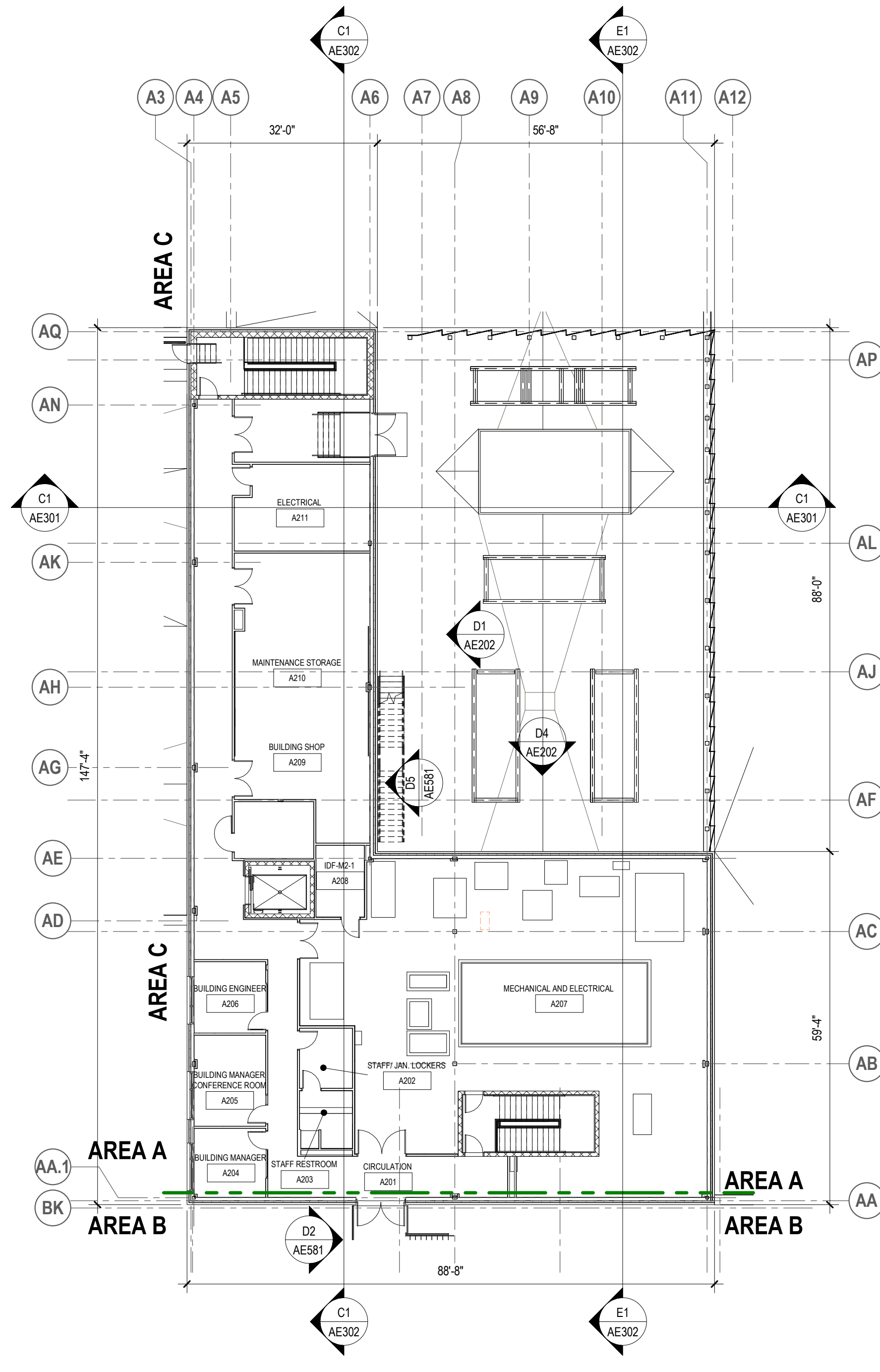
**NOT FOR CONSTRUCTION**

**HCMC 95%  
CONSTRUCTION  
DOCUMENTS**

LAD Project No. 023-10155-025  
Hennepin County Contract No. 4984A9  
Hennepin County Project No. 1002306  
07/26/2019

OVERALL FLOOR PLANS, LEVELS 1 & 2

**AE100**

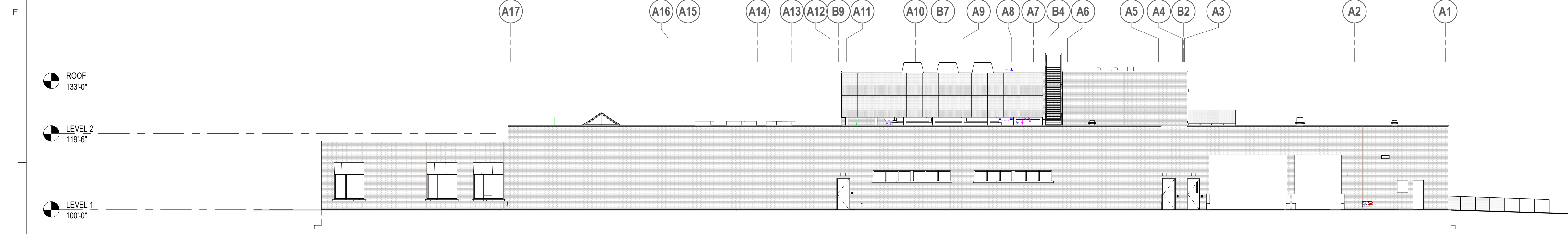


**C5 OVERALL FLOOR PLAN, LEVEL 2 (AREA A)**  
SCALE: 1/16" = 1'-0"

**A1 OVERALL FLOOR PLAN, LEVEL 1**  
SCALE: 1/16" = 1'-0"

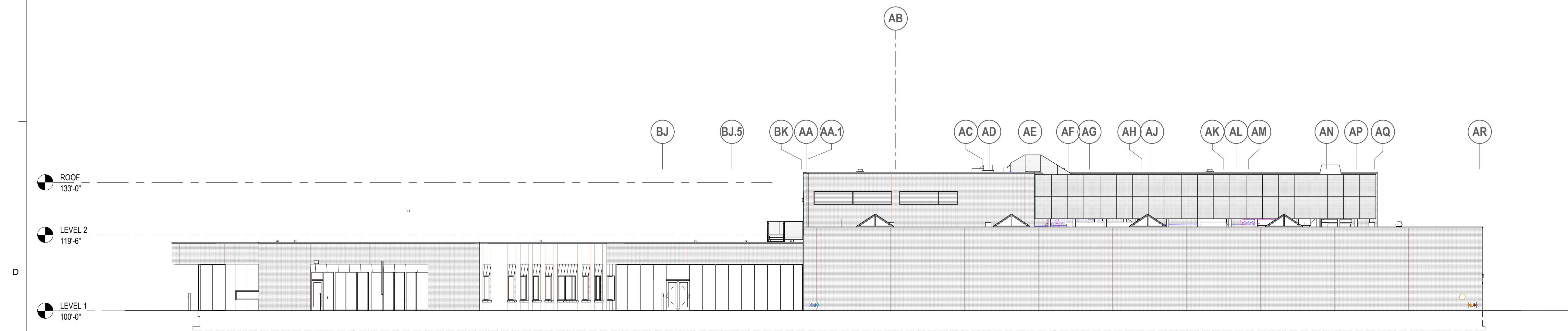
7/26/2019 2:58:35 PM \\labcon\hennepin\projects\023-10155-025\4-Production\Working\1-BIM-CAD\Revit\HCMC-Arch-Struct\LA01.rvt

7/29/2019 3:00:33 PM \\labcohanes\projects\023\023-1\155-0294-40-Production-Working-1-SHM-CAO\Revit\HCME-Acan-Struct\LA02.rvt



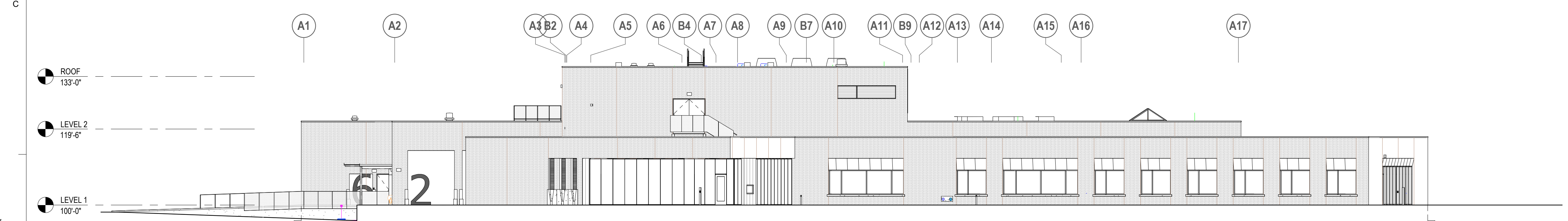
**E1 EXTERIOR ELEVATION - NORTH**  
SCALE: 1/16" = 1'-0"

OVERALL ELEVATIONS SHOWN FOR REFERENCE, SEE PARTIAL ELEVATIONS FOR FURTHER INFORMATION.



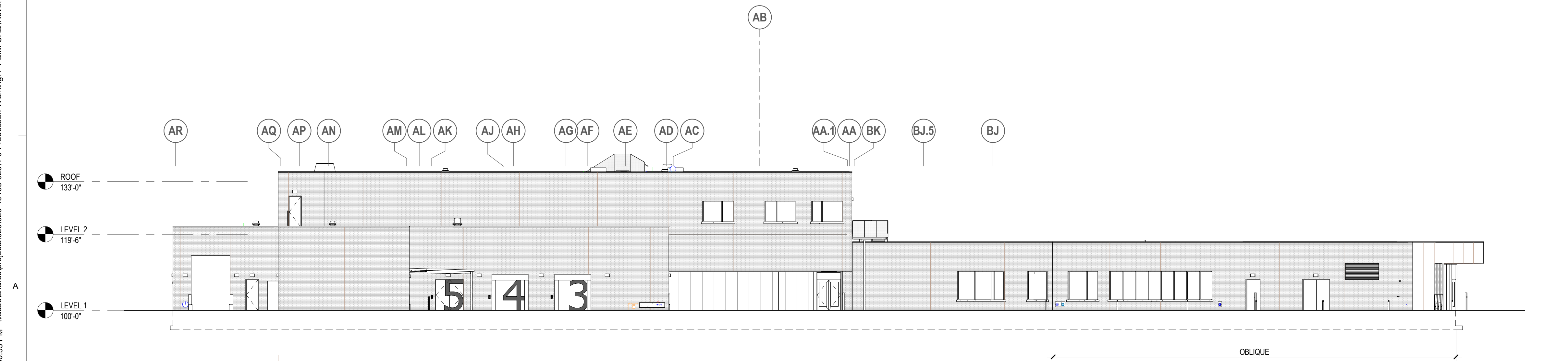
**D1 EXTERIOR ELEVATION - EAST**  
SCALE: 1/16" = 1'-0"

OVERALL ELEVATIONS SHOWN FOR REFERENCE, SEE PARTIAL ELEVATIONS FOR FURTHER INFORMATION.



**B1 EXTERIOR ELEVATION - SOUTH**  
SCALE: 1/16" = 1'-0"

OVERALL ELEVATIONS SHOWN FOR REFERENCE, SEE PARTIAL ELEVATIONS FOR FURTHER INFORMATION.



**A1 EXTERIOR ELEVATION - WEST**  
SCALE: 1/16" = 1'-0"

OVERALL ELEVATIONS SHOWN FOR REFERENCE, SEE PARTIAL ELEVATIONS FOR FURTHER INFORMATION.

**EXTERIOR MATERIAL LEGEND**

- **(AAPB)** ADA ACTUATOR PUSH BUTTON
- **(BRM)** BOND BEAM SEE STRUCTURAL
- **(BRICK-1)** ENDICOTT NORMAN BRICK 1/3 RUNNING BOND
- **(CDM)** GAVITY DRAINAGE MATERIAL
- **(CFM)** 600 COLD FORMED METAL FRAMING 16 GA 16" O.C. MAX 5/16" MAX
- **(CFM-1)** DIAGONAL BRACING AS REQ'D BY 054000
- **(CFM-2)** 2" FURRING PROFILE SIZE AS DETAILED
- **(CFM-3)** DEFLECTION TRACK
- **(CSR)** 8" COMPACTED GRAVEL OR CRUSHED STONE MEETING THE REQUIREMENTS FOR RADON MITIGATION
- **(CJ)** CONTROL JOINT
- **(CMU)** CONCRETE MASONRY UNIT, SEE STRUCTURAL FOR MASONRY REQUIREMENTS
- **(CR)** CARD READER, SEE ELECTRICAL
- **(CW-1)** THERMALLY BROKEN CURTAINWALL FINISH SYSTEM, PREFINISHED - SSG
- **(CW-2)** THERMALLY BROKEN CURTAINWALL FINISH SYSTEM, PREFINISHED
- **(CWFP)** CURTAIN WALL FILLER PANEL BY CURTAIN WALL PROVIDER, MATCH COLOR TO FRAME
- **(CWR)** CURTAIN WALL HEAD RECEPTOR
- **(CT-1)** CERAMIC TILE, SEE FINISH PLANS
- **(DMS)** DOOR NUMBER SIGN - PAINT
- **(EJ-1)** 2" EXPANSION JOINT, ROOF, FRAMED BELLOWS COVER SYSTEM WITH MOISTURE BARRIER - IMM SYSTEMS ERJ SERIES OR APPROVED EQUAL
- **(EJ-2)** EXPANSION JOINT COVER - COPPER
- **(EJ-3)** EXPANSION JOINT COVER - BRONZE
- **(EJ-4)** 2" EXTERIOR EXPANSION JOINT WALL COVER, MATCH TO BRICK COLOR
- **(EJ-5)** 2" PREFINISHED INTERIOR EXPANSION JOINT WALL COVER
- **(EPC)** EPOXY PAINT COATING
- **(EPDM-1)** FULLY ADHERED EPDM ROOFING, 60 MIL MEMBRANE, 1/2" COVER BOARD, 5/8" MIN POLYISO INSULATION AND VAPOR BARRIER, (FIRESTONE RUBBERGARD EPDM PLATINUM SYSTEM OR APPROVED EQUAL)
- **(FAEB)** FIRE ALARM EXTERIOR BELL, SEE ELEC.
- **(FB)** FIRE BARRIER
- **(FBS-1)** MASONRY FOAM GASKET SEAL
- **(GSB-1)** INTERIOR GYPSUM BOARD - 5/8" TYPE X
- **(GSB-2)** EXTERIOR GYPSUM BOARD SHEATHING - 5/8" TYPE X
- **(HMDE)** HOLLOW METAL DOOR AND FRAME (PNT-8)
- **(INS-1)** POLYISOCYANURATE RIGID BOARD INSULATION
- **(INS-2)** EXTRUDED POLYSTYRENE RIGID BOARD INSULATION, BELOW GRADE
- **(INS-3)** MINERAL WOOL BATT INSULATION
- **(INS-4)** SPRAY FOAM INSULATION, SPRAY-APPLIED THERMAL BARRIER - ANTILUMINESCENT FIREPROOFING MATERIAL
- **(INS-5)** SPRAY FOAM INSULATION, SPRAY-APPLIED THERMAL BARRIER IN EXTERIOR STUD WALL
- **(LDB)** LOADING DOCK BUMPER
- **(LEL)** LOADING DOCK LIGHT
- **(LDS)** LOADING DOCK SEAL
- **(LMSF)** LIGHT GAUGE METAL STUD FRAMING, 16 GA MAX. O.C. G60
- **(LTL-1)** GALVANIZED STEEL LINTEL, SEE STRUC. - COLOR TO MATCH BRICK (PNT-8)
- **(LTX)** LIGHTING FIXTURE, SEE ELEC.
- **(LVR-1)** 4" DRAINABLE ALUMINUM LOUVER WITH SCREEN AND MOUNTING ACCESSORIES BLANK OFF AS APPLICABLE
- **(MCL-1)** MASONRY CONTROL JOINT
- **(MEMB)** METAL EQUIPMENT MOUNTING BOLLARD
- **(MECH)** MECHANICAL EQUIPMENT, SEE MECH
- **(MF-1)** METAL FABRICATION - MECHANICAL SCREEN
- **(MF-2)** GALVANIZED GRATING ROOF ACCESS STAIR BY 055113
- **(MF-2A)** METAL FABRICATION - ROOF ACCESS STAIR - PAINT TO MATCH BRICK (PNT-8) BY 055113
- **(MCP)** 3/8" GALV. STEEL CANOPY (PNT-8)
- **(MEL-1)** COMPOSITE COPPER PANEL WITH CONCEALED FASTENING. INCLUDE FURRING, SUPPORTING ELEMENTS AND TRIM
- **(MFL-2)** COMPOSITE METAL PANEL WITH CONCEALED FASTENING. INCLUDE FURRING, SUPPORTING ELEMENTS AND TRIM
- **(MWW-1)** CELLULAR MASONRY WEEMPVENT (TOP & BOT)
- **(OCD-1)** OVERHEAD INSULATED COILING DOOR, MOTORIZED WITH CONTINUOUS HEAVY DUTY WEATHER SEAL
- **(OCD-2)** OVERHEAD INSULATED COILING DOOR, POLYCARBONATE LITES
- **(ODN)** OVERFLOW DOWNSPOUT NOZZLE, SEE MECH
- **(PCS-1)** PRECAST WINDOW SILL, MATCH TO BRICK COLOR
- **(POBD)** PRIMARY AND OVERFLOW ROOF DRAIN
- **(RL-1)** EXTERIOR RAILING - 1 1/2" X 1 1/2" GALVANIZED STEEL SHALUSTER W/ PERFORATED METAL PANEL RAILING (PNT-8) BY 055113
- **(RSB-1)** 1/2" ROOF SUBSTRATE BOARD
- **(SAB-1)** SPRAY APPLIED AIR BARRIER
- **(SKLT)** SKYLIGHT SYSTEM
- **(SLNT)** SEALANT W/ BACKER ROD
- **(SLNT-1)** SEALANT
- **(SMF-1)** PREFINISHED FORMED METAL FLASHING, COLOR TO MATCH BRICK (PNT-8)
- **(SMF-2)** PREFINISHED METAL DRIP EDGE W/ FLEXIBLE MEMBRANE FLASHING, COLOR TO MATCH BRICK (PNT-8)
- **(SMF-3)** FLEXIBLE MEMBRANE SILL FLASHING
- **(SMF-4)** PREFINISHED METAL FLASHING, COLOR TO MATCH WINDOW FRAME
- **(SMF-5)** COPPER DRIP EDGE W/ FLEXIBLE MEMBRANE FLASHING
- **(SMF-6)** PREFINISHED METAL COUNTER FLASHING, COLOR TO MATCH BRICK
- **(SSM-4)** SOLID SURFACE WINDOW SILL
- **(STR)** STRUCTURAL, SEE STRUCTURAL DRAWINGS
- **(TB-1)** MECHANICALLY FASTENED TERMINATION BAR W/ JOINT SEALANT ON TOP
- **(UVB-1)** UNDERSLAB SHEET VAPOR BARRIER, 10 MIL MIN. CLASS A
- **(WBK-1)** WOOD BLOCKING - FIRE TREATED
- **(WDS)** SHIM AS REQUIRED
- **(WG-1)** WHEEL GUARD WALL PROTECTION
- **(WH)** WALL HYDRANT, SEE MECH
- **(WPS-1)** WATER PROOFING SYSTEM - DRAINAGE MAT
- **(WPS-2)** SELF-ADHERING MODIFIED BITUMINOUS SHEET MEMBRANE - 40 MIL
- **(WS-1)** WINDOW SHADE
- **(WSH-1)** 3/4" PLYWOOD SHEATHING - FIRE TREATED

**GENERAL ELEVATION NOTES**

1. EXTERIOR SNT COLOR TO MATCH BRICK. CUSTOM COLOR AS REQ'D.
2. PAINT STL LINTELS TO MATCH BRICK. SEE SPEC.
3. BRICK WALL ELEVATIONS SHOW INTENT ONLY. BRICK SUPPLIER TO COORDINATE ALL SIZES, CONFIGURATIONS, OPENINGS AND CONTROL JOINTS.
4. PAINT VISIBLE INTERIOR SURFACES OF EXTERIOR LOUVERS SLACK.
5. ALL MECHANICAL ITEMS ON WALL SURFACE SHOW INTENT ONLY. MECH CONTRACTOR COORDINATE W/ ARCHITECT PRIOR TO INSTALL. SEE MECH DRAWINGS FOR ADDITIONAL INFO.
6. ALL ELECTRICAL ITEMS ON WALL SURFACE SHOW INTENT ONLY. ELEC. CONTRACTOR COORDINATE W/ ARCHITECT PRIOR TO INSTALL. SEE ELEC DRAWINGS FOR ADDITIONAL INFO.
7. EXTERIOR LOUVERS TO BE PAINTED CUSTOM COLOR TO MATCH BRICK.

HENNEPIN COUNTY  
MEDICAL EXAMINER  
FACILITY  
MINNETONKA, MN



HENNEPIN COUNTY  
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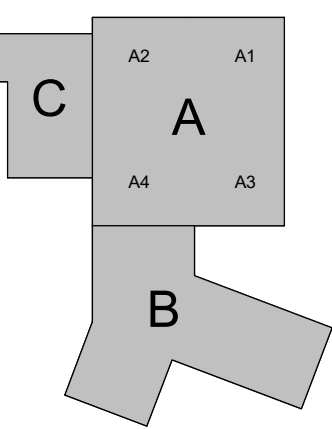
**MWL**  
LABORATORY EQUIPMENT DESIGN  
**MCCLAREN, WILSON, & LAWRIE**  
11798 N LAKERIDGE PKWY, ASHLAND, VA  
23005 T:804-228-7473

**Elan**  
DESIGN  
CIVIL ENGINEERING  
**ELAN DESIGN LAB**  
901 NORTH THIRD STREET, SUITE 120,  
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LANDSCAPE ARCHITECTURE  
**DAMON FARBER**  
401 SECOND AVE NORTH, SUITE 410,  
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**trueNORTH**  
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TELECOMMUNICATIONS ENGINEERING  
TRUE NORTH CONSULTING  
140 THIRD STREET SOUTH, STILLWATER,  
MN 55082 T:651-705-1231

**KEY PLAN**



**REVISIONS**

NO.	DESCRIPTION	DATE

**FILE LOG**

ACTIVITY	BY
Manager	T.FONERS
Design	S.ANDERSEN
Draw	RUB.AJ
Check	A.SMITH

**STAMP**

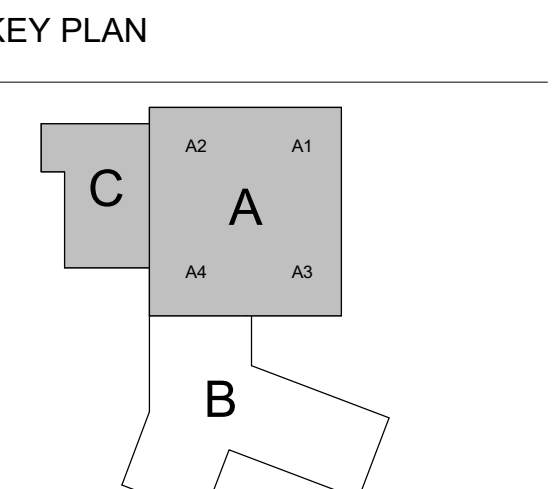
**NOT FOR CONSTRUCTION**

HCME 95%  
CONSTRUCTION DOCUMENTS

LAD Project No. 023-10155-025  
Hennepin County Contract No. 4984A9  
Hennepin County Project No. 1002306  
07/26/2019

OVERALL EXTERIOR ELEVATIONS

**AE200**



REVISIONS

NO.	DESCRIPTION	DATE

FILE LOG

ACTIVITY	BY
Manager	T.POWERS
Design	S.ANDERSEN
Draw	YUK.A.S.R.B
Check	A.SMITH

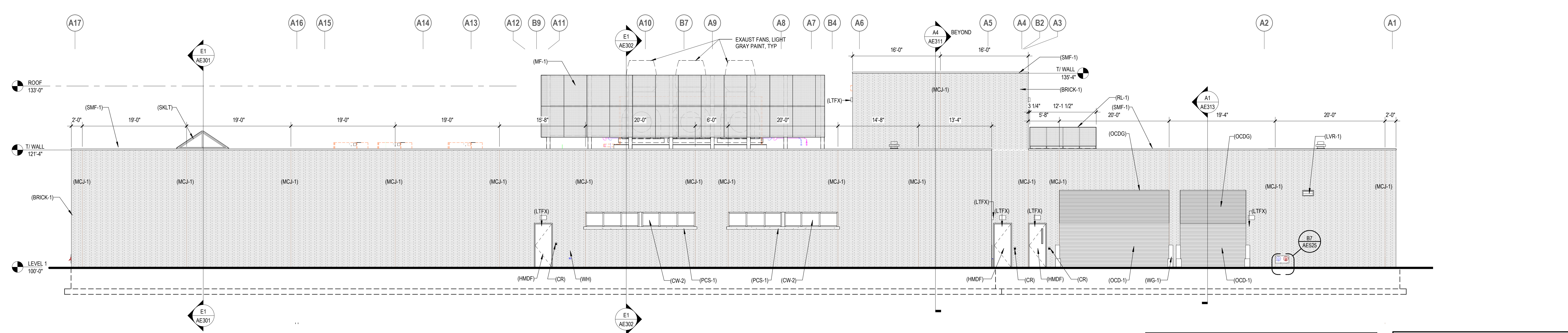
NOT FOR CONSTRUCTION

HCMC 95%  
CONSTRUCTION DOCUMENTS

LAD Project No. 023-10155-025  
Henepin County Contract No. 4984A9  
Henepin County Project No. 1002306  
07/26/2019

EXTERIOR ELEVATIONS

AE201

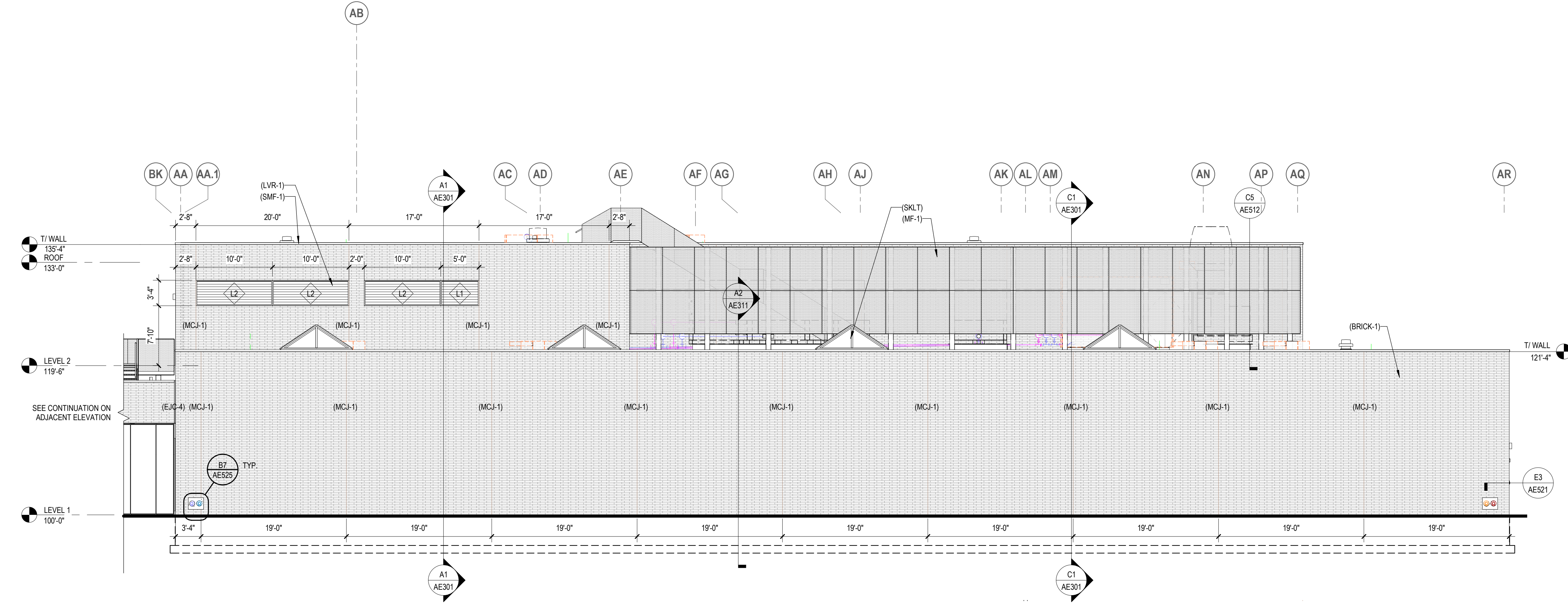


**E1 PARTIAL EXTERIOR ELEVATION - (AREA A & C) NORTH**  
SCALE: 1/8" = 1'-0"

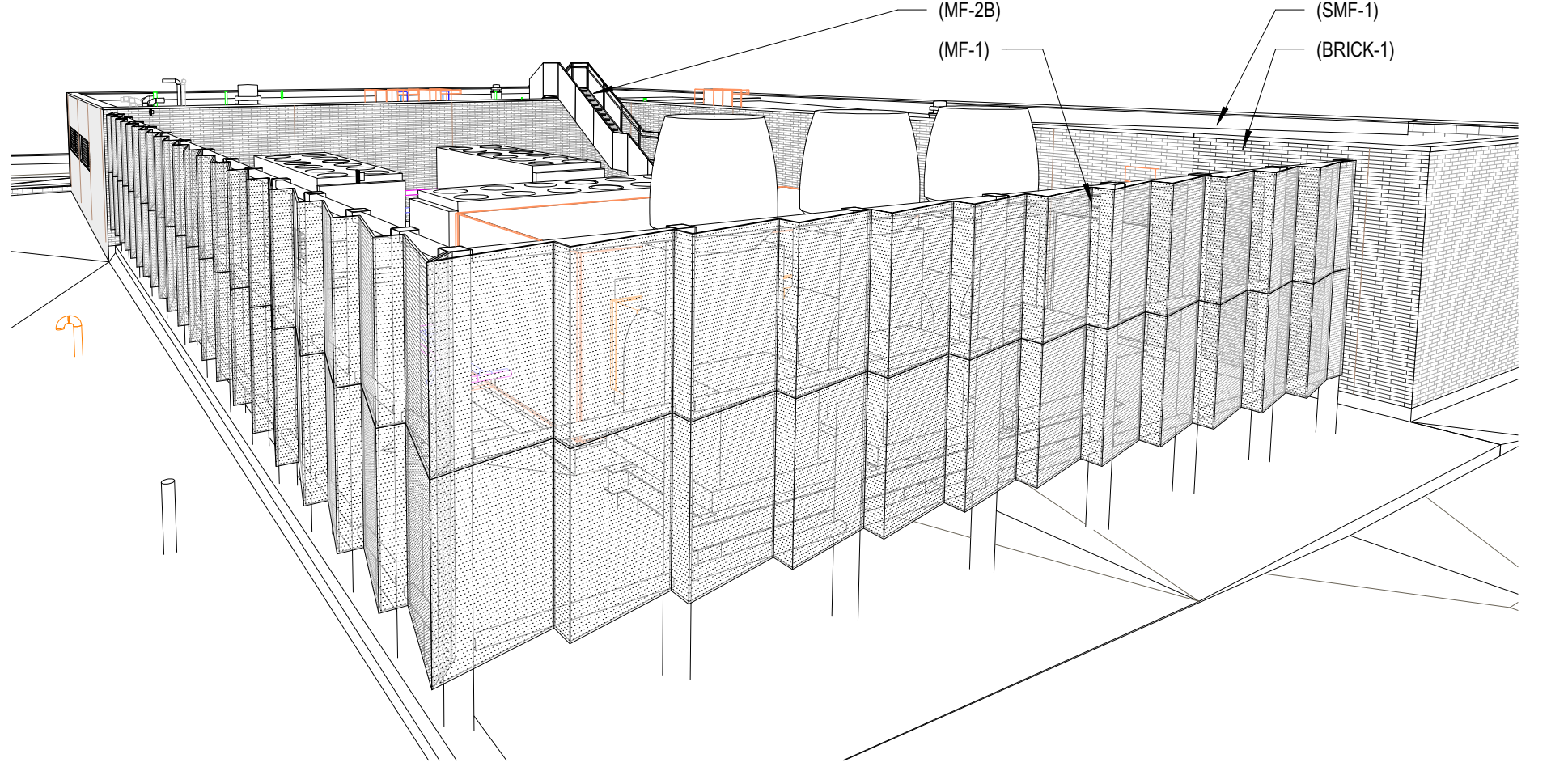
KEYNOTE LEGEND

Key Value	Keynote Text
(BRICK-1)	FACE BRICK ( 3 5/8" X 2 1/4" X 11 5/8"
(CR)	CARO READER. SEE ELECTRICAL.
(CW-2)	THERMALLY BROKEN CURTAINWALL FINISH SYSTEM - PREFINISHED
(EJC-1)	2" EXPANSION JOINT. ROOF. FRAMED BELLOW COVER SYSTEM WITH MOISTURE BARRIER. (MM SYSTEMS ERJ SERIES OR APPROVED EQUAL)
(EJC-4)	2" EXTERIOR EXPANSION JOINT WALL COVER. MATCH TO BRICK COLOR
(HMDF)	HOLLOW METAL DOOR AND FRAME (PNT-8)
(LTFX)	LIGHTING FIXTURE. SEE ELEC.
(LVR-1)	4" DRAINABLE ALUMINUM LOUVER WITH SCREEN AND MOUNTING ACCESSORIES. BLANK OFF AS APPLICABLE
(MCJ-1)	MASONRY CONTROL JOINT
(MEQ)	MECHANICAL EQUIPMENT. SEE MECH.
(MF-1)	METAL FABRICATION - MECHANICAL SCREEN (PNT-8)
(MF-2A)	METAL FABRICATION - ROOF ACCESS STAIR. PAINT TO MATCH BRICK (PNT-8) BY 05513
(MTCF)	5/8" GALV. STEEL PLATE CANOPY. WATER PROOF WELD AT JOINTS. PAINT TO MATCH BRICK (PNT-8)
(MTL-1)	COMPOSITE COPPER PANEL WITH CONCEALED FASTENING. INCLUDE FURRING, SUPPORTING ELEMENTS AND TRIM.
(OCD-1)	OVERHEAD INSULATED COILING DOOR. MOTORIZED WITH CONTINUOUS HEAVY DUTY WEATHER SEAL.
(OCDG)	OVERHEAD INSULATED COILING DOOR POLYCARBONATE LITES
(PCS-1)	PRECAST WINDOW SILL. (ANCHORAGE REQUIRED - NOT SHOWN) MATCH TO BRICK COLOR.
(PDN)	5W X 8H PAINTED DOOR NUMBER. PALM SPRINGS FONT. COORDINATE W/ DOOR MFR. FOR PAINTING.
(RL-1)	EXTERIOR RAILING - 1 1/2" X 1 1/2" GALVANIZED STEEL BALUSTER W/ PERFORATED METAL PANEL RAILING (PNT-8) BY 05513
(SKLT)	SKYLIGHT SYSTEM
(SMF-1)	PREFINISHED FORMED METAL FLASHING. COLOR TO MATCH BRICK (PNT-8)
(WG-1)	WHEEL GUARD WALL PROTECTION
(WH)	WALL HYDRANT. SEE MECH.

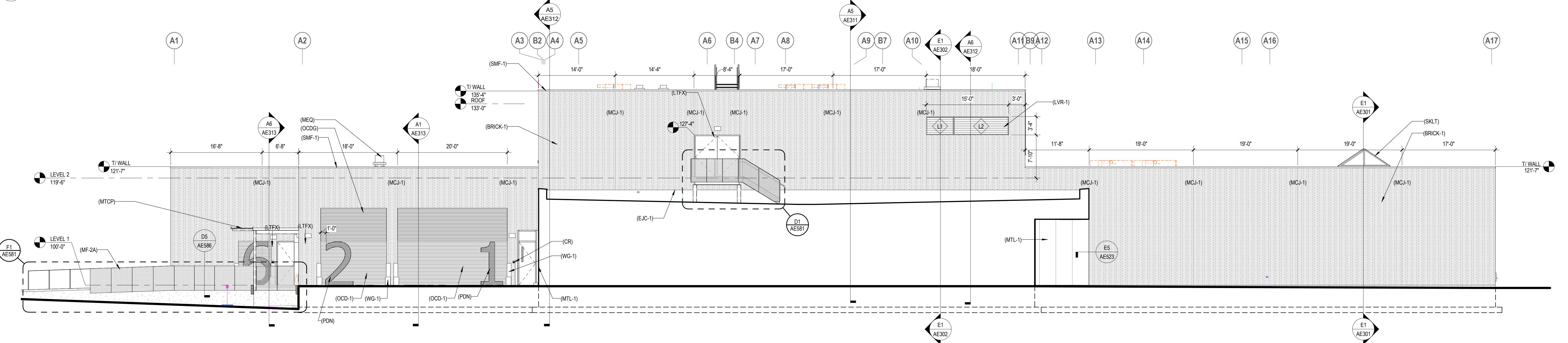
- GENERAL ELEVATION NOTES
- EXTERIOR SNT COLOR TO MATCH BRICK. CUSTOM COLOR AS REQ'D.
  - PAINT STL LINTELS TO MATCH BRICK. SEE SPEC.
  - BRICK WALL ELEVATIONS SHOW INTENT ONLY. BRICK SUPPLIER TO COORDINATE ALL SIZES, CONFIGURATIONS, OPENINGS AND CONTROL JOINTS.
  - PAINT VISIBLE INTERIOR SURFACES OF EXTERIOR LOUVERS BLACK.
  - ALL MECHANICAL ITEMS ON WALL SURFACE SHOW INTENT ONLY. MECH CONTRACTOR COORDINATE W/ ARCHITECT PRIOR TO INSTALL. SEE MECH DRAWINGS FOR ADDITIONAL INFO.
  - ALL ELECTRICAL ITEMS ON WALL SURFACE SHOW INTENT ONLY. ELEC CONTRACTOR COORDINATE W/ ARCHITECT PRIOR TO INSTALL. SEE ELEC DRAWINGS FOR ADDITIONAL INFO.
  - EXTERIOR LOUVERS TO BE PAINTED CUSTOM COLOR TO MATCH BRICK.



**C1 PARTIAL EXTERIOR ELEVATION - (AREA A) EAST**  
SCALE: 1/8" = 1'-0"



**C6 ROOF SCREEN WALL VIEW - REFERENCE ONLY**  
SCALE:



**A1 PARTIAL EXTERIOR ELEVATION - (AREA A & C) SOUTH**  
SCALE: 1/8" = 1'-0"

GENERAL ELEVATION NOTES

1. EXTERIOR SNT COLOR TO MATCH BRICK. CUSTOM COLOR AS REQD.
2. PAINT STL. LINTELS TO MATCH BRICK. SEE SPEC.
3. BRICK WALL ELEVATIONS SHOW INTENT ONLY. BRICK SUPPLIER TO COORDINATE ALL SIZES, CONFIGURATIONS, OPENINGS AND CONTROL JOINTS.
4. PAINT VISIBLE INTERIOR SURFACES OF EXTERIOR LOUVERS BLACK.
5. ALL MECHANICAL ITEMS ON WALL SURFACE SHOW INTENT ONLY. MECH CONTRACTOR COORDINATE W/ ARCHITECT PRIOR TO INSTALL. SEE MECH DRAWINGS FOR ADDITIONAL INFO.
6. ALL ELECTRICAL ITEMS ON WALL SURFACE SHOW INTENT ONLY. ELEC. CONTRACTOR COORDINATE W/ ARCHITECT PRIOR TO INSTALL. SEE ELEC DRAWINGS FOR ADDITIONAL INFO.
7. EXTERIOR LOUVERS TO BE PAINTED CUSTOM COLOR TO MATCH BRICK.

KEYNOTE LEGEND

Key Value	Keynote Text
(BRICK-1)	FACE BRICK ( 3 5/8" X 2 1/4" X 11 5/8" )
(CW-1)	THERMALLY BROKEN SSG CURTAINWALL FINISH SYSTEM - PREFINISHED
(CW-2)	THERMALLY BROKEN CURTAINWALL FINISH SYSTEM - PREFINISHED
(CWF-P)	CURTAIN WALL FILLER PANEL BY CURTAIN WALL PROVIDER. MATCH COLOR TO FRAME
(EJC-1)	2" EXPANSION JOINT. ROOF: FRAMED BELLOWS COVER SYSTEM WITH MOISTURE BARRIER. (MM SYSTEMS ERJ SERIES OR APPROVED EQUAL)
(EJC-4)	2" EXTERIOR EXPANSION JOINT WALL COVER. MATCH TO BRICK COLOR
(EPDM-1)	FULLY ADHERED EPDM ROOFING. 60 MIL MEMBRANE. 1/2" COVER BOARD. 5" MIN POLYISO INSULATION AND VAPOR BARRIER. (PRESTONE RUBBERGARD EPDM PLATINUM SYSTEM OR APPROVED EQUAL)
(HB)	HOSE BIB. SEE PLUMBING
(HMDP)	HOLLOW METAL DOOR AND FRAME (PNT-8)
(LDB)	LOADING DOCK BUMPER
(LDS)	LOADING DOCK SEAL
(LTFX)	LIGHTING FIXTURE. SEE ELEC.
(MCJ-1)	MASONRY CONTROL JOINT
(MEMB)	METAL EQUIPMENT MOUNTING BOLLARD
(MEQ)	MECHANICAL EQUIPMENT. SEE MECH
(MF-1)	METAL FABRICATION - MECHANICAL SCREEN (PNT-8)
(MF-2A)	METAL FABRICATION - ROOF ACCESS STAIR. PAINT TO MATCH BRICK (PNT-8) BY 055113
(MTCP)	3/8" GALV. STEEL PLATE CANOPY. WATER PROOF WELD AT JOINTS. PAINT TO MATCH BRICK (PNT-8)
(MTL-1)	COMPOSITE COPPER PANEL WITH CONCEALED FASTENING. INCLUDE FURRING, SUPPORTING ELEMENTS AND TRIM
(OCD-1)	OVERHEAD INSULATED COILING DOOR. MOTORIZED WITH CONTINUOUS HEAVY DUTY WEATHER SEAL
(OCDG)	OVERHEAD INSULATED COILING DOOR POLYCARBONATE LITES
(PCS-1)	PREFRAME WINDOW SILL. (ANCHORAGE REQUIRED- NOT SHOWING MATCH TO BRICK COLOR
(RL-1)	EXTERIOR RAILING - 1 1/2" X 1 1/2" GALVANIZED STEEL BALUSTER W/ PERFORATED METAL PANEL RAILING (PNT-8) BY 055113
(SMF-1)	PREFINISHED FORMED METAL FLASHING. COLOR TO MATCH BRICK (PNT-8)
(WG-1)	WHEEL GUARD WALL PROTECTION

HENNEPIN COUNTY  
MEDICAL EXAMINER  
FACILITY  
MINNETONKA, MN



HENNEPIN COUNTY  
A 2208 GOVERNMENT CENTER,  
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23005 T: 804-228-7473



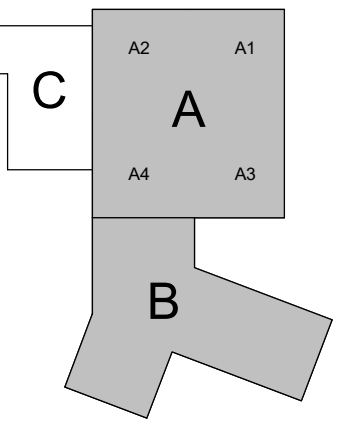
ELAN DESIGN LAB  
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TRUE NORTH CONSULTING  
140 THIRD STREET SOUTH, STILLWATER,  
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KEY PLAN



REVISIONS

NO.	DESCRIPTION	DATE

FILE LOG

ACTIVITY	BY
Manager	T. POWERS
Design	S. ANDERSEN
Draw	YOK, A.S., R.B.
Check	A. SMITH

STAMP

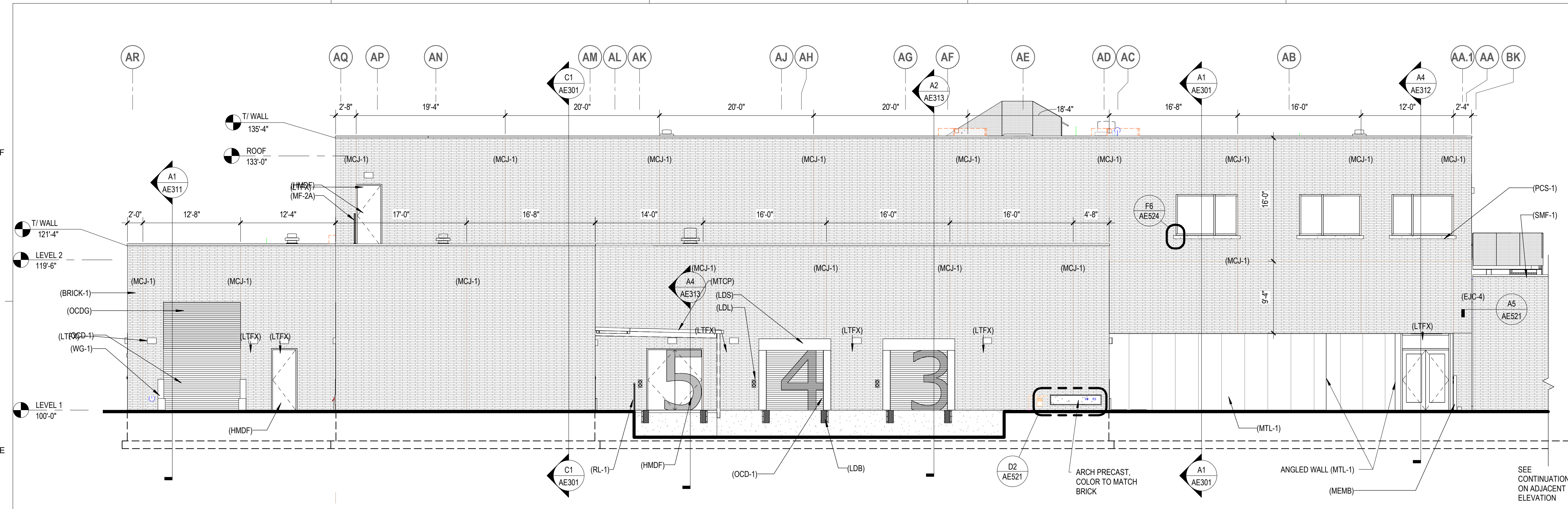
NOT FOR  
CONSTRUCTION

HCME 95%  
CONSTRUCTION  
DOCUMENTS

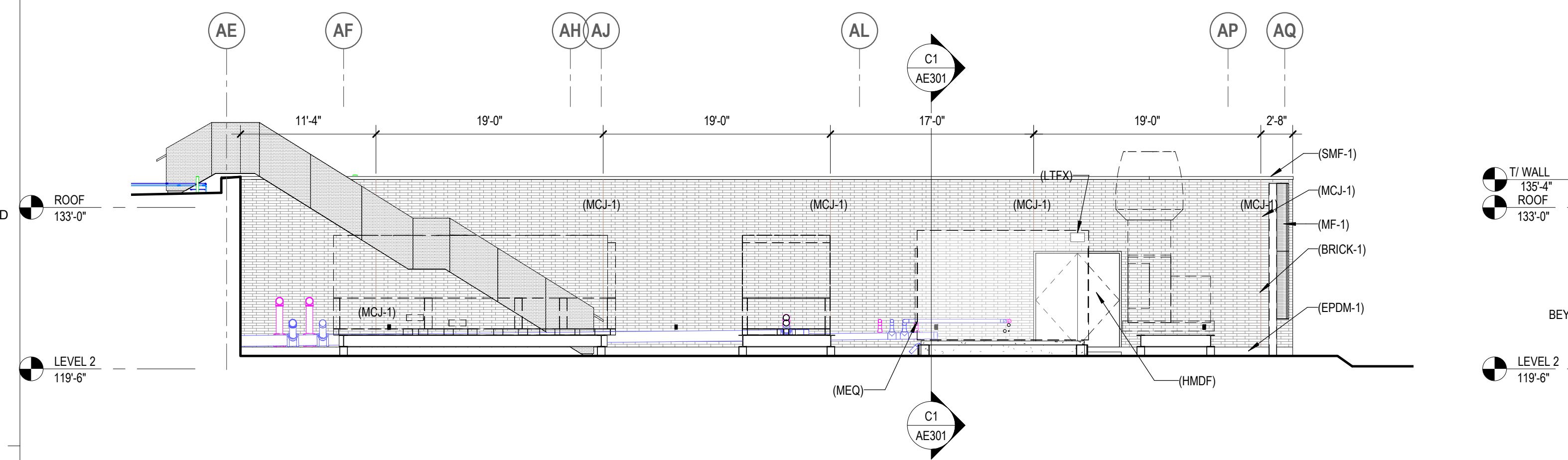
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Hennepin County Contract No. 4984A9  
Hennepin County Project No. 1002306  
07/26/2019

EXTERIOR ELEVATIONS

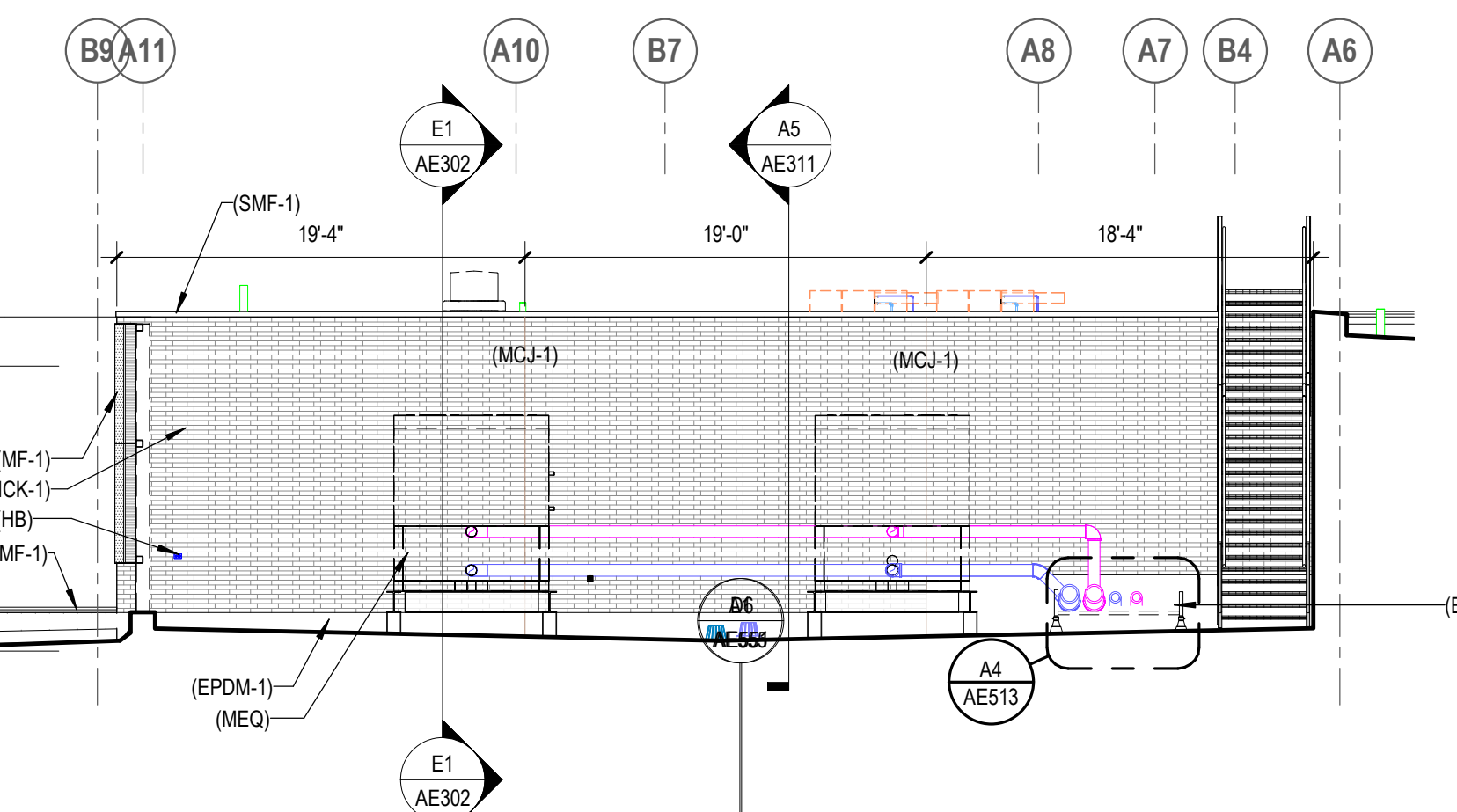
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**E1 PARTIAL EXTERIOR ELEVATION - (AREA A & C) WEST**  
SCALE: 1/8" = 1'-0"



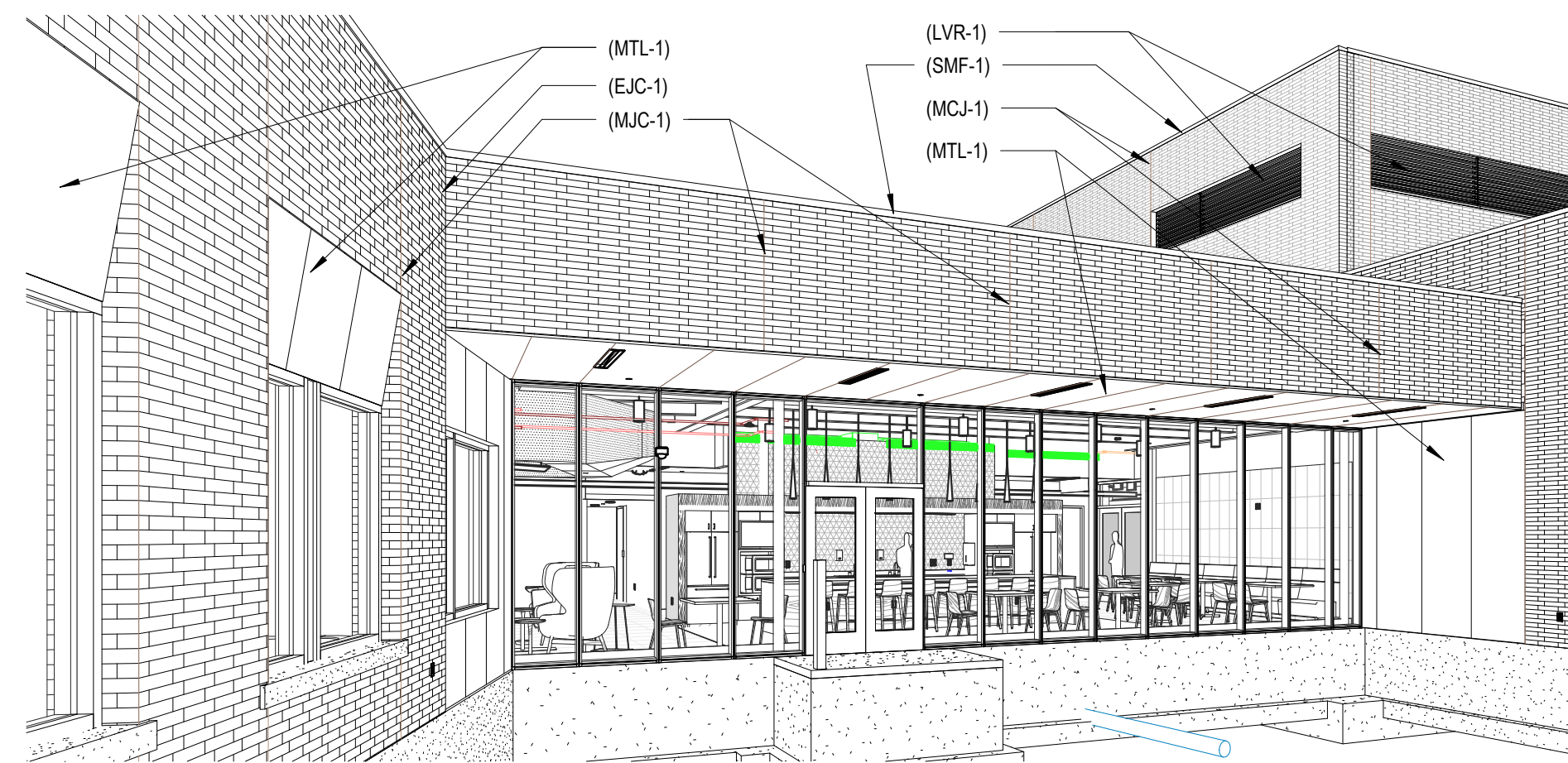
**D1 EXTERIOR ELEVATION - (AREA A) ROOFTOP MECH. WEST**  
SCALE: 1/8" = 1'-0"



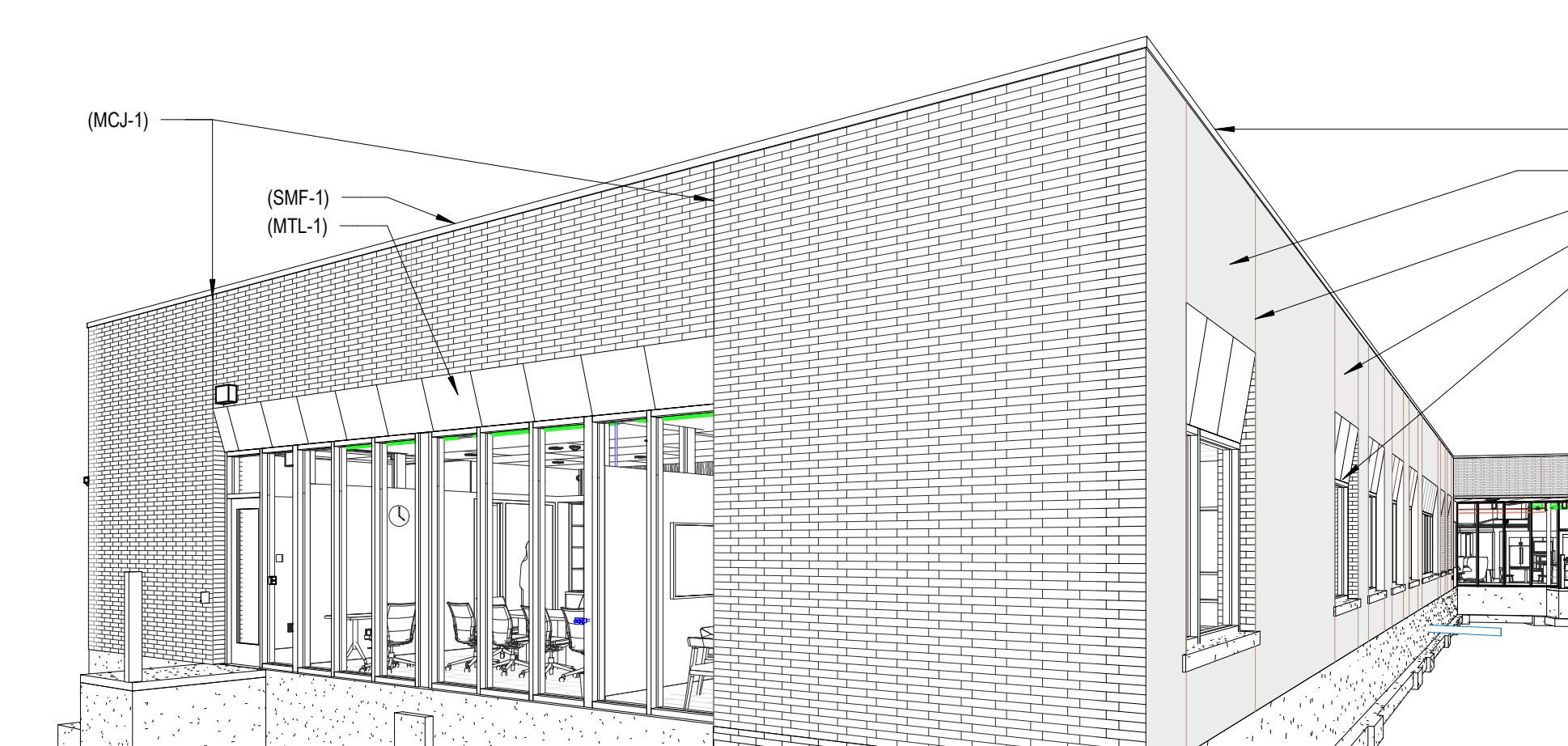
**D4 EXTERIOR ELEVATION - (AREA A) ROOFTOP MECH. SOUTH**  
SCALE: 1/8" = 1'-0"



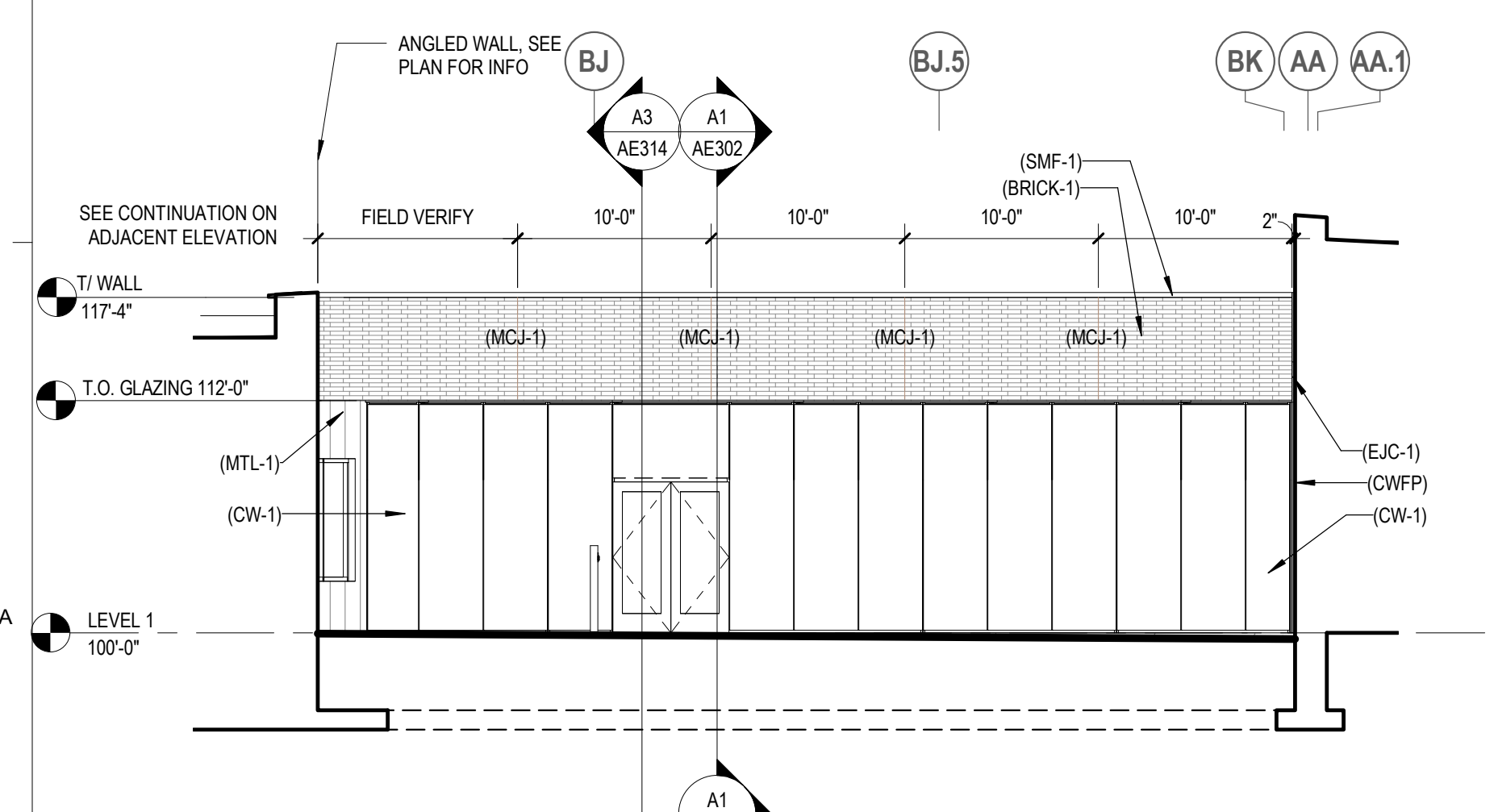
**B1 STAFF ENTRANCE VIEW - REFERENCE ONLY**  
SCALE: 1/8" = 1'-0"



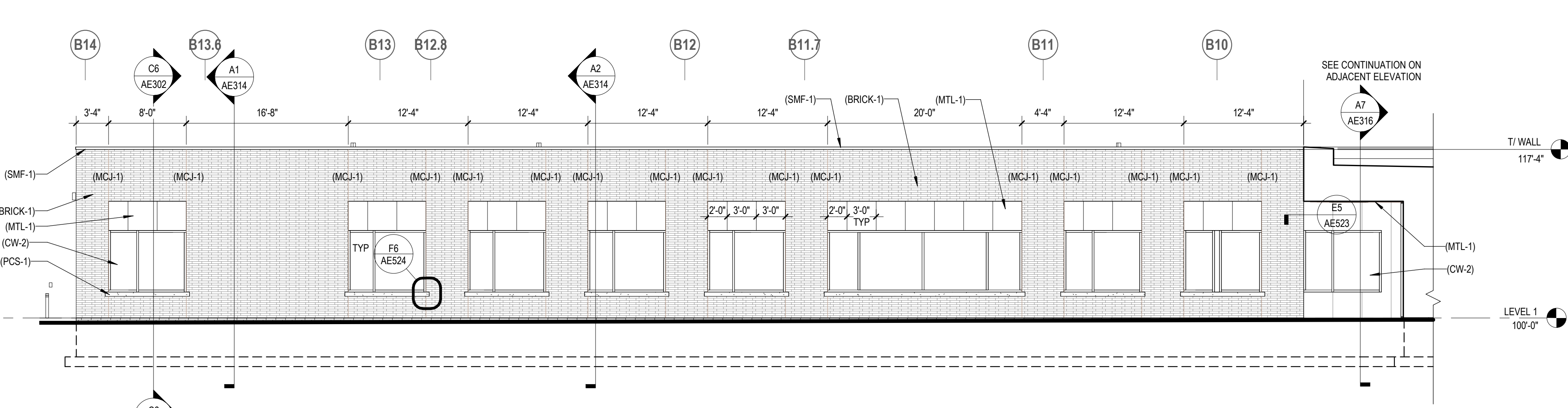
**B3 BREAK ROOM VIEW - REFERENCE ONLY**  
SCALE: 1/8" = 1'-0"



**B5 OFFICE/ LIBRARY VIEW - REFERENCE ONLY**  
SCALE: 1/8" = 1'-0"



**A1 PARTIAL EXTERIOR ELEVATION - (AREA B) EAST - BREAK ROOM**  
SCALE: 1/8" = 1'-0"

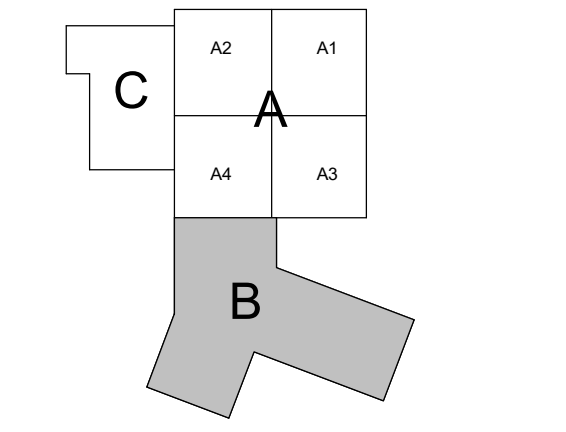


**A4 PARTIAL EXTERIOR ELEVATION - (AREA B) NORTHEAST**  
SCALE: 1/8" = 1'-0"

7/26/2019 3:02:16 PM \\scoahares\projects\023\023-10\SS-0294-0\Production\Working\1-BIM-CAD\Revit\HCME-Arch-Struct\LAO.rvt



KEY PLAN



REVISIONS

NO.	DESCRIPTION	DATE

FILE LOG

ACTIVITY	BY
Manager	T.FOWERS
Design	S.ANDERSEN
Draw	YOK, A.S. RUB
Check	A.SMITH

STAMP

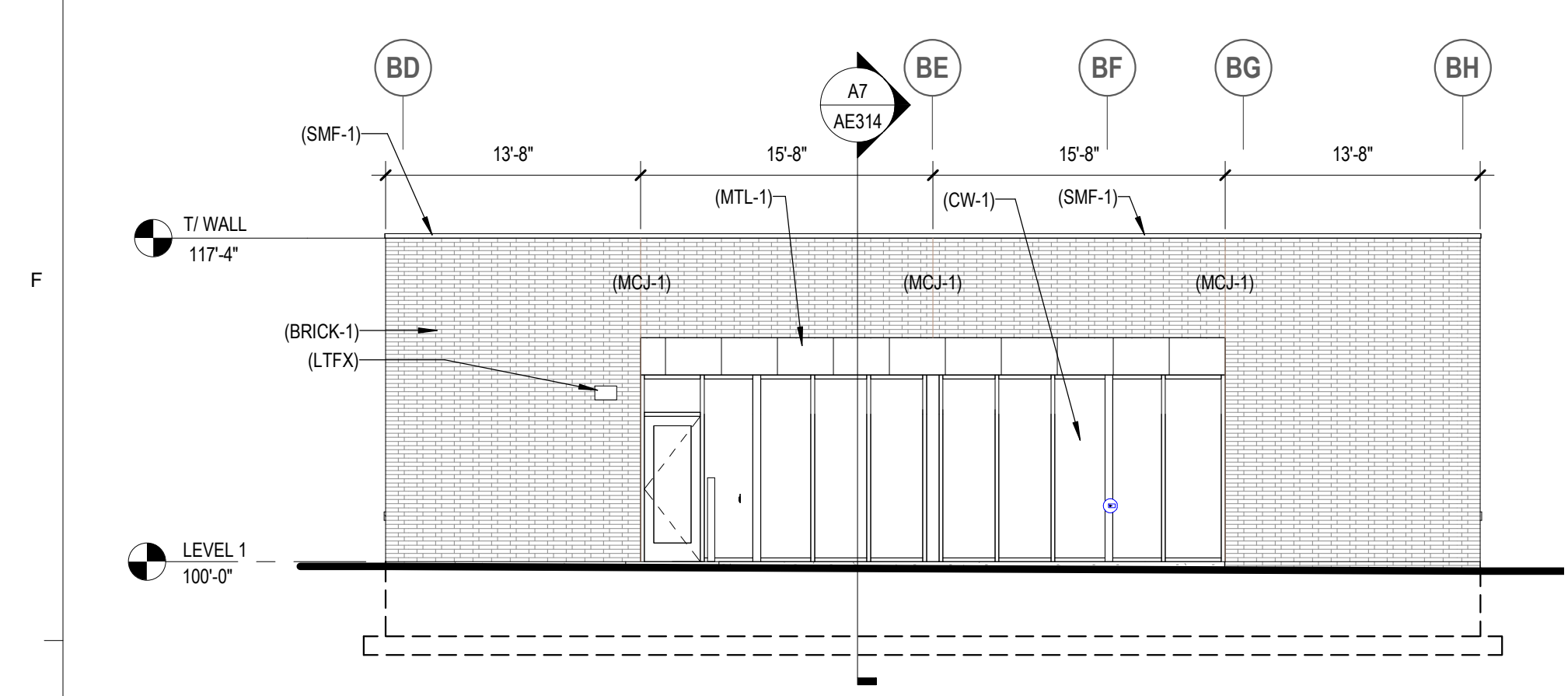
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HCMC 95%  
CONSTRUCTION  
DOCUMENTS

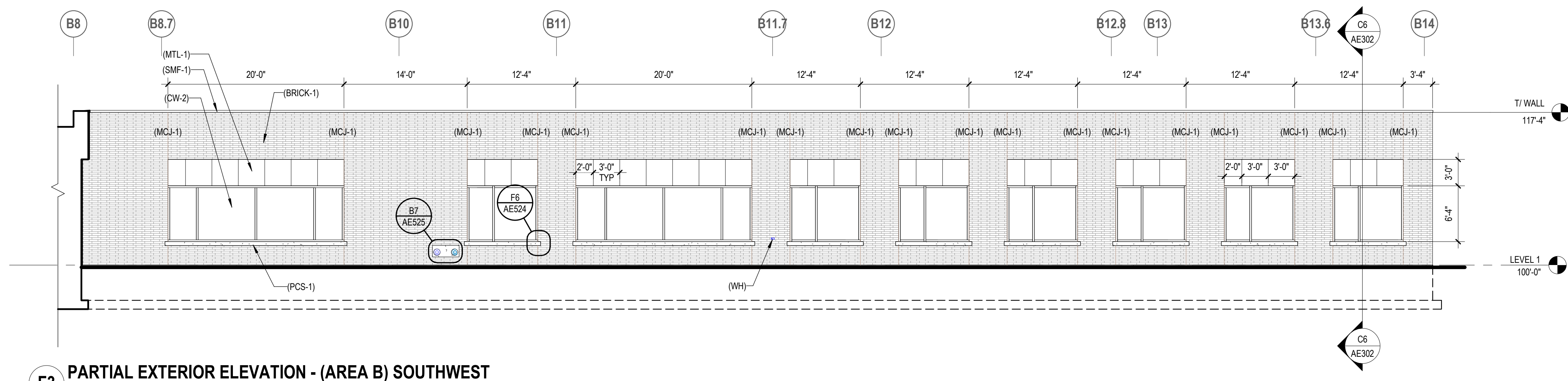
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Hennepin County Contract No. 4984A9  
Hennepin County Project No. 1002306  
07/26/2019

EXTERIOR ELEVATIONS

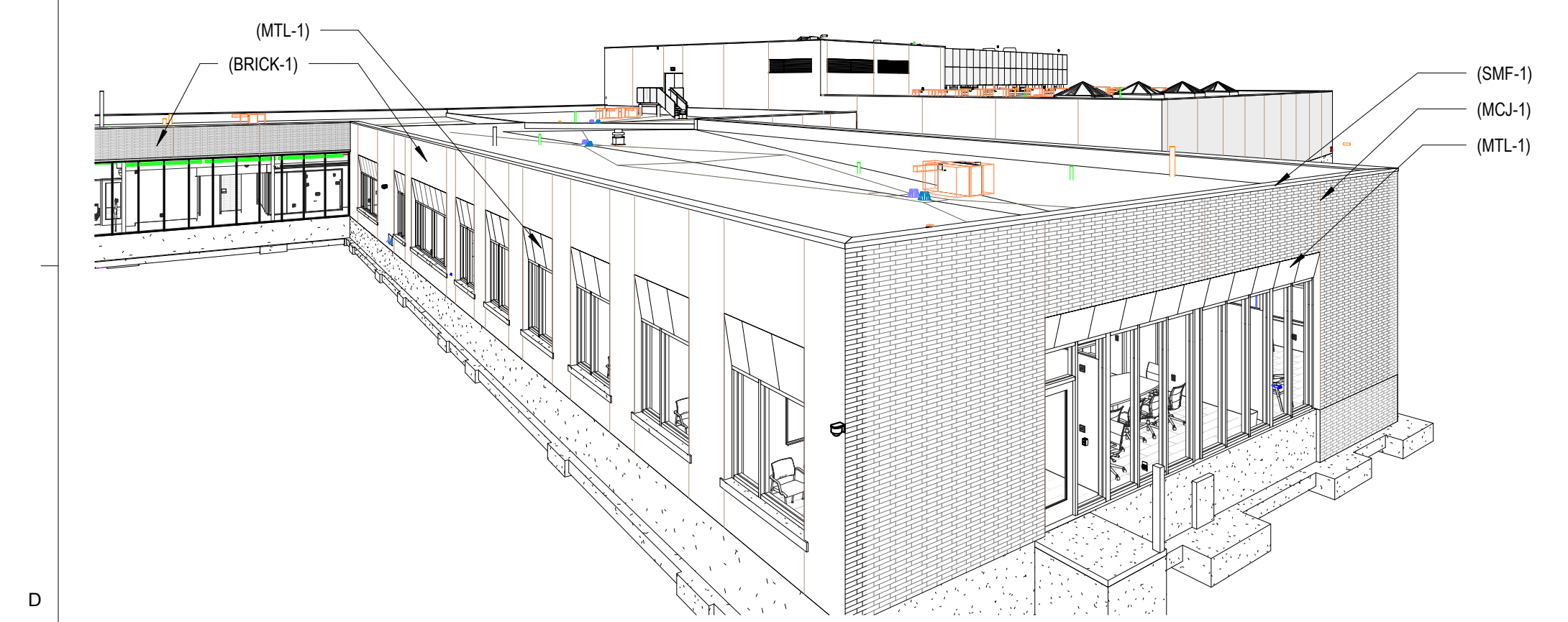
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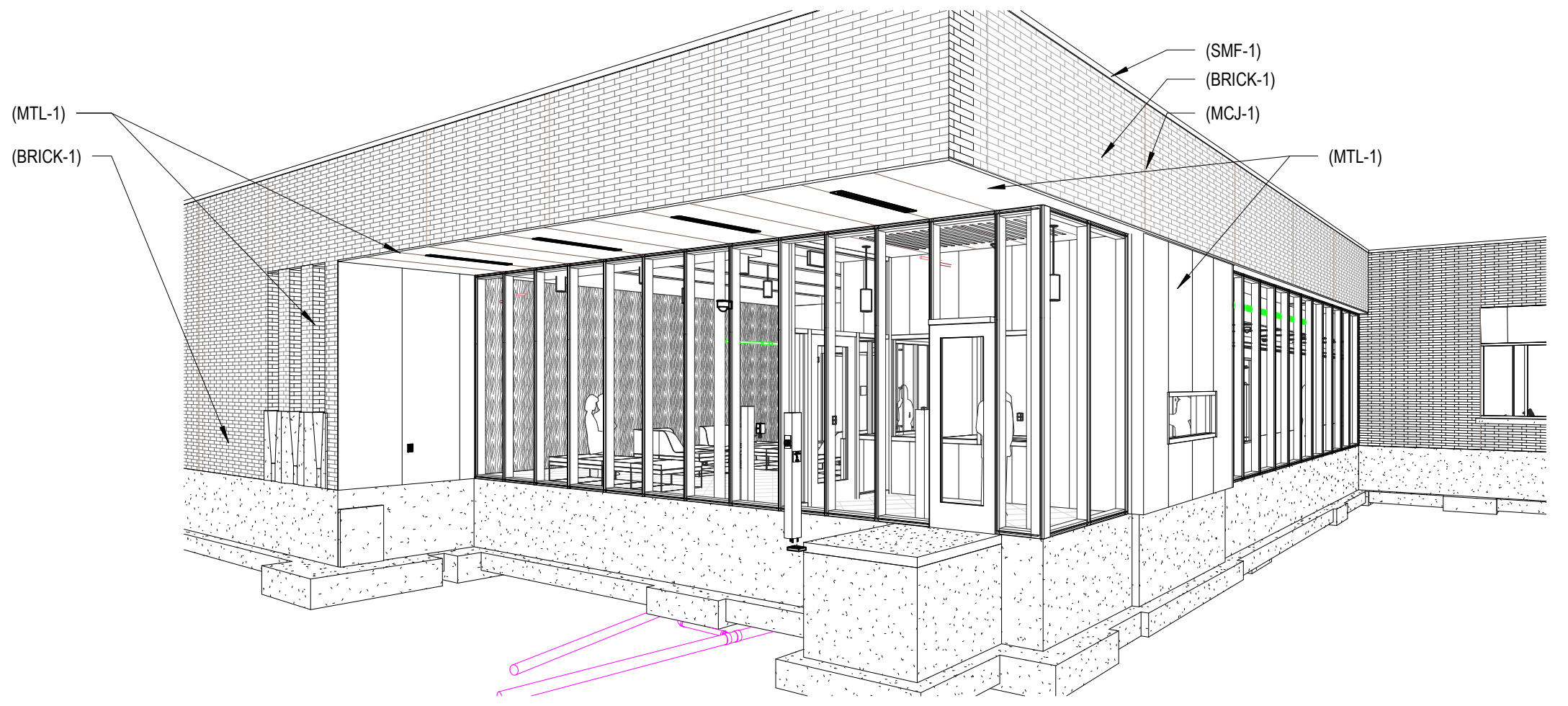
F1 PARTIAL EXTERIOR ELEVATION - (AREA B) SOUTHEAST - LIBRARY  
SCALE: 1/8" = 1'-0"



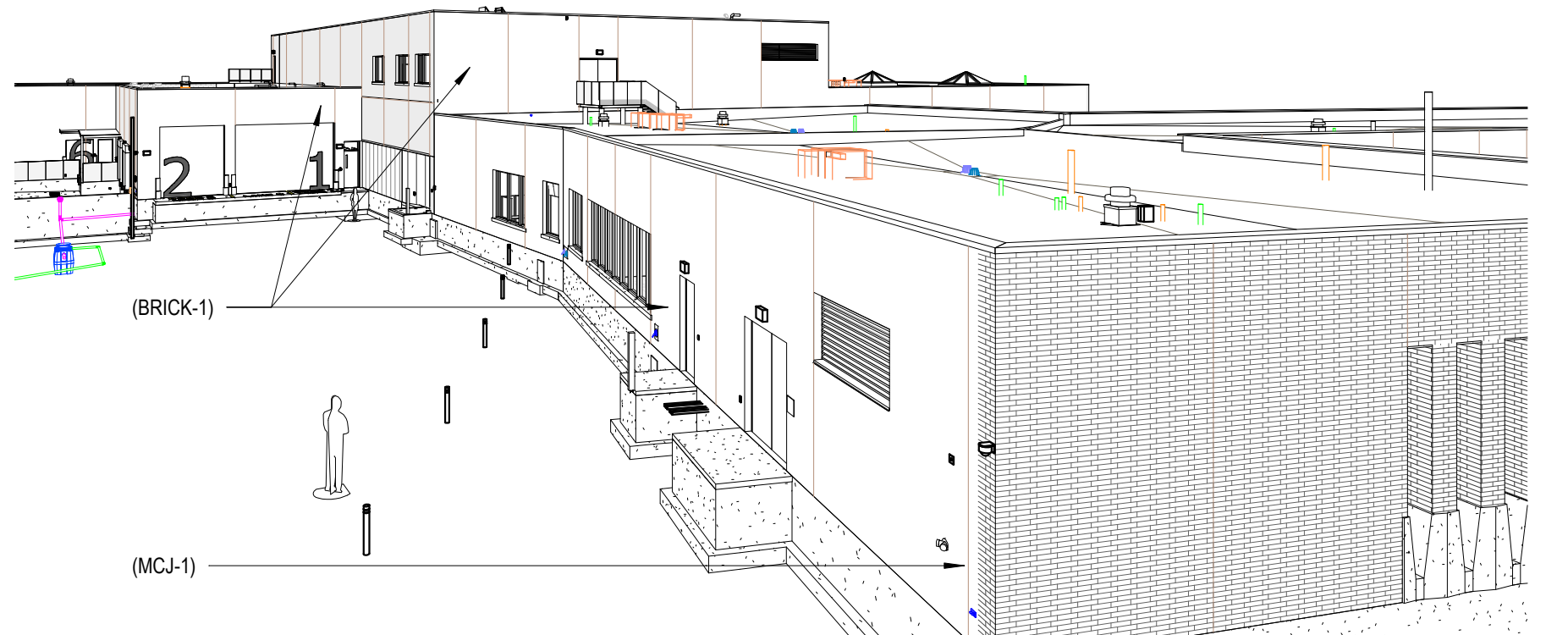
F3 PARTIAL EXTERIOR ELEVATION - (AREA B) SOUTHWEST  
SCALE: 1/8" = 1'-0"



D1 SOUTHEAST CORNER VIEW - REFERENCE ONLY  
SCALE:



D3 PUBLIC ENTRANCE VIEW - REFERENCE ONLY  
SCALE:



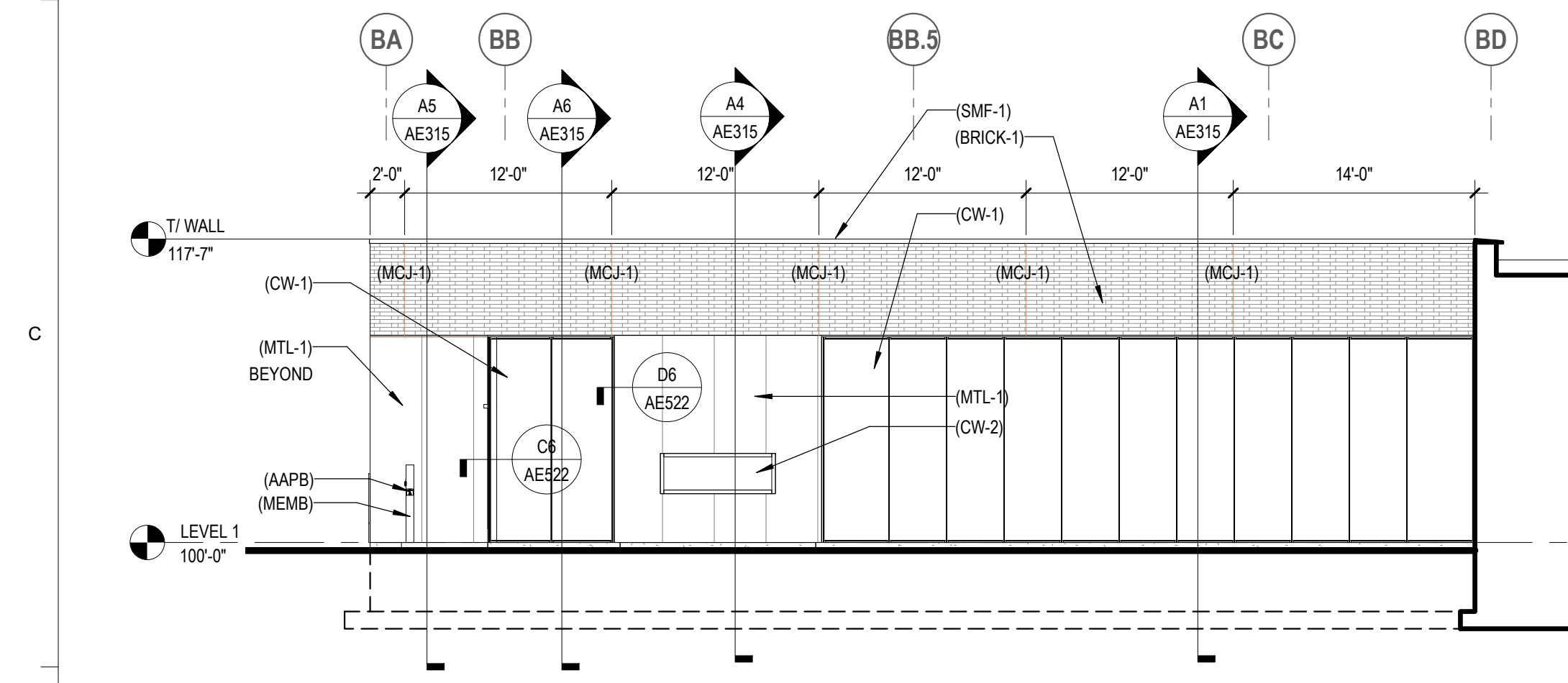
D6 SOUTHWEST CORNER VIEW - REFERENCE ONLY  
SCALE:

GENERAL ELEVATION NOTES

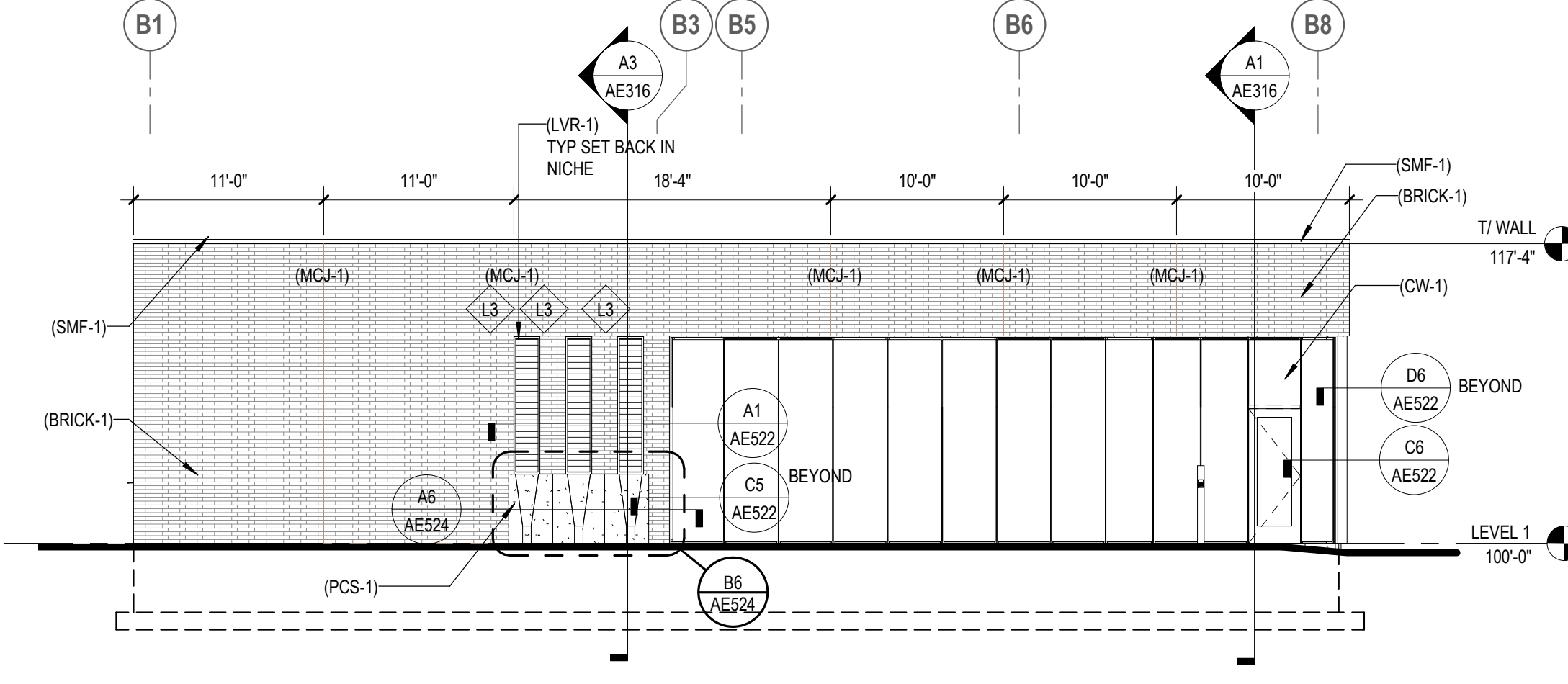
- EXTERIOR SMT COLOR TO MATCH BRICK. CUSTOM COLOR AS REQ'D.
- PAINT STL LINTELS TO MATCH BRICK. SEE SPEC.
- BRICK WALL ELEVATIONS SHOW INTENT ONLY. BRICK SUPPLIER TO COORDINATE ALL SIZES, CONFIGURATIONS, OPENINGS AND CONTROL JOINTS.
- PAINT VISIBLE INTERIOR SURFACES OF EXTERIOR LOUVERS BLACK.
- ALL MECHANICAL ITEMS ON WALL SURFACE SHOW INTENT ONLY. MECH CONTRACTOR COORDINATE W/ ARCHITECT PRIOR TO INSTALL. SEE MECH DRAWINGS FOR ADDITIONAL INFO.
- ALL ELECTRICAL ITEMS ON WALL SURFACE SHOW INTENT ONLY. ELEC. CONTRACTOR COORDINATE W/ ARCHITECT PRIOR TO INSTALL. SEE ELEC DRAWINGS FOR ADDITIONAL INFO.
- EXTERIOR LOUVERS TO BE PAINTED CUSTOM COLOR TO MATCH BRICK.

KEYNOTE LEGEND

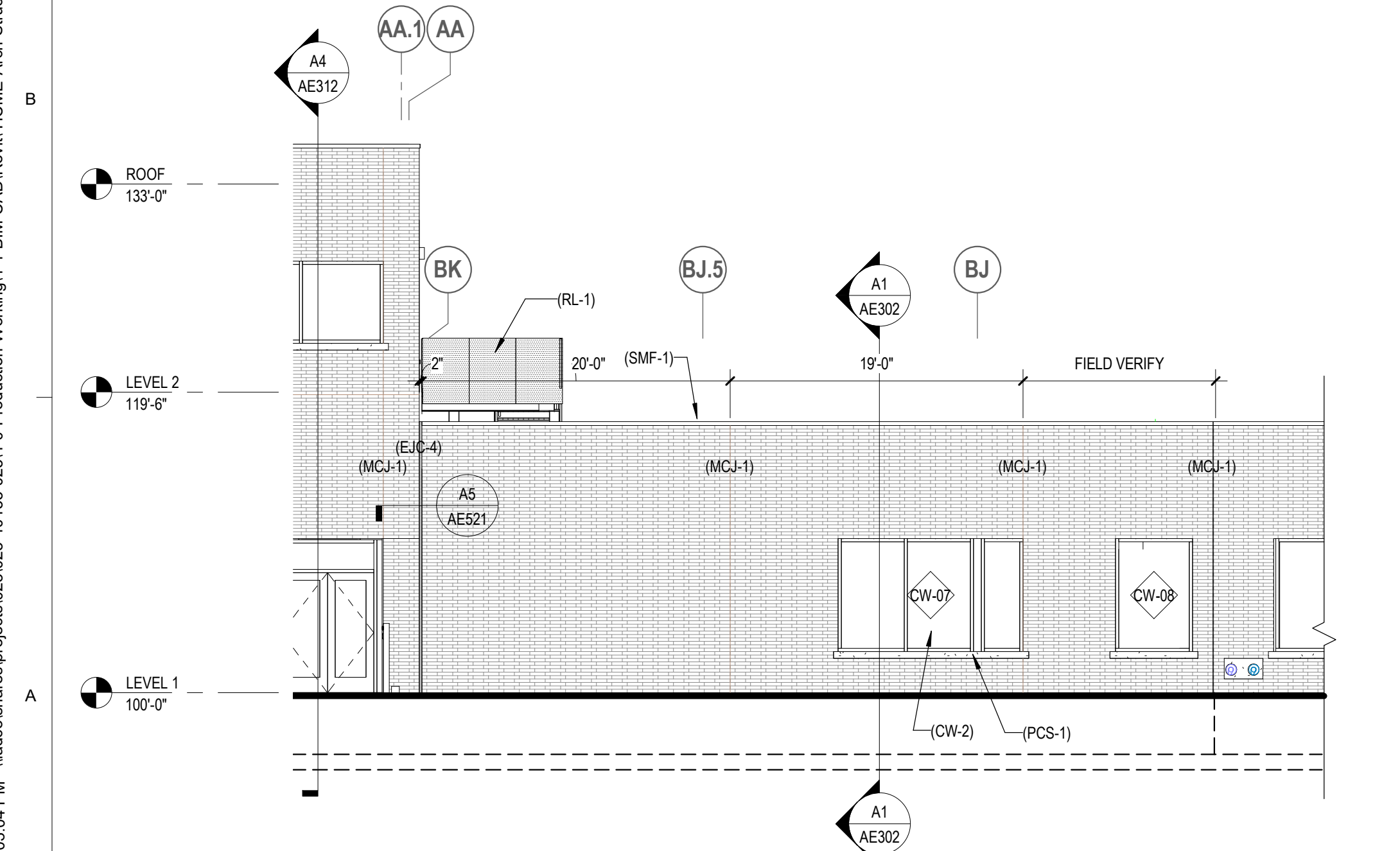
Key Value	Keynote Text
(AAPB)	ADA ACTUATOR PUSH BUTTON
(BRICK-1)	FACE BRICK ( 3.5" X 2.14" X 11.58" )
(CW-1)	THERMALLY BROKEN SSG CURTAINWALL FINISH SYSTEM - PREFINISHED
(CW-2)	THERMALLY BROKEN CURTAINWALL FINISH SYSTEM - PREFINISHED
(EJC-4)	2" EXTERIOR EXPANSION JOINT WALL COVER, MATCH TO BRICK COLOR.
(HMDF)	HOLLOW METAL DOOR AND FRAME (PNT-8)
(LTFX)	LIGHTING FIXTURE, SEE ELEC.
(LVR-1)	4" DRAINABLE ALUMINUM LOUVER WITH SCREEN AND MOUNTING ACCESSORIES BLANK OFF AS APPLICABLE
(MCJ-1)	MASONRY CONTROL JOINT
(MEMB)	METAL EQUIPMENT MOUNTING BOLLARD
(MTL-1)	COMPOSITE COPPER PANEL WITH CONCEALED FASTENING. INCLUDE FURRING, SUPPORTING ELEMENTS AND TRIM.
(PCS-1)	PRECAST WINDOW SILL. (ANCHORAGE REQUIRED- NOT SHOWN) MATCH TO BRICK COLOR.
(RL-1)	EXTERIOR RAILING - 1 1/2" X 1 1/2" GALVANIZED STEEL BALLUSTER W/ PERFORATED METAL PANEL RAILING (PNT-6) BY 055113
(SMF-1)	PREFINISHED FORMED METAL FLASHING, COLOR TO MATCH BRICK (PNT-8)
(WH)	WALL HYDRANT, SEE MECH



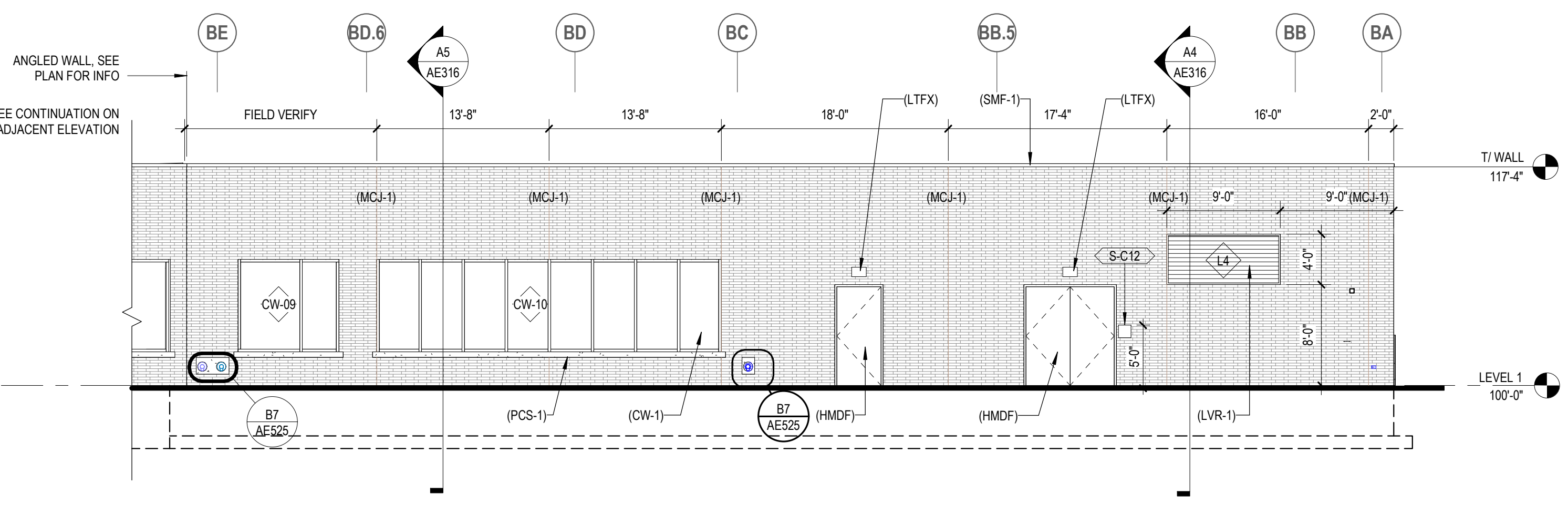
C1 PARTIAL EXTERIOR ELEVATION - (AREA B) SOUTHEAST  
SCALE: 1/8" = 1'-0"



C4 PARTIAL EXTERIOR ELEVATION - (AREA B) SOUTHWEST - PUBLIC ENTRANCE  
SCALE: 1/8" = 1'-0"



A1 PARTIAL EXTERIOR ELEVATION - (AREA B) WEST  
SCALE: 1/8" = 1'-0"



A3 PARTIAL EXTERIOR ELEVATION - (AREA B) NORTHWEST  
SCALE: 1/8" = 1'-0"





#### DEMOLITION NOTES

- BACKGROUND INFORMATION AND TOPOGRAPHIC SURVEY TAKEN FROM SURVEY PERFORMED BY HENNEPIN COUNTY RESIDENT AND REAL ESTATE SERVICES SURVEY DIVISION, MINNESOTA ON SEPTEMBER 31 2018 EXPRESSLY FOR THIS PROJECT. ELAN DESIGN LAB CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THIS INFORMATION. VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES OR UNKNOWN UTILITIES ARE FOUND THAT IMPACT DESIGN OR IMPAIR CONSTRUCTION, THE ENGINEER AND OWNER SHOULD BE IMMEDIATELY NOTIFIED.
- CONTRACTOR SHALL BRING ANY CHANGED OR UNFORESEEN CONDITIONS THAT COULD RESULT IN ADDITIONAL COST TO THE ATTENTION OF THE OWNER AND ENGINEER AS SOON AS THEY ARE DISCOVERED SO THAT THEY CAN BE PROPERLY DOCUMENTED. FAILURE TO NOTIFY OR COVERING UN-WITNESSED WORK SHALL RESULT IN REJECTION OF CLAIMS FOR ADDITIONAL COMPENSATION.
- PROTECT ALL STRUCTURES AND LANDSCAPE NOT LABELED FOR DEMOLITION FROM DAMAGE DURING CONSTRUCTION. ANY ON-SITE OR OFF-SITE AREAS DISTURBED DIRECTLY OR INDIRECTLY DUE TO CONSTRUCTION SHALL BE RETURNED TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION. CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY CIVIL PENALTIES RESULTING FROM THEIR WORK UNDER THIS CONTRACT.
- LIMIT CONSTRUCTION ACTIVITIES TO THE CONSTRUCTION LIMITS SHOWN ON THE PLAN. IF WORK NEEDS TO EXTEND TO PUBLIC STREETS IT IS THE CONTRACTOR'S RESPONSIBILITY TO APPLY FOR ALL PERMITS. PREPARE ALL DRAWINGS AND PAY ALL FEES AND COSTS. ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH LOCAL ORDINANCES.
- SILT FENCE, CONSTRUCTION ENTRANCE AND FIBER LOGS SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF DEMOLITION OPERATIONS. SEE SHEET CG200 SERIES FOR ALL EROSION CONTROL MEASURES AND APPROPRIATE STAGING.
- PROVIDE NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT THE LIFE OF THE PROJECT.
- EXISTING MATERIALS SHALL BE REMOVED FROM THE SITE IN ACCORDANCE WITH ALL LOCAL, COUNTY, STATE AND FEDERAL REQUIREMENTS. ABATEMENT OF ANY MATERIALS DETERMINED BY THE ENVIRONMENTAL ENGINEER TO BE HAZARDOUS SHALL BE REMOVED IN ACCORDANCE WITH APPROPRIATE REQUIREMENTS.
- REMOVE ALL EXISTING SURFACE SITE FEATURES INCLUDING, BUT NOT LIMITED TO, CONCRETE AND BITUMINOUS PAVING, CONCRETE AND BITUMINOUS CURBS, WALKWAYS, FENCING, RETAINING WALLS, SCREEN WALLS, CONCRETE APRONS, SITE LIGHTING AND RELATED FOUNDATIONS, SITE SPECIFIC SIGNAGE AND RELATED FOUNDATIONS, BOLLARDS, LANDSCAPING, AND STAIRWAYS WITHIN THE CONSTRUCTION LIMITS UNLESS NOTED OTHERWISE.
- COORDINATE WITH ALL PRIVATE UTILITY OWNERS FOR THE TERMINATION OF EXISTING ELECTRIC, TELEPHONE, CATV, ETC. SERVICES TO THE SITE. RE-USE OF ANY EXISTING SERVICES TO BE AT THE DISCRETION OF THE UTILITY OWNER.
- RELOCATION OF UTILITIES SHALL BE COORDINATED WITH THE LOCAL UTILITY COMPANIES. ELECTRIC HANDIKES, PULLBOXES, POWERPOLES, GUYPINES, AND STRUCTURES DISTURBED BY CONSTRUCTION ACTIVITIES TO BE RESTORED IN ACCORDANCE WITH SPECIFIC OWNER REQUIREMENTS AT CONTRACTORS EXPENSE.
- REFER TO LANDSCAPE PLANS LD100 TO LD102 FOR TREE PRESERVATION AND REMOVAL PLANS FOR EXTENT OF TREE REMOVAL.

#### LEGEND

- REMOVE BUILDING
- REMOVE BITUMINOUS
- REMOVE CONCRETE
- REMOVE TREES & VEGETATION  
SEE TREE PRESERVATION AND REMOVAL PLAN
- CONSTRUCTION LIMITS

NEW REGIONAL  
MEDICAL EXAMINER  
FACILITY  
MINNETONKA, MN



**HENNEPIN COUNTY**  
A 2208 GOVERNMENT CENTER  
300 SOUTH 6TH STREET  
MINNEAPOLIS, MN 55487  
COUNTY PROJECT NO. 1002306

**LEO A DALY**  
PLANNING  
ARCHITECTURE  
ENGINEERING

730 SECOND AVE SOUTH, SUITE 1300,  
MINNEAPOLIS, MN 55402-2455  
T: 612.338.8741



LABORATORY EQUIPMENT DESIGN  
**MCCLAREN, WILSON & LAWRIE**  
11798 N LAKERIDGE PKWY,  
ASHLAND, VA 23005 T: 804-228-7473



DESIGN  
**ELAN DESIGN LAB**  
CIVIL ENGINEERING  
901 NORTH THIRD STREET, SUITE 120,  
MINNEAPOLIS, MN 55401 T: 612-280-7980

**DF/**

LANDSCAPE ARCHITECTURE  
**DAMON FARBER**  
401 SECOND AVE NORTH, SUITE 410,  
MINNEAPOLIS, MN 55401 T: 612-332-7522



TELECOMMUNICATIONS ENGINEERING  
**TRUE NORTH CONSULTING**  
140 THIRD STREET SOUTH,  
STILLWATER, MN 55082 T:651-705-1231

KEY PLAN

#### REVISIONS

NO.	DESCRIPTION	DATE

#### FILE LOG

ACTIVITY	BY
Manager	NRB
Design	SSD
Draw	LJB
Check	LSP

#### STAMP

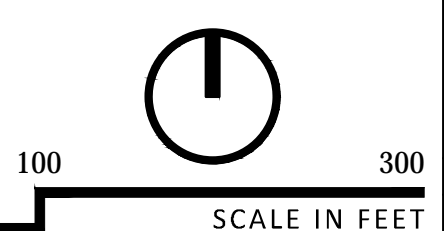
NOT FOR CONSTRUCTION

CITY SUBMITTAL

ELAN Project No. LAD18010  
08/15/2019

OVERALL DEMOLITION  
PLAN

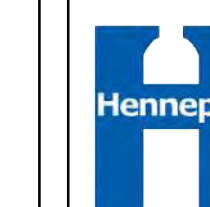
CD100



**DEMOLITION NOTES**

1. SEE SHEET CD100 FOR DEMOLITION NOTES AND LEGEND.

**NEW REGIONAL  
MEDICAL EXAMINER  
FACILITY  
MINNETONKA, MN**



**HENNEPIN COUNTY**  
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**LANDSCAPE ARCHITECTURE**  
**DAMON FARBER**  
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**TELECOMMUNICATIONS ENGINEERING**  
**TRUE NORTH CONSULTING**  
140 THIRD STREET SOUTH,  
STILLWATER, MN 55082 T: 651-705-1231

**KEY PLAN**

**REVISIONS**

NO	DESCRIPTION	DATE

**FILE LOG**

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Design	CSB
Draw	LTB
Check	LSP

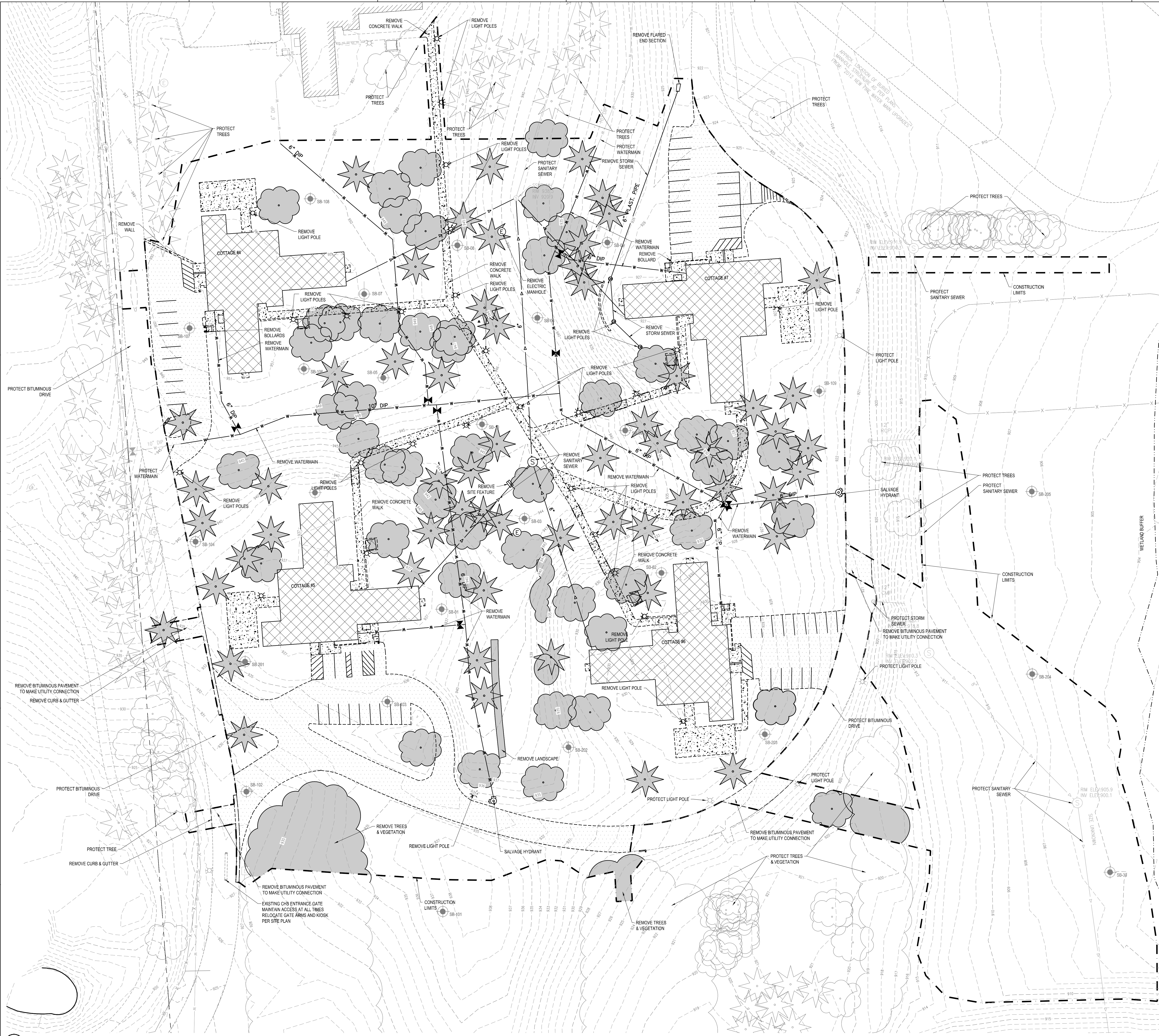
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CONSTRUCTION**

**CITY SUBMITTAL**

ELAN Project No. LAD18010  
08/15/2019

**DEMOLITION  
PLAN**

**CD101**





**SITE PLAN NOTES**

1. VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES OR UNKNOWN UTILITIES ARE FOUND THAT IMPACT DESIGN OR IMPAIR CONSTRUCTION, THE ENGINEER AND OWNER SHOULD BE IMMEDIATELY NOTIFIED.
2. DIMENSIONS SHOWN ON THIS PLAN ARE TO FACE OF CURB OR EDGE OF PAVEMENT AND EXTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.
3. MEET AND MATCH EXISTING CONDITIONS. PROVIDE TRANSITION AS NECESSARY.
4. ON-SITE CURB TO BE B612 CONCRETE CURB & GUTTER.
5. ALL CURBS TO HAVE 3/4" EXPANSION JOINTS AT A MAXIMUM OF 100'-0" AND CONTROL JOINTS AT A MAXIMUM OF 10'-0".
6. ALL PARKING STALLS TO BE PAINTED WITH A 4" WIDE WHITE STRIPING. ACCESSIBLE SYMBOLS TO BE PAINTED IN WHITE AND ACCESSIBLE ACCESS AISLES TO BE PAINTED WITH A 4" WIDE WHITE PAINTED STRIPE 18 INCHES ON CENTER AND AT 45 DEGREE ANGLES TO STALL, WITH "NO PARKING" MARKED. REFLECTORIZED PAINT SHALL COMPLY WITH MNDOT 3552.

**PROJECT SUMMARY**

PROPERTY AREA SUMMARY	
PROPERTY AREA	160.283 AC.
EXISTING IMPERVIOUS	14.862 AC. (9%)
EXISTING IMPERVIOUS DISTURBED	1.940 AC. (13% OF EXISTING IMPERVIOUS)
POST DEVELOPMENT IMPERVIOUS	18.331 AC. (11% INCREASE FROM EXISTING)
DISTURBED AREA SUMMARY	
TOTAL DISTURBED AREA	8.735 AC.
IMPERVIOUS	3.609 AC.
TOTAL BUILDING AREA	1,559 AC. (87,922 SF. +/-)
PROPOSED BUILDING	1,281 AC. (55,795 SF. +/-)
FUTURE NORTH ADDITION	0.112 AC. (8,303 SF. +/-)
FUTURE SOUTH ADDITION	0.086 AC. (3,744 SF. +/-)
PARKING, WALK, & TRASH	2,050 AC.
PERVIOUS AREA	5,126 AC.
PARKING SUMMARY	
<b>REQUIRED</b>	
MUNICIPAL BUILDING	10 SPACES + 1 SPACE / 500 GFA. + 1 SPACES / VEHICLE PREMISED CUSTOMER
GENERAL OFFICE	1 SPACE / 250 GFA. (REQUIRED MIN. 10 SPACES)
<b>PROPOSED</b>	
8'X15' ACCESSIBLE STALL	4 STALLS
8'X18' STANDARD STALL	74 STALLS

**LEGEND**

	WETLAND
	PERVIOUS AREA
	CONCRETE PAVEMENT
	CONCRETE CURB & GUTTER
	RETAINING WALL
	SCREENING WALL
	WETLAND BUFFER
	STORMWATER FACILITY
	CONSTRUCTION LIMITS

**NEW REGIONAL MEDICAL EXAMINER FACILITY**  
MINNETONKA, MN



**HENNEPIN COUNTY**  
A 2208 GOVERNMENT CENTER  
300 SOUTH 6TH STREET  
MINNEAPOLIS, MN 55487  
COUNTY PROJECT NO. 1002306



730 SECOND AVE SOUTH, SUITE 1300,  
MINNEAPOLIS, MN 55402-2455  
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LABORATORY EQUIPMENT DESIGN  
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11798 N LAKERIDGE PKWY,  
ASHLAND, VA 23005 T: 804-228-7473



**ELAN DESIGN LAB**  
CIVIL ENGINEERING  
901 NORTH THIRD STREET, SUITE 120,  
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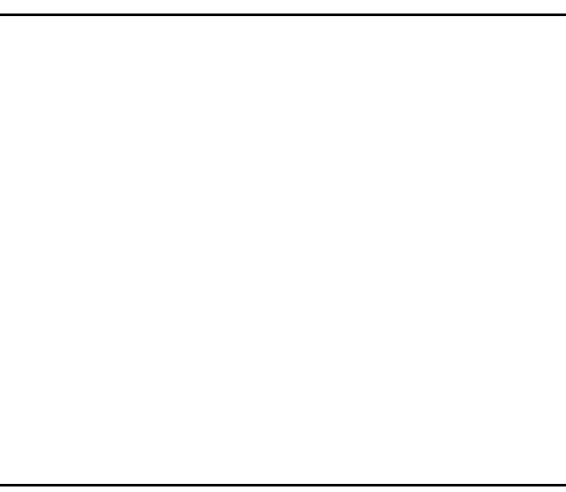


LANDSCAPE ARCHITECTURE  
**DAMON FARBER**  
401 SECOND AVE NORTH, SUITE 410,  
MINNEAPOLIS, MN 55401 T: 612-332-7522



TELECOMMUNICATIONS ENGINEERING  
**TRUE NORTH CONSULTING**  
140 THIRD STREET SOUTH,  
STILLWATER, MN 55082 T: 651-705-1231

**KEY PLAN**



**REVISIONS**

NO.	DESCRIPTION	DATE

**FILE LOG**

ACTIVITY	BY
Manager	MSB
Design	SSD
Draw	LTR
Check	LAD

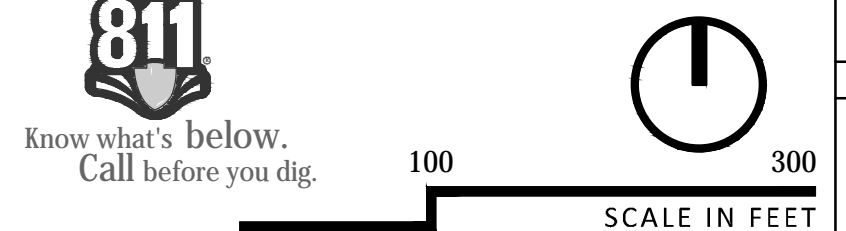
NOT FOR CONSTRUCTION

ELAN Project No. LAD18010  
08/15/2019

OVERALL SITE PLAN

**CS100**

A1 OVERALL SITE PLAN  
1" = 100'



VOLUME 1  
CITY SUBMITTAL



KEY PLAN



REVISIONS

NO.	DESCRIPTION	DATE

FILE LOG

ACTIVITY	BY
Manager	1030
Design	1303
Draw	1378
Check	1343

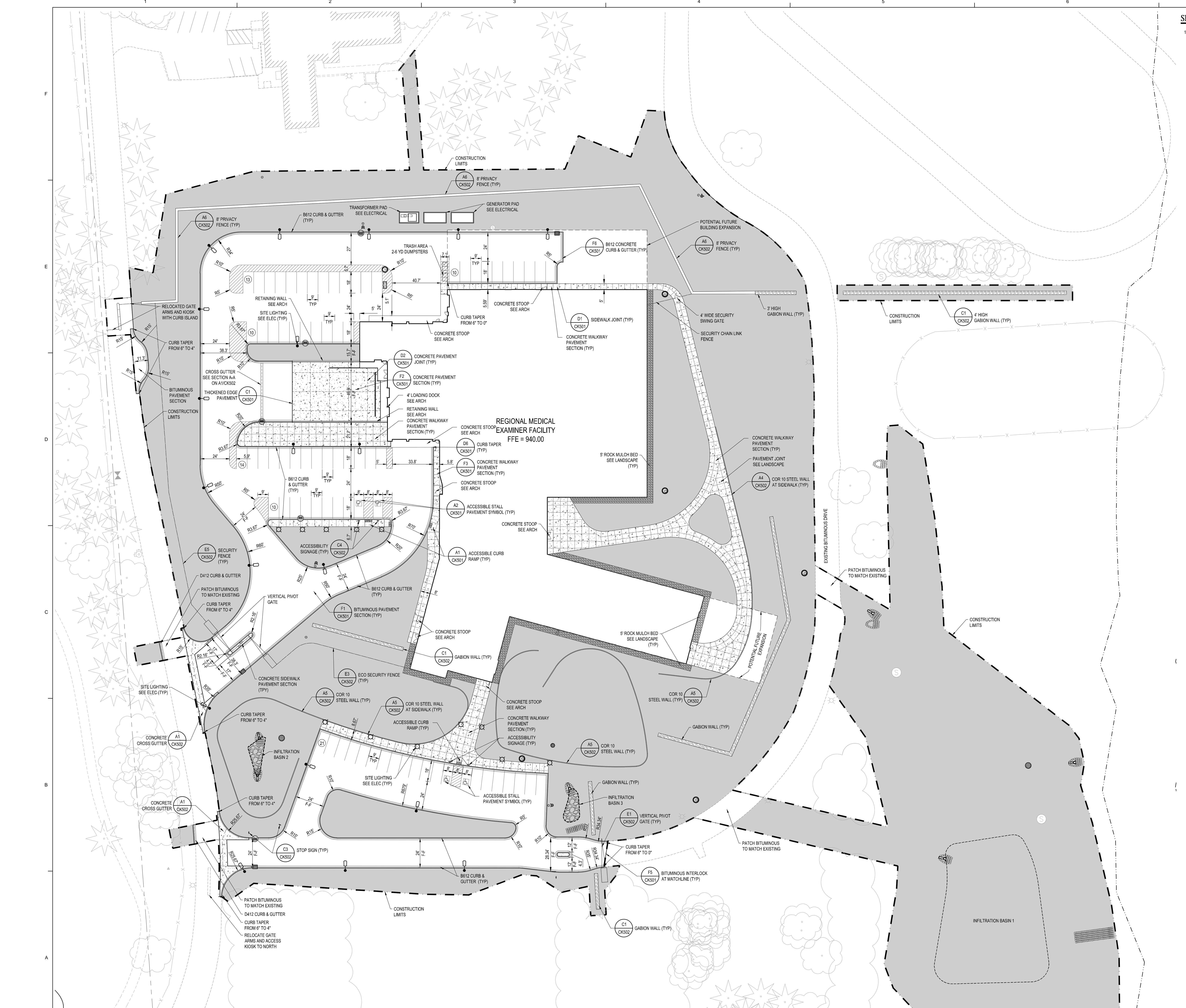
NOT FOR  
CONSTRUCTION

ELAN Project No. LAD18010  
08/15/2019

SITE PLAN

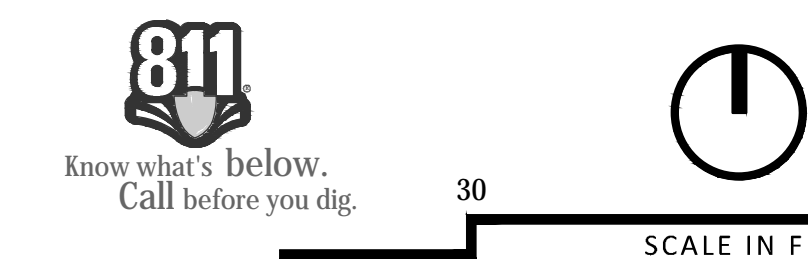
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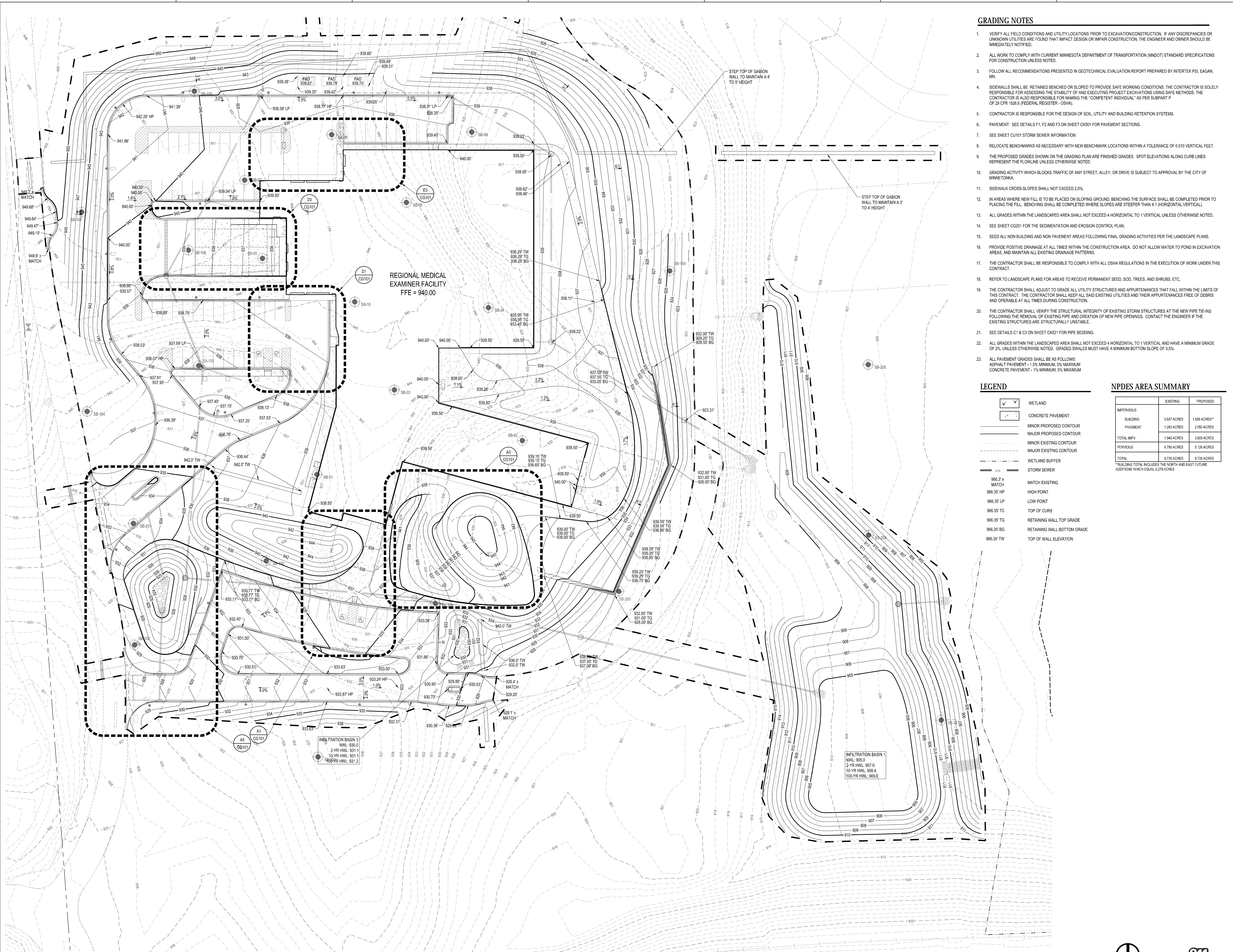
**SITE PLAN NOTES**  
1. SEE SHEET CS100 FOR SITE PLAN NOTES, SUMMARY AND LEGEND.



A1 SITE PLAN  
1" = 30'

CITY SUBMITTAL





**GRADING NOTES**

1. VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES OR UNKNOWN UTILITIES ARE FOUND THAT IMPACT DESIGN OR IMPAIR CONSTRUCTION, THE ENGINEER AND OWNER SHOULD BE IMMEDIATELY NOTIFIED.
2. ALL WORK TO COMPLY WITH CURRENT MINNESOTA DEPARTMENT OF TRANSPORTATION (MNDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS NOTED.
3. FOLLOW ALL RECOMMENDATIONS PRESENTED IN GEOTECHNICAL EVALUATION REPORT PREPARED BY INTERTEK PSI, EAGAN, MN.
4. SIDEWALLS SHALL BE RETAINED BENCHMARKED OR SLOPED TO PROVIDE SAFE WORKING CONDITIONS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ASSESSING THE STABILITY OF AND EXECUTING PROTECTIVE EXCAVATIONS USING SAFE METHODS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR NAMING THE "COMPETENT INDIVIDUAL" AS PER SUBPART P OF 29 CFR 1926.6 (FEDERAL REGISTER - OSHA).
5. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF SOIL, UTILITY AND BUILDING RETENTION SYSTEMS.
6. PAVEMENT: SEE DETAILS F1, F2 AND F3 ON SHEET CK501 FOR PAVEMENT SECTIONS.
7. SEE SHEET CU101 STORM SEWER INFORMATION.
8. RELOCATE BENCHMARKS AS NECESSARY WITH NEW BENCHMARK LOCATIONS WITHIN A TOLERANCE OF 0.010 VERTICAL FEET.
9. THE PROPOSED GRADES SHOWN ON THE GRADING PLAN ARE FINISHED GRADES. SPOT ELEVATIONS ALONG CURB LINES REPRESENT THE FLOWLINE UNLESS OTHERWISE NOTED.
10. GRADING ACTIVITY WHICH BLOCKS TRAFFIC OF ANY STREET, ALLEY, OR DRIVE IS SUBJECT TO APPROVAL BY THE CITY OF MINNETONKA.
11. SIDEWALK CROSS-SLOPES SHALL NOT EXCEED 2.0%.
12. IN AREAS WHERE NEW FILL IS TO BE PLACED ON SLOPING GROUND, BENCHING THE SURFACE SHALL BE COMPLETED PRIOR TO PLACING THE FILL. BENCHING SHALL BE COMPLETED WHERE SLOPES ARE STEEPER THAN 4:1 (HORIZONTAL/VERTICAL).
13. ALL GRADES WITHIN THE LANDSCAPED AREA SHALL NOT EXCEED 4 HORIZONTAL TO 1 VERTICAL UNLESS OTHERWISE NOTED.
14. SEE SHEET CG201 FOR THE SEDIMENTATION AND EROSION CONTROL PLAN.
15. SEED ALL NON BUILDING AND NON PAVEMENT AREAS FOLLOWING FINAL GRADING ACTIVITIES PER THE LANDSCAPE PLANS.
16. PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREA. DO NOT ALLOW WATER TO POND IN EXCAVATION AREAS. MAINTAIN ALL EXISTING DRAINAGE PATTERNS.
17. THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL OSHA REGULATIONS IN THE EXECUTION OF WORK UNDER THIS CONTRACT.
18. REFER TO LANDSCAPE PLANS FOR AREAS TO RECEIVE PERMANENT SEED, SOO, TREES, AND SHRUBS, ETC.
19. THE CONTRACTOR SHALL ADJUST TO GRADE ALL UTILITY STRUCTURES AND APPURTENANCES THAT FALL WITHIN THE LIMITS OF THIS CONTRACT. THE CONTRACTOR SHALL KEEP ALL S&D EXISTING UTILITIES AND THEIR APPURTENANCES FREE OF DEBRIS AND OPERABLE AT ALL TIMES DURING CONSTRUCTION.
20. THE CONTRACTOR SHALL VERIFY THE STRUCTURAL INTEGRITY OF EXISTING STORM STRUCTURES AT THE NEW PIPE TIE-INS FOLLOWING THE REMOVAL OF EXISTING PIPE AND CREATION OF NEW PIPE OPENINGS. CONTACT THE ENGINEER IF THE EXISTING STRUCTURES ARE STRUCTURALLY UNSTABLE.
21. SEE DETAILS C1 & C3 ON SHEET CK521 FOR PIPE BEDDING.
22. ALL GRADES WITHIN THE LANDSCAPED AREA SHALL NOT EXCEED 4 HORIZONTAL TO 1 VERTICAL AND HAVE A MINIMUM GRADE OF 2%, UNLESS OTHERWISE NOTED. GRADED SWALES MUST HAVE A MINIMUM BOTTOM SLOPE OF 0.5%.
23. ALL PAVEMENT GRADES SHALL BE AS FOLLOWS:  
ASPHALT PAVEMENT - 1.5% MINIMUM, 5% MAXIMUM  
CONCRETE PAVEMENT - 1% MINIMUM, 5% MAXIMUM

**LEGEND**

- WETLAND
- CONCRETE PAVEMENT
- MINOR PROPOSED CONTOUR
- MAJOR PROPOSED CONTOUR
- MINOR EXISTING CONTOUR
- MAJOR EXISTING CONTOUR
- WETLAND BUFFER
- STORM SEWER
- MATCH EXISTING
- HIGH POINT
- LOW POINT
- TOP OF CURB
- RETAINING WALL TOP GRADE
- RETAINING WALL BOTTOM GRADE
- TOP OF WALL ELEVATION

**NPDES AREA SUMMARY**

IMPERVIOUS	EXISTING	PROPOSED
BUILDING	0.637 ACRES	1.559 ACRES**
PAVEMENT	1.283 ACRES	2.092 ACRES
TOTAL IMPV	1.940 ACRES	3.651 ACRES
PERVIOUS	6.786 ACRES	5.128 ACRES
TOTAL	8.726 ACRES	8.779 ACRES
**BUILDING TOTAL INCLUDES THE NORTH AND EAST FUTURE ADDITIONS WHICH EQUAL 0.278 ACRES		

NEW REGIONAL  
MEDICAL EXAMINER  
FACILITY  
MINNETONKA, MN



HENNEPIN COUNTY  
A 2208 GOVERNMENT CENTER  
300 SOUTH 6TH STREET  
MINNEAPOLIS, MN 55487  
COUNTY PROJECT NO. 1002306



730 SECOND AVE SOUTH, SUITE 1300,  
MINNEAPOLIS, MN 55402-2455  
T: 612.338.8741



LABORATORY EQUIPMENT DESIGN  
MCCLEAREN, WILSON & LAWRIE  
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ASHLAND, VA 23005 T: 804-228-7473



CIVIL ENGINEERING  
ELAN DESIGN LAB  
901 NORTH THIRD STREET, SUITE 120,  
MINNEAPOLIS, MN 55401 T: 612-260-7980

**DF/**

LANDSCAPE ARCHITECTURE  
DAMON FARBER  
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MINNEAPOLIS, MN 55401 T: 612-332-7522



TRUE COMMUNICATIONS ENGINEERING  
TRUE NORTH CONSULTING  
140 THIRD STREET SOUTH  
STILLWATER, MN 55082 T: 651-705-1231

**KEY PLAN**

**REVISIONS**

NO.	DESCRIPTION	DATE

**FILE LOG**

ACTIVITY	BY
Manager	MSB
Design	MSB
Draw	LTR
Check	LAD

NOT FOR  
CONSTRUCTION

CITY SUBMITTAL

ELAN Project No. LAD18010  
08/15/2019

**GRADING PLAN**

CG101

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HENNEPIN COUNTY A 2208 GOVERNMENT CENTER 300 SOUTH 6TH STREET MINNEAPOLIS, MN 55487 COUNTY PROJECT NO. 1002306



730 SECOND AVE SOUTH, SUITE 1300, MINNEAPOLIS, MN 55402-2455 T: 612.338.8741



LABORATORY EQUIPMENT DESIGN MCLAREN, WILSON & LAWRIE 11798 N LAKERIDGE PKWY, ASHLAND, VA 23005 T: 804-228-7473



ELAN DESIGN LAB 800 NORTH THIRD STREET, SUITE 120, MINNEAPOLIS, MN 55401 T: 612-260-7980



LANDSCAPE ARCHITECTURE DAMON FARBER 401 SECOND AVE NORTH, SUITE 410, MINNEAPOLIS, MN 55401 T: 612-332-7522



TELECOMMUNICATIONS ENGINEERING TRUE NORTH CONSULTING 140 THIRD STREET SOUTH, STILLWATER, MN 55082 T: 651-705-1231

KEY PLAN

REVISIONS

Table with columns: NO, DESCRIPTION, DATE

FILE LOG

Table with columns: ACTIVITY, BY

NOT FOR CONSTRUCTION

CITY SUBMITTAL

ELAN Project No. IAD18010 08/15/2019

SWPPP

CG200

VOLUME 1 CITY SUBMITTAL

Project Name / Location

Table with columns: Project Name, Project Address, Property ID, Latitude / Longitude, Project Type

Contacts

Table with columns: Owner, Contractor (Operator), Preparer

General SWPPP Responsibilities

The Contractor (Operator) shall provide a knowledgeable and experienced person(s) to oversee the implementation of the SWPPP and the installation. Inspection and maintenance of the erosion and sediment control BMP's before and during construction. Training must be in conformance with the NPDES Construction Permit requirements.

Both the Owner and Contractor (Operator) shall be responsible for the proper termination and/or transfer of the permit.

The Owner will be responsible for the long term operation and maintenance of the permanent storm water management system(s).

Unless specifically stated the engineer (Preparer) shall have no responsibility for any SWPPP activities during or after construction.

Project Description

The project consists of a new regional Medical Examiner Building located on a parcel shared with Hennepin County Home School at the northeast quadrant of County Road 62 and Eden Prairie Road east of the Glen Lake Golf Course in Minnetonka, Minnesota. The building will be a two-story, 56,000 sf facility with a full loading dock, as well as drive through door for deliveries.

Soils

The Geotechnical Exploration and Engineering Review is being completed by Intertek and will be incorporated into this SWPPP upon completion. The draft boring logs were reviewed for preliminary information for design. The borings indicates the native soil consists primarily of poorly graded sand (SP) and silty sand (SM) underneath some organic material, unclassified fill, silty sand (SC) and sandy lean clay (CL).

Receiving Waters

The entire new regional medical examiner facility site drains to the existing wetland within the Glen Lake Outlet subwatershed of the south branch of Nine Mile Creek that ultimately flows to the Minnesota River. This portion of Nine Mile Creek is not listed as an impaired or special water on the MPCA database. There is no other impaired water listed within one mile downstream of the site.

Project Plans

The following plan sheets are hereby incorporated into this SWPPP

Table with columns: Sheet Number, Description, Date

Stormwater Related Reviews and Permits

Table with columns: Agency, Type of Permit or Review, Status

Stormwater Management System Overview

See Stormwater Management Plan Incorporated herein by reference for details on system design, flow rates, volumes and system capacities. In general runoff is collected by a new storm sewer system consisting of ditches, catch basins and a pipe network which direct the runoff to multiple stormwater basins. The runoff infiltrates the 10-year runoff event and would runoff to the main wetland in a larger events. The system reduces the runoff from the site under the 2, 10, and 100 year events.

See Operations and Maintenance Manual for post construction system maintenance requirements.

Erosion Prevention Measures - General

The Contractor (Operator) is responsible for all erosion prevention measures for the project including but are not limited to the following:

- 1. The Contractor (Operator) shall plan and implement appropriate construction practice and construction phasing to minimize erosion and retain vegetation whenever possible
2. All areas not to be disturbed shall be delineated with flags, stakes, signs, or other means necessary to protect these areas before construction begins on the site.
3. All drainage ditches and/or swales shall have temporary or permanent stabilization within 24 hours of connecting to a surface water or 24 hours after construction activity in the ditch/swale has temporarily or permanently ceased.
4. All pipe outlets shall have temporary or permanent energy dissipation within 24 hours of connecting to a surface water.
5. All exposed soils shall be stabilized as soon as possible to limit soil erosion. In no case shall un-worked areas, including stock piles, have exposed soils for more than 7 days without providing temporary or permanent stabilization.

Sediment Control Measures and Timing - General

The Operator (Contractor) is responsible for all sediment control measures for the project. Sediment control measures include but are not limited to the following:

- 1. Sediment control measures shall be established on all down gradient perimeters before any up-gradient land disturbing activities begin. These measures shall remain in place until final stabilization has been established.
2. On slopes with 3:1 or steeper grades there shall be no unbroken slope length greater than 75 feet.
3. All storm drain inlets and culvert inlets shall be protected by an appropriate BMP during construction until all sources with potential for discharging to the inlet has been stabilized. Inlet and culvert protection shall conform to the MnDOT Specifications 2573 and 3891.
4. Stock piles shall be provided with an effective sediment perimeter control and shall not be placed in any type of surface water or drainage way.
5. Vehicle tracking shall be minimized with effective BMP's. Where the BMP's fail to prevent sediment from tracking onto streets the Contractor shall conduct street sweeping to remove all tracked sediment.
6. The Operator is responsible for identifying the need for temporary sediment basins based on actual field conditions to protect downstream resources. Temporary sediment basins shall be constructed before up gradient vegetation is disturbed and maintained until the risk of damage to downstream resources is mitigated by other means.

Dewatering and Basin Draining Activities - General

The Operator is responsible for adhering to all dewatering and surface drainage regulations, including but not limited to the following:

- 1. Whenever possible water from dewatering activities shall discharge to a temporary and/or permanent sediment basin.
2. If water cannot be discharged to a sedimentation basin, it shall be treated with other appropriate BMP's, to effectively remove sediment
3. All discharge points shall be protected from erosion and scour.
4. Discharge water shall be dispersed over an effective energy dissipation measure.
5. All water from dewatering shall be discharged in a manner that does not cause nuisance conditions, erosion, or inundation of wetlands. Water shall not be discharged to adjacent residential properties. It must be discharged to the public street.

Final Stabilization - General

The Operator is responsible for ensuring final stabilization of the site, including but is not limited to the following:

- 1. All soil disturbing activities have been completed.
2. All exposed soils have been uniformly stabilized with of least 80% perennial vegetation.
3. All drainage ditches, ponds, and all storm water conveyance systems have been cleared of sediment and stabilized to preclude erosion.

Temporary Sediment Basin

During construction the contractor shall excavate and maintain temporary sediment basins as needed to prevent sediment from reaching permanent infiltration areas, natural depressions, adjacent residential properties and other environmentally sensitive areas.

Construction Sequencing

Contractor shall comply with the following sequence. Contractor may make adjustments to the sequence if needed to address their means and methods and unanticipated field conditions.

- 1. Install rock construction entrance, rumble racks or some other suitable device. Two locations have been shown on the plan, a minimum of one is required.
2. Perform clearing and grubbing only to the extent necessary to install perimeter silt fence.
3. Install perimeter silt fence and other barriers at a minimum as indicated on the plan. The contractor is responsible for any additional sediment control that is needed.
4. Complete clearing and grubbing.
5. Construct infiltration basins 2 & 3 per plan, seed and stabilize slopes. Minimize runoff to basin until perennial vegetation is established. Basins may be utilized for temporary sediment control basins.
6. Establish permanent slopes on north, west and east sides of building. Stabilize slope with permanent seed and fiber blankets, as shown on erosion control plan.
7. Construct east infiltration basin 1 per plan, seed and stabilize slopes. Minimize runoff to basin until perennial vegetation is established.
8. Strip, segregate and stockpile topsoil. Surround stockpiles with silt fence and temporary seed and mulch the stockpiles.
9. Begin building construction.
10. Complete site grading. Stockpile excess material as indicated on the plan.
11. Re-spread topsoil in disturbed areas outside of building and pavement areas. Establish perennial vegetation with seed and mulch or fiber blankets as indicated on the plans.

- 12. Provide temporary erosion control seeding and mulch where active construction is not taking place.
13. Install site utilities.
14. Upon completion of the building foundation and concurrent with finishing the building, install permanent parking lot and complete access drive.
15. Flush storm sewer system. Remove any sediment flumes.
16. Clean out sediment from basins 2 and 3 and install trap boulders per plan.
17. Monitor vegetation and reinstall as needed until fully established.
18. Remove sediment barriers.
19. File NPDES Notice of Termination ("NOT") with MPCA within 30 days of final stabilization.

Inspection and maintenance

All inspections, maintenance, repairs, replacements and removal are to be considered incidental to the BMP bid items.

The Contractor (Operator) is responsible for completing required inspections maintenance and observation of weather conditions and rainfall amounts to ensure compliance with the permit requirements. The Contractor (Operator) shall observe the construction site once every seven (7) days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours.

The Contractor (Operator) shall keep a summary maintenance/construction observation report to be recorded after each site visit/observation. The Contractor (Operator) shall submit a copy of the written inspections monthly to the Owner. Records shall include the following:

- 1. Date and time of inspections
2. Name of person conducting inspection
3. Findings and recommendations for corrective actions if necessary
4. Corrective actions taken
5. Date and amount of rainfalls greater than 0.5 inches in 24 hours
6. Mention of any changes made to the SWPPP
7. A site map indicating active construction areas and land disturbing activities.

The Contractor (Operator) must keep the SWPPP, all inspection reports and amendments onsite. The Contractor (Operator) shall designate a specific location to keep the records whenever construction activity is in progress.

All erosion prevention and sedimentation control BMP's must be inspected to ensure integrity and effectiveness. All nonfunctional BMP's must be repaired, replaced or supplemented with functional BMP's. The Contractor (Operator) must investigate and comply with the following inspection and maintenance requirements:

- 1. All sediment barriers including silt fence, filter logs, and similar devices must be repaired replaced or supplemented when they become nonfunctional or the sediment reaches 1/3 of the barrier height. These repairs shall be made within 24 hours of discovery.
2. Temporary and permanent sediment basins must be drained and the sediment removed when the depth of sediment collected in the basin reaches 1/2 the storage volume. Drainage and removal must be completed within 72 hours of discovery.
3. Surface waters, including drainage ditches and conveyance systems, must be inspected for evidence of erosion and sediment deposition. The Operator shall remove all deltas and sediment deposited in surface waters, including drainage ways, catch basins, and other drainage systems. The Operator shall re-stabilize the areas where sediment removal results in exposed soil. Removal and stabilization must take place within 7 days of discovery, unless precluded by legal, regulatory or physical constraints. The Contractor (Operator) is responsible for contacting all local, regional, state and federal authorities and receiving any applicable permits, prior to conducting any work.
4. Construction site vehicle exit locations shall be inspected daily for evidence of off-site sediment tracking onto paved surfaces. Tracked sediment must be removed from all paved surfaces within 24 hours of discovery.
5. The Contractor (Operator) is responsible for the operation and maintenance of temporary and permanent water quality BMP's. As well as erosion and sediment control BMP's for the duration of the construction work at the site.
6. If sediment escapes the construction site, all off-site accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
7. All filtration areas must be inspected to ensure that no sediment from ongoing construction activities is reaching the filtration areas and these areas are protected from compaction due to construction equipment driving across the filtration area.
8. The Contractor is solely responsible for all costs associated with reconstructing the infiltration basin when the functionality is compromised by the contractor's actions or inaction to protect the basin.

Pollution Prevention Management Measures

The Contractor (Operator) shall be responsible for all pollution prevention management measures. The Contractor (Operator) is responsible for informing all visitors and/or personnel on-site of the pollution prevention management measures.

All pollution prevention management measures are to be considered incidental to the overall project bid, unless otherwise noted. Pollution prevention management measures include but are not limited to the following:

- 1. The Contractor (Operator) is responsible for the proper disposal, in compliance with MPCA disposal requirements, of all solid or liquid waste and hazardous materials on-site.
2. Concrete trucks shall not be allowed to wash out or discharge surplus concrete or drum wash water on-site, unless done in an engineered leak-proof containment system. The engineered system provided by the Contractor (Operator) must include site drawings for the project file and written assurance that the system will work as designed and leave no discharge of concrete or concrete residue potential to waters of the state during a minimum of a 100-year storm event. A sign must be installed adjacent to each washout system to inform concrete equipment Operators to utilize the proper facilities. The concrete washout containment system and all related items shall be considered incidental to the project bid.
3. All nonhazardous waste materials shall be collected and stored in a securely lidded metal dumpster or other approved containment method at the end of each day. Any alternative to a metal dumpster must be submitted in writing for approval by the project engineer. The

dumpster shall be emptied as necessary to function as intended for debris collection. No construction garbage or waste material shall be buried on-site.

- 4. A licensed sanitary waste management Contractor shall collect all sanitary waste from the portable units at a rate necessary to maintain designed function.
5. All fertilizers shall be stored in a covered shelter. Partially used bags shall be transferred to a sealable bin to reduce the chance of spillage.
6. External washing of trucks and other construction vehicles and engine degreasing are prohibited at the construction site. All vehicles on-site shall be monitored for leaks and receive regular prevention maintenance to reduce the chance of leakage. Petroleum products shall be stored in tightly sealed containers. Which are clearly labeled. Spill kits shall be included with all fueling sources and maintenance activities. Secondary containment measures shall be installed and maintained by the Operator.
7. Any asphalt substances used on-site shall be applied in accordance with manufacturer's recommendations.
8. All paint containers and curing compounds shall be tightly sealed and stored when not required for use. Excess paint and/or curing compounds shall not be discharged into the storm sewer system and shall be properly disposed of according to manufacturer's instruction.
9. Materials and equipment necessary for spill clean-up shall be kept in an enclosed trailer or shed on-site. Equipment shall include. But not limited to, brooms, mops, dust pans, rags, gloves, goggles, absorbent (kitty litter) oil absorbent booms and diapers and buckets.
10. All spills shall be contained and cleaned up immediately upon discovery. Spills large enough to reach the storm water conveyance system shall be reported to the Minnesota duty officer at 1-800-422-0798.

Quantities

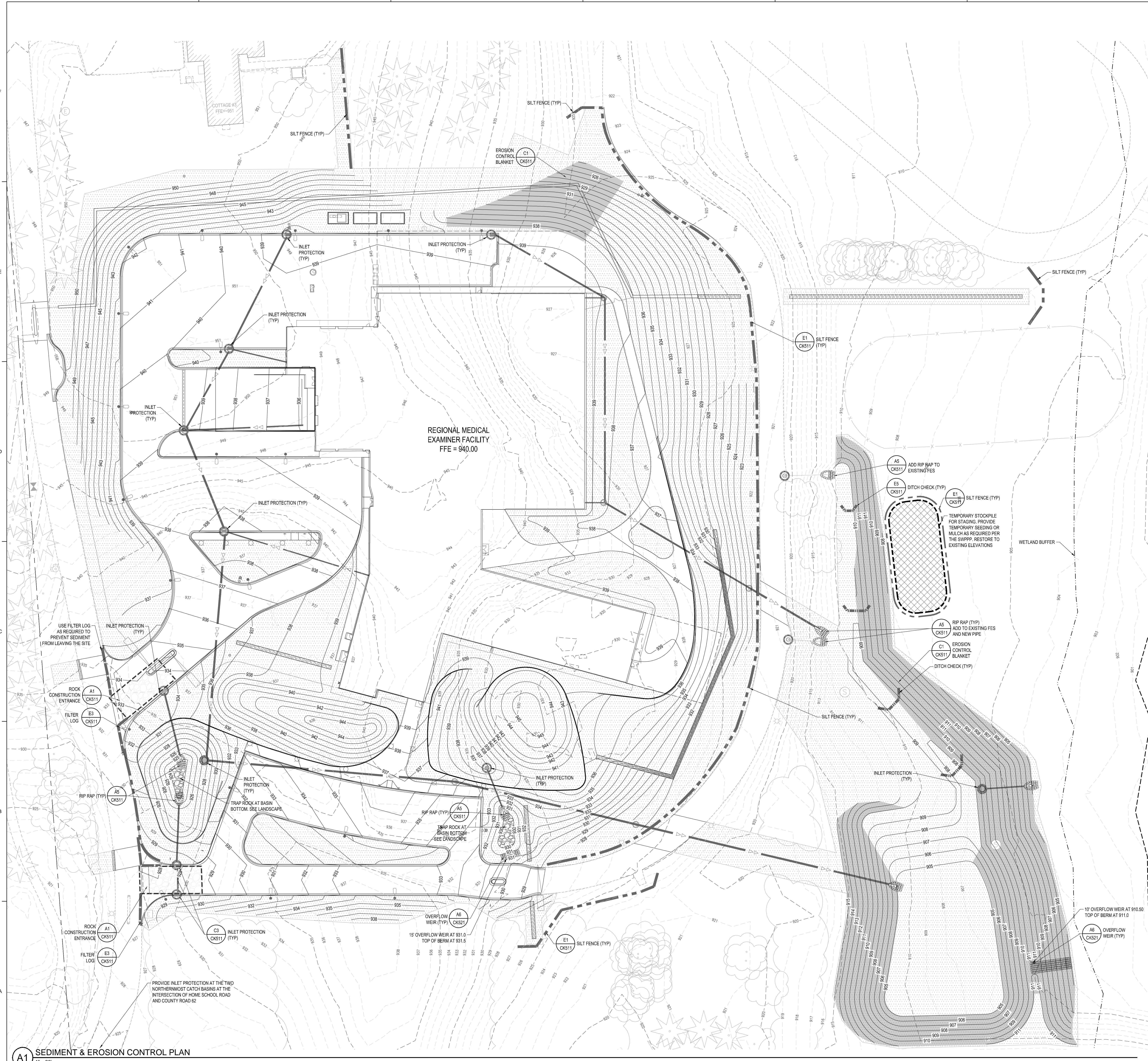
Table with columns: Practice, Detail / Spec, Unit, Quantity

Post Construction Operation and Maintenance

Maintenance of the storm water management facilities will be the responsibility of the Owner and may be subject to an agreement with the Nine Mile Creek Watershed District. See Operation and Maintenance manual for guidance.

Amendments to the SWPPP

The SWPPP will be amended as needed and/or as required by provisions of the permit. Amendments will be approved by both the Owner and Contractor (Operator) and will be attached to the SWPPP as an additional sheet. The SWPPP and amendments will be kept on site by the Contractor (Operator) whenever construction activity is in progress.



**EROSION CONTROL NOTES**

- 1. SEE SHEET CG200 FOR SWPPP
- 2. SEE SHEET CG101 FOR GRADING AND CU101 FOR STORM SEWER INFORMATION.

**LEGEND**

- — — — — SILT FENCE
- — — — — FILTER LOG SEDIMENT CONTROL
- ○ ○ ○ ○ DITCH CHECK
- ○ ○ ○ ○ INLET PROTECTION
- ■ ■ ■ ■ ROCK CONSTRUCTION ENTRANCE
- ■ ■ ■ ■ REVEGETATION SEE LANDSCAPE PLAN
- ■ ■ ■ ■ EROSION CONTROL BLANKET (ALL SEEDED SLOPE > 3:1 OR AS INDICATED)
- ■ ■ ■ ■ STOCKPILE

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MINNETONKA, MN

**HENNEPIN COUNTY**  
A 2208 GOVERNMENT CENTER  
300 SOUTH 6TH STREET  
MINNEAPOLIS, MN 55487  
COUNTY PROJECT NO. 1002306

**LEO A DALY**  
PLANNING ARCHITECTURE INTERIORS  
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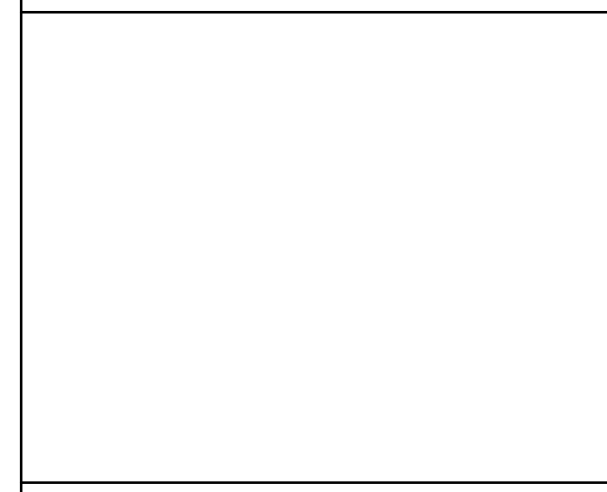
**MCLAREN, WILSON & LAWRIE**  
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STILLWATER, MN 55082 T: 651-705-1231

**KEY PLAN**



**REVISIONS**

NO.	DESCRIPTION	DATE

**FILE LOG**

ACTIVITY	BY
Manager	NRB
Design	SSB
Draw	LJB
Check	LAP

**STAMP**

**NOT FOR CONSTRUCTION**

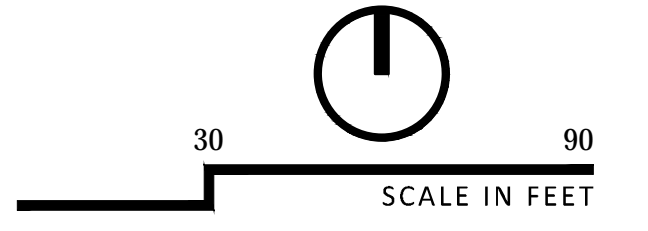
**CITY SUBMITTAL**

ELAN Project No. LAD18010  
08/15/2019

**SEDIMENT & EROSION CONTROL PLAN**

**CG201**

**A1 SEDIMENT & EROSION CONTROL PLAN**  
1" = 30'





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KEY PLAN

REVISIONS

NO.	DESCRIPTION	DATE

FILE LOG

ACTIVITY	BY
Manager	MSB
Design	MSB
Draw	LTR
Check	LAD

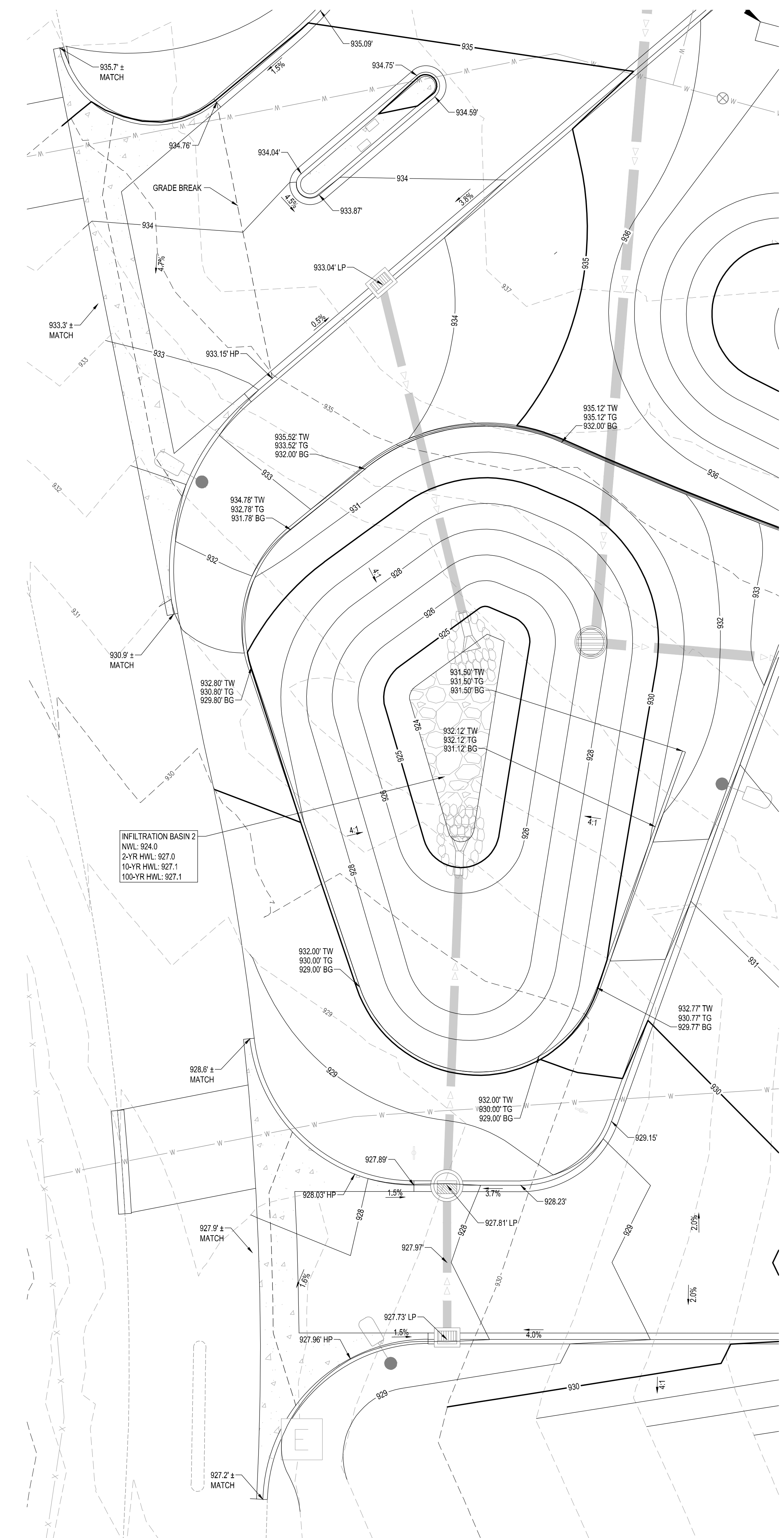
NOT FOR  
CONSTRUCTION

CITY SUBMITTAL

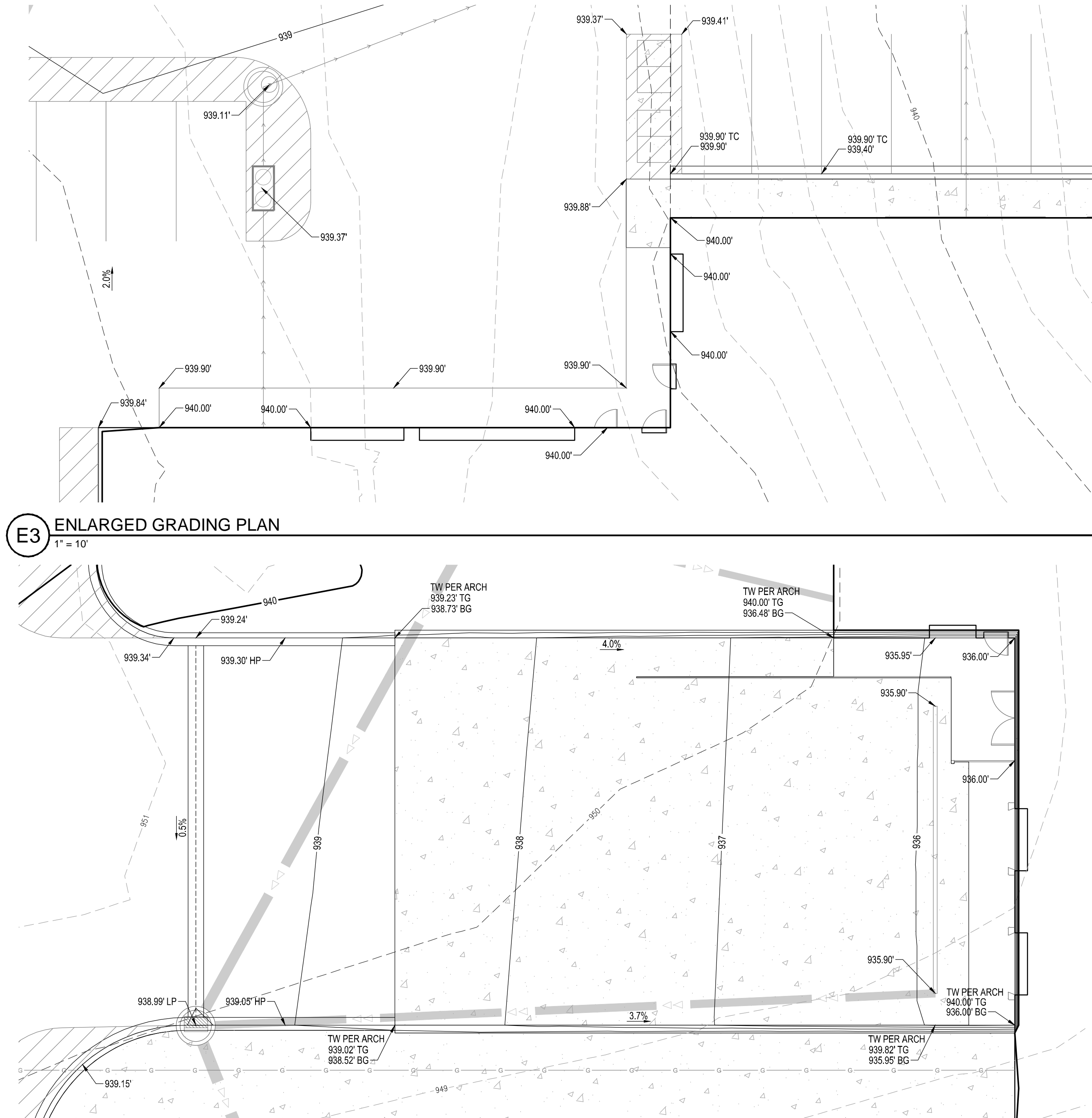
ELAN Project No. LAD18010  
08/15/2019

ENLARGED  
GRADING PLANS

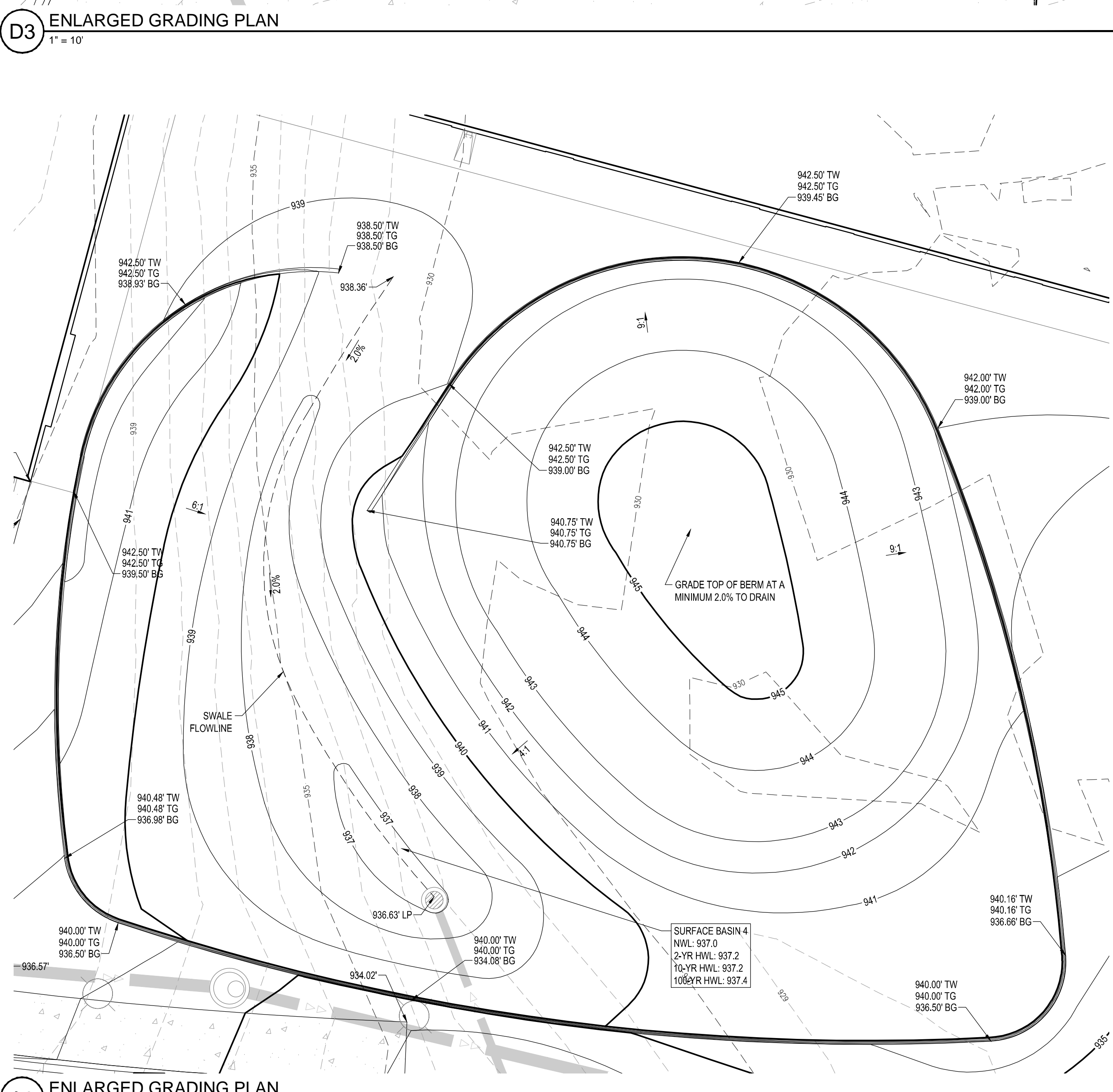
CG401



**A5 ENLARGED GRADING PLAN**  
1" = 10'

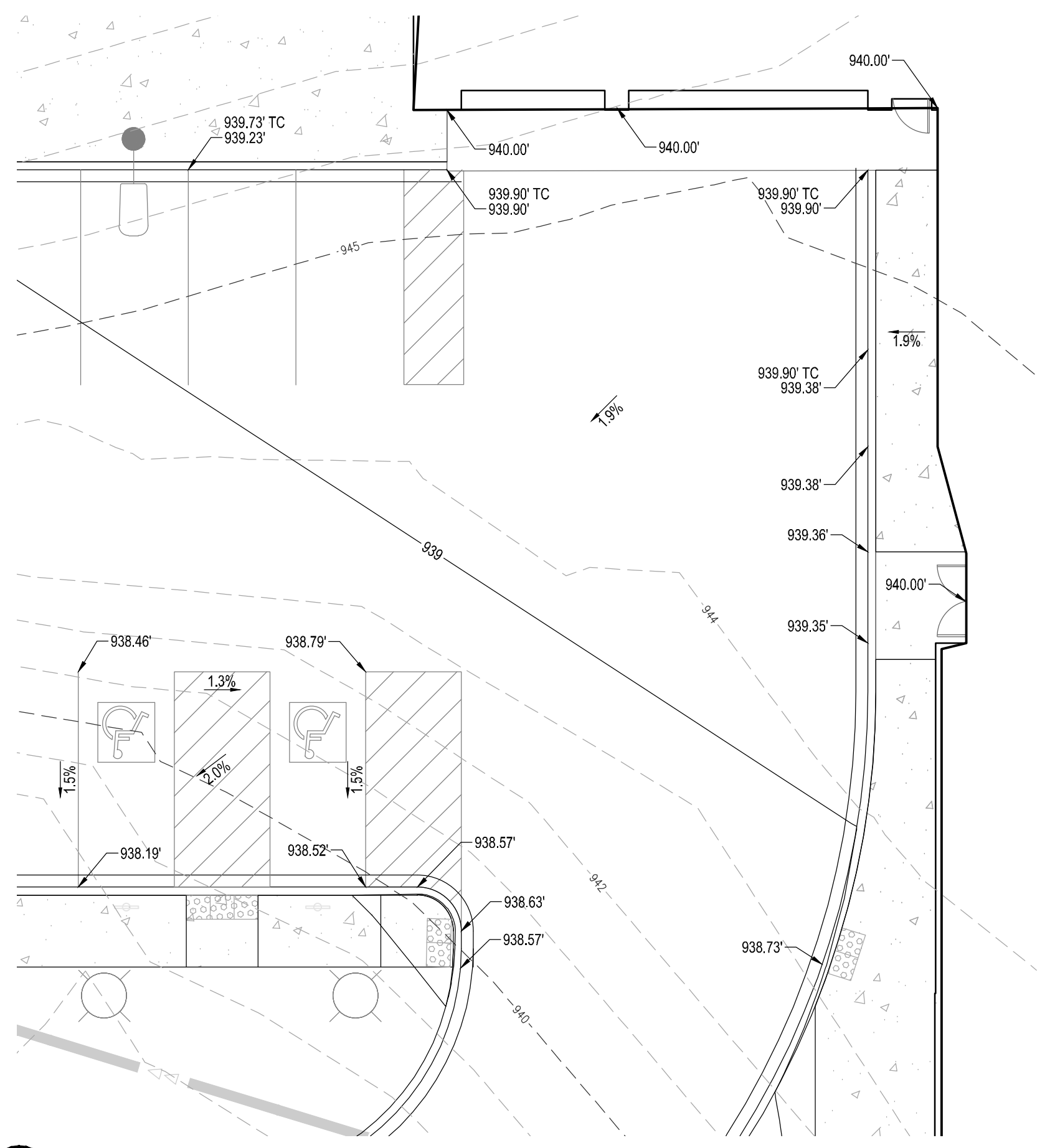


**E3 ENLARGED GRADING PLAN**  
1" = 10'

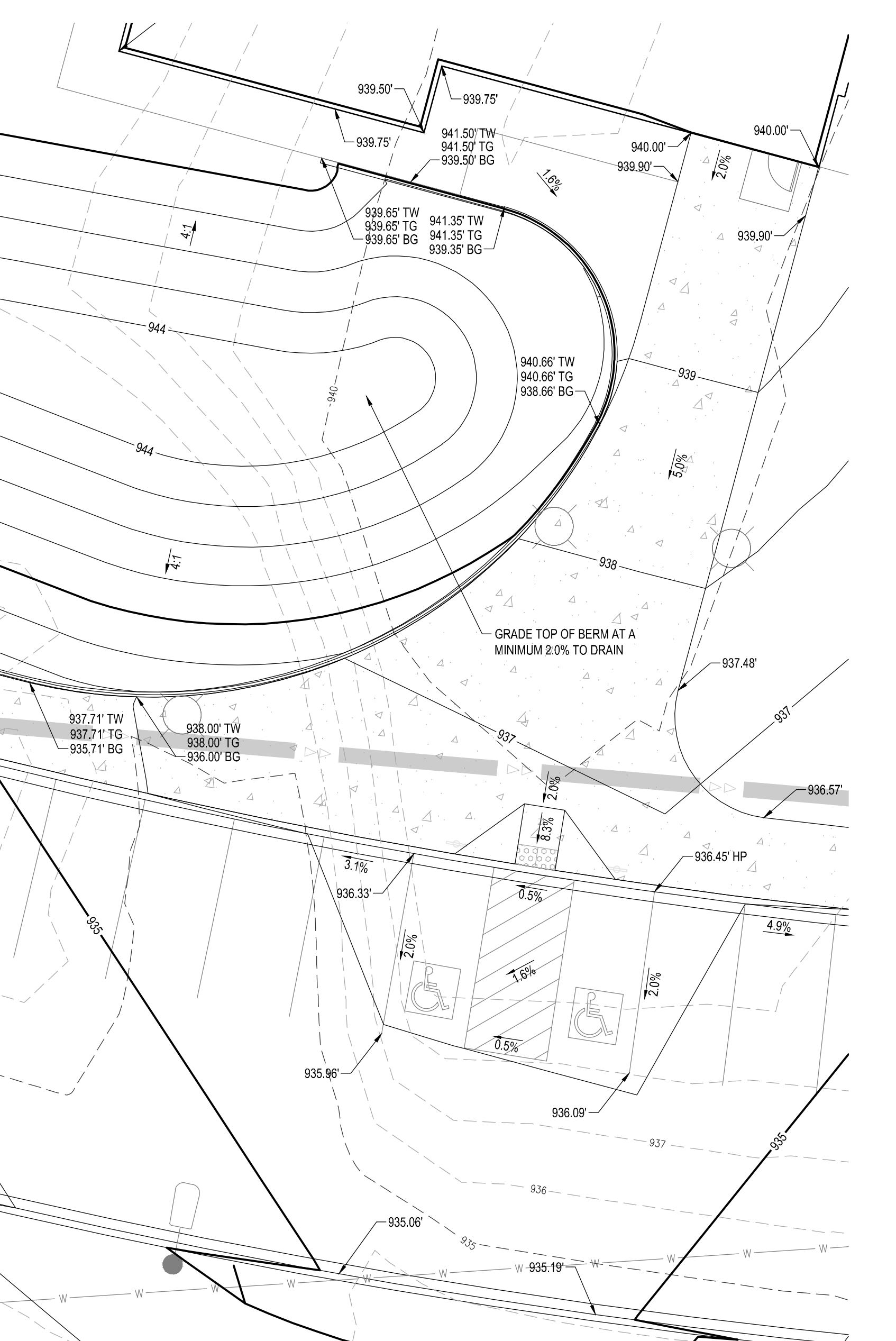


**D3 ENLARGED GRADING PLAN**  
1" = 10'

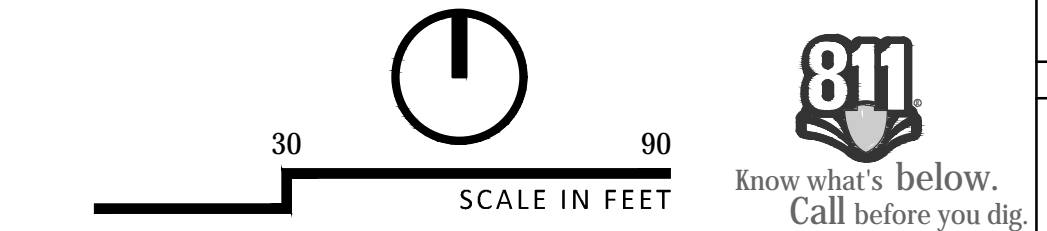
**A3 ENLARGED GRADING PLAN**  
1" = 10'



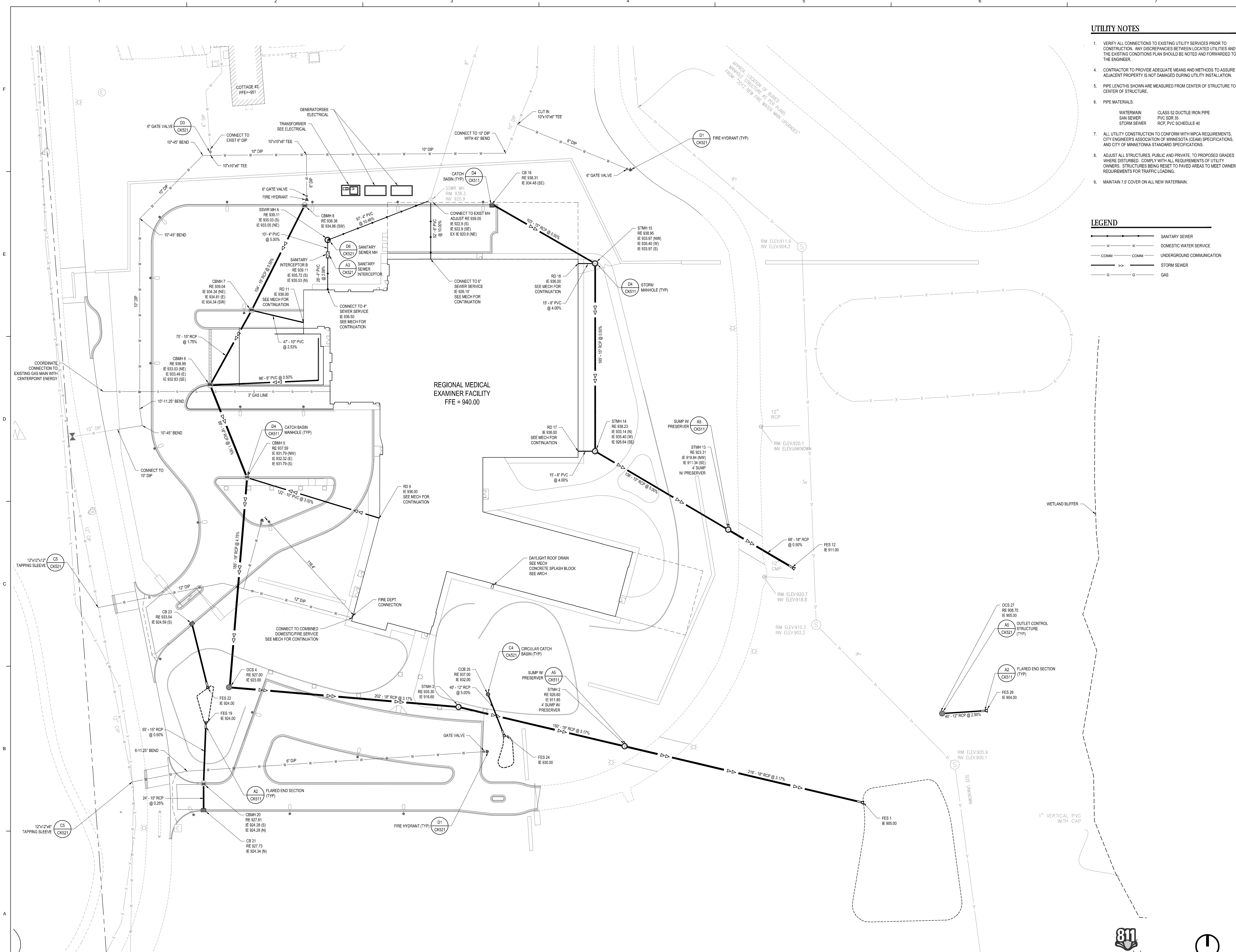
**D1 ENLARGED GRADING PLAN**  
1" = 10'



**A1 ENLARGED GRADING PLAN**  
1" = 10'







**UTILITY NOTES**

- VERIFY ALL CONNECTIONS TO EXISTING UTILITY SERVICES PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN LOCATED UTILITIES AND THE EXISTING CONDITIONS PLAN SHOULD BE NOTED AND FORWARDED TO THE ENGINEER.
- CONTRACTOR TO PROVIDE ADEQUATE MEANS AND METHODS TO ASSURE ADJACENT PROPERTY IS NOT DAMAGED DURING INSTALLATION.
- PIPE LENGTHS SHOWN ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- PIPE MATERIALS:  
 WATERMAIN: CLASS 52 DUCTILE IRON PIPE  
 SAN SEWER: PVC SDR 35  
 STORM SEWER: RCP, PVC SCHEDULE 40
- ALL UTILITY CONSTRUCTION TO CONFORM WITH MPCA REQUIREMENTS, CITY ENGINEER'S ASSOCIATION OF MINNESOTA (CEAM) SPECIFICATIONS, AND CITY OF MINNETONKA STANDARD SPECIFICATIONS.
- ADJUST ALL STRUCTURES, PUBLIC AND PRIVATE, TO PROPOSED GRADES WHERE DISTURBED. COMPLY WITH ALL REQUIREMENTS OF UTILITY OWNERS. STRUCTURES BEING RESET TO PAVED AREAS TO MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
- MAINTAIN 7.5" COVER ON ALL NEW WATERMAIN.

**LEGEND**

- S— SANITARY SEWER
- W— DOMESTIC WATER SERVICE
- COMM— UNDERGROUND COMMUNICATION
- S— STORM SEWER
- G— GAS

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**KEY PLAN**

**REVISIONS**

NO.	DESCRIPTION	DATE
1	REVISED CITY SUBMITTAL	08/15/2019

**FILE LOG**

ACTIVITY	BY
Manager	NRB
Design	SSB
Draw	LTS
Check	LAD

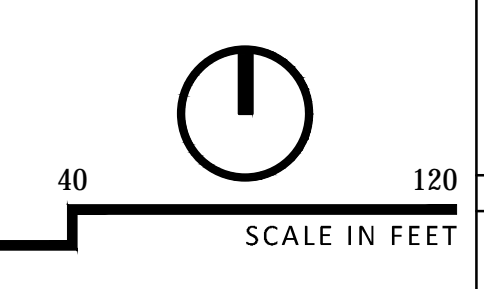
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**CITY SUBMITTAL**

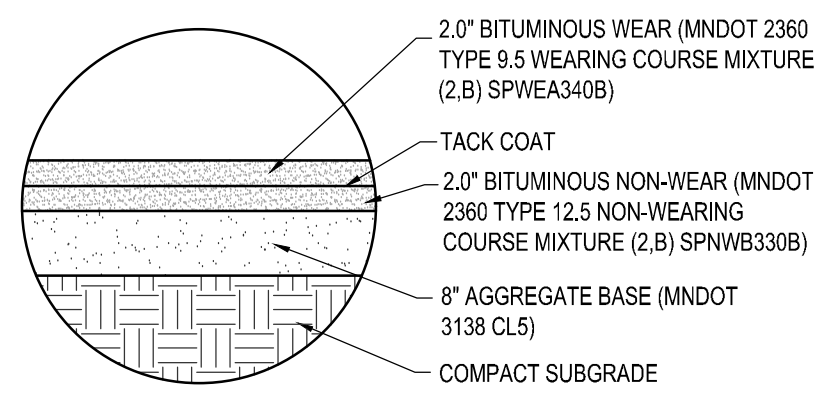
ELAN Project No. LAD18010  
08/15/2019

**OVERALL UTILITY PLAN**

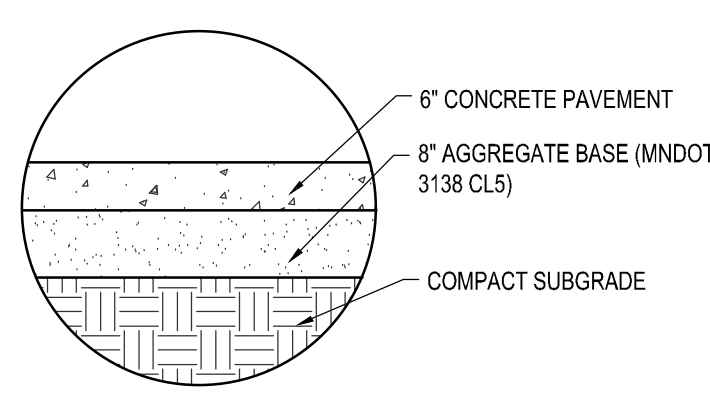
**CU101**



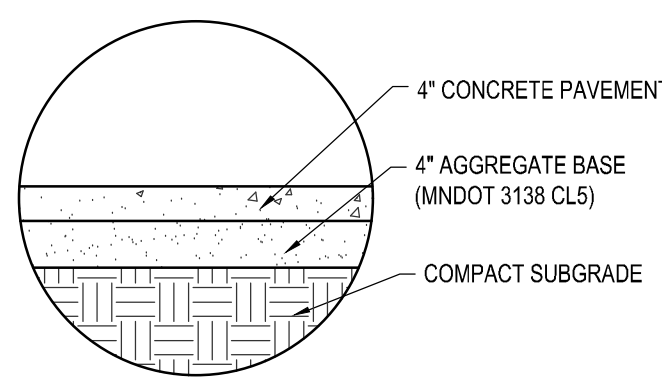
**1** OVERALL UTILITY PLAN  
1" = 40'



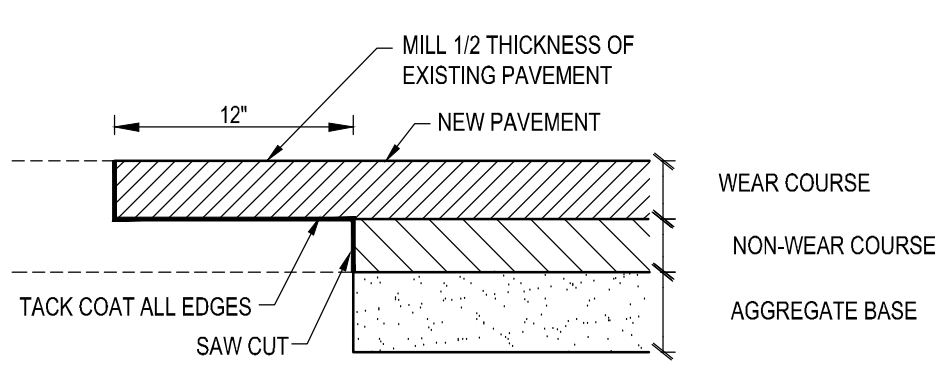
**F1 BITUMINOUS PAVEMENT SECTION** NO SCALE



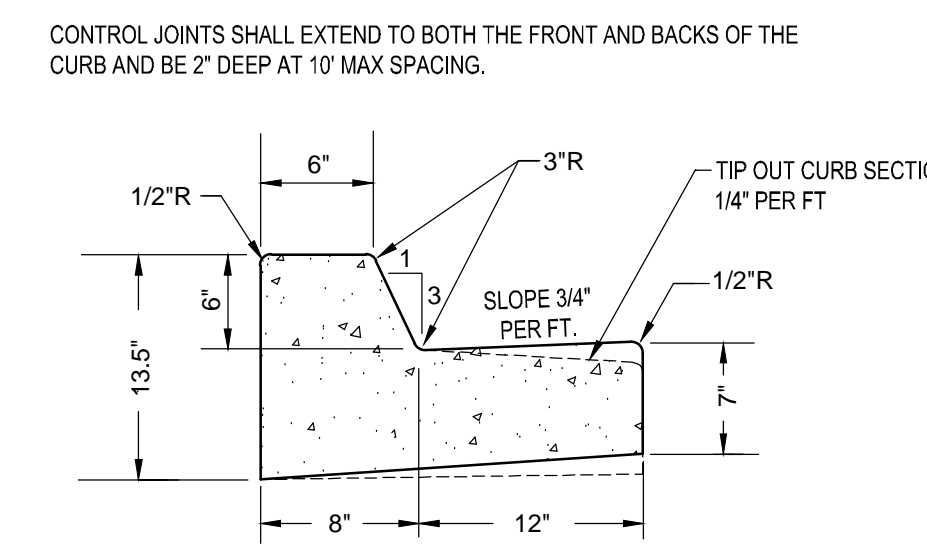
**F2 CONCRETE PAVEMENT SECTION** NO SCALE



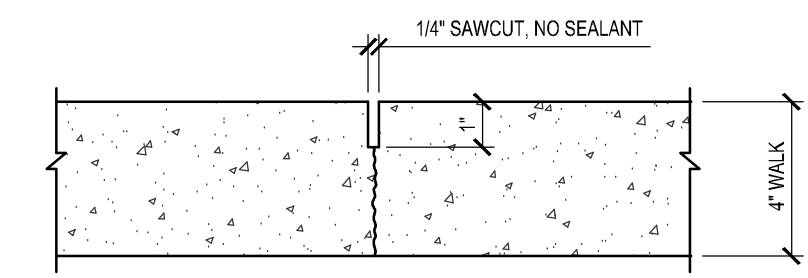
**F3 CONCRETE WALKWAY SECTION** NO SCALE



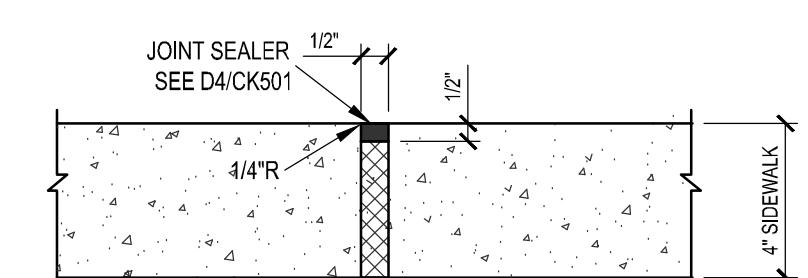
**F5 BITUMINOUS INTERLOCK AT MATCH LINE** NO SCALE



**F6 B612 CONCRETE CURB & GUTTER** NO SCALE

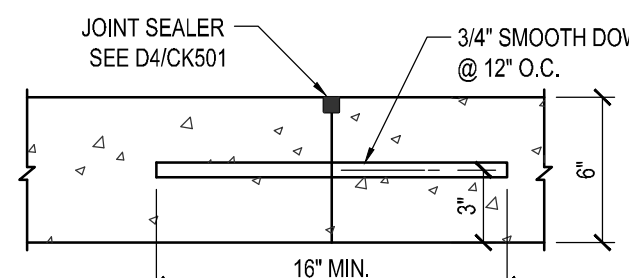


**SAWCUT CONTROL JOINT**  
SPACINGS: 4', 5' OR 6' WALK - MIN C/C SPACINGS SHALL EQUAL WIDTH OF WALK  
8' WALK - 4' C/C OR 4'X8' PANELS, OR AS DETAILED ON LANDSCAPE PLANS

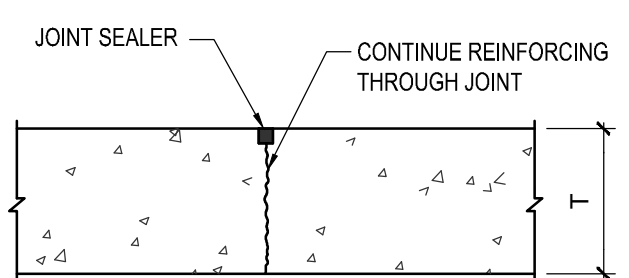


**EXPANSION JOINT**  
NON-BITUMINOUS JOINT FILLER  
MAXIMUM SPACING 100'. ALSO USE WHEN ABUTTING BUILDINGS.

**D1 SIDEWALK JOINT** NO SCALE

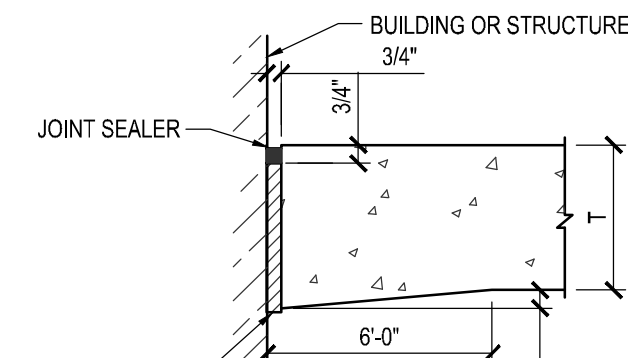


**DOWELED CONSTRUCTION JOINT**  
USE WHERE CONCRETE PLACEMENT OPERATIONS STOP FOR MORE THAN 30 MINUTES, END FOR THE DAY, OR WHERE CAST AGAINST PREVIOUSLY PLACED OR EXISTING CONCRETE.

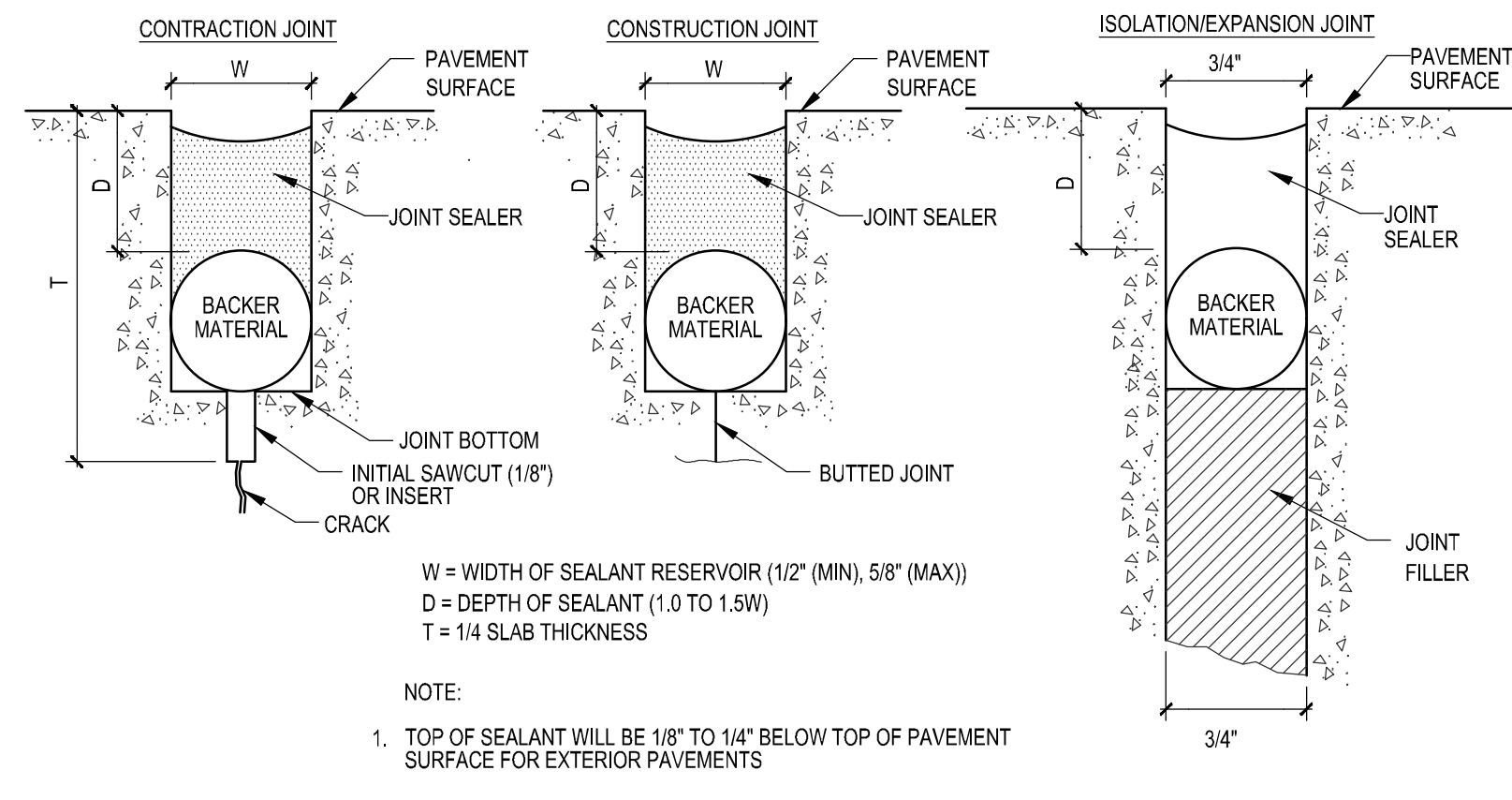


**CONTRACTION JOINT**  
12' MAX. SPACING

**D2 CONCRETE PAVEMENT JOINT** NO SCALE



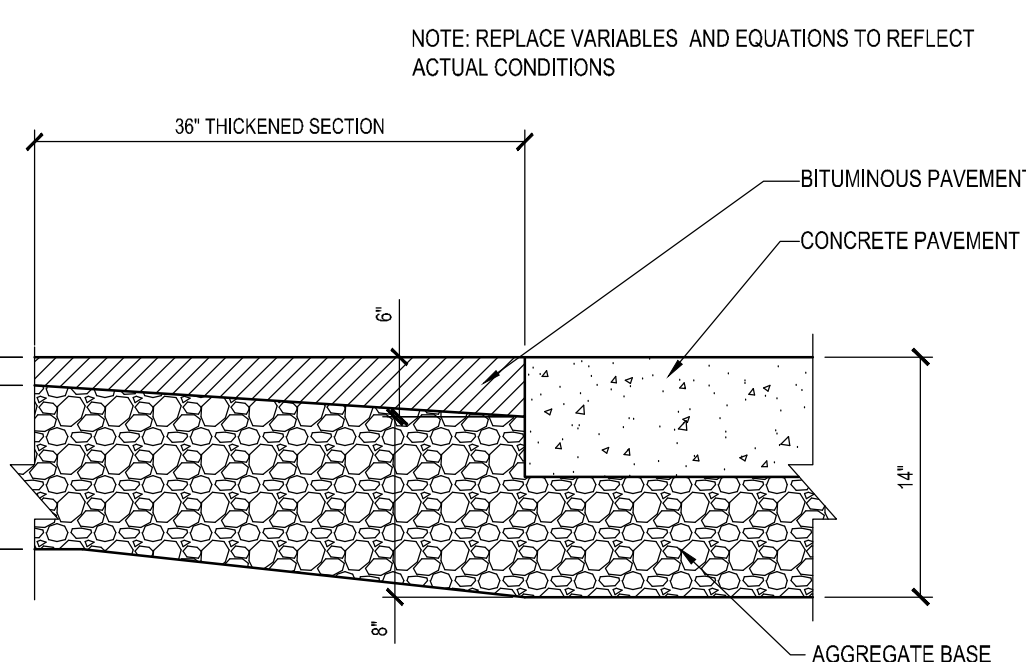
**ISOLATION JOINT**  
USE AGAINST BUILDINGS OR OTHER STRUCTURES



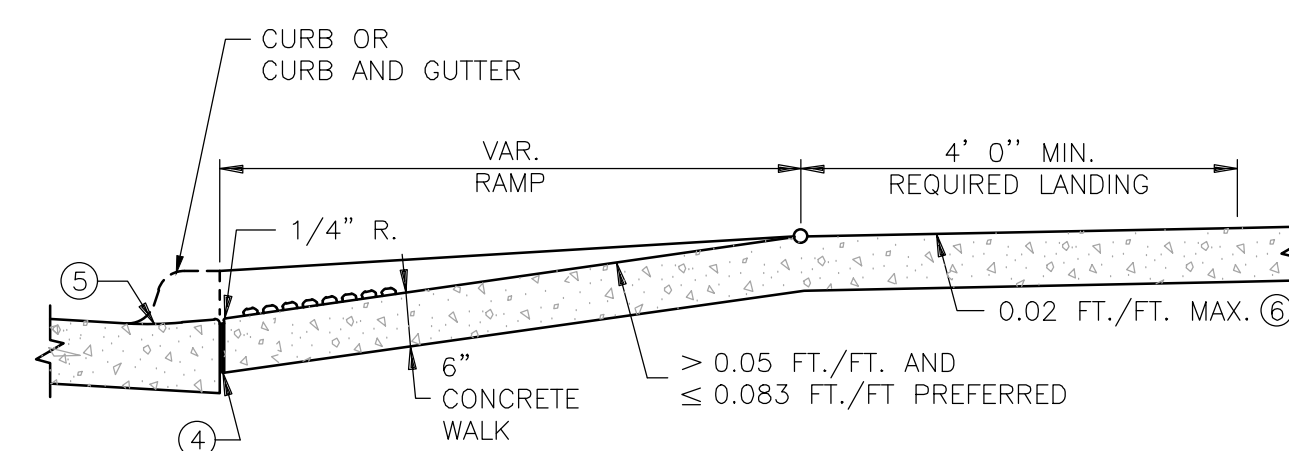
**D4 JOINT SEALANT** NO SCALE

W = WIDTH OF SEALANT RESERVOIR (1/2" (MIN), 5/8" (MAX))  
D = DEPTH OF SEALANT (1.0 TO 1.5W)  
T = 1/4 SLAB THICKNESS

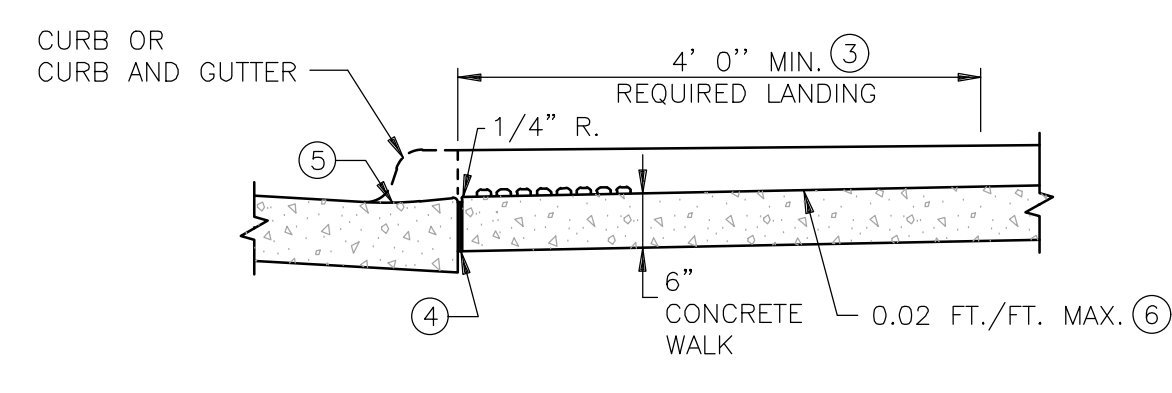
NOTE:  
1. TOP OF SEALANT WILL BE 1/8" TO 1/4" BELOW TOP OF PAVEMENT SURFACE FOR EXTERIOR PAVEMENTS



**C1 THICKENED EDGE PAVEMENT** NO SCALE

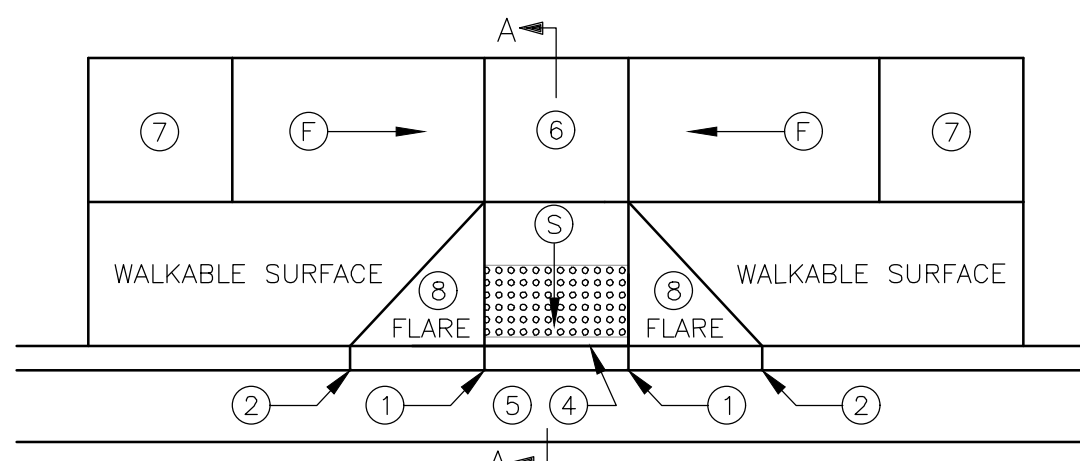
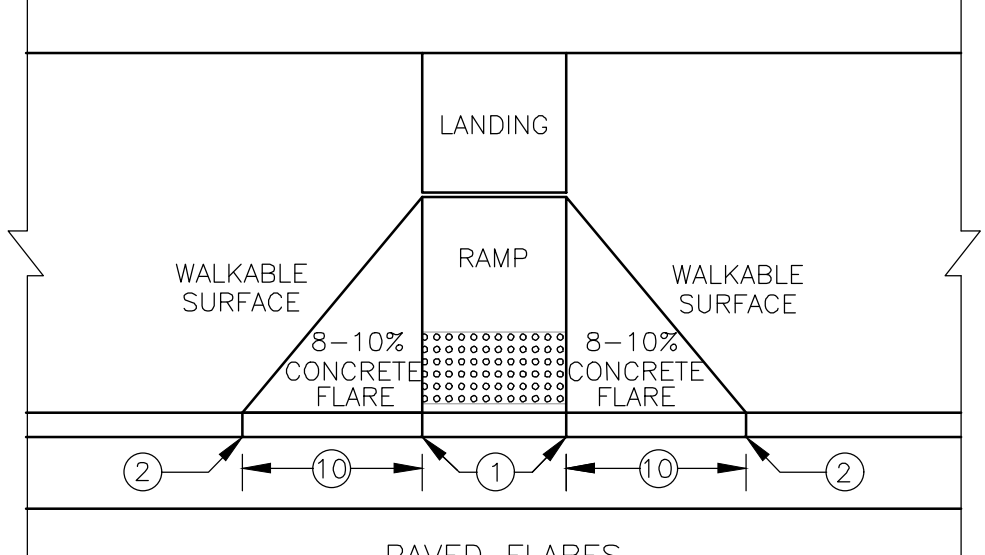
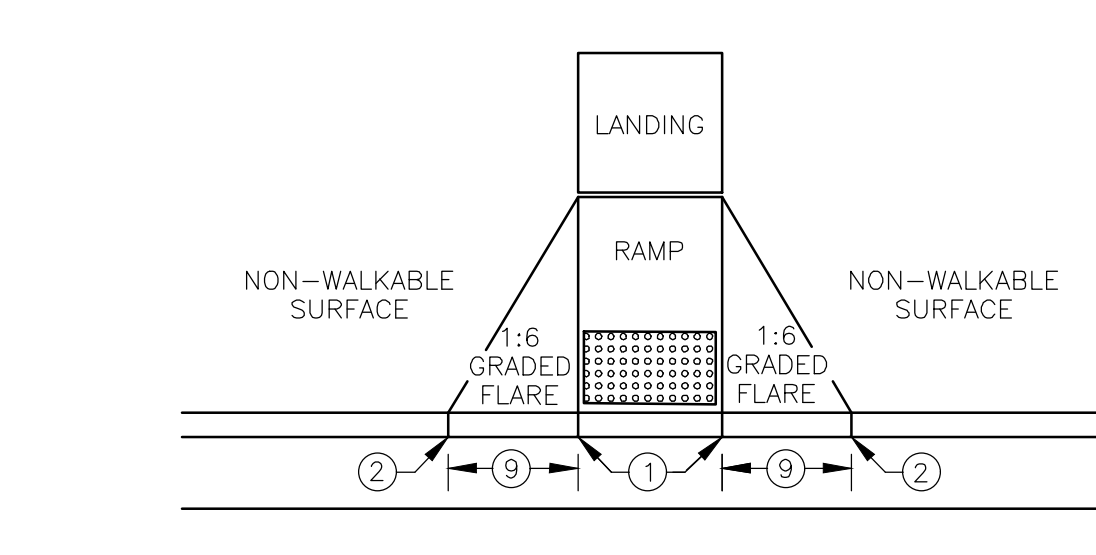


**SECTION A-A PERPENDICULAR/TIERED**



**SECTION B-B PARALLEL**

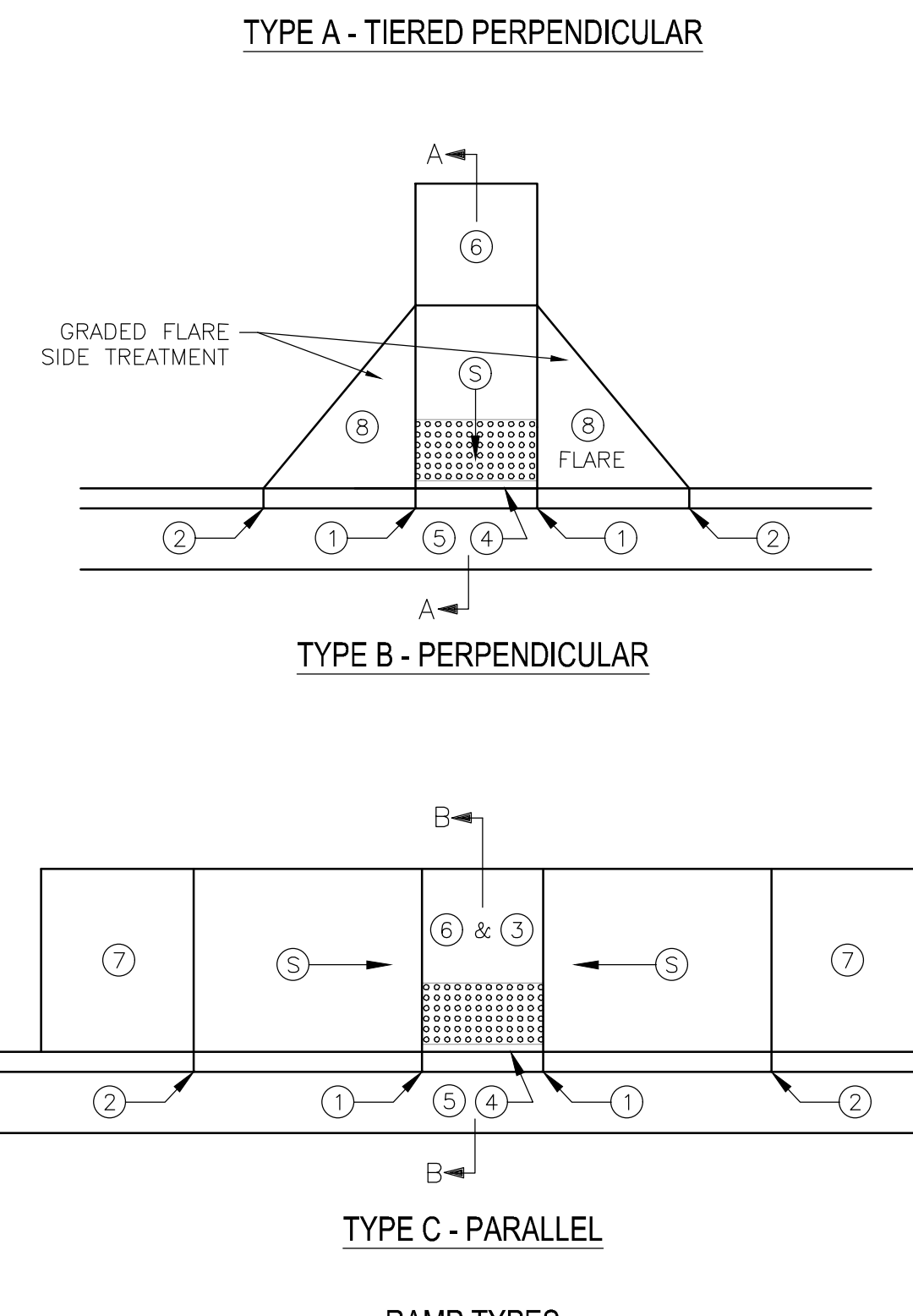
**RAMP CROSS SECTIONS**



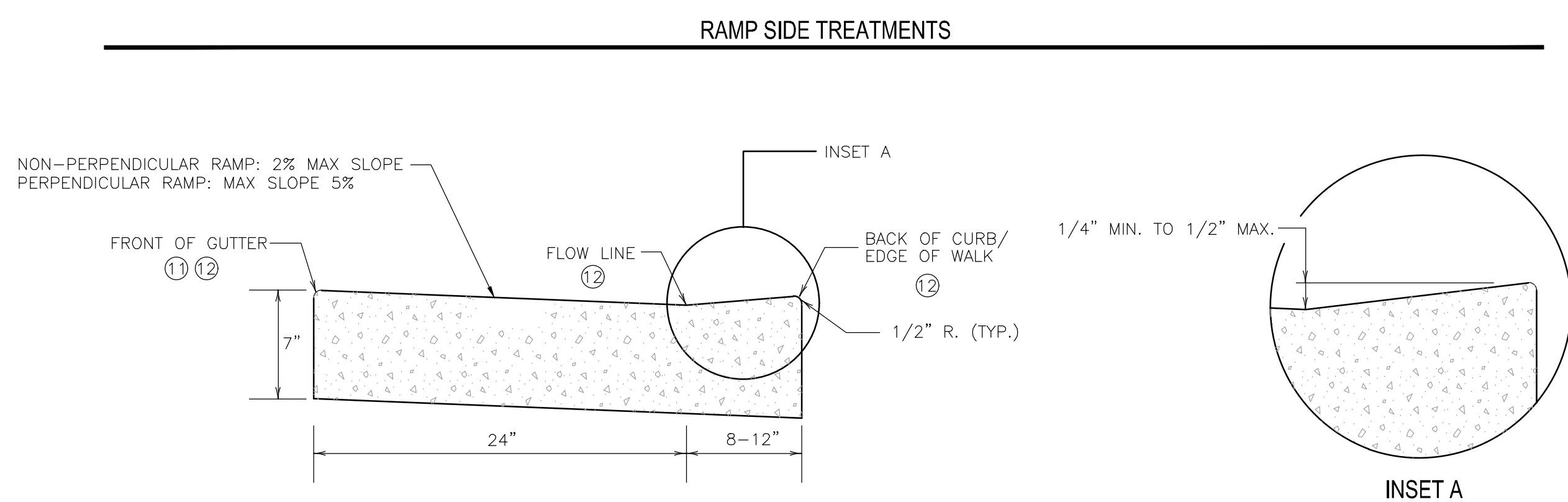
**TYPE A - TIERED PERPENDICULAR**

**TYPE B - PERPENDICULAR**

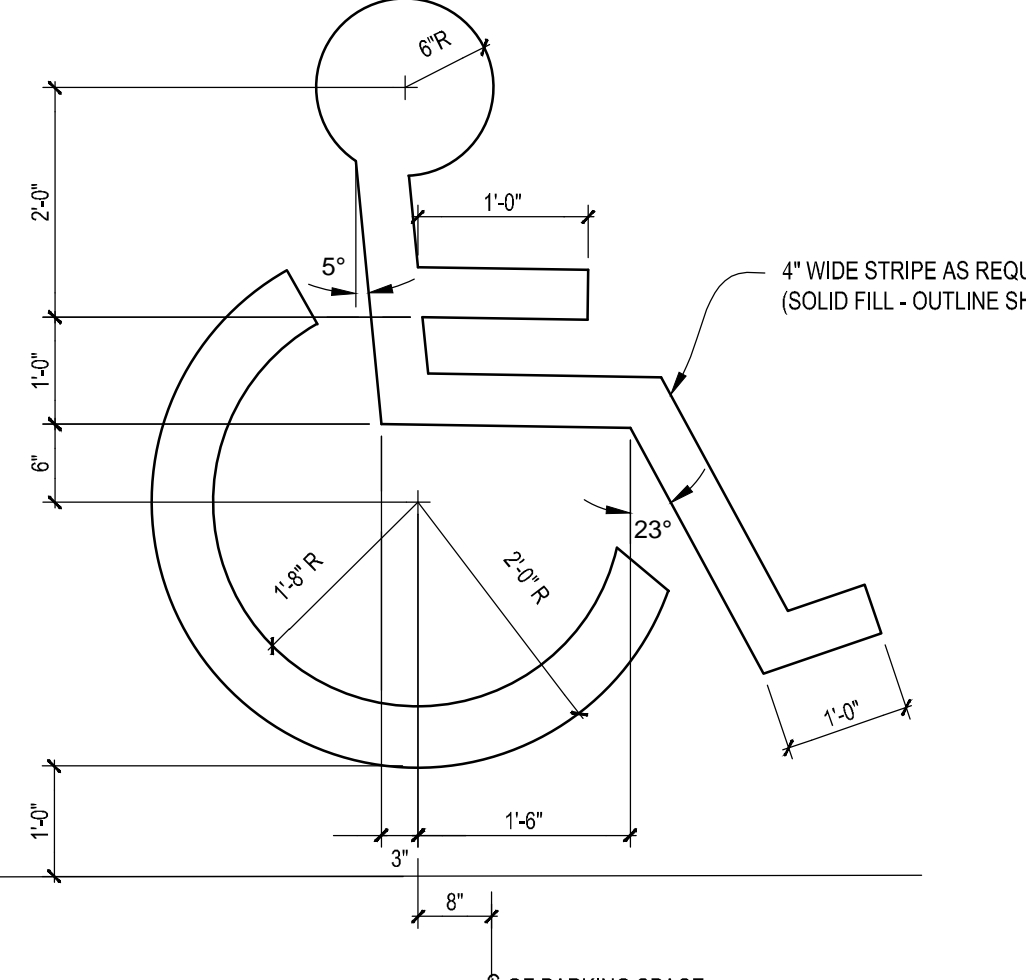
**TYPE C - PARALLEL**



**RAMP TYPES**

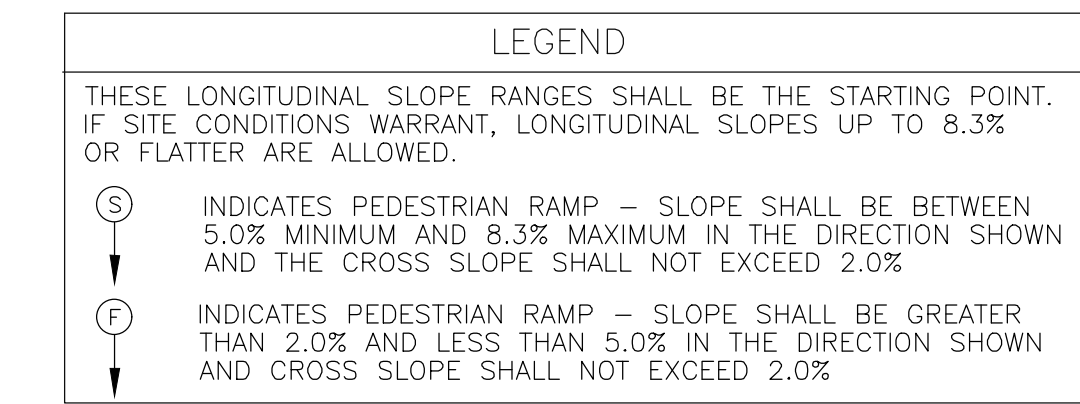


**PEDESTRIAN ACCESS ROUTE (PAR) AND CURB DETAIL**



**A1 ACCESSIBLE STALL PAVEMENT SYMBOL** NO SCALE

**A2 ACCESSIBLE CURB RAMP**



**NOTES**

- LANDINGS SHALL BE LOCATED ANYWHERE THE PEDESTRIAN ACCESS ROUTE CHANGES DIRECTION, AT THE TOP OF RAMP THAT HAVE RUNNING SLOPES GREATER THAN 5.0%, AND IF THE APPROACHING WALK IS INVERSE GRADE.
- INITIAL CURB RAMP LANDINGS SHALL BE CONSTRUCTED WITHIN 15' FROM THE BACK OF CURB, WITH 6' FROM THE BACK OF CURB BEING THE PREFERRED DISTANCE.
- SECONDARY CURB RAMP LANDINGS ARE REQUIRED FOR EVERY 30" OF VERTICAL RISE WHEN THE LONGITUDINAL SLOPE IS GREATER THAN 5.0%.
- CONTRACTION JOINTS SHALL BE CONSTRUCTED ALONG ALL GRADE BREAKS.
- ALL GRADE BREAKS WITHIN THE PAR SHALL BE PERPENDICULAR TO THE PATH OF TRAVEL.
- TO ENSURE RAMP AND LANDINGS ARE PROPERLY CONSTRUCTED, LANDINGS MAY BE CAST SEPARATELY.
- FOLLOW SIDEWALK REINFORCEMENT DETAILS ON SHEET 5 WHEN LANDINGS ARE CAST SEPARATELY. ALL SLOPES ARE ABSOLUTE, RATHER THAN RELATIVE TO SIDEWALK/ROADWAY GRADES.
- TOP OF CURB SHALL MATCH PROPOSED ADJACENT WALK GRADE. 4' MINIMUM WIDTH OF DETECTABLE WARNING IS REQUIRED FOR ALL RAMPS.
- DETECTABLE WARNINGS SHALL CONTINUOUSLY EXTEND FOR A MINIMUM OF 24" IN THE PATH OF TRAVEL.
- SHARED USE PATHS SHALL HAVE DETECTABLE WARNING ACROSS THE ENTIRE WIDTH OF PATH WHEN THE PATH CROSSES A ROAD.
- SEE MNDOT STANDARD PLATE 7038 FOR ADDITIONAL DETAILS ON DETECTABLE WARNING.
- SIDE TREATMENTS ARE APPLICABLE TO ALL RAMP TYPES AND SHOULD BE IMPLEMENTED AS NEEDED ON ALL RAMPS AS FIELD CONDITIONS DICTATE. THE ENGINEER SHALL DETERMINE THE RAMP SIDE TREATMENTS BASED ON MAINTENANCE OF BOTH ROADWAY AND SIDEWALK, ADJACENT PROPERTY CONSIDERATIONS, AND MITIGATING CONSTRUCTION IMPACTS.
- POSITIVE FLOW LINE DRAINAGE SHALL BE MAINTAINED THROUGH THE PEDESTRIAN ACCESS ROUTE (PAR) AT A 2% MAXIMUM.
- NO PONDING SHALL BE PRESENT IN THE PAR.
- ANY VERTICAL LIP THAT OCCURS AT THE FLOW LINE SHALL NOT BE GREATER THAN 1/4 INCH.
- WHEN NO CONCRETE FLARES ARE PROPOSED, THE CONCRETE WALK SHALL BE FORMED AND CONSTRUCTED PERPENDICULAR TO THE EDGE OF ROADWAY. MAINTAIN 3" BETWEEN EDGE OF DOMES AND EDGE OF CONCRETE.

**KEYNOTES**

- 0" CURB HEIGHT.
- FULL CURB HEIGHT.
- DETECTABLE WARNINGS MAY BE PART OF 4' X 4' LANDING AREA IF IT IS NOT FEASIBLE TO CONSTRUCT THE LANDING OUTSIDE OF THE DETECTABLE WARNING AREA.
- 1/2" PREFORMED JOINT FILLER MATERIAL AASHTO M 213. JOINT FILLER SHALL BE PLACED FLUSH WITH THE BACK OF CURB AND ADJACENT SIDEWALK. JOINT SHALL BE FREE OF DEBRIS. RECTANGULAR DETECTABLE WARNINGS SHALL BE SETBACK 3" FROM THE BACK OF CURB. RADIAL DETECTABLE WARNINGS SHALL BE SETBACK 3" MINIMUM TO 6" MAXIMUM FROM THE BACK OF CURB.
- SEE PEDESTRIAN ACCESS ROUTE CURB AND GUTTER DETAIL FOR INFORMATION ON CONSTRUCTING CURB AND GUTTER AT CURB OPENINGS.
- 4' BY 4' MIN. LANDING WITH MAX. 2.0% SLOPE IN ALL DIRECTIONS. IF LONGITUDINAL SLOPE IS GREATER THAN 5.0%, 4' X 4' MIN.
- LANDING WITH MAX 2.0% SLOPE IN ALL DIRECTIONS REQUIRED.
- SEE SIDE TREATMENT OPTIONS, FOR DETAILS ON FLARES AND RETURNED CURBS.
- 3" FLARE, UNLESS OTHERWISE NOTED.
- 6" FLARE, UNLESS OTHERWISE NOTED.
- THERE SHALL BE NO VERTICAL DISCONTINUITIES GREATER THAN 1/4".
- TOP FRONT OF GUTTER SHALL BE CONSTRUCTED FLUSH WITH PROPOSED ADJACENT PAVEMENT ELEVATION. PAR GUTTER SHALL NOT BE OVERLAID.
- MAX 2.0% SLOPE IN ALL DIRECTIONS IN FRONT OF GRADE BREAK AND DRAIN TO FLOW LINE, SHALL BE CONSTRUCTED INTEGRAL WITH CURB AND GUTTER.
- PLACE DOMES AT THE BACK OF CURB WHEN ALLOWABLE SETBACK CRITERIA IS EXCEEDED.



**KEY PLAN**

**REVISIONS**

NO	DESCRIPTION	DATE

**FILE LOG**

ACTIVITY	BY
Manager	10/16
Design	10/20
Draw	1/18
Check	1/20

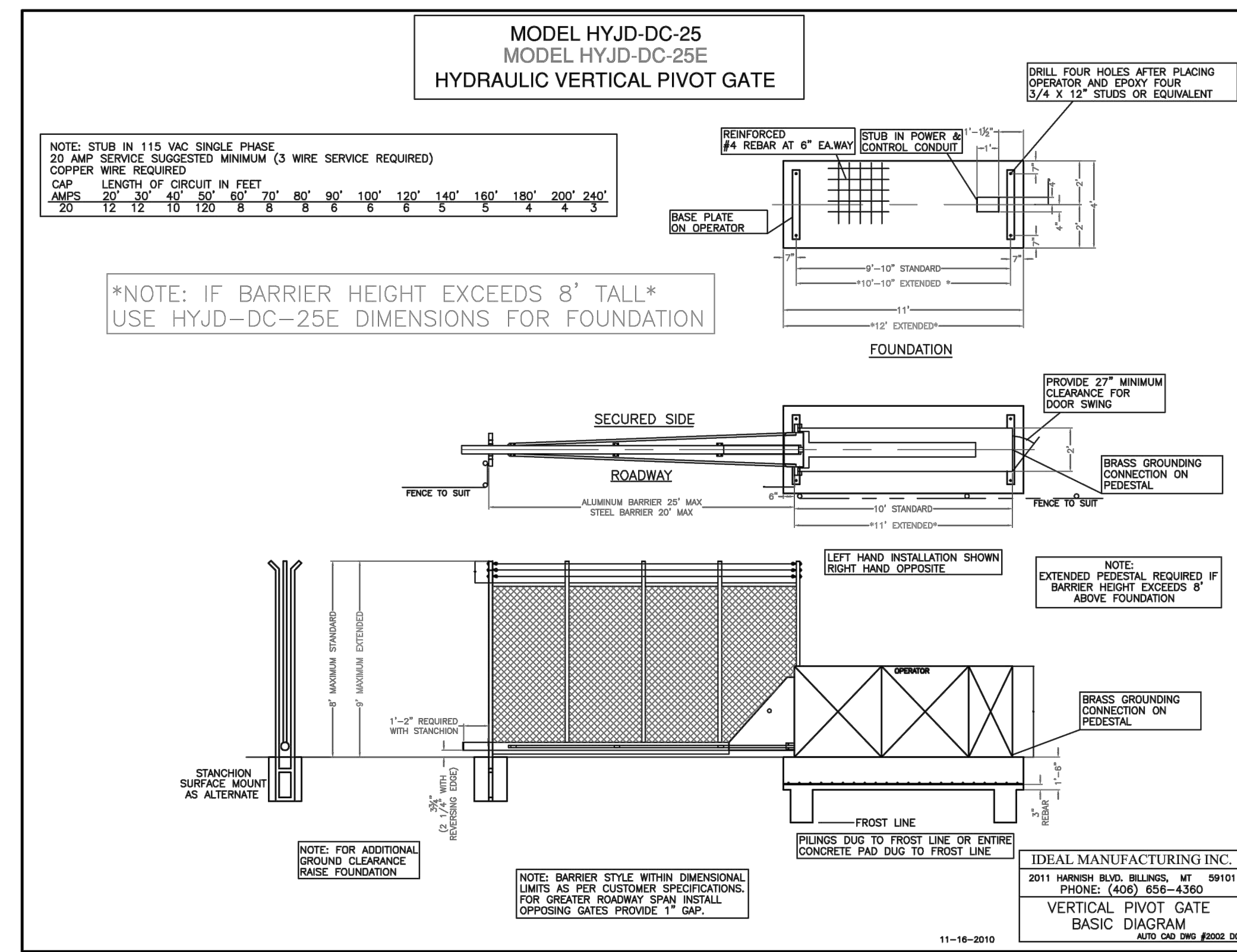
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**NOT FOR CONSTRUCTION**

**CITY SUBMITTAL**

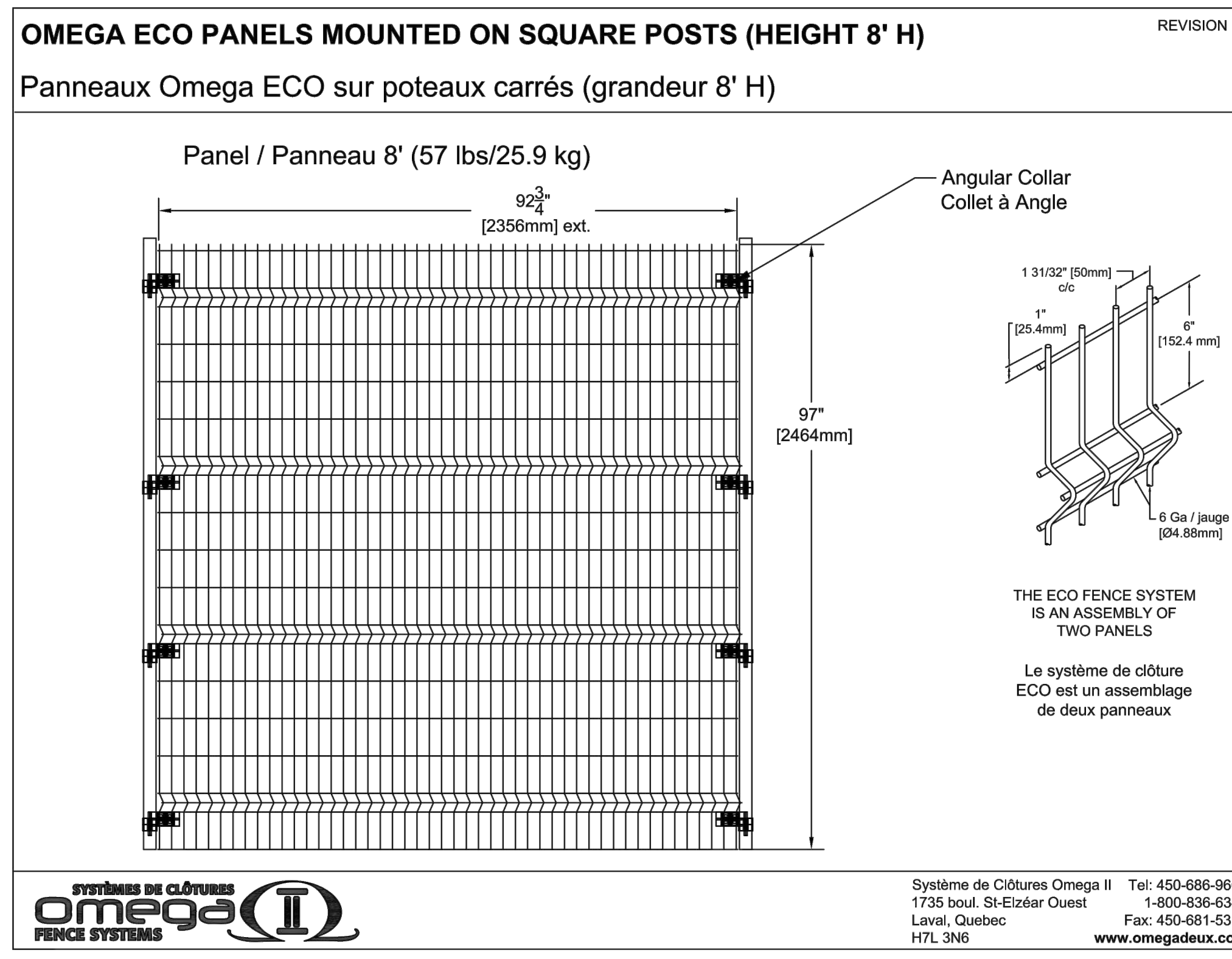
**SITE DETAILS**

**CK501**



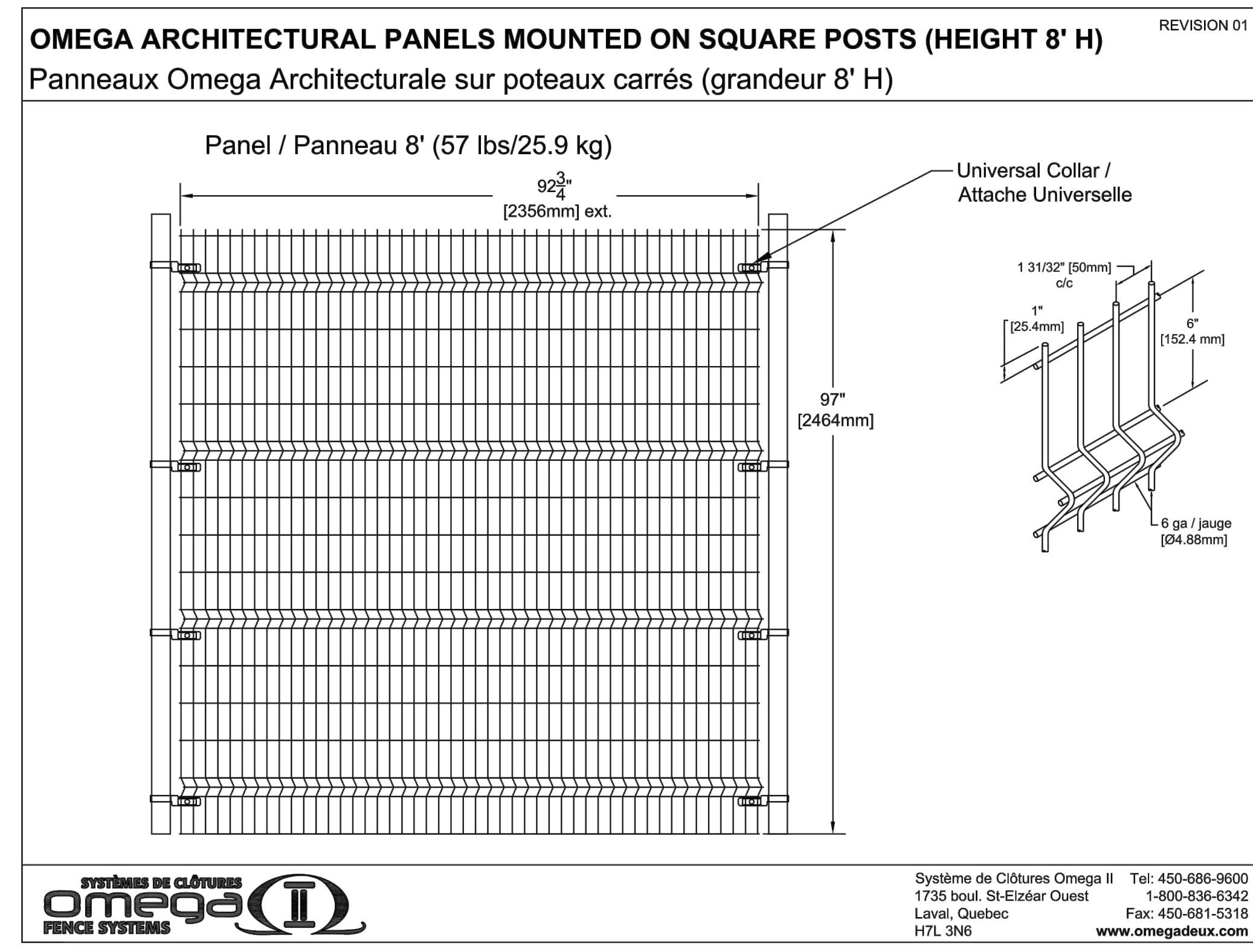
VERTICAL PIVOT GATE

E1 NO SCALE



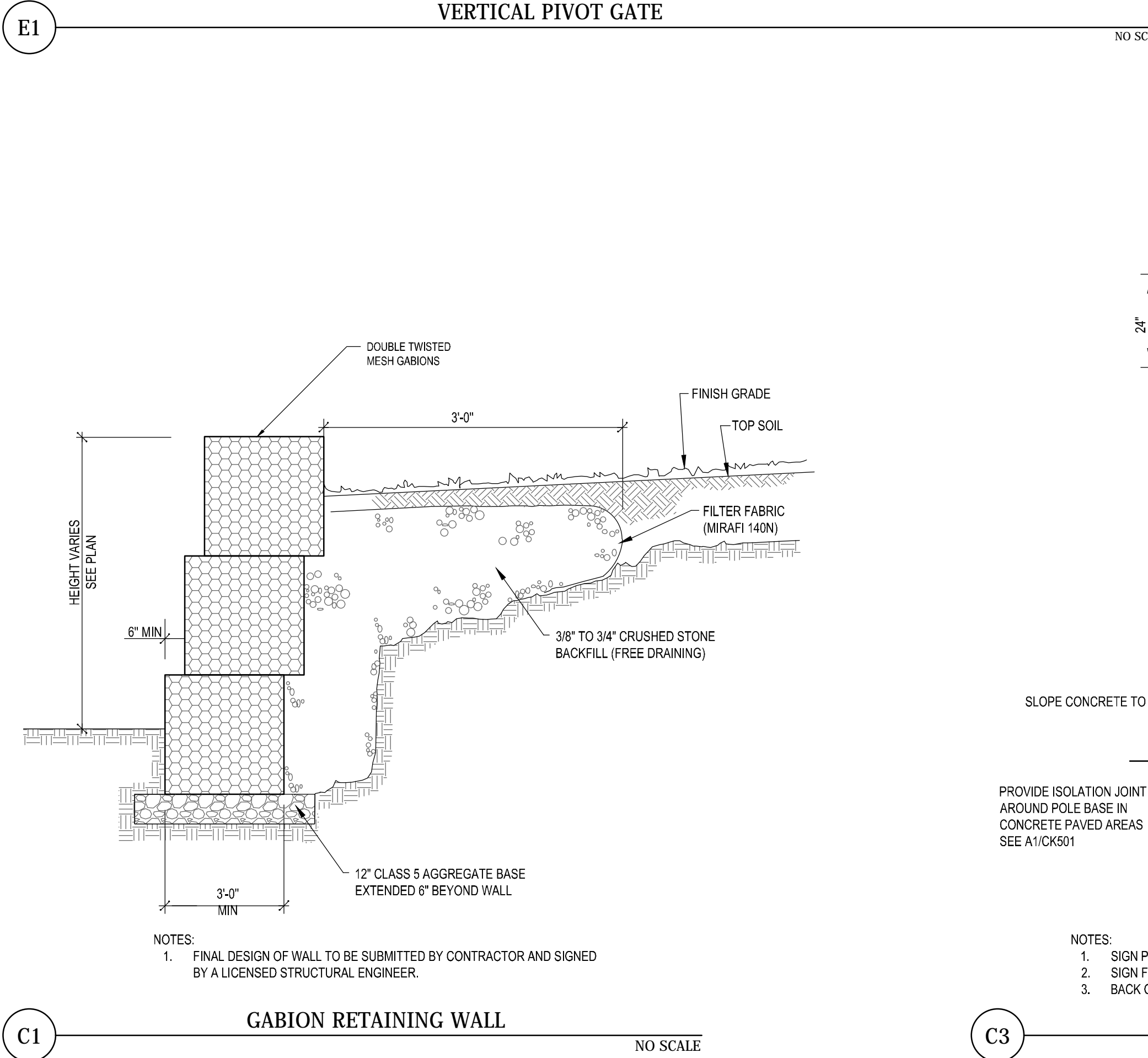
ECO SECURITY FENCE

E3 NO SCALE



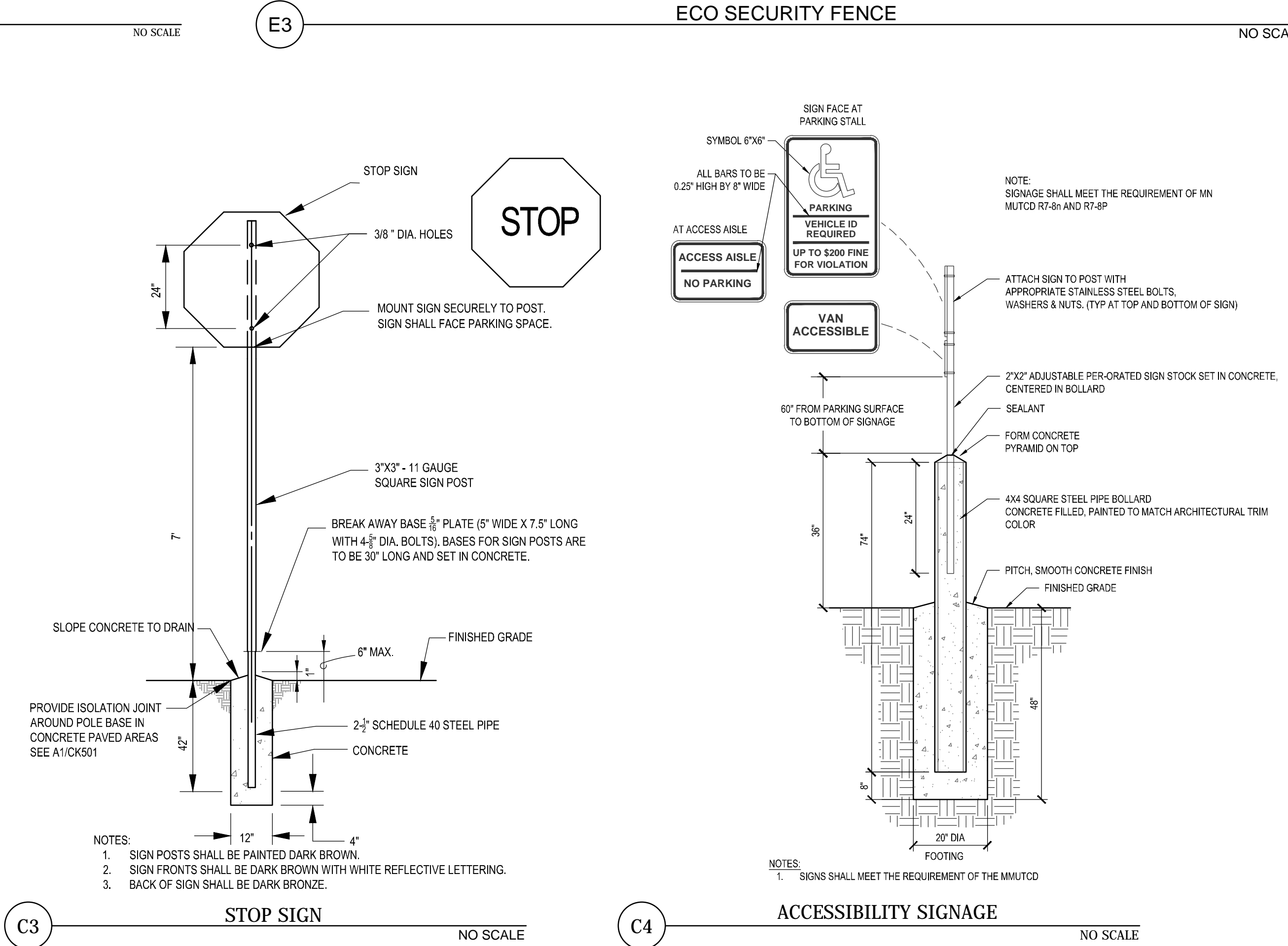
SECURITY FENCE

E5 NO SCALE



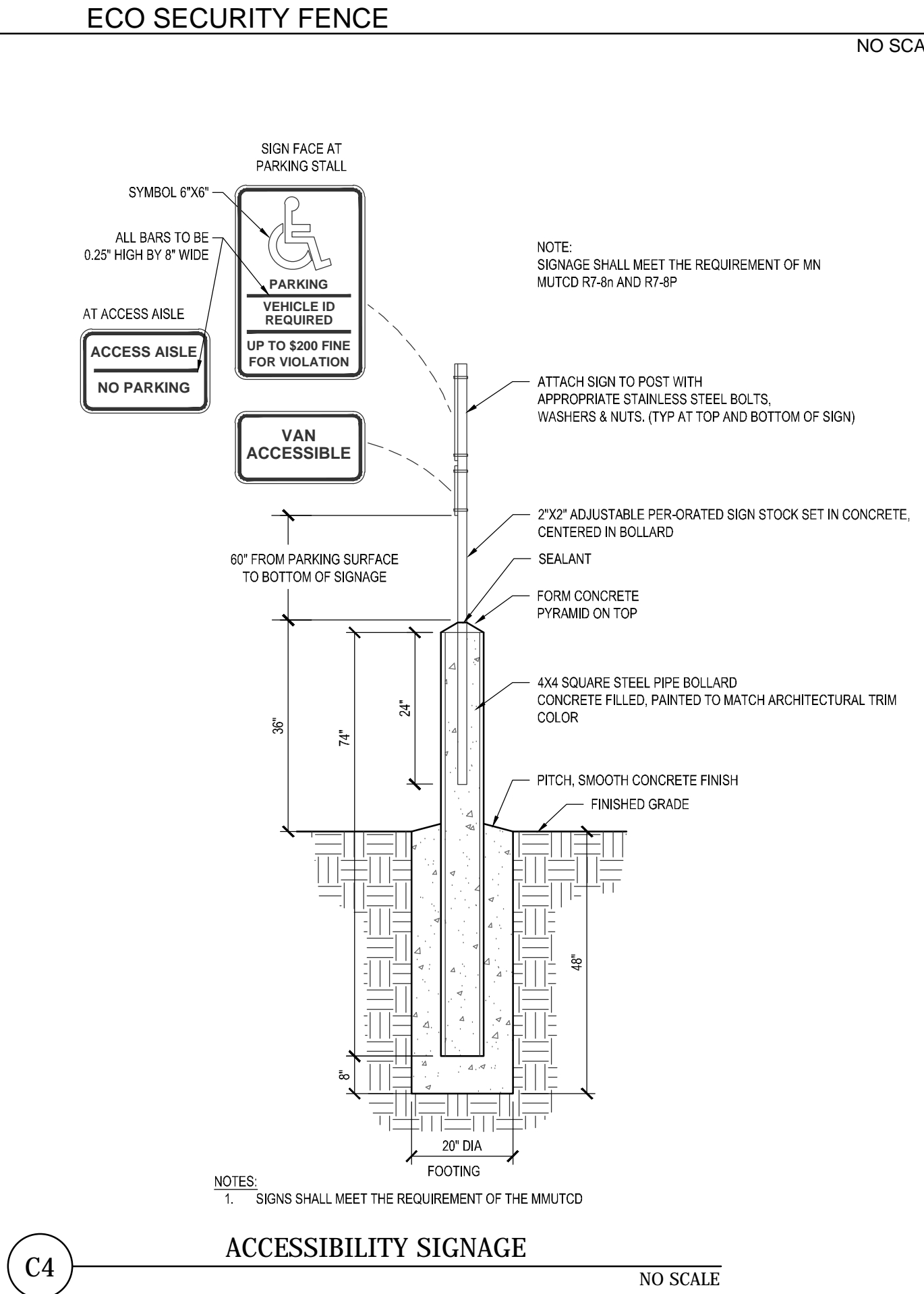
GABION RETAINING WALL

C1 NO SCALE



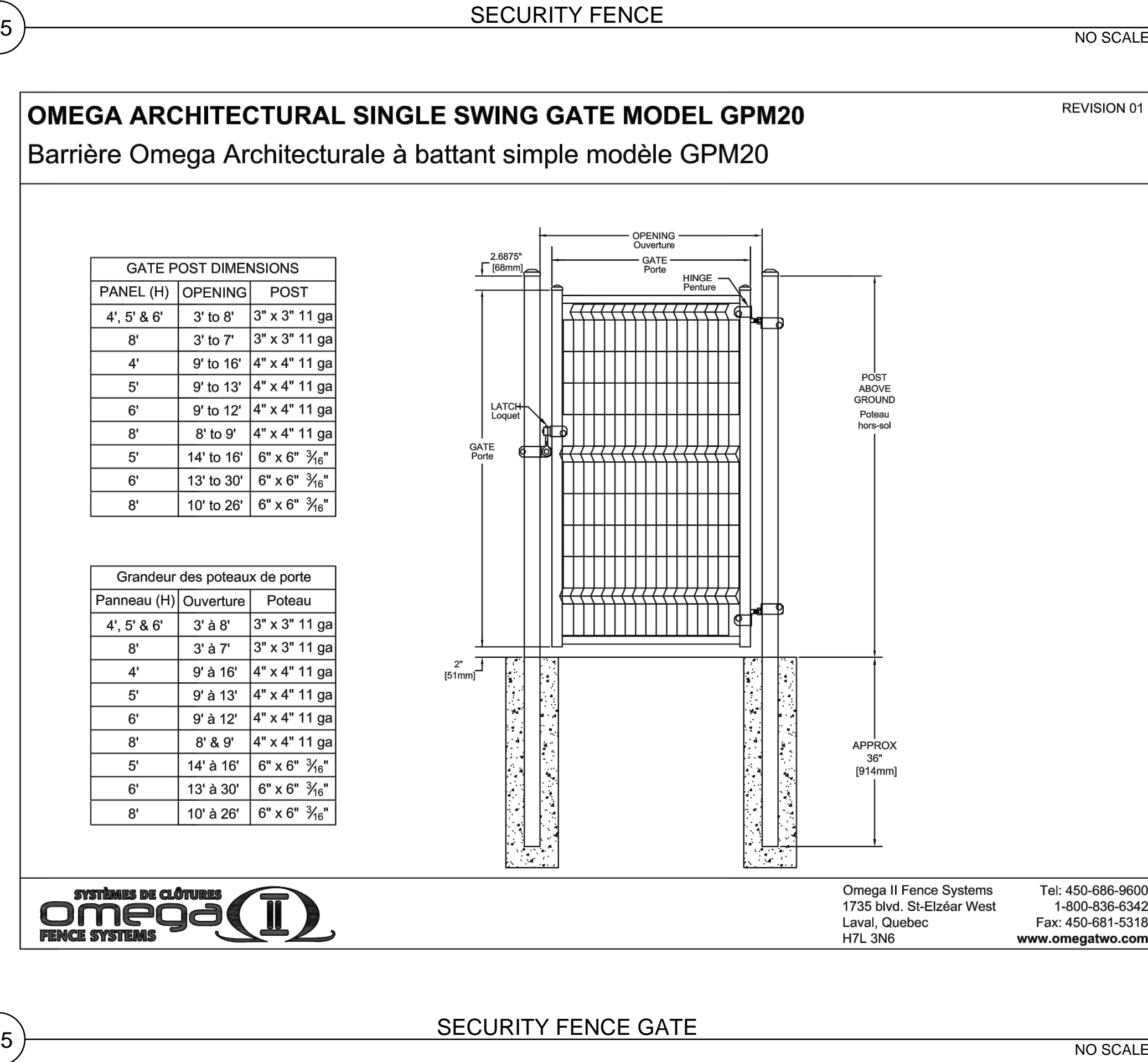
STOP SIGN

C3 NO SCALE



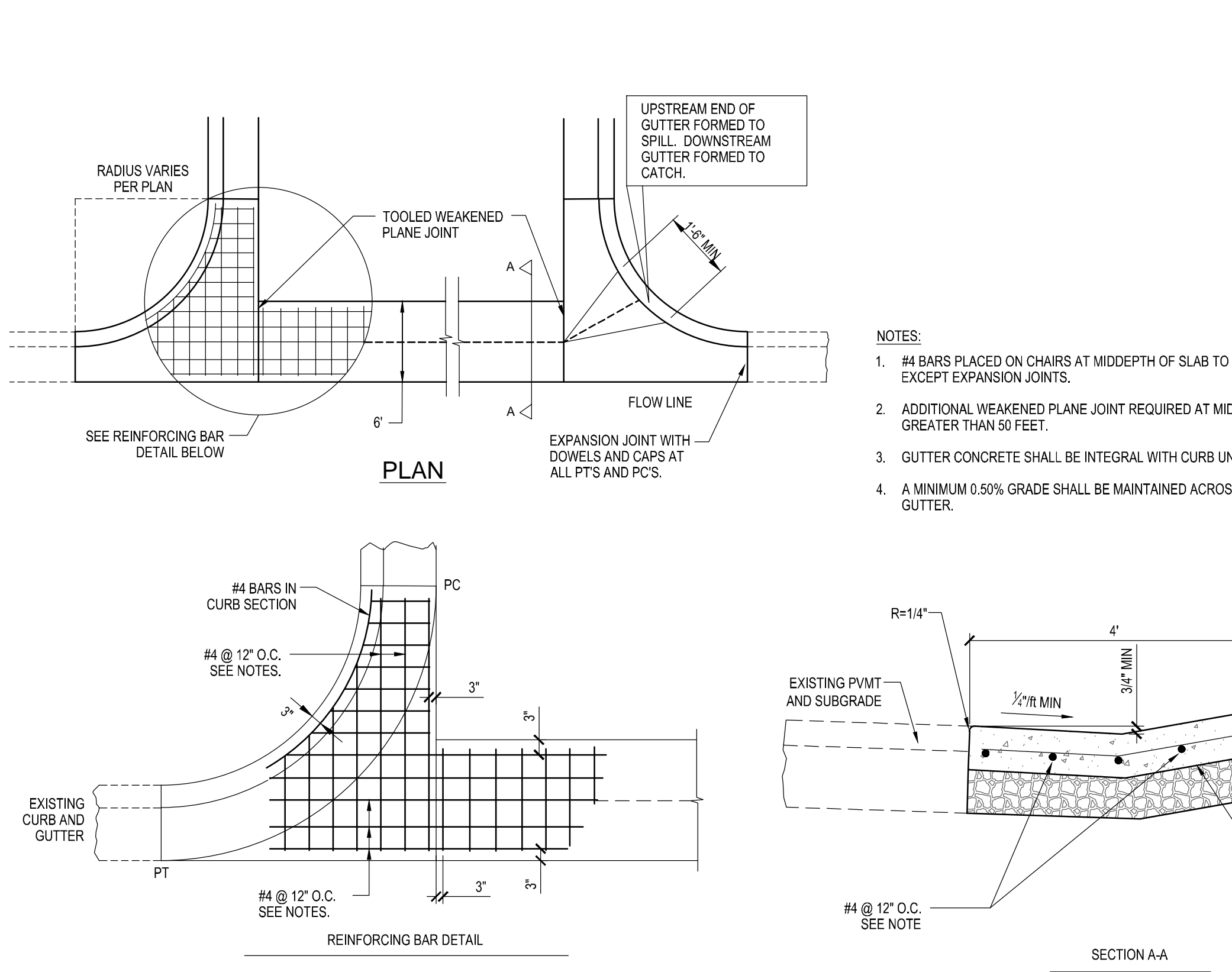
ACCESSIBILITY SIGNAGE

C4 NO SCALE



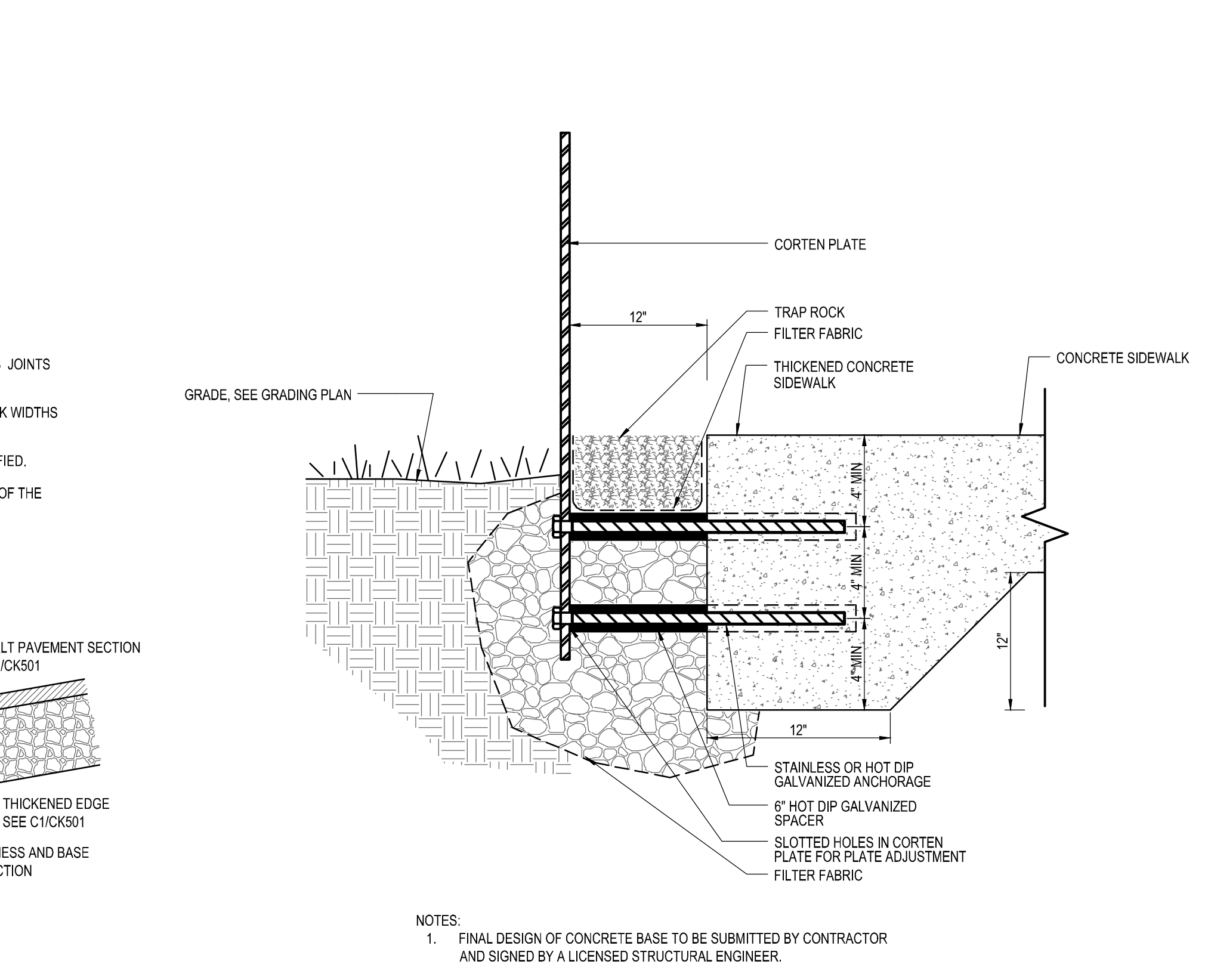
SECURITY FENCE GATE

C5 NO SCALE



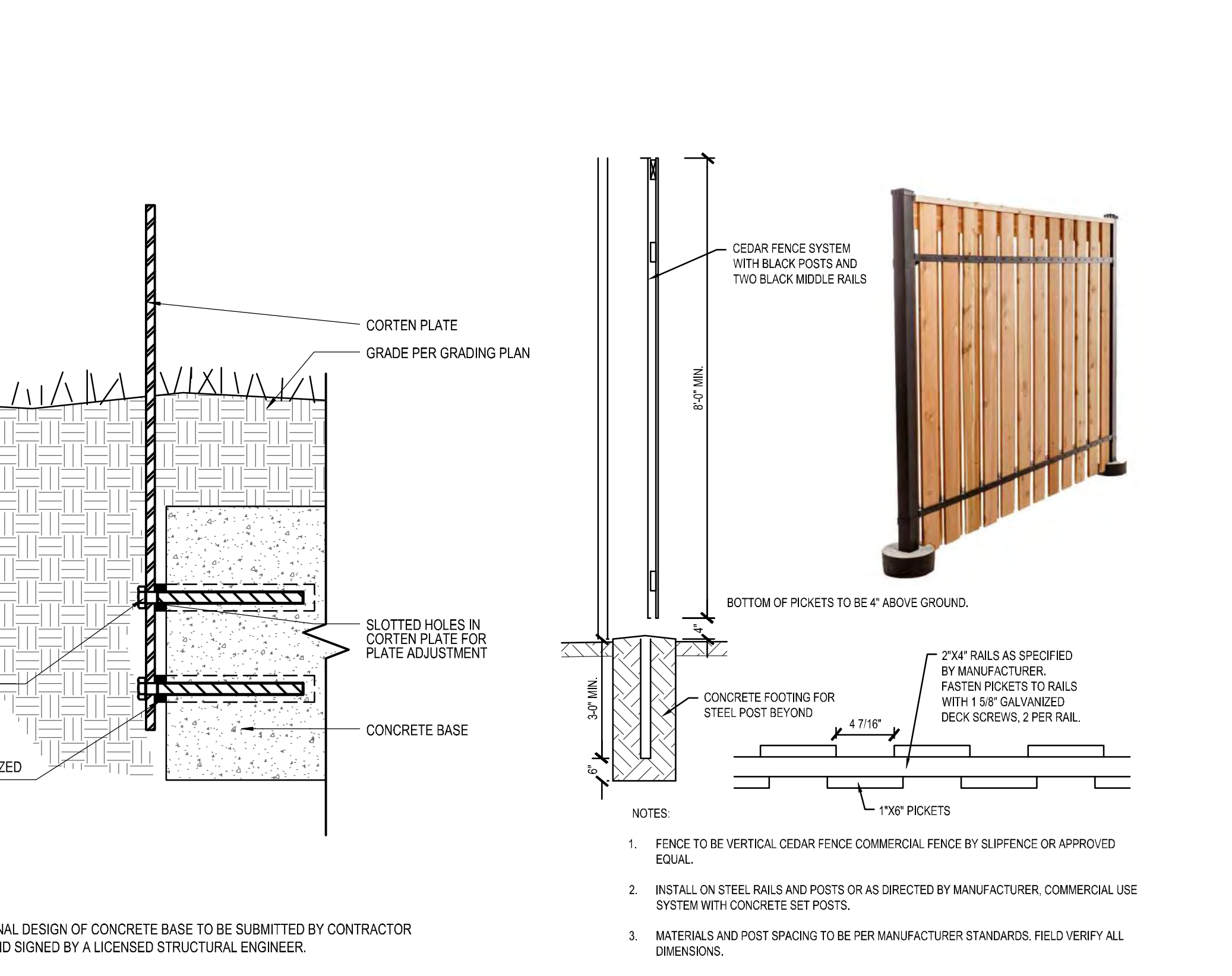
CONCRETE CROSS GUTTER

A1 NO SCALE



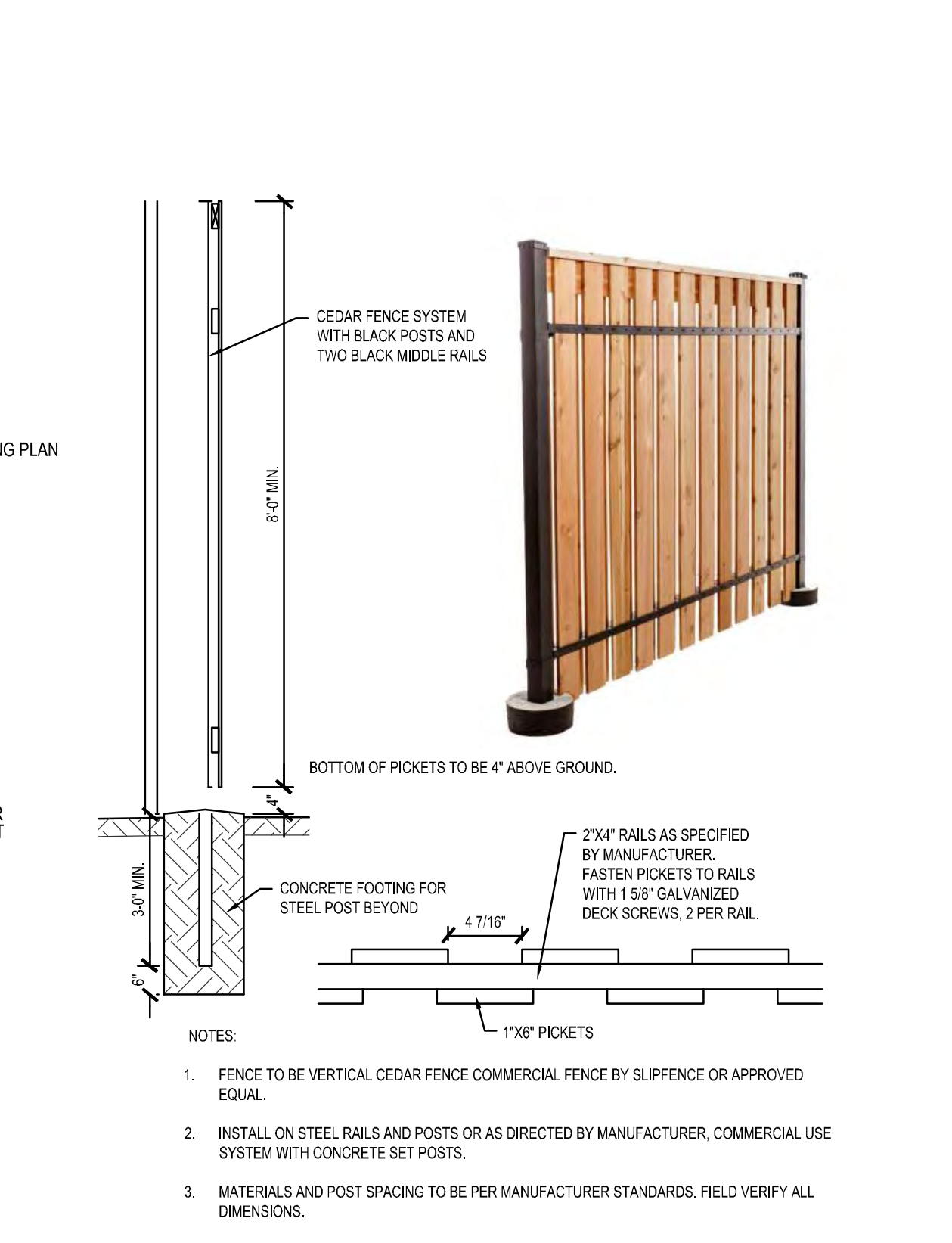
CORE-TEN PANEL AT SIDEWALK

A4 NO SCALE



CORE-TEN PANEL IN GREENSPACE

A5 NO SCALE



PRIVACY FENCE

A6 NO SCALE

NEW REGIONAL MEDICAL EXAMINER FACILITY  
MINNETONKA, MN

HENNEPIN COUNTY  
A 2208 GOVERNMENT CENTER  
300 SOUTH 6TH STREET  
MINNEAPOLIS, MN 55487  
COUNTY PROJECT NO. 1002306

LEO A DALY  
PLANNING ARCHITECTURE INTERIORS  
730 SECOND AVE SOUTH, SUITE 1300,  
MINNEAPOLIS, MN 55402-2455  
T: 612.338.8741

LABORATORY EQUIPMENT DESIGN  
MCCLOREN, WILSON & LAWRIE  
11798 N LAKE RIDGE PKWY,  
ASHLAND, VA 23005 T: 804-228-7473

ELAN DESIGN LAB  
800 NORTH THIRD STREET, SUITE 120,  
MINNEAPOLIS, MN 55401 T: 612-260-7980

LANDSCAPE ARCHITECTURE  
DAMON FARBER  
401 SECOND AVE NORTH, SUITE 410,  
MINNEAPOLIS, MN 55401 T: 612-332-7522

KEY PLAN

REVISIONS

NO	DESCRIPTION	DATE

FILE LOG

ACTIVITY	BY
Manager	10/16
Design	10/30
Draw	1/18
Check	1/30

NOT FOR CONSTRUCTION

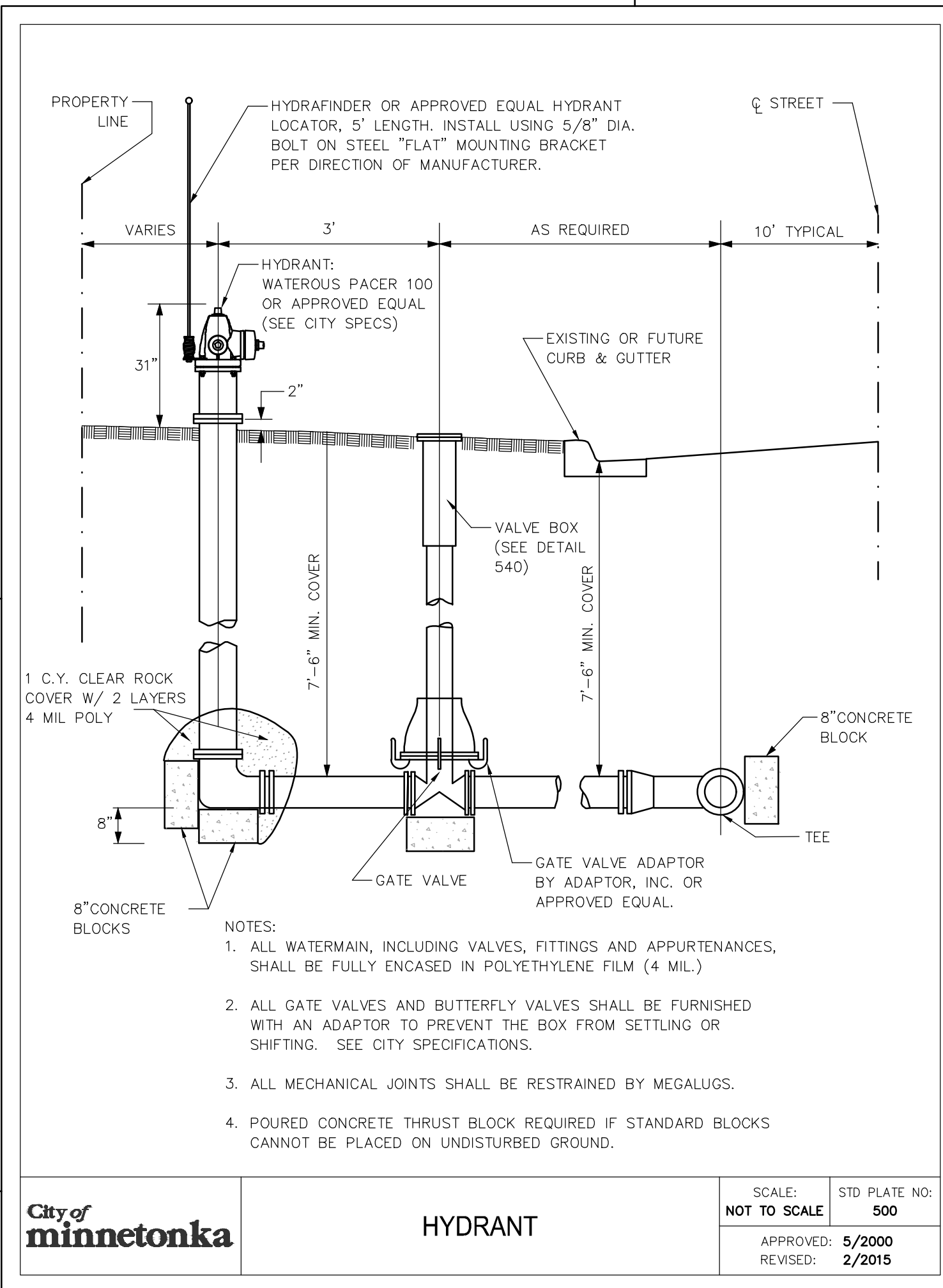
CITY SUBMITTAL

ELAN Project No. LAD18010  
08/15/2019

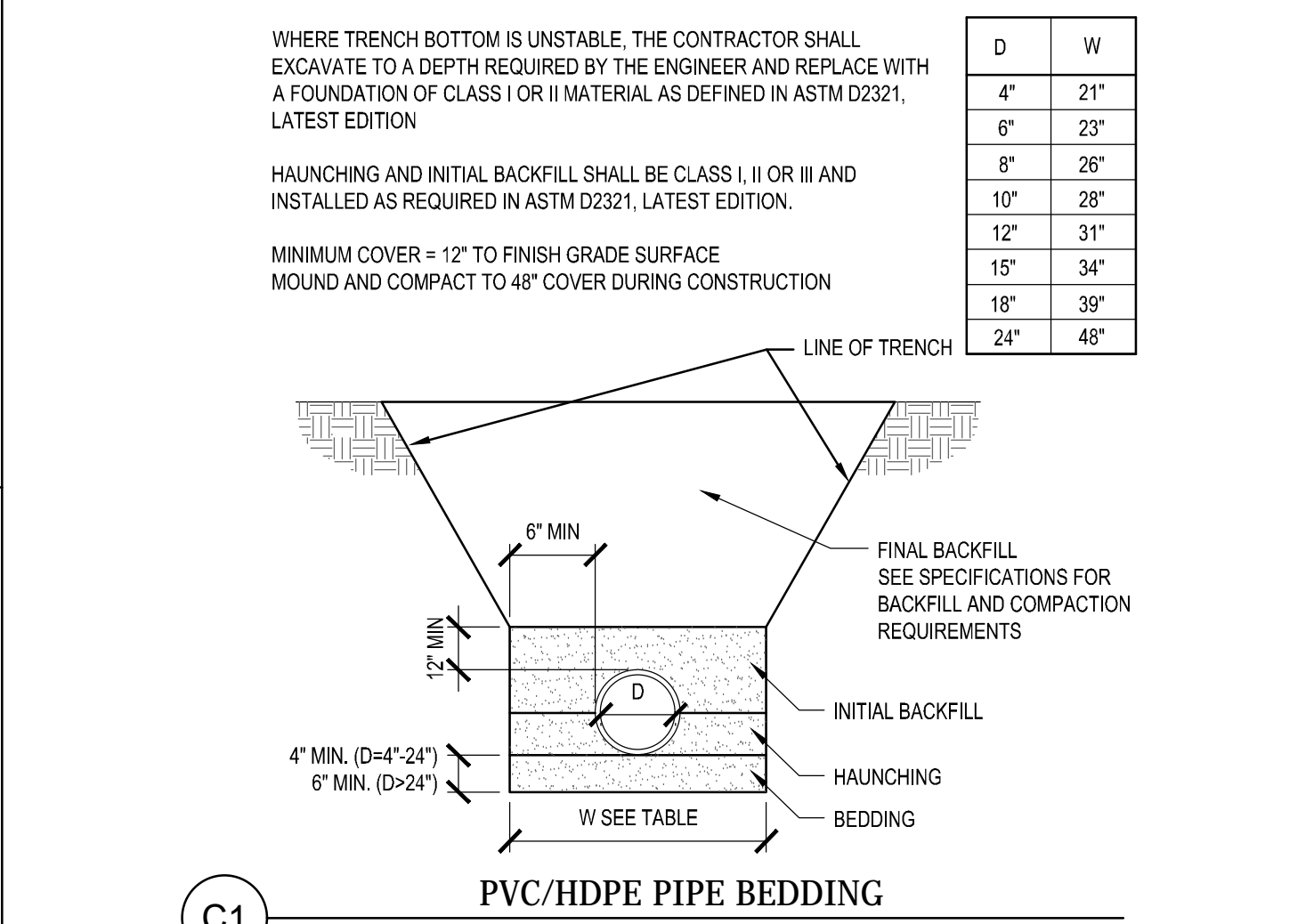
SITE DETAILS

CK502

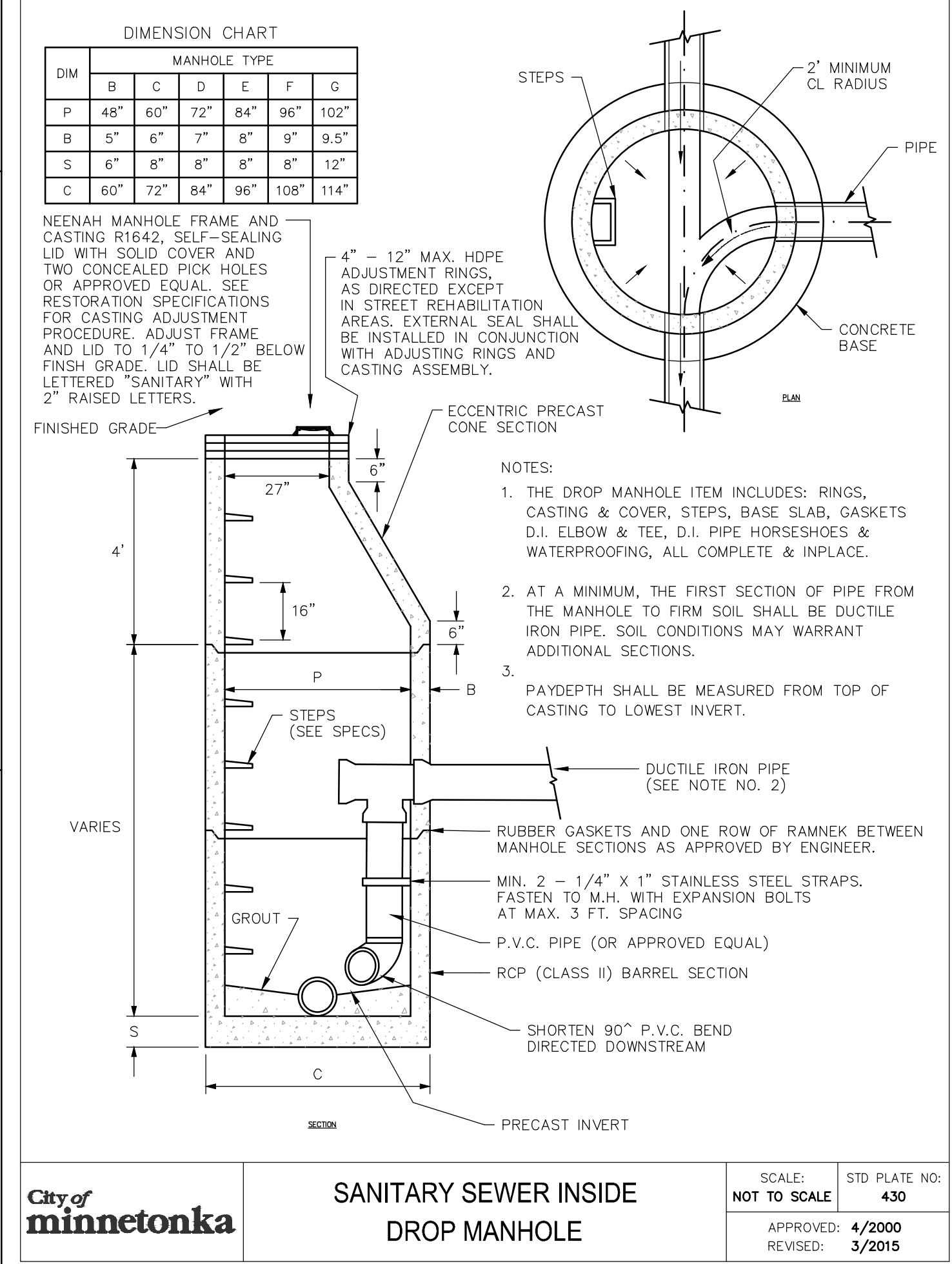




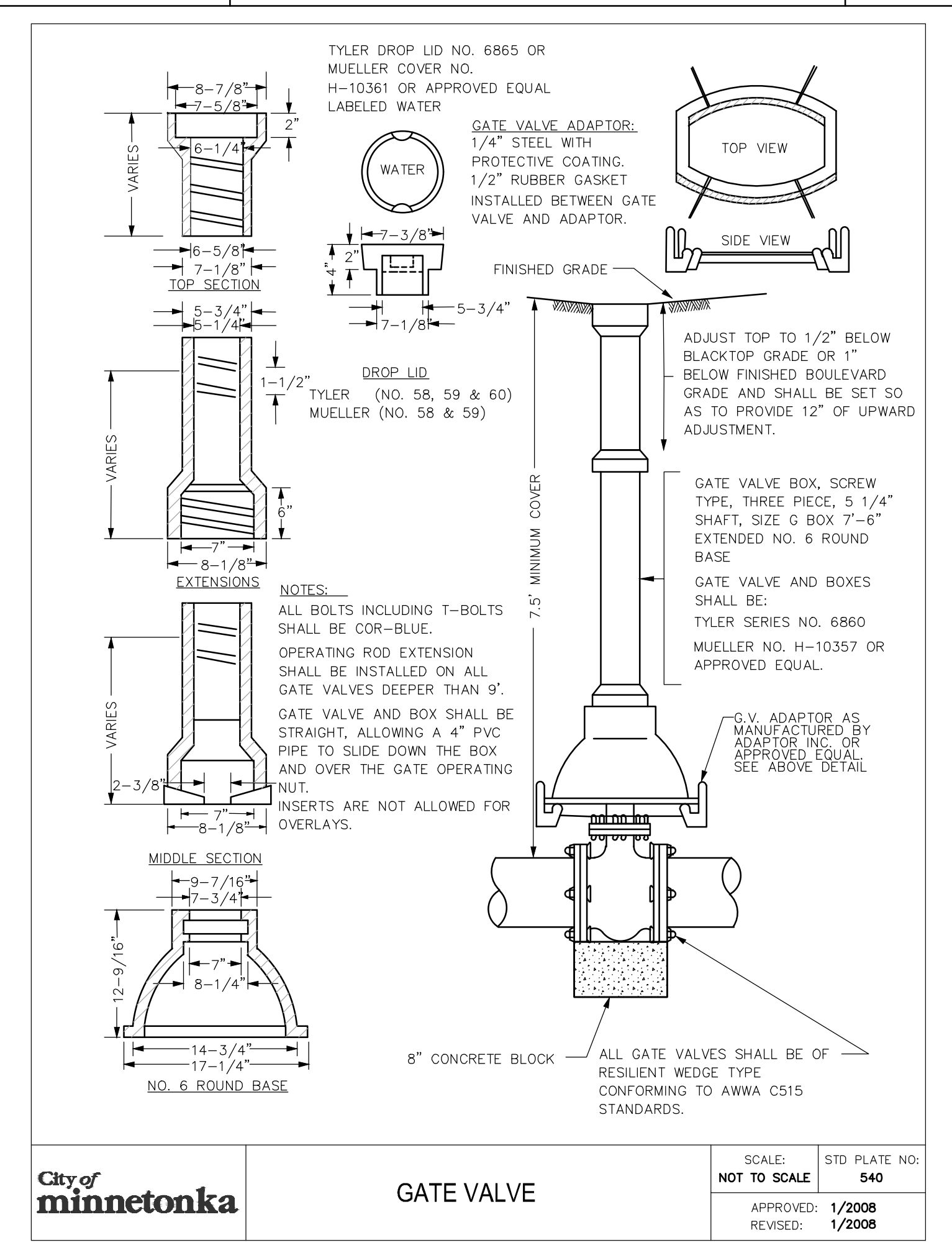
D1 HYDRANT NO SCALE



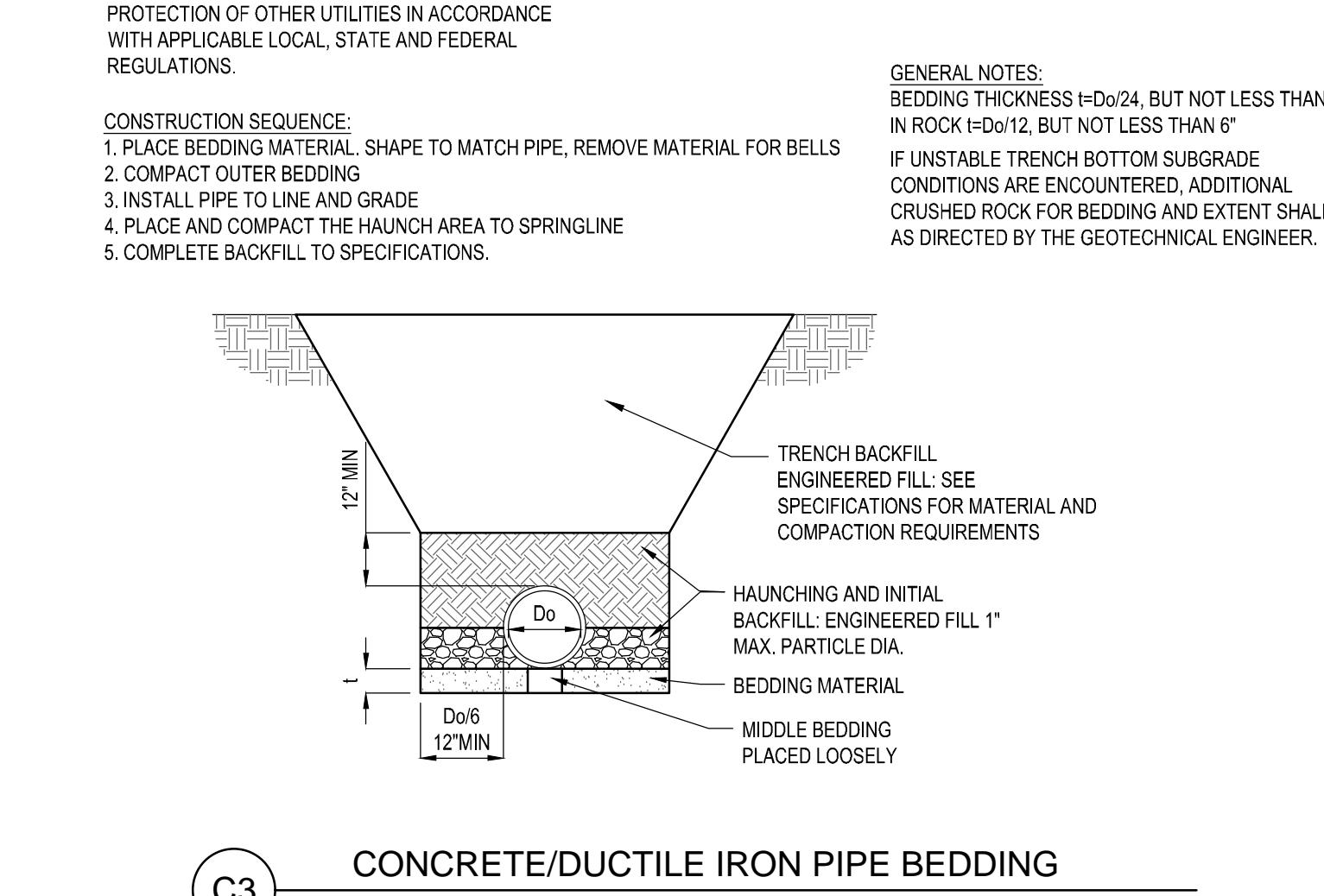
C1 PVC/HDPE PIPE BEDDING NO SCALE



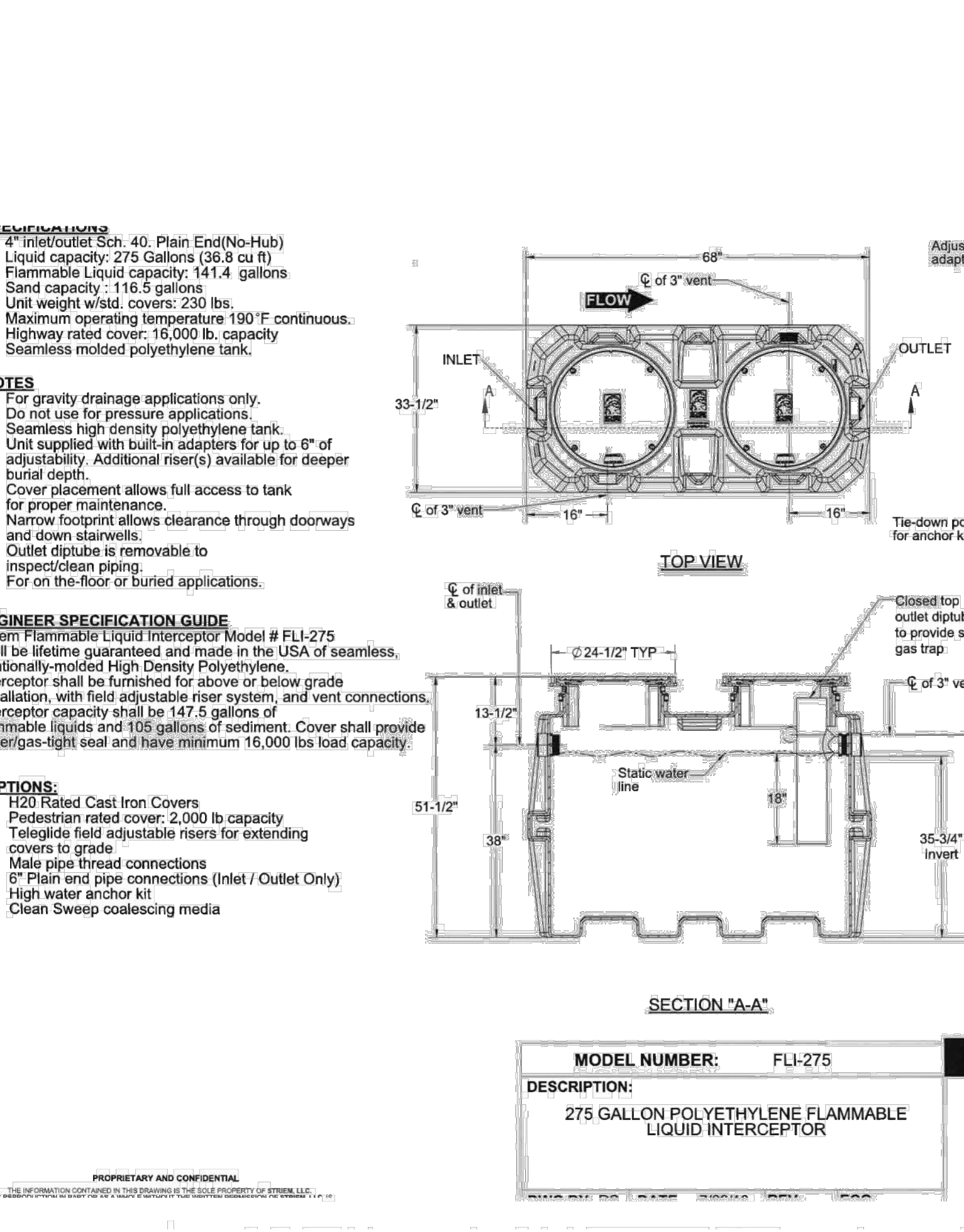
A1 SANITARY SEWER INSIDE DROP MANHOLE NO SCALE



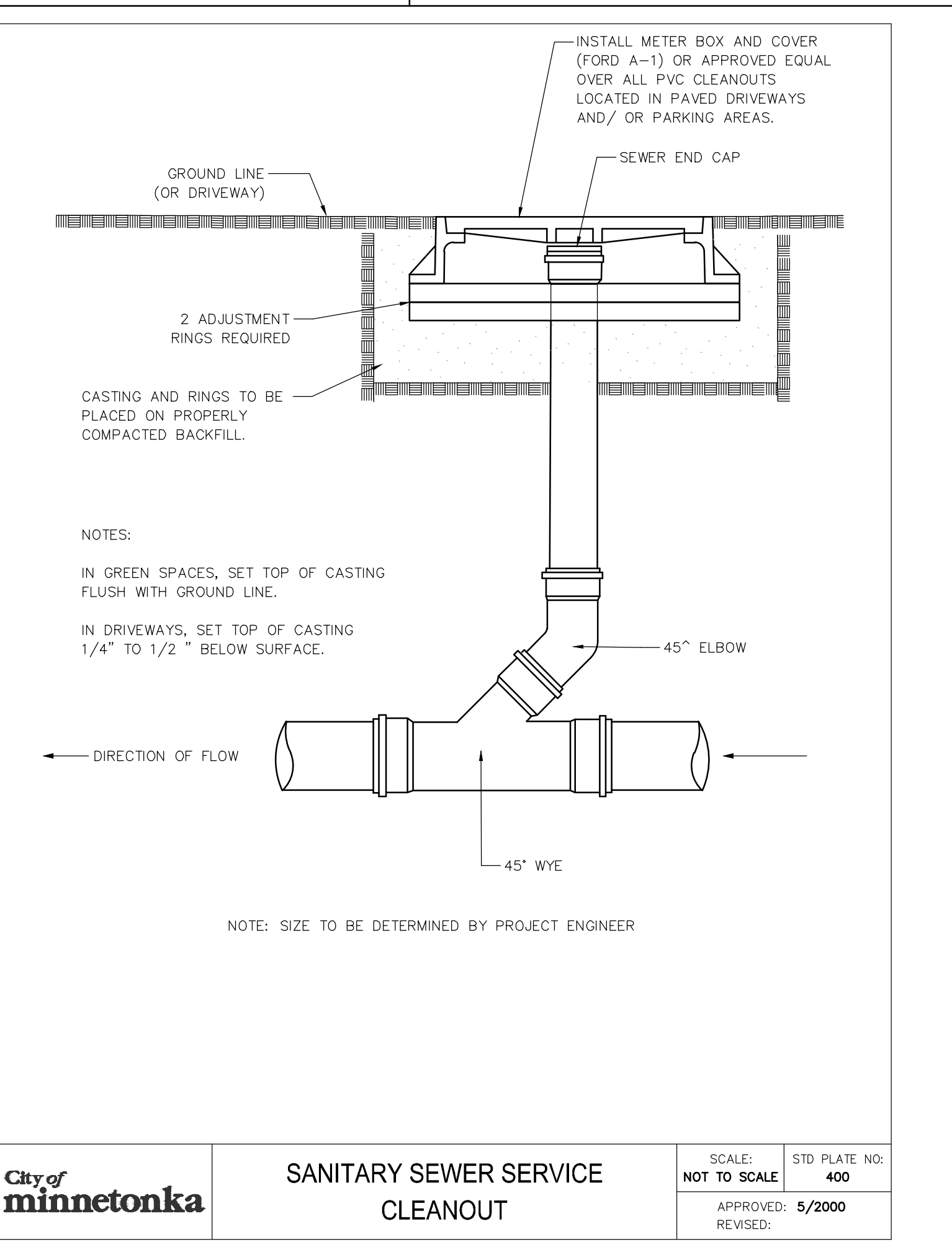
D3 GATE VALVE NO SCALE



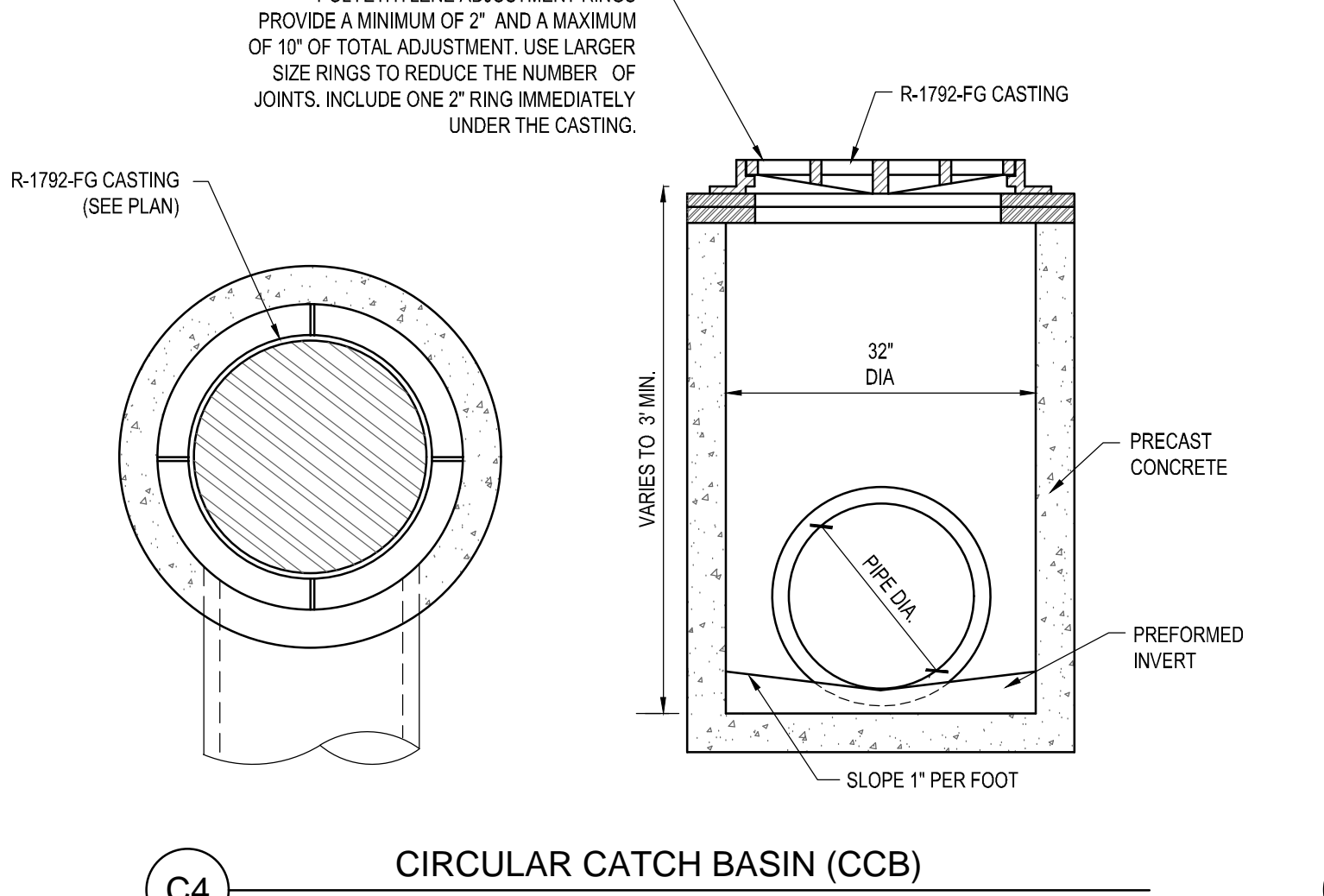
C3 CONCRETE/DUCTILE IRON PIPE BEDDING NO SCALE



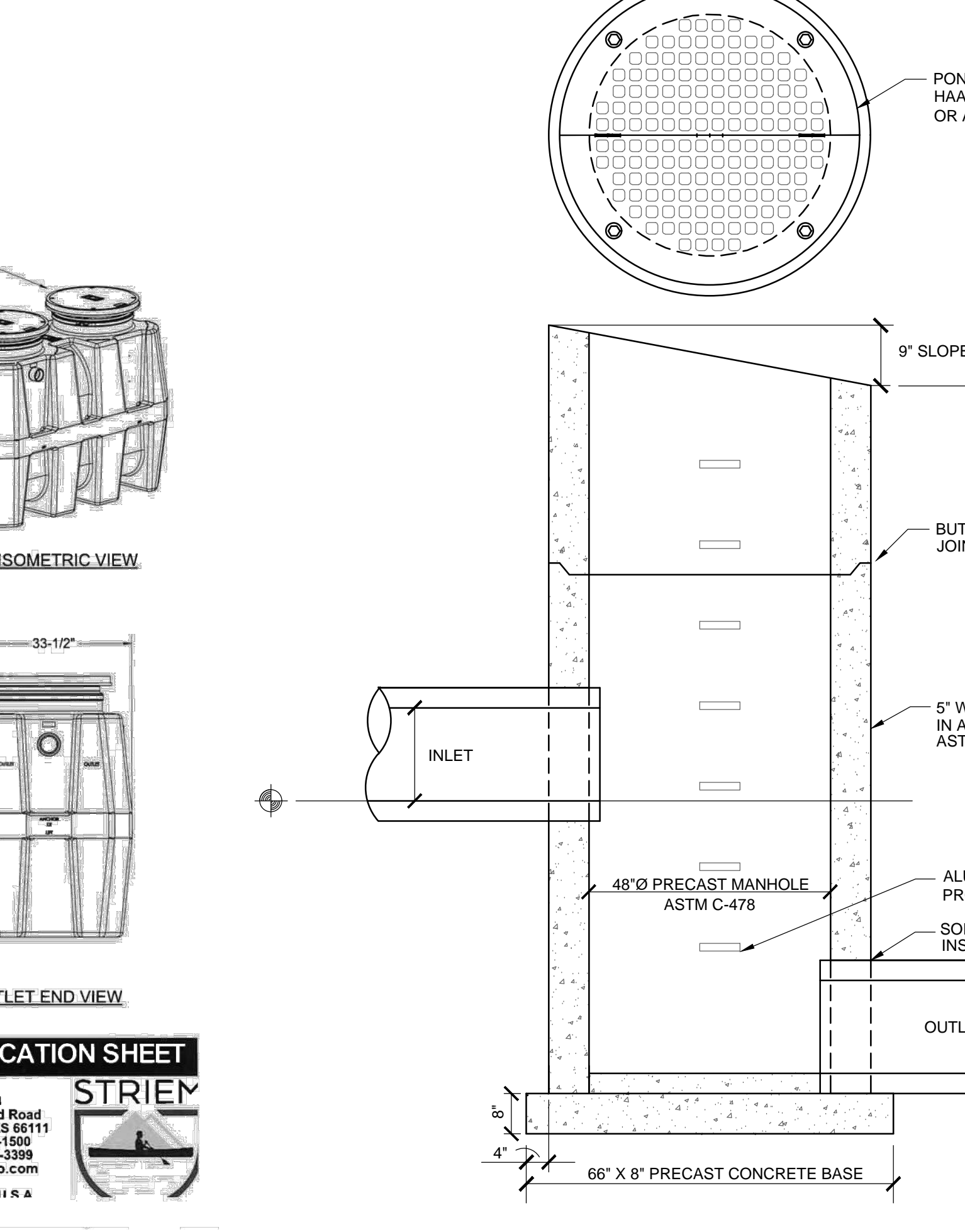
A3 SANITARY SEWER INTERCEPTOR NO SCALE



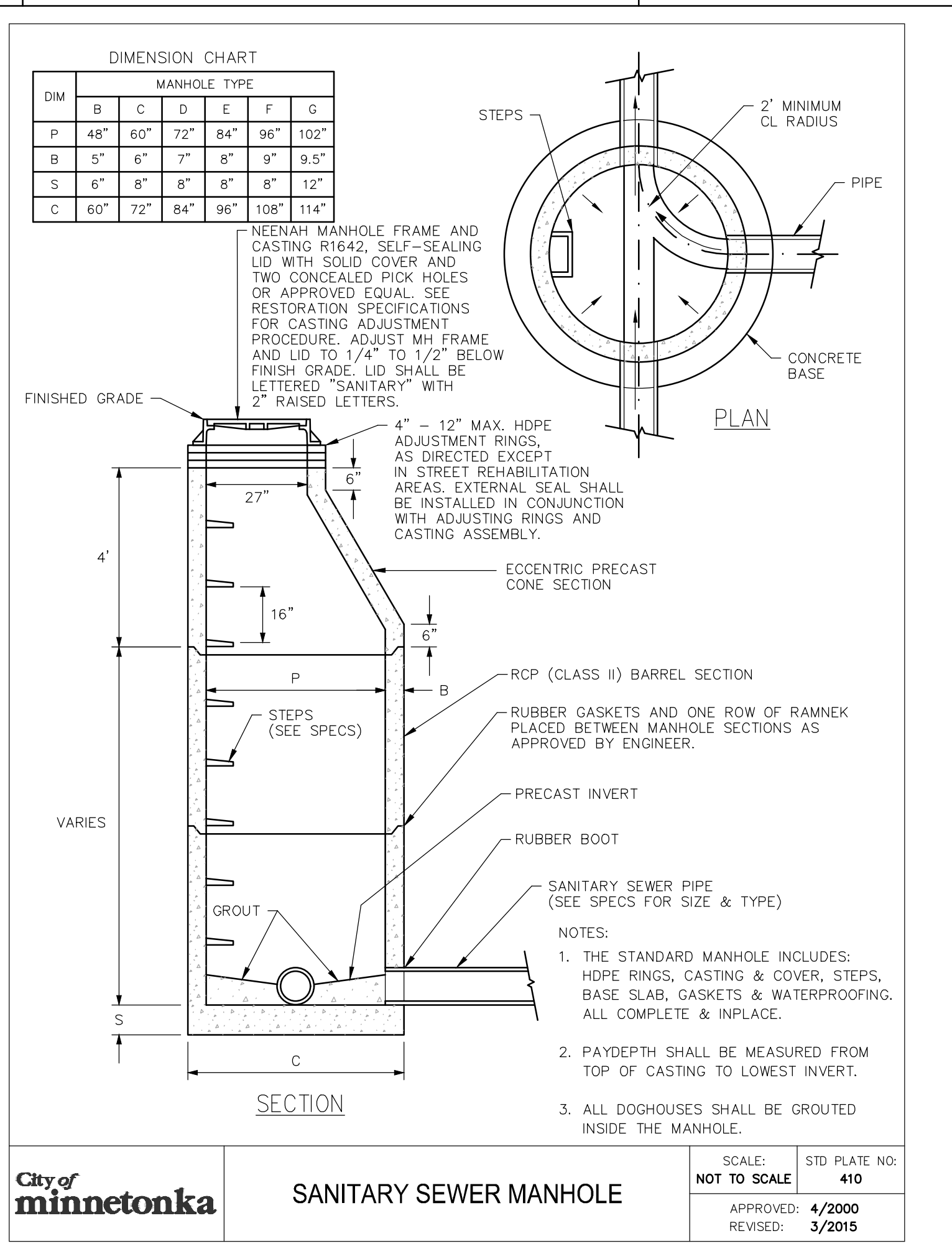
D4 SANITARY SEWER SERVICE CLEANOUT NO SCALE



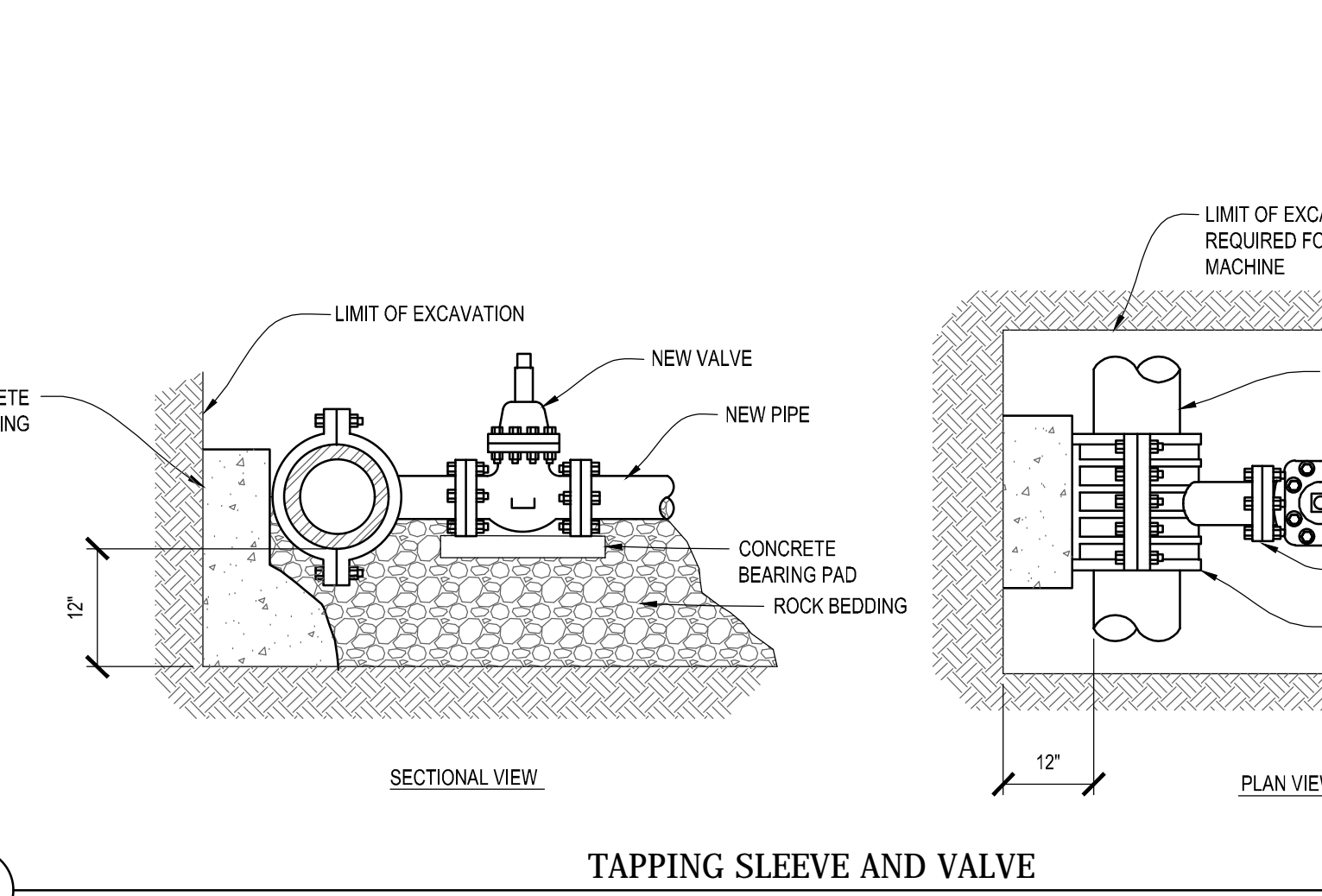
C4 CIRCULAR CATCH BASIN (CCB) NO SCALE



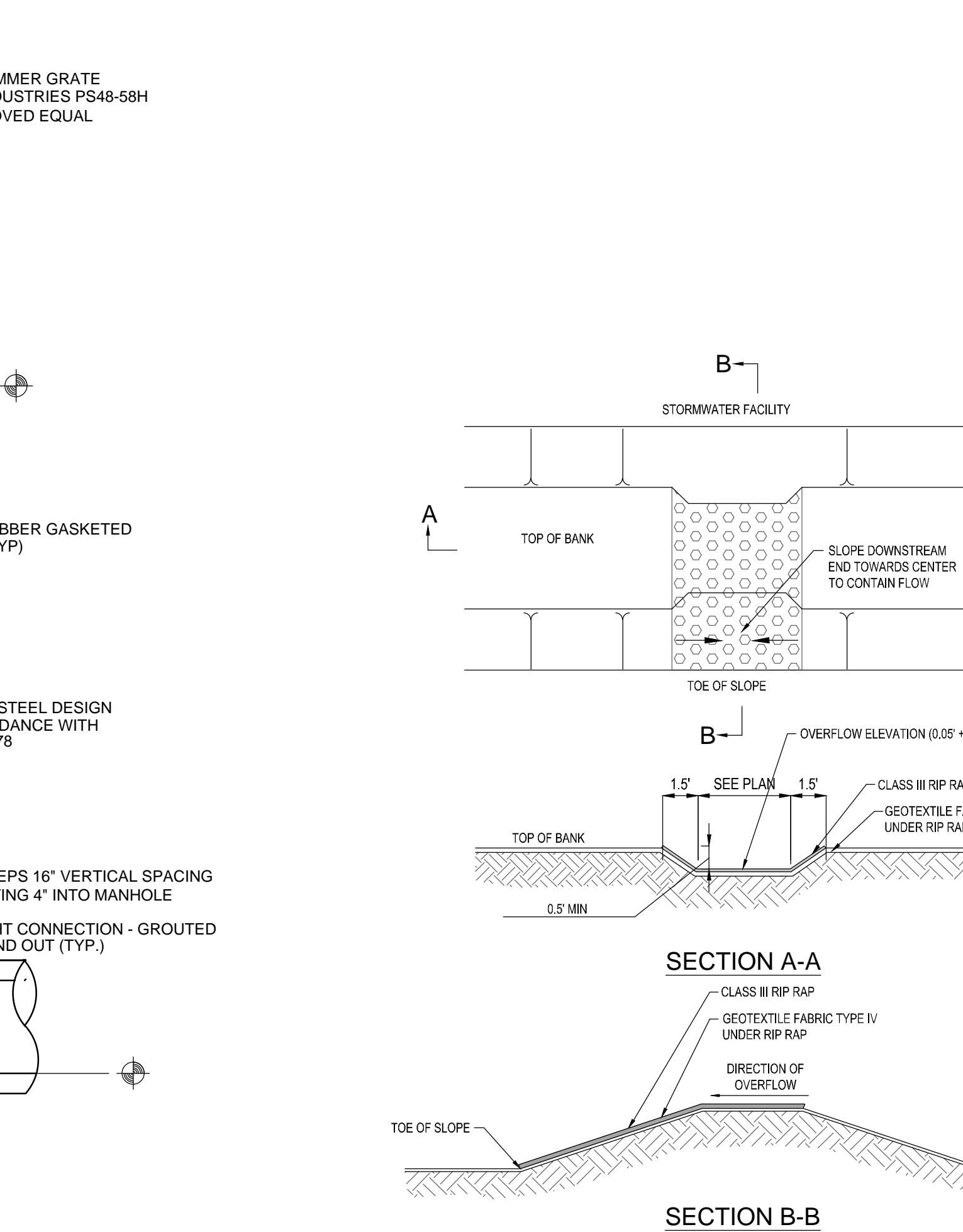
A5 OUTLET CONTROL STRUCTURE NO SCALE



D6 SANITARY SEWER MANHOLE NO SCALE



C5 TAPPING SLEEVE AND VALVE NO SCALE



A6 OVERFLOW WEIR NO SCALE

NEW REGIONAL MEDICAL EXAMINER FACILITY MINNETONKA, MN

Hennepin HENNEPIN COUNTY A 2208 GOVERNMENT CENTER 300 SOUTH 6TH STREET MINNEAPOLIS, MN 55487 COUNTY PROJECT NO. 1002306

LEO A DALY PLANNING ARCHITECTURE ENGINEERING 730 SECOND AVE SOUTH, SUITE 1300, MINNEAPOLIS, MN 55402-2455 T: 612.338.8741

LABORATORY EQUIPMENT DESIGN MCLAREN, WILSON & LAWRIE 11798 N LAKEVIEW PKWY, ASHLAND, VA 23005 T: 804-228-7473

ELAN DESIGN CIVIL ENGINEERING ELAN DESIGN LAB 800 NORTH THIRD STREET, SUITE 120, MINNEAPOLIS, MN 55401 T: 612-260-7980

DF/ LANDSCAPE ARCHITECTURE DAMON FARBER 401 SECOND AVE NORTH, SUITE 410, MINNEAPOLIS, MN 55401 T: 612-332-7522

TRUE NORTH CONSULTING GROUP TELECOMMUNICATIONS ENGINEERING TRUE NORTH CONSULTING 140 THIRD STREET SOUTH, STILLWATER, MN 55082 T: 651-705-1231

KEY PLAN table with columns for NO, DESCRIPTION, and DATE.

REVISIONS table with columns for NO, DESCRIPTION, and DATE.

FILE LOG table with columns for ACTIVITY and BY.

NOT FOR CONSTRUCTION

CITY SUBMITTAL

ELAN Project No. IAD18010 08/15/2019

UTILITY DETAILS

CK521

VERTICAL alignment text on the right edge of the page.

**Unapproved  
Minnetonka Planning Commission  
Minutes**

**Sept. 19, 2019**

**C. Items concerning the Hennepin County Medical Examiner's Office at 14300 Co. Rd. 62.**

Chair Kirk introduced the proposal and called for the staff report.

Gordon reported. He recommended approval of the application based on the findings and subject to the conditions listed in the staff report.

Tim Powers, project manager and architect, stated that:

- The new location and orientation of the building offers many advantages to the old site. He is happy with this alternative.
- The existing gate would be moved north.
- The current circulation would be utilized including the light on Hwy 62.
- The first right into the site would be for visitor parking.
- The traffic going east on the access road would be limited to Hennepin County Home School employees and deliveries to the home school and be designated as a fire lane.
- The existing access road would lead to staff parking. All of the parking areas would be secured with a six-foot-tall fence. There would be 21 visitor parking stalls.
- There is a 16-foot drop on the east side.
- Wetland buffer setback requirements would be met.

Jesse Symnykywica, landscape architect with Damon Farber, provided a presentation on landscape materials. He stated that:

- The fences and walls would appear as natural as possible. Wood would be used on the north side for a residential feel.
- The slope is being used as a natural barrier.
- He selected Minnesota-friendly trees including maple, birch, cottonwoods and white oak.
- The north side would have a lot of plants and trees including evergreens that would create a natural buffer.
- The vegetation would be sustainable. No irrigation would be needed.
- There would be more prairie grass and rain garden plantings than grass that would have to be mowed. The city hall campus has the same feel with sumac, dogwood and honeysuckle.
- A lot more trees would be preserved with this plan than the last one.

Luke asked how far it would be from the cottage to the back side of the building. Mr. Powers answered approximately 250 feet from the building to the south wall of the cottage. The south wall of the cottage would be significantly higher due to the

topography. Landscaping and topography would create a buffer and prevent the need for a fence in that area. The cottage is one story. The building footprint would be about 58,000 square feet.

In response to Henry's questions, Mr. Powers stated that:

- There would be two retention ponds on each side of the visitor parking area. Those would end up being filters that would feed into the retention pond on the southeast side which has enough capacity for the entire site.
- The plants would be drought tolerant, so no irrigation would be needed.
- Light would not extend onto the home school site.
- The county forester helped select trees that would be drought tolerant.

In response to Chair Kirk's questions, Mr. Powers described the floor plan and courtyard area.

Yetka explained the city's pollinator ordinance that requires 25 percent of plantings to be pollinator friendly. She did not foresee a problem with the landscape plan.

The public hearing was opened. No testimony was submitted and the hearing was closed.

Henry likes the relocation. It would be nice to keep the east side natural. He suggested reducing the carbon footprint of the building with a solar garden or other option.

Chair Kirk likes the new location. It fits well on the site.

Wischnack reviewed Hennepin County's commitment to reducing its carbon footprint on its website. Gordon noted that the county is committed to its buildings meeting B3 requirements which are a level higher than typical practices of sustainability and energy efficiency.

Sewall thought this would be a much better location for the building. It looks great. He supports staff's recommendation.

***Henry moved, second by Knight, to recommend that the city council adopt the ordinance and resolutions approving the medical examiner's office located at 14300 Co. Rd. 62.***

***Henry, Knight, Luke, Sewell, and Kirk voted yes. Hanson and Powers were absent. Motion carried.***

**Ordinance No. 2019-**

**An ordinance amending existing master development for the Hennepin County Home School property located at 14300 Co. Rd. 62**

---

The City Of Minnetonka Ordains:

Section 1.

- 1.01 Hennepin County is proposing a new medical examiner's office on the county home school property.
- 1.02 The site is located at 14300 Co. Rd. 62 and is legally described in Exhibit A.
- 1.03 The proposed medical examiner's office includes a two-story, 56,000-square-foot building and associated parking are located south of the existing CHS complex, on the site of four existing CHS cottages. The project will utilize the existing access road from County Road 62 and the existing north/south access road to enter visitor parking, secured staff parking, and the secured CHS facility. The building would include office, autopsy, and conference spaces. The county anticipates the facility would also serve as a teaching and training facility for students, university faculty, and practitioners. There would not be a crematorium in the building.
- 1.04 The property is zoned planned unit development.
- 1.05 Section 300.22 Subd. 9 requires a major amendment to the master development plan.

Section 2.

- 2.01 Section 300.22 Subd. 4 provides general standards for approval of a planned unit development. A planned unit development may be approved when the following general standards are met:
  1. The PUD results in at least one of the public benefits as outlined in section 2 of this ordinance;
  2. The PUD is consistent with and advances the community-wide goals of the comprehensive plan; and



3. The PUD is appropriately integrated into existing and proposed surrounding development. This does not mean the PUD reflects the specific standards of the surrounding area such as lot size, density, setbacks, or design. While integration may be achieved through such standards, it may also be achieved through the continuation of existing land use types, architectural transitions, landscape buffering, or other means.

2.02 This ordinance is based on the following findings:

1. The development continues the institutional nature, which serves the public interest.
2. The property has long been guided for institutional use in the comprehensive plan. Continued public use of the property advances community-wide goals.
3. The redevelopment of this area is appropriately integrated into the site through the use of existing roadways and utilities. The location provides a transition of use from Co. Rd. 62 through the site to other uses. Redevelopment at this location also prevents the disturbance of other undeveloped areas of the site.

Section 3.

3.01 This ordinance hereby amends a master development plan for the Hennepin County Home School.

3.02 Approval is subject to the following conditions:

1. Subject to staff approval, the site must be developed and maintained in substantial conformance with the following plans, except as modified by the conditions below:
  - Site plan, dated Aug. 15, 2019
  - Grading plan, dated Aug. 15, 2019
  - Sediment and Erosion Control Plan, dated Aug. 15, 2019
  - Utility plan, dated Aug. 15, 2019
  - Exterior Elevations, dated July 26, 2019
2. Construction must further comply with all conditions outlined in City Council Resolution No. 2019-xx.

Section 4. A violation of this ordinance is subject to the penalties and provisions of Chapter XIII of the city code.

Section 5. This ordinance is effective immediately.

Adopted by the city council of the City of Minnetonka, Minnesota, on Oct. 7, 2019.

---

Brad Wiersum, Mayor

Attest:

---

Becky Koosman, City Clerk

**Action on this ordinance:**

Date of introduction: Sept. 16, 2019

Date of adoption:

Motion for adoption:

Seconded by:

Voted in favor of:

Voted against:

Abstained:

Absent:

Ordinance adopted.

Date of publication:

I certify that the foregoing is a true and correct copy of an ordinance adopted by the city council of the City of Minnetonka, Minnesota at a regular meeting held on Oct. 7, 2019.

---

Becky Koosman, City Clerk

## EXHIBIT A

## PARCEL A:

Lot one ( 1) Block three (3) Beautiful Avondale, according to the plat thereof on file and of record in the office of the Register of Deeds within and for the County of Hennepin in the State of Minnesota.

## PARCEL B:

Lots two (2) and three (3) in Block three (3) Beautiful Avondale according to the plat thereof on file and of record in the office of the Register of Deeds within and for the County of Hennepin in the State of Minnesota.

## PARCEL C:

Lots Four, (4), Five (5), Six (6), Seven (7), Eight (8), and Nine (9), Block Three (3), "Beautiful Avondale", Hennepin County, Minnesota, according to the duly recorded plat thereof on file and of record in the office of the Register of Deeds in and for said County.

## PARCEL D:

Commencing on the East line of SW 1 /4 of NW 1 /4 at a point 76.8 ft. South from the S.E. corner of Glen Lake Heights, thence South to the SE corner of SW 1/4 of NW 1/4, thence West 330 ft., thence North 200 ft., thence West 581 ft., thence Easterly to the point of beginning, Section 34, Township 117, Range 22, Village of Minnetonka.

## PARCEL E:

A tract of Land in the South West Quarter - SW 1 /4 - of the North West Quarter NW 1 /4 of Section Thirty-four - 34 - Township One hundred Seventeen - 117 N. Range Twenty-two - 22 - W - described as follows beginning at a point 409 feet East of the West Quarter post of said section 34. Thence East 581 feet more or less to the East line of the W 3/4 - Three Quarters of the South West Quarter of the North West Quarter - SW 1 /4 of NW 1 /4 - Thence north along the last described line the distance of 200 feet. thence West parallel with the South line 81 feet Thence South 200 feet to point of beginning containing 2 2/10 Two and /10 Acres more or less.

## PARCEL F:

All that part of the East one-half (E. 1/2) of the Southwest quarter, (S.W. 1/4) of Section Thirty-four (34), Township One Hundred Seventeen (117), North of Range Twenty-two (22) West, of the 5th Principal Meridian, lying North of the Northerly right of way line of the old Chicago, Milwaukee and St. Paul Railroad and the new Chicago, Milwaukee and St. Paul Railroad, as located and established through the said East Half (E. 1/2) of the Southwest Quarter (SW 1 /4) of Section Thirty-four (34), Township One Hundred Seventeen (117), North of Range Twenty-two (22) West of the 5th Principal Meridian, containing 60.66 acres more or less according to the Government survey, thereof.

**PARCEL G:**

The West Half of the South West Quarter - W.  $\frac{1}{2}$  of the S.W.  $\frac{1}{4}$  of Section 34 - Thirty-four - Township 117 - One hundred Seventeen Range 22 - Twenty-two. Also a right of way one Rod wide across and along the North line of the N.E.  $\frac{1}{4}$  of the S. E.  $\frac{1}{4}$  - North East Quarter of the South East Quarter of Section 33 Thirty-three Township 117 One hundred Seventeen Range 22 - Twenty-two Hennepin County Minnesota, to the Eden Prairie Road. Containing 80 acres more or less according to the United States Government Survey thereof.

**PARCEL H:**

A tract of land in Section 33 Township 117 Range 22 W. described as follows: Beginning at the East line of said Section One Rod South of the East Quarter post. Thence West parallel with the East and West center line of said Section 33 a distance of approximately 631 feet to the center line of Eden Prairie Road. Thence Southwesterly along the Center of said Road making an angle to the left of 69 Degrees 38 minutes from the last described line a distance of 194  $\frac{3}{10}$  feet. Thence continuing Southwesterly along the center line of said Road making an angle of 3 degrees and 7 minutes to the right from the last described line a distance of 433  $\frac{2}{10}$  feet. Thence East parallel with the said East and West center line of said Section 33 a distance of 871  $\frac{1}{10}$  feet more or less to the East line of said Section 33. Thence North along the East line of said Section 33 a distance of 579  $\frac{55}{100}$  feet to the point of beginning. Also all that part of the North One Rod in width of the North East Quarter of the South East Quarter of said Section 33, Township 117 - Range 22 - W. lying East of the said Eden Prairie Road above mentioned and described containing Ten Acres more or less according to the United States Government Survey thereof.

**PARCEL I:**

That part of the Northeast Quarter (NE  $\frac{1}{4}$ ) of the Southeast Quarter (SE  $\frac{1}{4}$ ) of Section Thirty-three (33), Township One Hundred Seventeen (117) North, Range Twenty-two (22) West of the Fifth Principal Meridian, described as follows, to wit: Commencing on the East line of said Section Thirty-three (33) 596.5 feet South of the Northeast corner of the Northeast Quarter (NE  $\frac{1}{4}$ ) of the Southeast Quarter (SE  $\frac{1}{4}$ ), which point is the Southeast corner of a ten acre tract of land deeded to the County of Hennepin by that certain deed recorded in Book 647 of Deeds on page 435; thence South on the East line of said Section Thirty-three (33) distance of 218.4 feet; thence West parallel with the South line of said a deeded to Hennepin County hereinbefore referred to a distance of 1083.76 land feet to the center line of the Eden Prairie Road; thence Northeasterly along the center line of said Eden Prairie Road 265.46 feet to the Southeast corner of said tract to deeded to Hennepin County; thence East 915.4 feet more or less to the place of beginning containing five acres more or less.

**PARCEL J:**

That part of the northeast quarter -  $\frac{1}{4}$  of the Southeast quarter -  $\frac{1}{4}$  - of Section 33, Township 117, North Range 22, West of the fifth principal meridian described as follows: Beginning at a point on the East line of said section 33, eight hundred fourteen and forty-five one-hundredths feet - 814.45 - South of the East quarter -  $\frac{1}{4}$  - post of said section; thence West Ten Hundred eighty-three

and seventy-six one-hundredths feet - 1083.76 - to the center line of Eden Prairie road; thence Southwesterly along center line of said road a distance of four hundred and eighteen one-hundredths feet - 445.18 -, to its intersection with the West forty-five line of the Northeast quarter - 1/4 - of the Southeast quarter - 1/4 - of said section, thence South on the West line of the Northeast quarter - 1/4 - of the Southeast quarter - 1/4 - a distance of seventy-four and seventy-five one hundredths feet - 74.75 more or less to the Southwest corner thereof; thence East thirteen hundred eight and five tenths feet - 1308.5 - to the Southeast corner of said Northeast quarter - 1/4 - of the Southeast quarter - 1/4 - of said Section; thence North four hundred thirty three and fifty-four one-hundredths feet - 433.54 - to beginning.

PARCEL K:

The East five-eighths (5/8) of the Southeast quarter (SE 1/4) of the Southeast quarter (SE 1/4) of Section thirty-three (33), Township one hundred and Southeast seventeen (117), Range twenty-two (22), subject to an easement for the purpose of a public roadway now laid out and established along the South line of said tract; said tract containing twenty-five (25) acres of land be the same more or less according to tract the government survey thereof.

Also conveying herein and hereby an easement for the free use for roadway purposes of a certain cart-way now laid out and established along the roadway North line of the West three-eighths of said Southeast quarter (SE 1/4) of Southeast quarter (SE 1/4) of the said Section, which cart-way is reserved and defined in a certain deed bearing date August 5, 1912, conveying said last above described land executed by Louise B. Sheehan and husband to Nels Weberg, and recorded in the office of the Register of Deeds for said Hennepin County August 7, 1912, in Book 738 of Deeds on page 140.

PARCEL L:

The Westerly three-eighths (3/8) of the Southeast Quarter (SE 1/4) of the Southeast Quarter (SE 1/4) of Section Thirty-three (33), Township One Hundred Seventeen (117), Range Twenty-two (22): Excepting and reserving there from a roadway which at present exists entering said tract on the west line about Twenty (20) rods, more or less, north of the Southwest corner of said tract and running thence in a southeasterly direction across said tract; and

Also excepting from said tract and reserving a cartway running along the north line of said tract; Said tract containing fifteen (15) acres, more or less, according to the Government Survey thereof.

PARCEL M:

All that part of the South West Quarter (SW 1/4) of the South East Quarter (SE 1/4) of Section Thirty-three (33) Township One Hundred Seventeen (117) Range Twenty Two (22) lying Southeasterly (SE) of the Eden Prairie Road and Northerly of the Public Road running Southeasterly from said Eden Prairie Road, toward and along the South line of said Section, being one and seven eighths (1 7/8) of

an acre more or less.

PARCEL S:

Lots 13 to 20 inclusive, Block 2, Beautiful Avondale, Hennepin County, Minnesota,  
VILLAGE OF MINNETONKA.

PARCEL T:

Outlet A, Glen-Moor, according to the plat thereof on file or of record in the office  
of the Registrar of Titles in and for said County.

## Resolution No. 2019-

### **Resolution approving a conditional use permit and site and building plan review for a new medical examiner's office located on the Hennepin County Home School property located at 14300 Co. Rd. 62**

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Be it resolved by the City Council of the City of Minnetonka, Minnesota, as follows:

Section 1. Background.

- 1.01 Hennepin County is proposing a new medical examiner's office on the county home school property.
- 1.02 The site is located at 14300 Co. Rd. 62 and is legally described in Exhibit A.
- 1.03 The proposed medical examiner's office includes a two-story, 56,000-square-foot building and associated parking are located south of the existing CHS complex, on the site of four existing CHS cottages. The project will utilize the existing access road from County Road 62 and the existing north/south access road to enter visitor parking, secured staff parking, and the secured CHS facility. The building would include office, autopsy, and conference spaces. The county anticipates the facility would also serve as a teaching and training facility for students, university faculty, and practitioners. There would not be a crematorium in the building.
- 1.04 The property is zoned planned unit development and guided institutional in the comprehensive plan.
- 1.05 On Sept. 19, 2019, the planning commission held a hearing on the proposal. The applicant was provided the opportunity to present information to the commission. The commission considered all of the comments received and the staff report, which are incorporated by reference into this resolution. The commission recommended that the city council approve the project.

Section 2. Standards and Findings.

- 2.01 City Code §300.16 Subd. 2 outlines the general standards that must be met for granting a conditional use permit.
  - 1. the use is consistent with the intent of this ordinance;

Finding: the expansion of the existing public use of the property is consistent with the zoning as planned unit development.

2. The proposed use is consistent with the goals, policies, and objectives of the comprehensive plan.

Finding: the proposed use is consistent with the institutional guidance of the property in the comprehensive plan.

3. The use does not have an undue adverse impact on governmental facilities, utilities, services, or existing or proposed improvements; and

Finding: The proposed use would further the delivery and efficiency of governmental essential public services.

4. The use does not have an undue adverse impact on the public health, safety, or welfare.

Finding: The proposed use would benefit public health, safety, and welfare conditions.

2.02 City Code §300.27 Subd. 5 outlines the following site and building plan standards the planning commission and city council shall consider:

1. consistency with the elements and objectives of the city's development guides, including the comprehensive plan and water resources management plan;

Finding: The proposal is consistent with the guided use of the property as institutional. The proposed stormwater management plan meets the city's standards.

2. consistency with this ordinance;

Finding: The proposal meets all zoning code standards.

3. preservation of the site in its natural state to the extent practicable by minimizing tree and soil removal and designing grade changes to be in keeping with the general appearance of neighboring developed or developing areas;

Finding: The proposed development plan utilizes land already under use on site. The redevelopment of this area is appropriately integrated into the site through the use of existing roadways and utilities. The location provides a transition of use from Co. Rd. 62 through the site to other uses. Redevelopment at this location also prevents the disturbance of other undeveloped areas of the site.



4. creation of a harmonious relationship of buildings and open spaces with natural site features and with existing and future buildings having a visual relationship to the development;

Finding: The facility blends into the natural environment by using the site features to buffer from adjacent residential neighborhoods to the north.

5. creation of a functional and harmonious design for structures and site features, with special attention to the following:
  - a. an internal sense of order for the buildings and uses on the site and provision of a desirable environment for occupants, visitors, and the general community;
  - b. the amount and location of open space and landscaping;
  - c. materials, textures, colors, and details of construction as an expression of the design concept and the compatibility of the same with the adjacent and neighboring structures and uses; and
  - d. vehicular and pedestrian circulation, including walkways, interior drives, and parking in terms of location and number of access points to the public streets, width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic and arrangement and amount of parking.

Finding: The facility blends into the natural environment site by using the site features and existing buildings to buffer from adjacent residential neighborhoods to the north. Existing circulation systems would be utilized. Parking and pedestrian areas would be logically located and provide adequate parking supply.

6. promotion of energy conservation through design, location, orientation and elevation of structures, the use and location of glass in structures and the use of landscape materials and site grading; and

Finding: The facility will utilize a number of current and forward-looking design and technologies. The project will incorporate state B3 Guidelines that are required for the design of new buildings to meet sustainability goals for site, water, energy, indoor environment, materials, and waste.

7. protection of adjacent and neighboring properties through reasonable provision for surface water drainage, sound, and sight buffers, preservation of views, light, and air and those aspects of design not adequately covered by other regulations which may have substantial effects on neighboring land uses.

Finding: The facility blends into the natural environment of the site by using the site features and existing buildings to buffer from adjacent

residential neighborhoods to the north which would ensure the preservation of views, light, and air. Existing topography and upland vegetation would adequately protect adjacent properties from the sight and sounds of the facility.

Section 3. City Council Action.

3.01 The above-described final site and building plans, with variance, is hereby approved, subject to the following conditions. Approval is based on the findings outlined in section 2 of this resolution and is subject to the following conditions:

1. Subject to staff approval, the site must be developed and maintained in substantial conformance with the following plans, except as modified by the conditions below:
  - Site plan, dated Aug. 15, 2019
  - Grading plan, dated Aug. 15, 2019
  - Sediment and Erosion Control Plan, dated Aug. 15, 2019
  - Utility plan, dated Aug. 15, 2019
  - Exterior Elevations, dated July 26, 2019
2. Prior to issuance of a permit:
  - a) Submit the following items associated with site work:
    - 1) Final site, grading, drainage, utility, and a stormwater pollution prevention plan (SWPPP) for staff review and approval. In addition the:
      - a. Final landscaping plan must:
        1. Meet minimum landscaping requirements as outlined in city ordinance. However, at the sole discretion of natural resources staff, mitigation may be adjusted based on site conditions.
        2. Include information relating to species, sizes, quantities, location, and landscaping values.
      - b. Final site plan must include a sidewalk connection to the existing sidewalk on the west side of the property.
      - c. Final stormwater management plan is required. This plan must demonstrate conformance with the following criteria:

- Rate: limit peak runoff flow rates to that of existing conditions from the 2-, 10- and 100-year events at all points where stormwater leaves the site.
  - Volume: provide for onsite retention of 1-inch of runoff from the entire site's impervious surface.
  - Quality: provide for runoff to be treated to at least 60-percent total phosphorus annual removal efficiency and 90-percent total suspended solid annual removal efficiency.
  - Infiltration basins must draw down in 48 hours and have a maximum depth of 2.0' per the city's water resources management plan.
- 2) The following legal agreements for review and approval by the city attorney:
    - a. A stormwater maintenance agreement in the city approved format for review and approval of city staff.
    - b. A private hydrant agreement for new and existing hydrants.
  - 3) Right-of-way permit for new tap(s) into the city water main.
  - 4) A construction management plan. The plan must be in a city-approved format and must outline minimum site management practices and penalties for non-compliance.
  - 5) Individual letters of credit or cash escrow for 125% of a bid cost or 150% of an estimated cost to comply with grading permit and landscaping requirements and to restore the site. One itemized letter of credit is permissible if approved by staff. The city will not fully release the letters of credit or cash escrow until: (1) as-built drawings have been submitted; (2) a letter certifying that the underground facility has been completed according to the plans approved by the city has been submitted; (3) vegetated ground cover has been established; and (4) required landscaping or vegetation has survived one full growing season.

- 6) A cash escrow in the amount of \$1000. This escrow must be accompanied by a document prepared by the city attorney and signed by the builder and property owner. Through this document, the builder and property owner will acknowledge:
    - The property will be brought into compliance within 48 hours of notification of a violation of the construction management plan, other conditions of approval, or city code standards; and
    - If compliance is not achieved, the city will use any or all of the escrow dollars to correct any erosion and/or grading problems.
    - City staff may waive this escrow amount upon review of the final plans.
  - 7) Provide a conservation easement of the wetland buffer on the west side of the wetland to meet the minimum buffer width required as based on a MnRAM to be provided.
  - 8) Provide a detailed tree inventory, tree preservation plan, and landscape plans for staff review and approval prior to issuance of either a grading or building permit.
3. Monitor the impact, if any (not anticipated), of the increased traffic at the County Road 62 signal and make timing adjustments if deemed necessary.
  4. The building must comply with all requirements of the Minnesota state building code, fire code, and health code.
  5. This resolution must be recorded with Hennepin County.
  6. The city council may reasonably add or revise conditions to address any future unforeseen problems.

Adopted by the City Council of the City of Minnetonka, Minnesota, on Oct. 7, 2019.

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Brad Wiersum, Mayor

Attest:

\_\_\_\_\_  
Becky Koosman, City Clerk

**Action on this resolution:**

Motion for adoption:

Seconded by:

Voted in favor of:

Voted against:

Abstained:

Absent:

Resolution adopted.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the City Council of the City of Minnetonka, Minnesota, at a meeting held on Oct. 7, 2019.

\_\_\_\_\_  
Becky Koosman, City Clerk

## EXHIBIT A

## PARCEL A:

Lot one ( 1) Block three (3) Beautiful Avondale, according to the plat thereof on file and of record in the office of the Register of Deeds within and for the County of Hennepin in the State of Minnesota.

## PARCEL B:

Lots two (2) and three (3) in Block three (3) Beautiful Avondale according to the plat thereof on file and of record in the office of the Register of Deeds within and for the County of Hennepin in the State of Minnesota.

## PARCEL C:

Lots Four, (4), Five (5), Six (6), Seven (7), Eight (8), and Nine (9), Block Three (3), "Beautiful Avondale", Hennepin County, Minnesota, according to the duly recorded plat thereof on file and of record in the office of the Register of Deeds in and for said County.

## PARCEL D:

Commencing on the East line of SW 1 /4 of NW 1 /4 at a point 76.8 ft. South from the S.E. corner of Glen Lake Heights, thence South to the SE corner of SW 1/4 of NW 1/4, thence West 330 ft., thence North 200 ft., thence West 581 ft., thence Easterly to the point of beginning, Section 34, Township 117, Range 22, Village of Minnetonka.

## PARCEL E:

A tract of Land in the South West Quarter - SW 1 /4 - of the North West Quarter NW 1 /4 of Section Thirty-four - 34 - Township One hundred Seventeen - 117 N. Range Twenty-two - 22 - W - described as follows beginning at a point 409 feet East of the West Quarter post of said section 34. Thence East 581 feet more or less to the East line of the W 3/4 - Three Quarters of the South West Quarter of the North West Quarter - SW 1 /4 of NW 1 /4 - Thence north along the last described line the distance of 200 feet. thence West parallel with the South line 81 feet Thence South 200 feet to point of beginning containing 2 2/10 Two and /10 Acres more or less.

## PARCEL F:

All that part of the East one-half (E. 1/2) of the Southwest quarter, (S.W. 1/4) of Section Thirty-four (34), Township One Hundred Seventeen (117), North of Range Twenty-two (22) West, of the 5th Principal Meridian, lying North of the Northerly right of way line of the old Chicago, Milwaukee and St. Paul Railroad and the new Chicago, Milwaukee and St. Paul Railroad, as located and established through the said East Half (E. 1/2) of the Southwest Quarter (SW 1 /4) of Section Thirty-four (34), Township One Hundred Seventeen (117), North of Range Twenty-two (22) West of the 5th Principal Meridian, containing 60.66 acres more or less according to the Government survey, thereof.

**PARCEL G:**

The West Half of the South West Quarter - W.  $\frac{1}{2}$  of the S.W.  $\frac{1}{4}$  of Section 34 - Thirty-four - Township 117 - One hundred Seventeen Range 22 - Twenty-two. Also a right of way one Rod wide across and along the North line of the N.E.  $\frac{1}{4}$  of the S. E.  $\frac{1}{4}$  - North East Quarter of the South East Quarter of Section 33 Thirty-three Township 117 One hundred Seventeen Range 22 - Twenty-two Hennepin County Minnesota, to the Eden Prairie Road. Containing 80 acres more or less according to the United States Government Survey thereof.

**PARCEL H:**

A tract of land in Section 33 Township 117 Range 22 W. described as follows: Beginning at the East line of said Section One Rod South of the East Quarter post. Thence West parallel with the East and West center line of said Section 33 a distance of approximately 631 feet to the center line of Eden Prairie Road. Thence Southwesterly along the Center of said Road making an angle to the left of 69 Degrees 38 minutes from the last described line a distance of 194  $\frac{3}{10}$  feet. Thence continuing Southwesterly along the center line of said Road making an angle of 3 degrees and 7 minutes to the right from the last described line a distance of 433  $\frac{2}{10}$  feet. Thence East parallel with the said East and West center line of said Section 33 a distance of 871  $\frac{1}{10}$  feet more or less to the East line of said Section 33. Thence North along the East line of said Section 33 a distance of 579  $\frac{55}{100}$  feet to the point of beginning. Also all that part of the North One Rod in width of the North East Quarter of the South East Quarter of said Section 33, Township 117 - Range 22 - W. lying East of the said Eden Prairie Road above mentioned and described containing Ten Acres more or less according to the United States Government Survey thereof.

**PARCEL I:**

That part of the Northeast Quarter (NE  $\frac{1}{4}$ ) of the Southeast Quarter (SE  $\frac{1}{4}$ ) of Section Thirty-three (33), Township One Hundred Seventeen (117) North, Range Twenty-two (22) West of the Fifth Principal Meridian, described as follows, to wit: Commencing on the East line of said Section Thirty-three (33) 596.5 feet South of the Northeast corner of the Northeast Quarter (NE  $\frac{1}{4}$ ) of the Southeast Quarter (SE  $\frac{1}{4}$ ), which point is the Southeast corner of a ten acre tract of land deeded to the County of Hennepin by that certain deed recorded in Book 647 of Deeds on page 435; thence South on the East line of said Section Thirty-three (33) distance of 218.4 feet; thence West parallel with the South line of said a deeded to Hennepin County hereinbefore referred to a distance of 1083.76 land feet to the center line of the Eden Prairie Road; thence Northeasterly along the center line of said Eden Prairie Road 265.46 feet to the Southeast corner of said tract to deeded to Hennepin County; thence East 915.4 feet more or less to the place of beginning containing five acres more or less.

**PARCEL J:**

That part of the northeast quarter -  $\frac{1}{4}$  of the Southeast quarter -  $\frac{1}{4}$  - of Section 33, Township 117, North Range 22, West of the fifth principal meridian described as follows: Beginning at a point on the East line of said section 33, eight hundred fourteen and forty-five one-hundredths feet - 814.45 - South of the East quarter -  $\frac{1}{4}$  - post of said section; thence West Ten Hundred eighty-three

and seventy-six one-hundredths feet - 1083.76 - to the center line of Eden Prairie road; thence Southwesterly along center line of said road a distance of four hundred and eighteen one-hundredths feet - 445.18 -, to its intersection with the West forty-five line of the Northeast quarter - 1/4 - of the Southeast quarter - 1/4 - of said section, thence South on the West line of the Northeast quarter - 1/4 - of the Southeast quarter - 1/4 - a distance of seventy-four and seventy-five one hundredths feet - 74.75 more or less to the Southwest corner thereof; thence East thirteen hundred eight and five tenths feet - 1308.5 - to the Southeast corner of said Northeast quarter - 1/4 - of the Southeast quarter - 1/4 - of said Section; thence North four hundred thirty three and fifty-four one-hundredths feet - 433.54 - to beginning.

PARCEL K:

The East five-eighths (5/8) of the Southeast quarter (SE 1/4) of the Southeast quarter (SE 1/4) of Section thirty-three (33), Township one hundred and Southeast seventeen (117), Range twenty-two (22), subject to an easement for the purpose of a public roadway now laid out and established along the South line of said tract; said tract containing twenty-five (25) acres of land be the same more or less according to tract the government survey thereof.

Also conveying herein and hereby an easement for the free use for roadway purposes of a certain cart-way now laid out and established along the roadway North line of the West three-eighths of said Southeast quarter (SE 1/4) of Southeast quarter (SE 1/4) of the said Section, which cart-way is reserved and defined in a certain deed bearing date August 5, 1912, conveying said last above described land executed by Louise B. Sheehan and husband to Nels Weberg, and recorded in the office of the Register of Deeds for said Hennepin County August 7, 1912, in Book 738 of Deeds on page 140.

PARCEL L:

The Westerly three-eighths (3/8) of the Southeast Quarter (SE 1/4) of the Southeast Quarter (SE 1/4) of Section Thirty-three (33), Township One Hundred Seventeen (117), Range Twenty-two (22): Excepting and reserving there from a roadway which at present exists entering said tract on the west line about Twenty (20) rods, more or less, north of the Southwest corner of said tract and running thence in a southeasterly direction across said tract; and

Also excepting from said tract and reserving a cartway running along the north line of said tract; Said tract containing fifteen (15) acres, more or less, according to the Government Survey thereof.

PARCEL M:

All that part of the South West Quarter (SW 1/4) of the South East Quarter (SE 1/4) of Section Thirty-three (33) Township One Hundred Seventeen (117) Range Twenty Two (22) lying Southeasterly (SE) of the Eden Prairie Road and Northerly of the Public Road running Southeasterly from said Eden Prairie Road, toward and along the South line of said Section, being one and seven eighths (1 7/8) of



an acre more or less.

PARCEL S:

Lots 13 to 20 inclusive, Block 2, Beautiful Avondale, Hennepin County, Minnesota,  
VILLAGE OF MINNETONKA.

PARCEL T:

Outlet A, Glen-Moor, according to the plat thereof on file or of record in the office  
of the Registrar of Titles in and for said County.