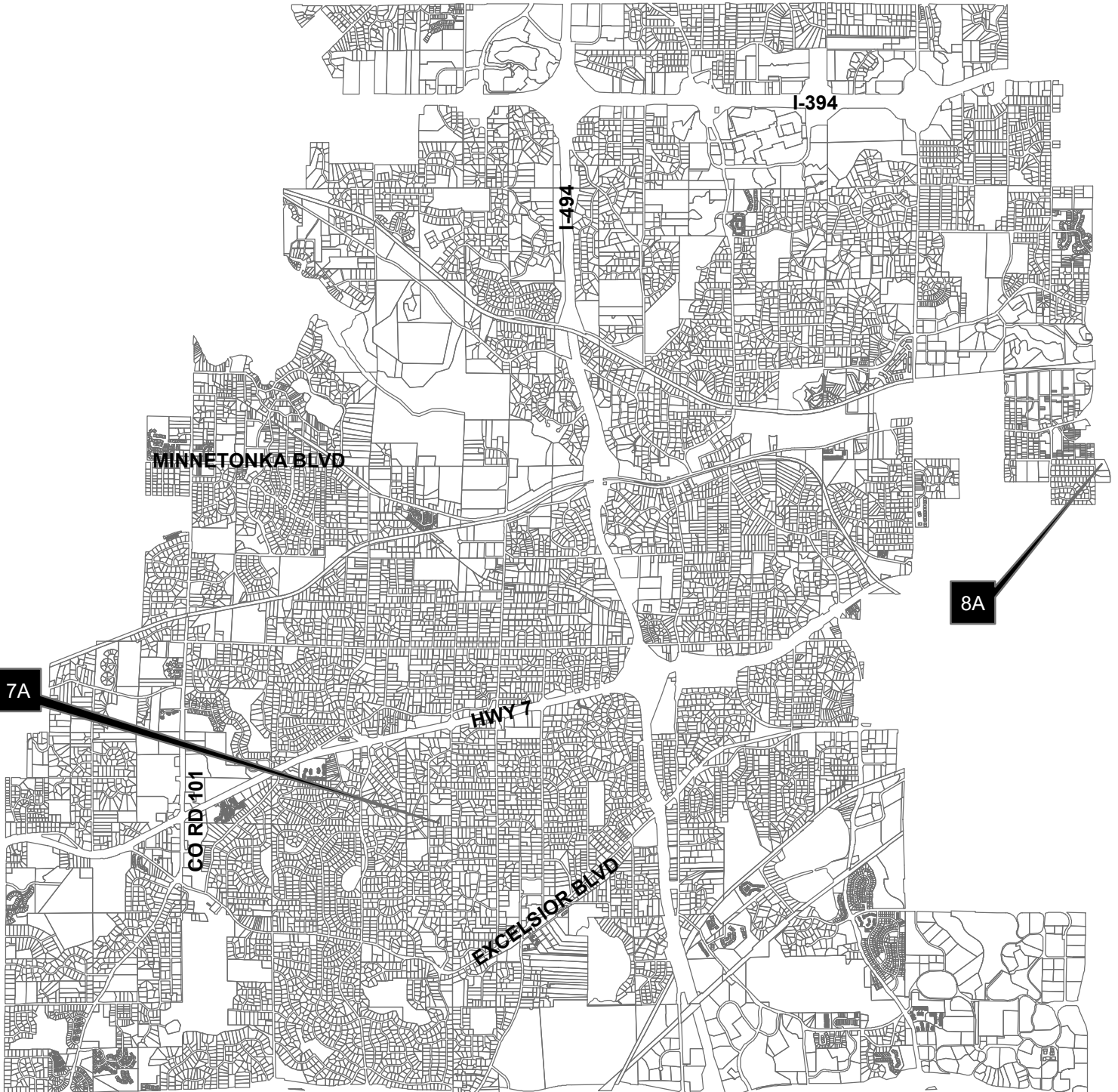




CITY OF  
**MINNETONKA**

**CITY OF MINNETONKA  
PLANNING COMMISSION  
MAY 7, 2020**

14600 Minnetonka Blvd. • Minnetonka, MN 55345  
(952) 939-8200 • Fax (952) 939-8244  
minnetonkamn.gov





## Planning Commission Agenda

May 7, 2020 – 6:30 p.m.

### Virtual Meeting via WebEx

Due to the COVID-19 health pandemic, the planning commission's regular meeting place is not available. Pursuant to Minn. Stat. § 13D.021, planning commission members will participate in the meeting remotely via WebEx. Members of the public who desire to monitor the meeting remotely or to give input or testimony during the meeting can find instructions at <https://www.minnetonkamn.gov/government/virtual-meeting-information>.

**1. Call to Order**

**2. Roll Call**

**3. Approval of Agenda**

**4. Approval of Minutes:** April 23, 2020

**5. Report from Staff**

**6. Report from Planning Commission Members**

**7. Public Hearings: Consent Agenda.**

A. Setback variance for a deck at 15184 Crestview Lane.

Recommendation: Adopt the resolution approving the variance (5 votes)

- Final Decision, subject to appeal
- Project Planner: Susan Thomas

**8. Public Hearings: Non-Consent Agenda Items**

A. Preliminary plat of DAMYAN'S ADDITION, a two-lot subdivision, at 9598 Ann Lane.

Recommend the city council adopt the resolution approving the plat (4 votes)

- Recommendation to City Council (May 18, 2020)
- Project Planner: Ashley Cauley

**9. Adjournment**

**Planning Commission Agenda**  
**May 7, 2020**  
**Page 2**

**Notices**

1. Please call the planning division at (952) 939-8290 to confirm meeting dates as they are tentative and subject to change.
2. There following applications are tentatively schedule for the May 21, 2020 agenda.

<b>Project Description</b>	The Pointe, an 186-unit apartment building and 136-room hotel
<b>Project Location</b>	801 Carlson Parkway
<b>Assigned Staff</b>	Susan Thomas
<b>Ward Councilmember</b>	Bradley Schaeppi, Ward 3

<b>Project Description</b>	SEMRUD HILLS, a 3-lot subdivision
<b>Project Location</b>	4716 Williston Road
<b>Assigned Staff</b>	Drew Ingvalson
<b>Ward Councilmember</b>	Kissy Coakley, Ward 4

<b>Project Description</b>	Page Residence, Expansion permit for garage and living space
<b>Project Location</b>	2208 Windsor Lake Drive
<b>Assigned Staff</b>	Ashley Cauley
<b>Ward Councilmember</b>	Rebecca Schack, Ward 2

# **Minnetonka Planning Commission Meeting**

## **Agenda Item 4**

Previous Meeting Minutes

**Unapproved  
Minnetonka Planning Commission  
Minutes**

**April 23, 2020**

**1. Call to Order**

Chair Sewall called the meeting to order at 6:30 p.m.

**2. Roll Call**

Commissioners Maxwell, Powers, Waterman, Hanson, Henry, Luke and Sewall were present.

Staff members present: Community Development Director Julie Wischnack, City Planner Loren Gordon, Assistant City Planner Susan Thomas and Planner Drew Ingvalson.

**3. Approval of Agenda:** The agenda was approved as submitted.

**4. Approval of Minutes:** March 5, 2020

***Hanson moved, second by Maxwell, to approve the March 5, 2020 meeting minutes as submitted.***

***Maxwell, Powers, Waterman, Hanson, Henry, Luke and Sewall voted yes. Motion carried.***

**5. Report from Staff**

Wischnack briefed commissioners on the newly created Minnetonka Small Business Emergency Loan Program and on funds the city gave to ICMA to be used for financial housing assistance for residents.

Gordon briefed the commission on:

- The work to complete the SWLRT is still in progress. It is considered an essential service. A weekly construction update is provided on the website: [metro council.org/Transportation/Projects/Light-Rail-Projects/Southwest-LRT/Construction.aspx#Minnetonka](http://metro council.org/Transportation/Projects/Light-Rail-Projects/Southwest-LRT/Construction.aspx#Minnetonka).
- The city council awarded a bid for landscaping the Ridgedale Drive improvement project.
- The city's website, [minnetonkamn.gov](http://minnetonkamn.gov), has a current projects map with links to current city projects residents may use to stay informed.
- The next planning commission meeting is scheduled to be held virtually on May 7, 2020. There are links on the website to allow the public to speak at a public hearing. A form would need to be filled out by 3 p.m. the day of the meeting in order to speak at a public hearing.

**6. Report from Planning Commission Members**

Maxwell stated that the Metropolitan Council has several openings to serve on the Livable Communities Advisory Committee. The deadline to apply is May 15, 2020.

**7. Public Hearings: Consent Agenda: None**

**8. Public Hearings**

**A. Resolution rescinding the existing Baker Tech sign plan.**

Chair Sewall introduced the proposal and called for the staff report.

Ingvalson reported. He recommended approval of the application based on the findings and subject to the conditions listed in the staff report.

Henry asked why one building was not included in the sign plan. Ingvalson explained that it was not part of the same plat.

Kellee Vinge, property manager for the applicant property, stated that the sign plan is very dated and she wants tenants to have the ability to update their signs. She appreciated the commission's consideration.

The public hearing was opened. No testimony was submitted and the hearing was closed.

Luke thought the application is very straight forward. She thanked Ingvalson for a thorough report.

Waterman asked if any comments were received. Ingvalson explained that he heard from a couple of the tenants who support the application.

Powers noted that this is the first time he recalls a sign plan being more restrictive than the city's sign ordinance.

***Henry moved, second by Maxwell, to adopt the resolution rescinding the Baker Tech Plaza sign plan as it pertains to the properties at 5929 and 6121 Baker Road.***

***Maxwell, Powers, Waterman, Hanson, Henry, Luke and Sewall voted yes. Motion carried.***

Chair Sewall stated that an appeal of the planning commission's decision must be made in writing to the planning division within 10 days.

**B. Conditional use permit for a restaurant at 1700 Plymouth Road.**

Chair Sewall introduced the proposal and called for the staff report.

Thomas reported. She recommended approval of the application based on the findings and subject to the conditions listed in the staff report.

Hanson asked if the original conditional use permit allows outdoor seating. Thomas answered in the affirmative. The current application replicates the previous conditional use permit.

Waterman felt it would be a logical use of the space. He asked if the city had received complaints regarding a lack of parking in the area. Thomas answered that the city has not received complaints regarding parking. The property owner has a rigorous parking policy in place for tenants. A year or so ago a veterinary clinic was added and a parking evaluation was completed at that time. Tenants and residents have expressed support of the proposal.

Chair Sewall asked if there would be pedestrian access to the site. Wischnack provided that pedestrian improvements are being done on Ridgedale Drive at Plymouth Road. On Cartway, north of the building, there is a crossing and a landing. A connection along the bank properties across the street is a goal currently being worked on, but requires the cooperation of every property owner.

Hanson asked if the approval has an expiration date. Thomas stated that the conditional use permit would be in place for 12 months. An applicant could request a time extension for another year.

The public hearing was opened. No testimony was submitted and the hearing was closed.

Powers thought the project is very straight forward. He admired the applicant's courage. He supports the proposal.

***Powers moved, second by Luke, to recommend that the city council adopt the resolution approving a conditional use permit for a restaurant with an outdoor eating area at 1700 Plymouth Road.***

***Maxwell, Powers, Waterman, Hanson, Henry and Luke voted yes. Sewall was absent. Motion carried.***

## 9. Adjournment

***Luke moved, second by Powers, to adjourn the meeting at 7:15 p.m. Motion carried unanimously.***

By: \_\_\_\_\_  
Lois T. Mason

Planning Secretary



# **Minnetonka Planning Commission Meeting**

## **Agenda Item 7**

Public Hearing: Consent Agenda

**MINNETONKA PLANNING COMMISSION**  
**May 7, 2020**

**Brief Description**                      Setback variance for a deck at 15184 Crestview Lane

**Recommendation**                      Adopt the resolution approving the variance

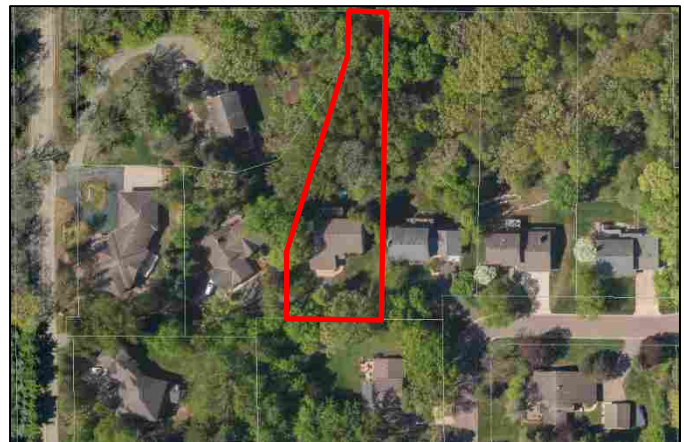
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**Background**

The subject property, which does not have frontage on a public right-of-way, was created in 1984 as part of the WITHYWINDLE subdivision. A home was constructed on the lot in 1987 meeting all setback requirements. At that time, homes on lots without frontage were subject to a 15-foot setback from all property lines.



1971



2018

Setback requirements for lots without frontage have since increased. Under the current ordinance, the required setbacks on such lots is “40 feet or 20% of the average distance between opposite lot lines, whichever is less, but not less than 25 feet.”<sup>1</sup> The existing home is considered non-conforming.

	Setback	
	From West property line	From East property line
Required	25 ft	25 ft
Existing	28 ft	15 ft

**Proposal**

Bradley Zimney, the current property owner, is proposing to remove an existing deck on the northwest corner of the home and replace it with a slightly larger deck. The proposal requires a setback variance from 25 feet to 15 feet.

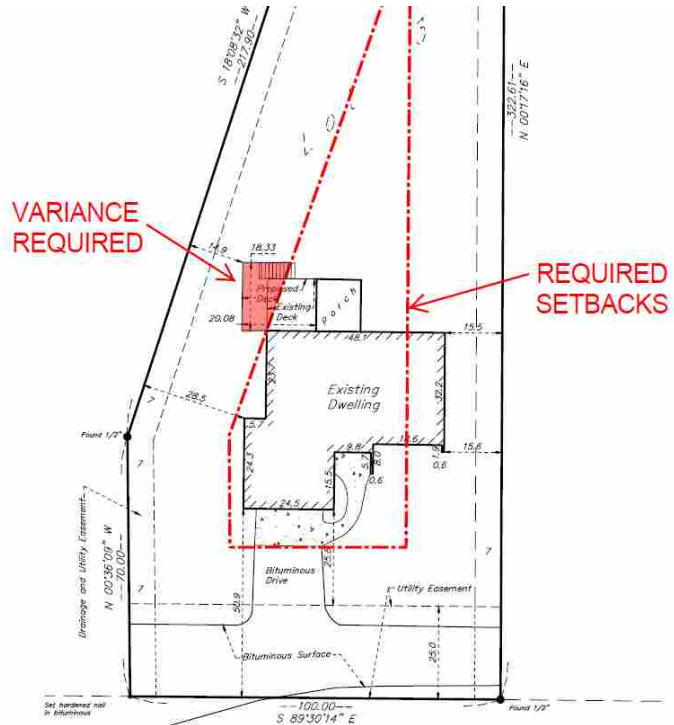
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<sup>1</sup> City Code 300.10 Subd.5(e)

### Staff Analysis

Staff supports the applicant's proposal, finding it would meet the variance standard outlined in state statute and city code.

- **Reasonableness:** The proposed setback is reasonable as:
  - ✓ The 15-foot setback would reflect the setback applied to the property at the time of the home's construction.
  - ✓ Given the 15-foot setback on the east side of the home, the proposed 15-foot setback on the west side of the home would result in an aggregate side yard setback of 30 feet. This aggregate setback reflects the setbacks currently applied to "standard lots" in the community.



- **Unique Circumstance:** The subject property is just 100 feet wide. The required 25-foot setback from both east and west property lines encumber 50 percent of the lot's width.
- **Neighborhood Character:** The proposed deck would not negatively impact neighborhood character. The deck would generally be screened from view by existing vegetation and would be located nearly 50 feet from the closest neighboring home.

### Staff Recommendation

Adopt the resolution approving a setback variance for a deck at 15184 Crestview Lane

Originator: Susan Thomas, AICP, Assistant City Planner  
Through: Loren Gordon, AICP, City Planner

## Supporting Information

### Surrounding Uses

The subject property is surrounded by properties zoned and guided for low-density residential use.

### Expansion Permit and Variance

An expansion permit is required for an expansion of a non-conforming structure when that expansion maintains the same setbacks as the existing non-conformity. By definition, a non-conforming structure is one that is not in full compliance with the regulations of the ordinance and either: (1) was legally established before the effective date of the ordinance provision with which it does not comply; or (2) became non-conforming because of other governmental action, such as a court order or a taking by a governmental body under eminent domain or negotiated sale.

While the existing home is considered a non-conforming structure, the proposed deck would not maintain the same setbacks as the home. It would encroached further into the required setback. As such, a variance is required.

### Variance Standard

The variance standard outlined in City Code §300.07 reflects the standard outlined in Minnesota Statute §462.357 Subd.6. A city can approve a variance only when it finds all of the following:

1. The variance is consistent with the comprehensive plan;
2. The variance is in harmony with the general purposes and intent of the ordinance; and
3. There are practical difficulties in complying with the ordinance. Practical difficulties means: "that the property owner proposes to use the property in a reasonable manner not permitted by the zoning ordinance; the plight of the landowner is due to circumstances unique to the property not created by the landowner; and the variance, if granted, will not alter the essential character of the locality."

### McMansion Policy

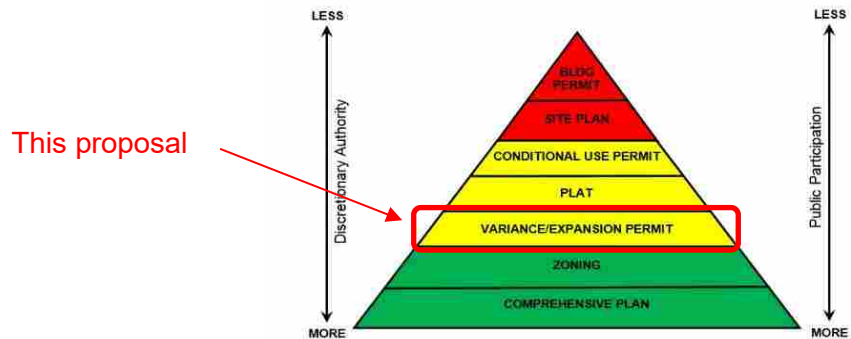
The city's McMansion policy regulates the floor area ratio (FAR) on properties when either the property or the home on the property requires a variance. The policy restricts FAR on such properties/homes to no more than the highest FAR within 400 feet of the subject property and within 1,000 feet along the same roadway.

By city code definition, decks are not considered in the floor area of a home and, therefore, do not contribute to FAR. As such, the applicant's proposal would not change the FAR of the subject property.

**Neighborhood Comments**

The city sent notices to 35 area property owners and received no comments to date.

**Pyramid of Discretion**



**Motion Options**

The planning commission has three motion options:

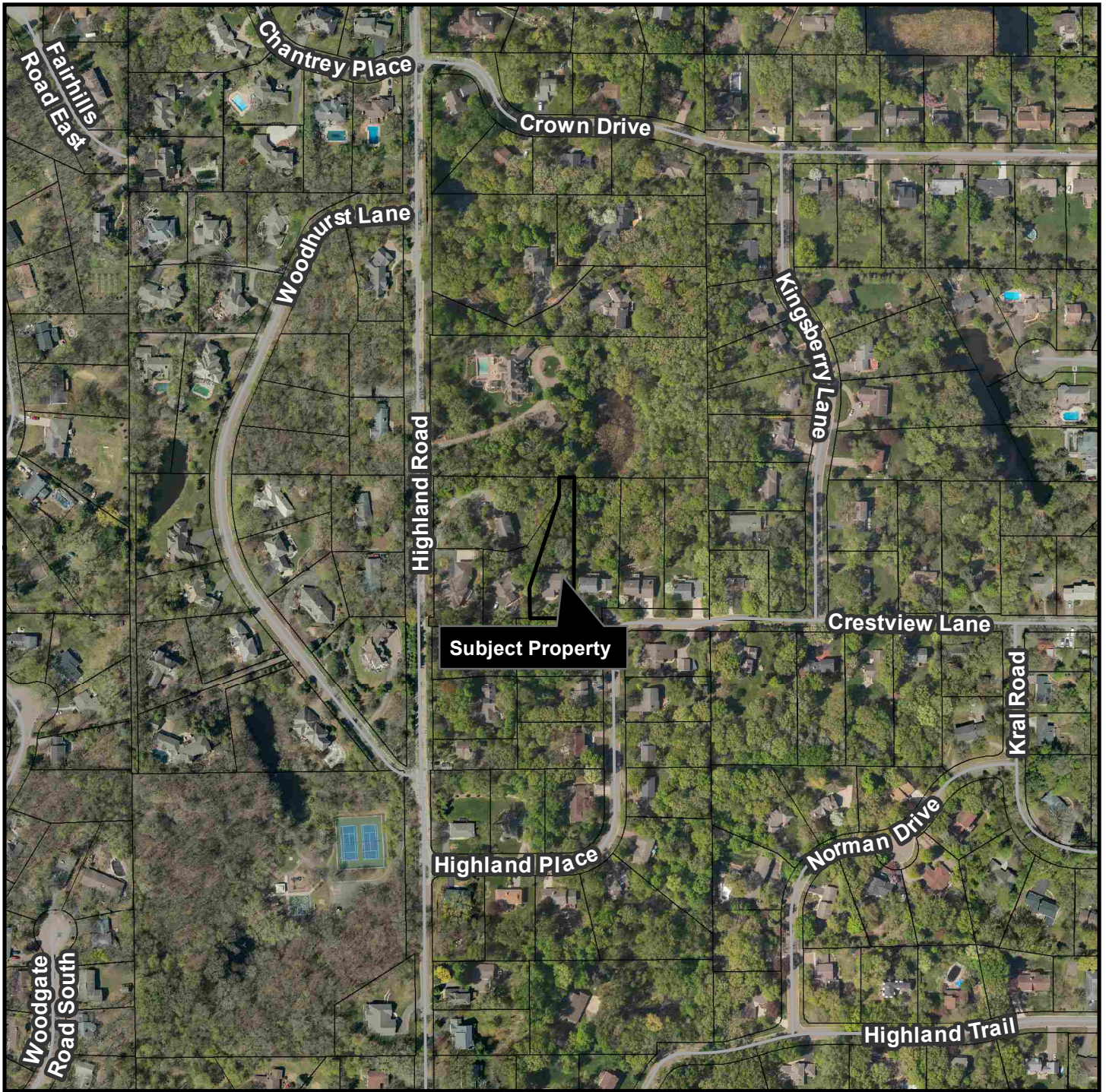
1. Concur with the staff recommendation. In this case, a motion should be made to adopt the resolution approving the request.
2. Disagree with staff's recommendation. In this case, a motion should be made denying the request. This motion must include a statement as to why the request is denied.
3. Table the request. In this case, a motion should be made to table the item. The motion should include a statement as to why the request is being tabled with direction to staff, the applicant, or both.

**Voting and Appeals**

Approval requires the affirmative vote five commissioners. Any person aggrieved by the planning commission's decision about the requested variances may appeal such decision to the city council. A written appeal must be submitted to the planning staff within ten days of the date of the decision.

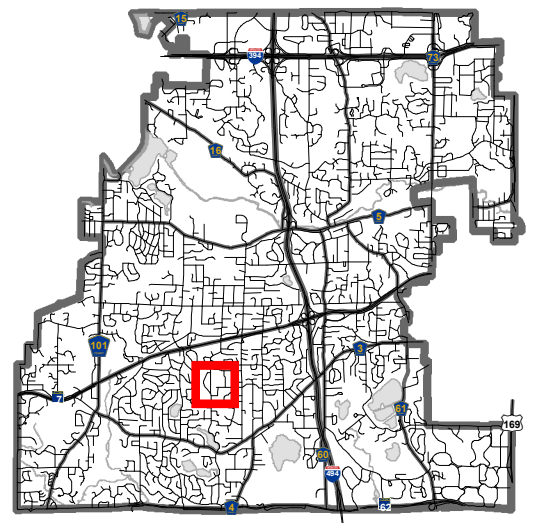
**Deadline for Action**

August 10, 2020



### Location Map

Project: Zimney Residence  
Address: 15184 Crestview Ln



I HEREBY CERTIFY THAT THIS PLAN, SURVEY OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Thomas M. Bloom*

Thomas M. Bloom

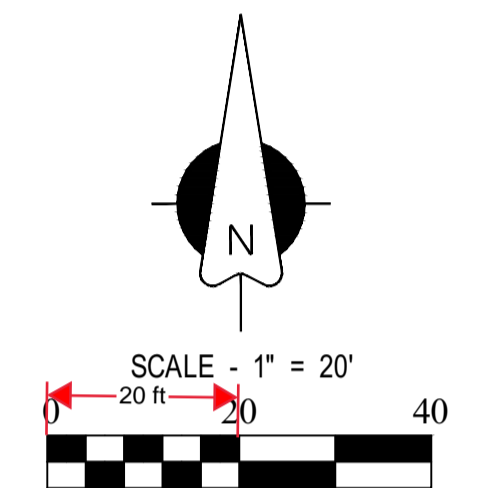
# 42379

LICENSE NO.

MARCH 31, 2020

DATE:

DRAWING ORIENTATION & SCALE



CLIENT NAME / JOB ADDRESS

**BRAD  
ZIMNEY**  
15184 CRESTVIEW  
LANE  
MINNETONKA, MN

DATE	REVISION DESCRIPTION

DATE SURVEYED: MARCH 31, 2020

DATE DRAFTED: MARCH 31, 2020

SHEET TITLE  
**EXISTING / PROPOSED  
CONDITIONS SURVEY**

DRAWING NUMBER  
**200250 TB**

SHEET SIZE **22 X 34**

SHEET NUMBER  
**S1**

**LEGAL DESCRIPTION:**

Lot 3, Block 1, WITHYWINDLE, Hennepin County, Minnesota.

**SCOPE OF WORK & LIMITATIONS:**

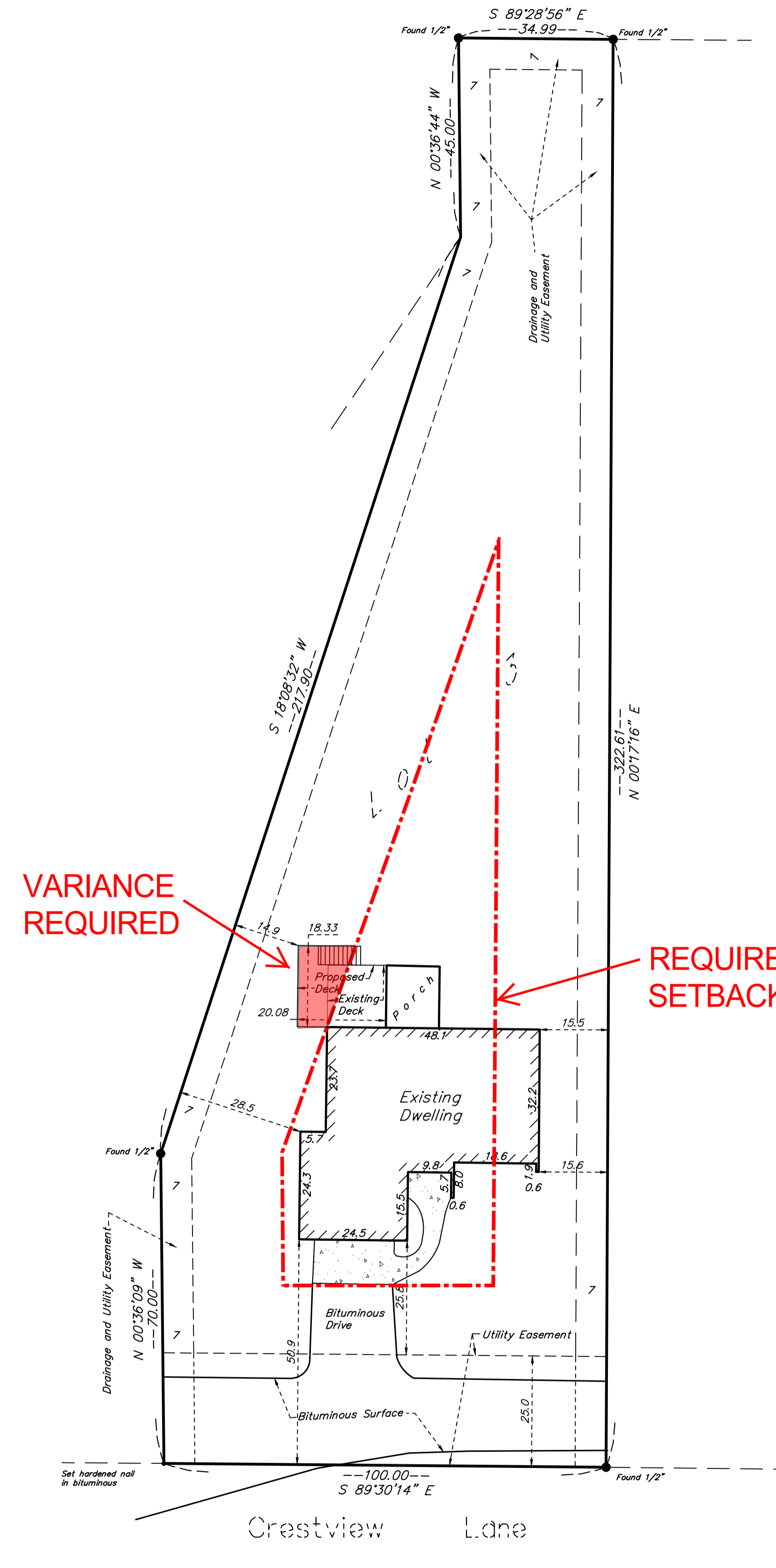
- Showing the length and direction of boundary lines of the legal description listed above. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct and that any matters of record, such as easements, that you wish to be included on the survey have been shown.
- Showing the location of observed existing improvements we deem necessary for the survey.
- Setting survey markers or verifying existing survey markers to establish the corners of the property.
- This survey has been completed without the benefit of a current title commitment. There may be existing easements or other encumbrances that would be revealed by a current title commitment. Therefore, this survey does not purport to show any easements or encumbrances other than the ones shown hereon.
- While we show a proposed location for this home or addition, we are not as familiar with your proposed plans as you, your architect, or the builder are. Review our proposed location of the improvements carefully to verify that they match your plans before construction begins. Also, we are not as familiar with local codes and minimum requirements as the local building and zoning officials in this community are. Be sure to show this survey to said officials, or any other officials that may have jurisdiction over the proposed improvements and obtain their approvals before beginning construction or planning improvements to the property.
- Note that all building dimensions and building tie dimensions to the property lines, are taken from the siding and or stucco of the building.

**STANDARD SYMBOLS & CONVENTIONS:**

"●" Denotes iron survey marker, set, unless otherwise noted.

**LEGEND**

- = CATCH BASIN
- = GAS METER
- = FIRE HYDRANT
- = POWER POLE
- = MANHOLE
- = TELEPHONE PED.
- = ELEC. TRANSFORMER
- = WELL
- = GATE VALVE
- = LIGHT POLE
- = TREE
- = FENCE LINE
- = SANITARY SEWER LINE
- = WATER LINE
- = GAS LINE
- = STORM DRAIN LINE
- = OVERHEAD UTILITY LINE
- = CONCRETE SURFACE



# Plans prepared for: ZIMNEY FAMILY

## EXISTING PICTURES



PLANS ARE PROPERTY OF LINDUS CONSTRUCTION AND MAY NOT BE REPRODUCED  
PREPARED BY ERIC KUBE 651-303-9456 [eric.kube@lindusco.com](mailto:eric.kube@lindusco.com)

COVER SHEET

DRAWINGS PROPERTY OF:  
Lindus Construction  
879 Hwy 63  
Baldwin, WI 54002

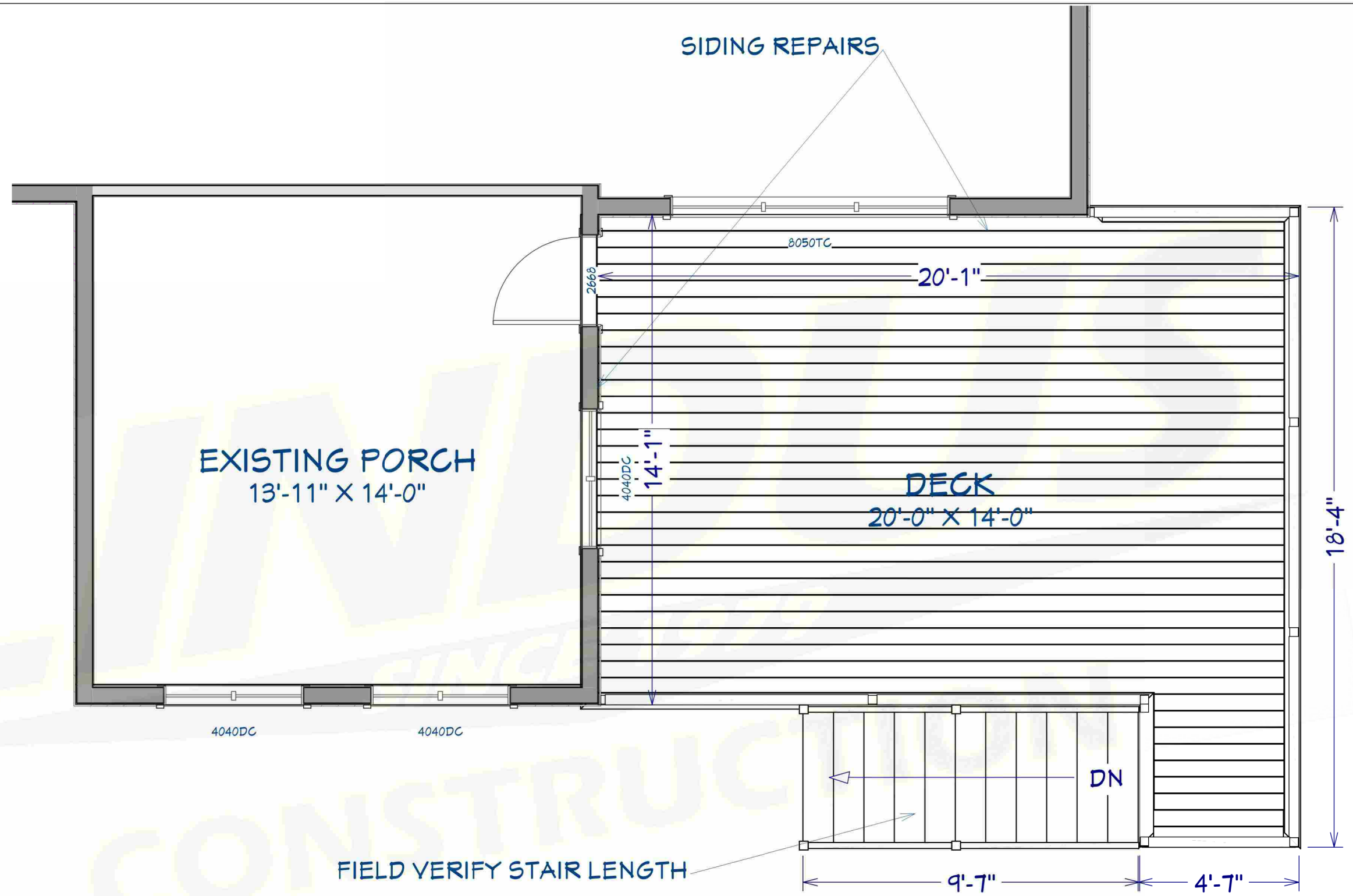
PROJECT DESCRIPTION:  
Zimney  
DRAWN BY: ERIC KUBE  
651-303-9456



NO.	DESCRIPTION	BY	DATE

SCALE:	9/28/2019
	9/28/2019





### 1st Floor

PLAN

DRAWINGS PROPERTY OF:  
Lindus Construction  
879 Hwy 63  
Baldwin, WI 54002

PROJECT DESCRIPTION:  
Zimney  
DRAWN BY: ERIC KUBE  
651-303-9456

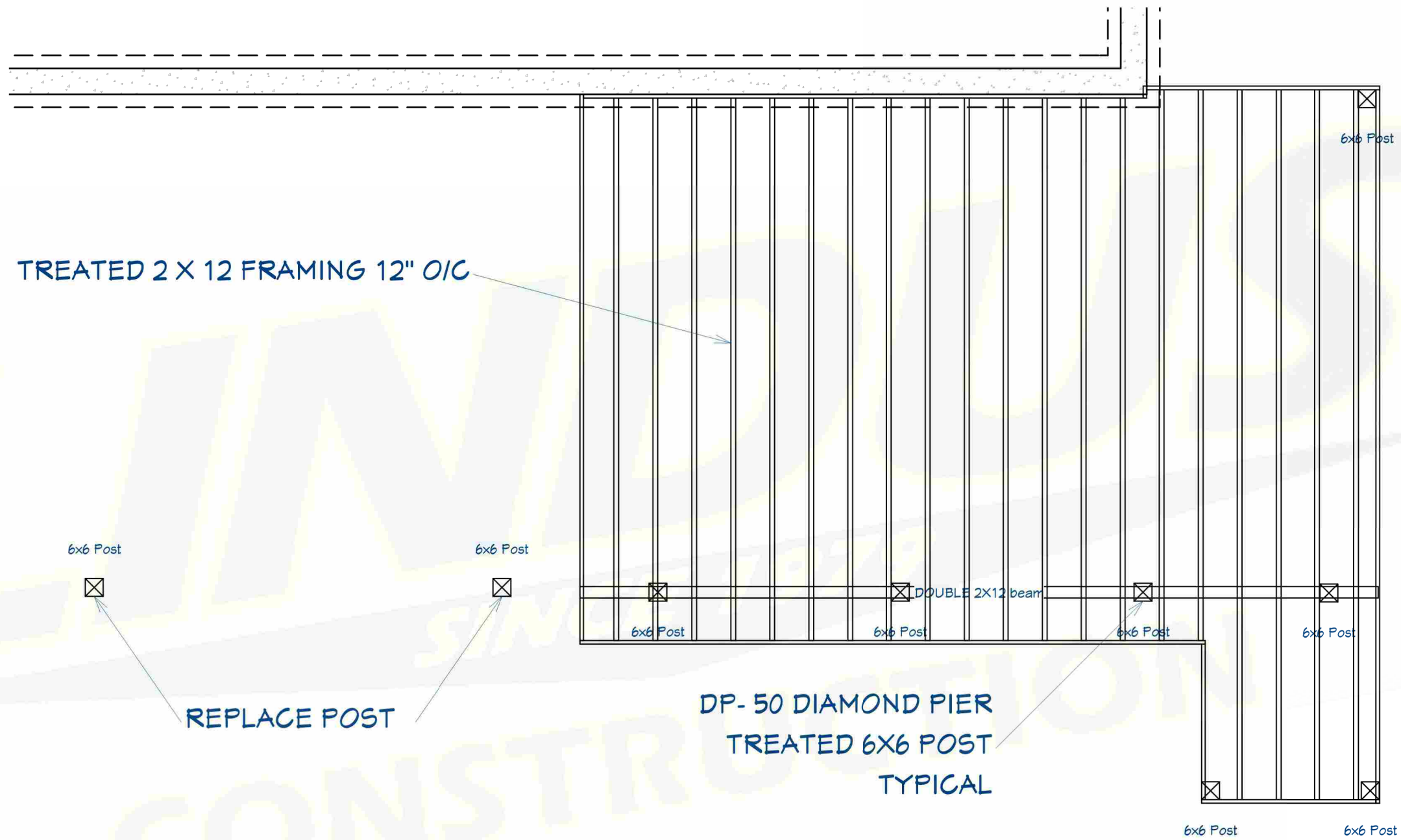


NO.	DESCRIPTION	BY	DATE

SCALE:

9/28/2019

9/28/2019



# Foundation

TOP VIEW

DRAWINGS PROPERTY OF:  
Lindus Construction  
879 Hwy 63  
Baldwin, WI 54002

PROJECT DESCRIPTION:  
Zimney  
DRAWN BY: ERIC KUBE  
651-303-9456



NO.	DESCRIPTION	BY	DATE

SCALE:

9/28/2019

9/28/2019



CAMERA VIEW

DRAWINGS PROPERTY OF:  
 Lindus Construction  
 879 Hwy 63  
 Baldwin, WI 54002

PROJECT DESCRIPTION:  
 Zimney  
 DRAWN BY: ERIC KUBE  
 651-303-9456



NO.	DESCRIPTION	BY	DATE

SCALE:	9/28/2019
	9/28/2019



CAMERA VIEW

DRAWINGS PROPERTY OF:  
Lindus Construction  
879 Hwy 63  
Baldwin, WI 54002

PROJECT DESCRIPTION:  
Zimney  
DRAWN BY: ERIC KUBE  
651-303-9456



NO.	DESCRIPTION	BY	DATE

SCALE:	9/28/2019
	9/28/2019

## PRACTICAL DIFFICULTIES WORKSHEET

By state law, variances may be granted from the standards of the city's zoning ordinance only if:

- 1) The proposed variance is in harmony with the general purpose and intent of the zoning ordinance;
- 2) The proposed variance is consistent with the comprehensive plan; and
- 3) An applicant establishes that there are practical difficulties in complying with the ordinance standard from which they are requesting a variance. Practical difficulties means:
  - The proposed use is reasonable;
  - The need for a variance is caused by circumstances unique to the property, not created by the property owner, and not solely based on economic considerations; and
  - The proposed use would not alter the essential character of the surrounding area.

PRACTICAL DIFFICULTIES	
<b>Describe why the proposed use is reasonable</b>	<div style="border: 1px solid black; height: 20px; margin-bottom: 5px;"></div> <div style="border: 1px solid black; height: 20px; margin-bottom: 5px;"></div> <div style="border: 1px solid black; padding: 2px; font-size: 8px; margin-bottom: 5px;">The neighbors home directly West of our property is well away from the property line and the relatively short deck extension would not create any potential privacy issues that may or may not already be there with the current deck.</div> <div style="border: 1px solid black; padding: 2px; font-size: 8px; margin-bottom: 5px;">Because of the footprint of our neighbor's home, our garage and portions of our house are much closer to their home than what the deck extension would be.</div> <div style="border: 1px solid black; height: 20px;"></div>
<b>Describe:</b> <ul style="list-style-type: none"> <li>• circumstances unique to the property;</li> <li>• why the need for variance was not caused by the property owner; and</li> <li>• and why the need is not solely based on economic considerations.</li> </ul>	<div style="border: 1px solid black; height: 20px; margin-bottom: 5px;"></div> <div style="border: 1px solid black; height: 20px; margin-bottom: 5px;"></div> <div style="border: 1px solid black; padding: 2px; font-size: 8px; margin-bottom: 5px;">The West property line runs parallel to the garage but then veers at a Easterly diagonal somewhere just past the garage which brings the 20'-0" easement restriction near the NW corner of the existing deck.</div> <div style="border: 1px solid black; height: 20px;"></div>
<b>Describe why the variance would not alter the essential character of the neighborhood</b>	<div style="border: 1px solid black; height: 20px; margin-bottom: 5px;"></div> <div style="border: 1px solid black; padding: 2px; font-size: 8px; margin-bottom: 5px;">It's a relatively short deck extension that would nearly line up in a N/S direction with the exterior wall of the garage making it appear that it was originally designed that way.</div> <div style="border: 1px solid black; height: 20px;"></div>

**VARIANCE APPLICATIONS WILL NOT BE ACCEPTED IF THIS WORKSHEET IS NOT COMPLETE**

**PROCESS**

**Planning Commission Resolution No. 2020-**

**Resolution approving a setback variance for a deck at 15184 Crestview Lane**

---

Be it resolved by the Planning Commission of the City of Minnetonka, Minnesota, as follows:

Section 1. Background.

1.01 The subject property is located at 15184 Crestview Lane. It is legally described as:

Lot 3, Block 1 WITHYWINDLE, Hennepin County, Minnesota

1.02 The property is does not have frontage on an improved public right-of-way.

1.03 A home was constructed on the property in 1987. At the time, homes on lots lacking frontage on a public street were subject to a 15-foot setback requirement from all property lines. The home conformed to this setback requirement.

1.03 Setback requirements for lots without frontage have since increased. By City Code §300.10 Subd.5(e), the required setback on such lots is now 40 feet or 20 percent of the average distance between opposite lot lines, whichever is less, but not less than 25 feet.

1.04 Bradley Zimney, the current property owner, is proposing to remove an existing deck on the northwest corner of the home and replace it with a slightly larger deck. The proposal requires a setback variance from 25 feet to 15 feet.

1.05 Minnesota Statute §462.357 Subd.6 and City Code §300.07 authorizes the Planning Commission to grant variances.

Section 2. Standards.

2.01 By City Code §300.07 Subd.1, a variance may be granted from the requirements of the zoning ordinance when: (1) the variance is in harmony with the general purposes and intent of this ordinance; (2) when the variance is consistent with the comprehensive plan; and (3) when the applicant establishes that there are practical difficulties in complying with the ordinance. Practical difficulties means: (1) The proposed use is reasonable; (2) the need for a variance is caused by circumstances unique to the property, not created by the property owner, and not solely based on economic considerations; and (3) the proposed use would not alter the essential character of the surrounding area.

Section 3. Findings.

3.01 The proposal meets the variance standard outlined in City Code §300.07 Subd. 1(a):

1. Purpose and Intent of the Ordinance: The purpose of the lot without frontage setback requirement is to maintain an appropriate separation between neighboring structures. The proposal would meet this intent. Though 15 feet from the adjacent property line, the deck would be separated from the closest neighboring structure by nearly 50 feet and further screened from the this structure by existing vegetation.
2. Consistent with Comprehensive Plan: One of the guiding principles of the comprehensive guide plan is the maintenance, preservation, and enhancement of existing single-family neighborhoods. The requested variance would not impact the residential character of the neighborhood. Rather, it provides an investment in the property to enhance its use and visual aesthetics.
3. Practical Difficulties. There are practical difficulties in complying with the setback requirement.
  - a) Reasonable Use: The proposed setback is reasonable as:
    - 1) The 15-foot setback would reflect the setback requirement applied to the property at the time of the home’s construction.
    - 2) Given the 15-foot setback on the east side of the home, the proposed 15-foot setback on the west side of the home would result in an aggregate side yard setback of 30 feet. This aggregate setback reflects the setbacks currently applied to “standard lots” in the community.
  - b) Unique Circumstance: The subject property is just 100 feet wide. The required 25-foot setback from both east and west property lines encumber 50 percent of the lot’s width.
  - c) Neighborhood Character: The proposed deck would not negatively impact neighborhood character. The deck would generally be screened from view by existing vegetation and would be located nearly 50 feet from the closest neighboring home.

Section 4. Planning Commission Action.

4.01 The planning commission approves the above-described variance based on the findings outlined in section 3 of this resolution. Approval is subject to the following conditions:

1. Subject to staff approval, the property must be developed in substantial conformance with the following plans, except as modified by conditions below.
  - Survey, dated March 31, 2020
2. Prior to issuance of a building permit:
  - a) This resolution must be recorded with Hennepin County.
  - b) Any outstanding taxes or utility bills must be paid.
  - c) Install a temporary erosion control and tree protection fencing for staff inspection. These items must be maintained throughout the course of construction.
3. This approval will end on December 31, 2021, unless the city has issued a building permit for the project covered by this resolution or has approved a time extension.

Adopted by the Planning Commission of the City of Minnetonka, Minnesota, on May 7, 2020.

---

Josh Sewall, Chairperson

Attest:

---

Fiona Golden, Deputy City Clerk

**Action on this resolution:**

Motion for adoption:  
Seconded by:  
Voted in favor of:  
Voted against:  
Abstained:  
Absent:  
Resolution adopted.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the Planning Commission of the City of Minnetonka, Minnesota, at a meeting held on May 7, 2020.

---

Fiona Golden, Deputy City Clerk



# **Minnetonka Planning Commission Meeting**

## **Agenda Item 8**

Public Hearing: Non-Consent Agenda

**MINNETONKA PLANNING COMMISSION**  
**May 7, 2020**

**Brief Description** Preliminary plat of DAMYAN'S ADDITION, a 2-lot subdivision at 9598 Ann Lane

**Recommendation** Recommend the city council adopt the resolution approving the plat

**Introduction**

EDS, Inc., on behalf of the property owners is proposing to subdivide the subject property at 9598 Ann Lane into two lots. The existing home would remain and a new lot would be created. The proposal requires approval of preliminary plat.

**Proposal Summary**

- Existing site features.**

The property is roughly 2.6 acres in size and is currently improved with a single family home, originally constructed in 2001.

Topography: The property slopes downward from the west property line towards the pond in the rear property.

Pond: The pond is not considered wetland. The 100-year floodplain of the pond is 907.1'.

Trees: The site has three high-priority trees<sup>1</sup> and 15

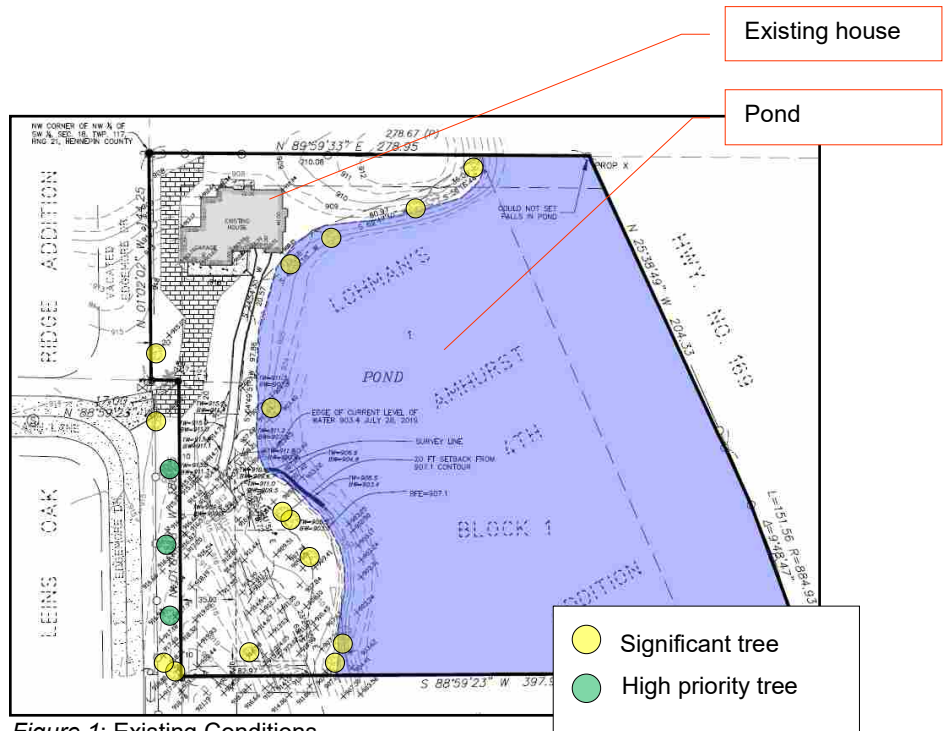


Figure 1: Existing Conditions

<sup>1</sup> City code defines a "high priority tree" as a tree that is not located within a woodland preservation area but is still important to the site and the neighborhood character, that is structurally sound and healthy, and that meets at least one of the following standards:

- a deciduous tree that is at least 15 inches dbh, except ash, box elders, elm species, popular species, willow, silver maple, black locust, amur maple, fruit tree species, mulberry and Norway maple.
- a coniferous tree that is at least 20 feet in height, except a Colorado spruce that is not in a buffer as described in (c); or
- a tree that is in a group of deciduous trees that are at least eight inches dbh or coniferous trees that are at least 15 feet in height, that provide a buffer or screening along an adjacent public street, and that are within 50 feet of an arterial roadway and 35 feet of a minor collector, local, or private street and a trail. The distance will be measured from the edge of the pavement or curb of the road, street or trail.

significant trees<sup>2</sup>. Per the city's tree protection ordinance, a subdivision cannot result in the removal of more than 35 percent of the site's high priority trees.

- **Proposed Lots.**

The applicant is proposing to divide the property into two lots. The existing home would remain on the northerly lot and a new home on the southerly lot.

- **Site Impacts.**

Grading: Grading and retaining walls are proposed to accommodate the new home and the driveway extension. Retaining walls would be roughly three to four feet in height.

Driveway access: Initially the proposed site plan was submitted with a shared driveway access. Subsequent plans and discussion explored opportunities to have a separate driveway access to Lot 2. Staff has reviewed both plans and finds them both acceptable. Conditions of approval related to either scenario have been included in the attached resolution.

Utilities: Existing sanitary sewer does not extend far enough south to serve the new lot. At a minimum, the public main would need to be extended to the curve of Ann Lane and then extended to the new lot. Water service is available via the water main under Ann Lane.

Floodplain: The new home would meet the required 20 foot setback from the 100-year floodplain of the pond.



Figure 2: Utilities

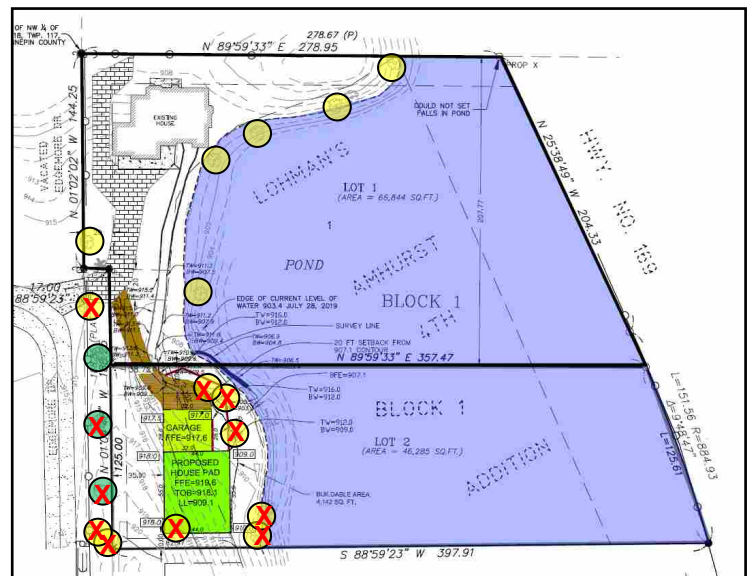


Figure 3: Proposed Conditions

<sup>2</sup> City code defines a "significant" tree as a tree that is structurally sound and healthy and that is either a deciduous tree at least eight inches dbh or a coniferous tree that is at least 15 feet in height.

Tree removal: Based on the submitted plans, two of the site's three high priority trees would be removed for the installation of the utilities. Additionally, nine of site's 15 significant trees would be removed for the construction of the new home.

**Primary questions and Analysis**

A land use proposal is comprised of many details. In evaluating the proposal, staff first reviews these details and then aggregates them into a few primary questions or issues. The following outlines both the primary questions associated with the proposal and staff's findings.

- **Are the proposed lot sizes and configurations appropriate?**

Yes. The proposed lots would meet minimum size and dimensions standards outlined in city code.

	<b>Required</b>	<b>Lot 1</b>	<b>Lot 2</b>
Lot area	22,000 sf	66, 844 sf	25,285 sf
Buildable area	3,500 sf	5605 sf *	4165 sf *
Lot width at right-of-way	80 feet	80 ft	125 ft
Lot width at setback	110 feet	137 ft	125 ft
Lot depth	125 feet	250 ft	377 ft

\* rounded to the nearest 5 feet.

- **Are the proposed site impacts reasonable?**

Generally, yes. The proposed subdivision has been reviewed to ensure conformance with the city's tree protection ordinance. The currently proposed plans indicates that two trees – 66 percent – of the site's high priority trees would be removed for utility installation. However, staff has identified an alternative that would preserve an additional high priority tree, ensuring the subdivision is in conformance with the tree protection ordinance. This has been included as a condition of approval.

	<b>Removal allowed by ordinance</b>	<b>Existing</b>	<b>Removed <sup>3</sup></b>
High priority trees	Up to 35 percent	3 trees	<u>Currently Proposed</u> 2 trees; 66 percent  <u>Staff Alternative</u> 1 tree; 33 percent
Significant trees	n/a	15 trees	9 trees; 60 percent

<sup>3</sup> By city code, a tree is considered removed if 30 percent or more of the critical root zone of the tree is compacted, cut, filled, or paved.

**Staff Recommendations**

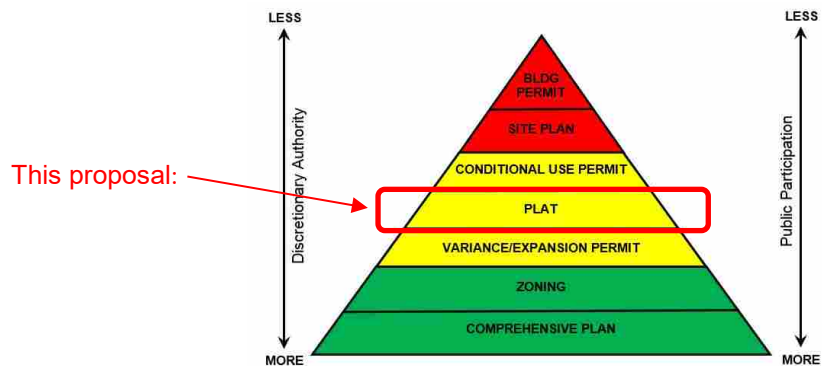
Recommend that the city council adopt the resolution approving the preliminary plat of DAMYAN'S ADDITION, a two-lot subdivision at 9598 Ann Lane.

Originator: Ashley Cauley, Senior Planner  
Through: Loren Gordon, AICP, City Planner

### Supporting Information

<b>Project No.</b>	20010.20a
<b>Property</b>	9598 Ann Lane
<b>Applicant</b>	EDS, Inc., on behalf of the property owners
<b>Surrounding Land Uses</b>	Properties to the west and south are single family residential properites, zoned R-1 and guided for low density residential. Properites to the north and east are in the City of St. Louis Park
<b>Planning</b>	Guide Plan designation: low density residential Zoning: R-1
<b>Stormwater</b>	Stormwater management is required. An individual plan will be required and reiewed in conjunction with a building permit application for the new home.

### Pyramid of Discretion



### Motion Options

The planning commission has the following options:

1. Concur with staff's recommendation. In this case, a motion should be made recommending the city council approve the proposal based on the findings outlined in the staff drafted resolution.
2. Disagree with staff's recommendation. In this case, a motion should be made recommending the city council deny the proposal. The motion should include findings for denial.
3. Table the request. In this case, a motion should be made to table the item. The motion should include a statement as to why the request is being tabled with direction to staff, the applicant or both.

**Neighborhood  
Comments**

The city sent notices to 13 area property owners and received no comments.

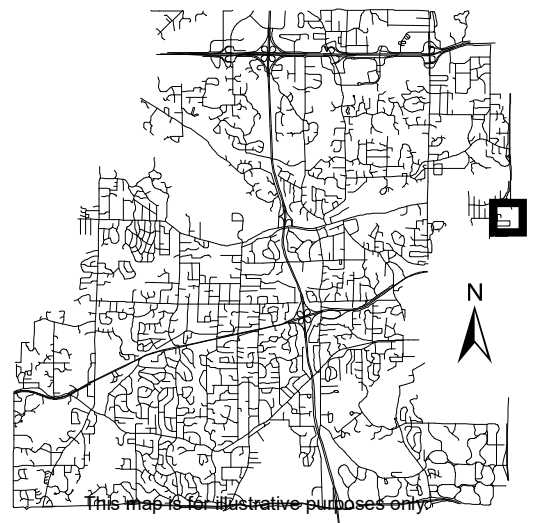
**Deadline for Action**

June 22, 2020



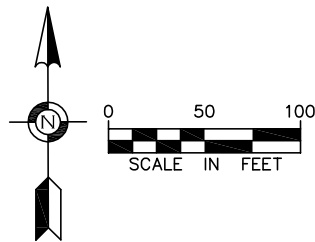
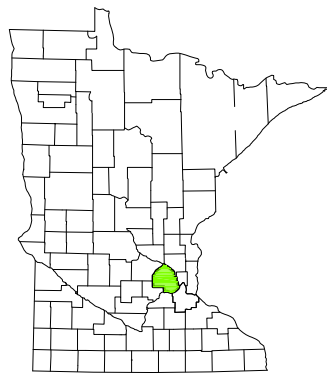
**Location Map**

Project: Damyan's Addition  
Address: 9598 Ann Lane



This map is for illustrative purposes only.





# DAMYAN'S ADDITION

9598 ANN LANE  
MINNETONKA, MINNESOTA

## PRELIMINARY PLAT, SITE, GRADING, DRAINAGE AND EROSION CONTROL PLANS

**PROJECT LOCATION**  
COUNTY: HENNEPIN  
CITY: MINNETONKA

### CONTACTS

#### OWNER NAME

IULIYAN DAMYAN  
PHONE CELL (612) 987 1913

#### GENERAL CONTRACTOR

DRAGOMIR PERZHU  
PERZHU CONTRACTING LLC  
PHONE (612) 636 1244

#### ARCHITECT

ALEXANDER BOCHARNIKOV  
AVA STUDIO  
PHONE (612) 532 8159

#### PROJECT PLANNER

ASHLEY CAULEY  
CITY OF MINNETONKA  
PHONE (952) 939 8298

#### ENGINEER / SURVEYOR

VLADIMIR SIVRIVER  
ENGINEERING DESIGN &  
SURVEYING, INC.  
6480 WAYZATA BLVD.  
MINNEAPOLIS, MN 55426  
PHONE (763) 545 2800  
FAX (763) 545 2801

### BUILDING SETBACKS

ZONING: R-1 = LOW DENSITY RESIDENTIAL DISTRICT  
HOUSE: FRONT = 35 FT  
SIDE = 10 FT MIN (30 FT TOTAL SIDE)  
REAR = 40 FT MIN OR 20% OF LOT DEPTH  
WHICHEVER IS  
LESS, BUT NO LESS THAN 25 FT  
BFE 907.1 = 20 FT

### ZONING

ZONING: R-1 = LOW DENSITY  
RESIDENTIAL DISTRICT

### REFERENCE BENCHMARK

ELEVATION = 911.85 TNH AT THE NE QUADRANT  
OF ANN LANE AND OAK RIDGE ROAD

### PROPOSED HARDCOVER OF LOT 2

PROPOSED HOUSE	2,414 SQ. FT.
PROPOSED GARAGE	900 SQ. FT.
PROPOSED CONCRETE SURFACE	900 SQ. FT.
TOTAL IMPERVIOUS SURFACE	4,214 SQ. FT.
TOTAL LOT AREA	46,285 SQ. FT.
PROPOSED HARDCOVER	9.1 %

### SHEET INDEX

- C1.....TITLE SHEET
- C2.....EXISTING TOPOGRAPHY
- C3.....PRELIMINARY PLAT
- C4.....SITE PLAN
- C5.....GRADING, DRAINAGE &  
EROSION CONTROL PLAN
- C6.....TREE PLAN
- C7.....SUBDIVISION REQUIREMENTS
- C8.....STORM WATER MANAGEMENT PLAN
- C9.....STORM WATER MANAGEMENT NOTES
- C10.....EROSION AND SEDIMENTS CONTROL PLAN
- C11.....GRADING, DRAINAGE AND  
EROSION CONTROL NOTES
- C12.....DRAINAGE AREAS CALCULATIONS
- C12A.....POND OUTLET

### VICINITY MAP



SECTION 18, TOWNSHIP 117 RANGE 21

### LEGEND

- DENOTES FOUND PROPERTY IRON
- DENOTES SET 1/2" X 18" REBAR  
WITH PLASTIC CAP "PLS 25105"
- DENOTES BOUNDARY LINE
- - - DENOTES LOT LINE
- - - DENOTES SETBACK LINE
- 999 DENOTES EXISTING CONTOUR LINE
- ← DENOTES DRAINAGE FLOW
- ▒ DENOTES PAVER BRICK SURFACE
- 🌳 DENOTES DECIDUOUS TREE
- 🌿 DENOTES SHRUB
- ⊙ DENOTES SANITARY MANHOLE
- ⊗ DENOTES WATER VALVE
- ⊕ DENOTES POWER POLE
- ⊥ DENOTES GUY ANCHOR
- DENOTES CONCRETE SURFACE
- ▒ DENOTES BITUMINOUS SURFACE
- ✕ DENOTES REMOVE TREE

### PROPOSED

- DENOTES NEW BOUNDARY LINE
- DENOTES PROPOSED HOUSE
- DENOTES PROPOSED GARAGE
- DENOTES PROPOSED DRIVEWAY

NO.	DATE	DESCRIPTION	BY



**ENGINEERING DESIGN & SURVEYING**  
6480 Wayzata Blvd. Minneapolis, MN 55426  
OFFICE: (763) 545-2800 FAX: (763) 545-2801  
EMAIL: info@edsmn.com WEBSITE: http://edsmn.com

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Vlad Sivriver*  
VLADIMIR SIVRIVER P.E. NO. 25105

TITLE SHEET

JOB NAME: IULIYAN DAMYAN

DRAWN BY: IS

PROJ. NO. 12-010

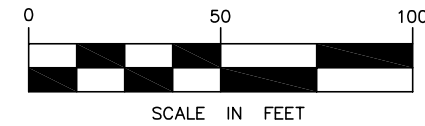
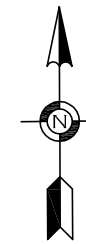
LOCATION: 9598 ANN LANE  
MINNETONKA, MN 55305

CHECKED BY: VS

SHEET NO. C1

# EXISTING TOPOGRAPHY

-for-  
IULIYAN DAMYAN



Call 48 Hours before digging  
**GOPHER STATE ONE CALL**  
Twin Cities Area 651-454-0002  
MN. Toll Free 1-800-252-1166

## LEGEND

- DENOTES FOUND PROPERTY IRON
- DENOTES SET 1/2" X 18" REBAR WITH PLASTIC CAP "PLS 25105"
- DENOTES BOUNDARY LINE
- - - DENOTES LOT LINE
- - - DENOTES SETBACK LINE
- - - 999 DENOTES EXISTING CONTOUR LINE
- ← DENOTES DRAINAGE FLOW
- ▒ DENOTES PAVER BRICK SURFACE
- DENOTES DECIDUOUS TREE
- ✱ DENOTES SHRUB
- ⊙ DENOTES SANITARY MANHOLE
- ⊗ DENOTES WATER VALVE
- ⊕ DENOTES POWER POLE
- ⊔ DENOTES GUY ANCHOR
- ▒ DENOTES CONCRETE SURFACE
- ▒ DENOTES BITUMINOUS SURFACE

## BUILDING SETBACKS

ZONING: R-1 = LOW DENSITY RESIDENTIAL DISTRICT  
HOUSE: FRONT = 35 FT  
SIDE = 10 FT MIN (30 FT TOTAL SIDE)  
REAR = 40 FT MIN OR 20% OF LOT DEPTH WHICHEVER IS LESS, BUT NO LESS THAN 25 FT  
BFE 907.1 = 20 FT

## EXISTING HARDCOVER

EXISTING HOUSE	2,473 SQ. FT.
EXISTING CONCRETE SURFACE	467 SQ. FT.
EXISTING PAVER BRICK SURFACE	2,951 SQ. FT.
<b>TOTAL IMPERVIOUS SURFACE</b>	<b>5,891 SQ. FT.</b>
TOTAL LOT AREA	113,000 SQ. FT.
EXISTING HARDCOVER	5.2 %

## REFERENCE BENCHMARK

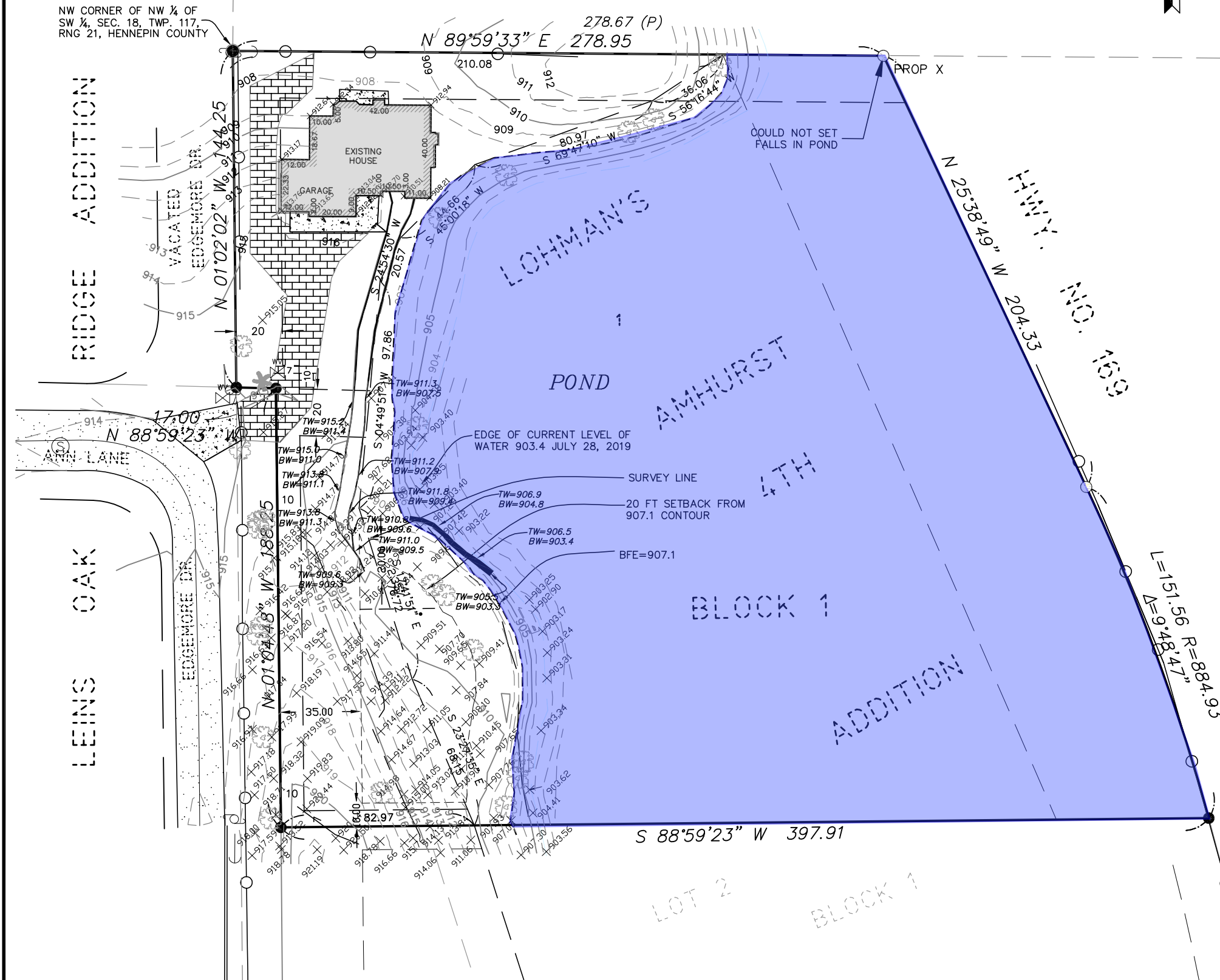
ELEVATION = 911.85 TNH AT THE NE QUADRANT OF ANN LANE AND OAK RIDGE ROAD

## EXISTING DESCRIPTION

Lot 1, Block 1, LOHMAN'S AMHURST 4TH ADDITION, Hennepin County, Minnesota, according to the recorded plat thereof.

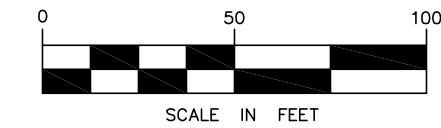
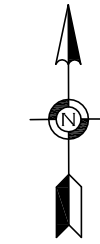
## NOTES

1. THE BASIS OF THE BEARING SYSTEM IS PER PLAT OF LOHMAN'S AMHURST 4TH ADDITION.
2. NO SPECIFIC SOIL INVESTIGATION HAS BEEN COMPLETED
3. CONTRACTOR SHALL VERIFY PROPOSED ELEVATIONS.
4. NO TITLE INFORMATION WAS PROVIDED FOR THIS SURVEY. THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD.
5. EXISTING UTILITIES AND SERVICES SHOWN HEREON OWNER LOCATED EITHER PHYSICALLY ON THE GROUND DURING THE SURVEY OR FROM EXISTING RECORDS MADE AVAILABLE TO US OR BY RESIDENT TESTIMONY. OTHER UTILITIES AND SERVICES MAY BE PRESENT. VERIFICATION AND LOCATION OF UTILITIES AND SERVICES SHOULD BE OBTAIN FROM THE OWNERS OF RESPECTIVE UTILITIES BY CONTACTING GOPHER STATE ONE CALL AT (651) 454-0002 PRIOR TO ANY DESIGN, PLANNING OR EXCAVATION.
6. THE BUILDABLE AREA OF PARCEL 2 IS 4,142 SQ. FT.
7. THE PROPOSED HOUSE AREA IS 2,414 SQ. FT AND PROPOSED GARAGE AREA IS 900 SQ. FT.



NO.	DATE	DESCRIPTION	BY

# DAMYAN'S ADDITION PRELIMINARY PLAT



Call 48 Hours before digging  
**GOPHER STATE ONE CALL**  
Twin Cities Area 651-454-0002  
MN. Toll Free 1-800-252-1166

### LEGEND

- DENOTES FOUND PROPERTY IRON
- DENOTES SET 1/2" X 18" REBAR WITH PLASTIC CAP "PLS 25105"
- DENOTES BOUNDARY LINE
- - - DENOTES LOT LINE
- - - DENOTES SETBACK LINE
- 999 - - - DENOTES EXISTING CONTOUR LINE
- ← DENOTES DRAINAGE FLOW
- ▒ DENOTES PAVER BRICK SURFACE
- ⊙ DENOTES SANITARY MANHOLE
- ⊗ DENOTES WATER VALVE
- ⊕ DENOTES POWER POLE
- ⊖ DENOTES GUY ANCHOR
- ▒ DENOTES CONCRETE SURFACE
- ▒ DENOTES BITUMINOUS SURFACE
- ⊕ DENOTES DECIDUOUS TREE
- ⊗ DENOTES SHRUB

### BUILDING SETBACKS

ZONING: R-1 = LOW DENSITY RESIDENTIAL DISTRICT  
HOUSE: FRONT = 35 FT  
SIDE = 10 FT MIN (30 FT TOTAL SIDE)  
REAR = 40 FT MIN OR 20% OF LOT DEPTH WHICHEVER IS LESS, BUT NO LESS THAN 25 FT  
907.1 BFE = 20 FT

### PROPOSED HARDCOVER OF LOT 2

PROPOSED HOUSE	2,414 SQ. FT.
PROPOSED GARAGE	900 SQ. FT.
PROPOSED CONCRETE SURFACE	900 SQ. FT.
TOTAL IMPERVIOUS SURFACE	4,214 SQ. FT.
TOTAL LOT AREA	46,285 SQ. FT.
PROPOSED HARDCOVER	9.1 %

### PROPOSED

- 854.1 DENOTES PROPOSED GRADE
- DENOTES NEW BOUNDARY LINE
- DENOTES PROPOSED RET. WALL
- ▒ DENOTES PROPOSED HOUSE
- ▒ DENOTES PROPOSED GARAGE
- ▒ DENOTES PROPOSED DRIVEWAY

### LOT AREAS

LOT 1 AREA=66,844 SQ. FT.  
LOT 2 AREA=46,285 SQ. FT.

### REFERENCE BENCHMARK

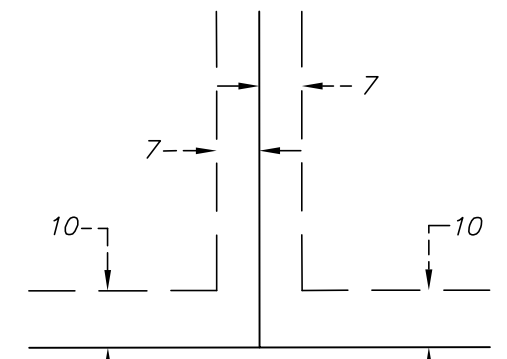
ELEVATION = 911.85 TNH AT THE NE QUADRANT OF ANN LANE AND OAK RIDGE ROAD

### EXISTING DESCRIPTION

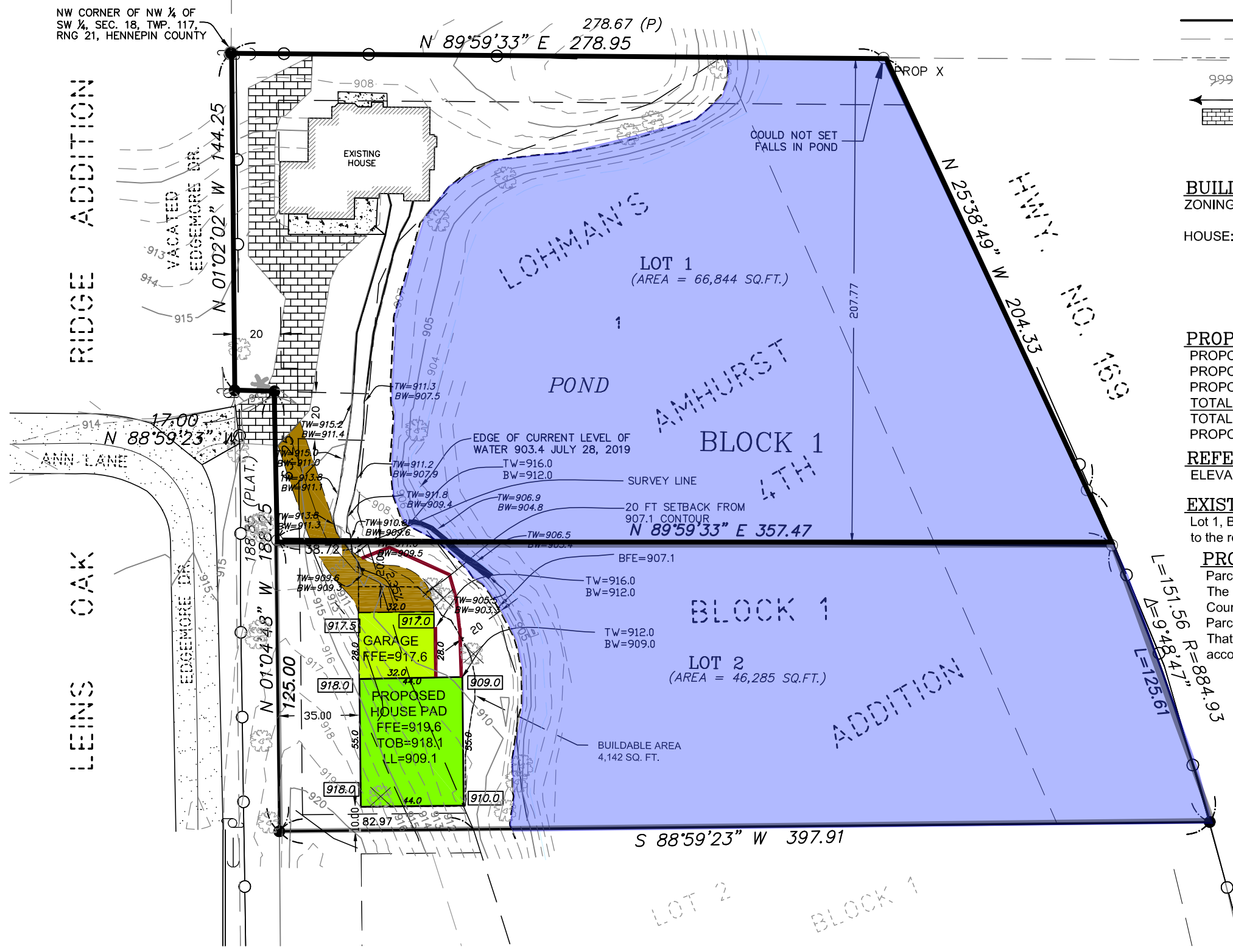
Lot 1, Block 1, LOHMAN'S AMHURST 4TH ADDITION, Hennepin County, Minnesota, according to the recorded plat thereof.

### PROPOSED DESCRIPTIONS

Parcel 1:  
The North 207.77 feet of Lot 1, Block 1, LOHMAN'S AMHURST 4TH ADDITION, Hennepin County, Minnesota, according to the recorded plat thereof.  
Parcel 2:  
That part of Lot 1, Block 1, LOHMAN'S AMHURST 4TH ADDITION, Hennepin County, Minnesota, according to the recorded plat thereof, lying southerly of the North 207.77 feet of said Lot 1.  
**DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:**



(NOT TO SCALE)  
BEING 7 FEET IN WIDTH, AND ADJOINING LOT LINES UNLESS OTHERWISE SHOWN, AND 10 FEET IN WIDTH, AND ADJOINING RIGHT OF WAY LINES, UNLESS OTHERWISE SHOWN ON THE PLAT

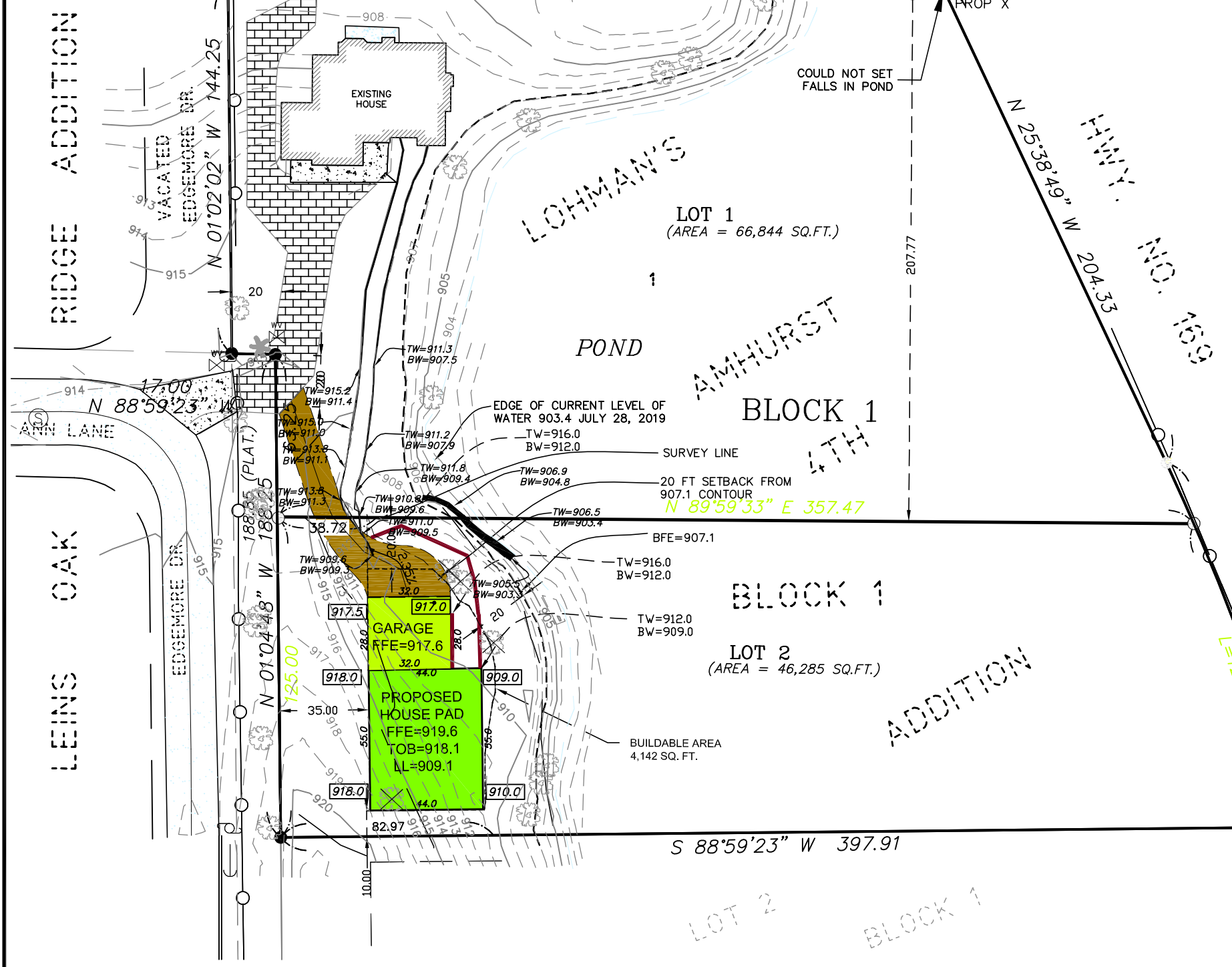
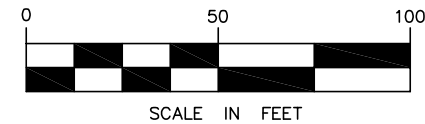
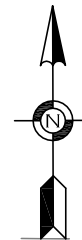


# SITE PLAN

Call 48 Hours before digging  
**GOPHER STATE ONE CALL**  
 Twin Cities Area 651-454-0002  
 MN. Toll Free 1-800-252-1166

NW CORNER OF NW ¼ OF SW ¼, SEC. 18, TWP. 117, RNG 21, HENNEPIN COUNTY

NOTE: CONTRACTOR SHALL VERIFY PROPOSED ELEVATIONS AND SITE DIMENSIONS.



### BUILDING SETBACKS

ZONING: R-1 = LOW DENSITY RESIDENTIAL DISTRICT  
 HOUSE: FRONT = 35 FT  
 SIDE = 10 FT MIN (30 FT TOTAL SIDE)  
 REAR = 40 FT MIN OR 20% OF LOT DEPTH WHICHEVER IS LESS, BUT NO LESS THAN 25 FT  
 907.1 BFE = 20 FT

### REFERENCE BENCHMARK

ELEVATION = 911.85 TNH AT THE NE QUADRANT OF ANN LANE AND OAK RIDGE ROAD

### EXISTING DESCRIPTION

Lot 1, Block 1, LOHMAN'S AMHURST 4TH ADDITION, Hennepin County, Minnesota, according to the recorded plat thereof.

### PROPOSED DESCRIPTIONS

Parcel 1:  
 The North 207.77 feet of Lot 1, Block 1, LOHMAN'S AMHURST 4TH ADDITION, Hennepin County, Minnesota, according to the recorded plat thereof.  
 Parcel 2:  
 That part of Lot 1, Block 1, LOHMAN'S AMHURST 4TH ADDITION, Hennepin County, Minnesota, according to the recorded plat thereof, lying southerly of the North 207.77 feet of said Lot 1.

### PROPOSED HARDCOVER OF LOT 2

PROPOSED HOUSE	2,414 SQ. FT.
PROPOSED GARAGE	900 SQ. FT.
PROPOSED CONCRETE SURFACE	900 SQ. FT.
TOTAL IMPERVIOUS SURFACE	4,214 SQ. FT.
TOTAL LOT AREA	46,285 SQ. FT.
PROPOSED HARDCOVER	9.1 %

### NOTES

1. THE BASIS OF THE BEARING SYSTEM IS ASSUMED.
2. NO SPECIFIC SOIL INVESTIGATION HAS BEEN COMPLETED.
3. CONTRACTOR SHALL VERIFY PROPOSED ELEVATIONS.
4. NO TITLE INFORMATION WAS PROVIDED FOR THIS SURVEY. THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD.
5. EXISTING UTILITIES AND SERVICES SHOWN HEREON OWNER LOCATED EITHER PHYSICALLY ON THE GROUND DURING THE SURVEY OR FROM EXISTING RECORDS MADE AVAILABLE TO US OR BY RESIDENT TESTIMONY. OTHER UTILITIES AND SERVICES MAY BE PRESENT. VERIFICATION AND LOCATION OF UTILITIES AND SERVICES SHOULD BE OBTAIN FROM THE OWNERS OF RESPECTIVE UTILITIES BY CONTACTING GOPHER STATE ONE CALL AT (651) 454-0002 PRIOR TO ANY DESIGN, PLANNING OR EXCAVATION.
6. THE BUILDABLE AREA OF PARCEL 2 IS 4,142 SQ. FT.
7. THE PROPOSED HOUSE AREA IS 2,414 SQ. FT AND PROPOSED GARAGE AREA IS 900 SQ. FT.
8. LINE WORK IN COUNTY BEARING SYSTEM, LABELS ARE PER PLAT BEARING SYSTEM.

### LEGEND

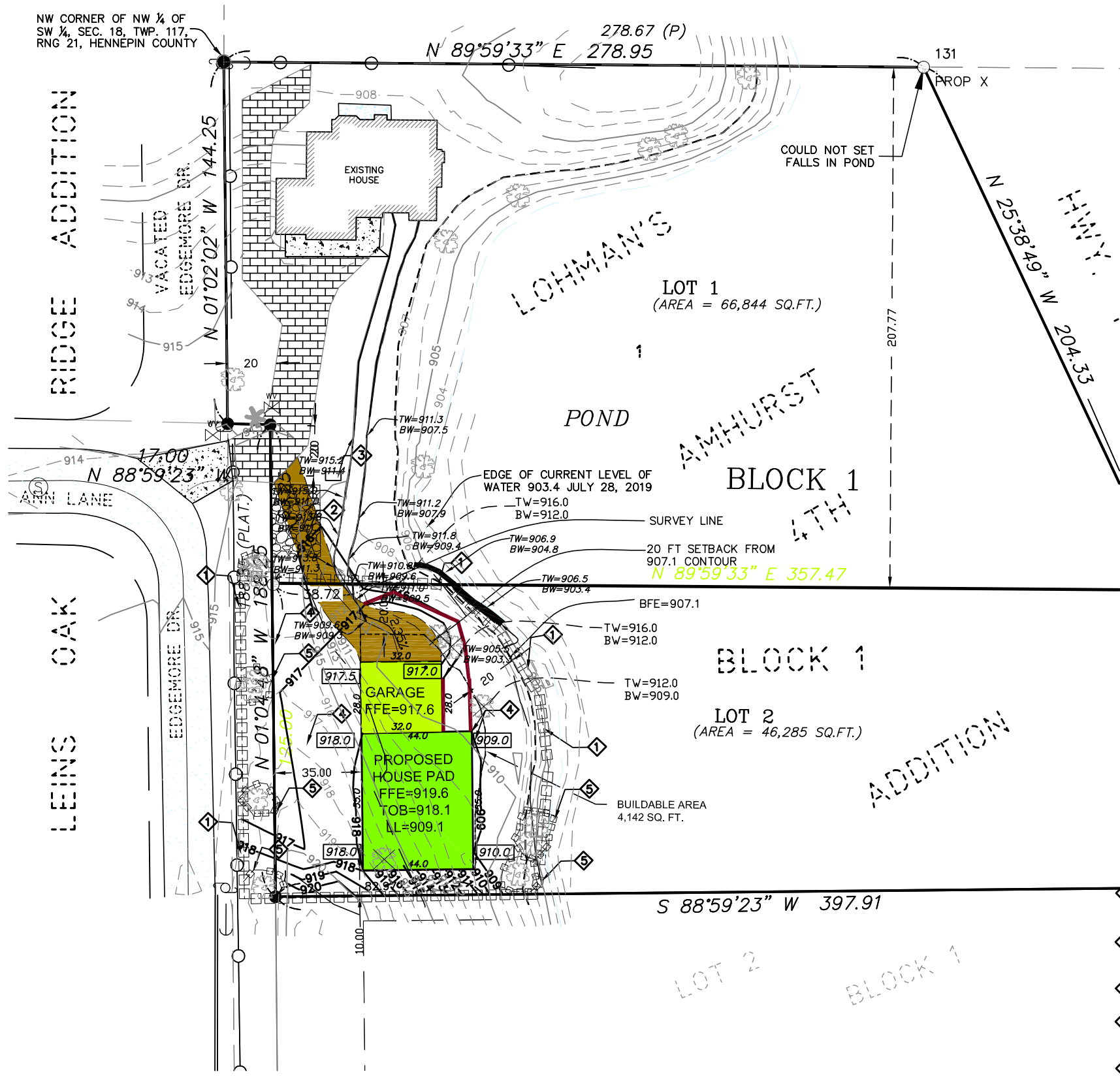
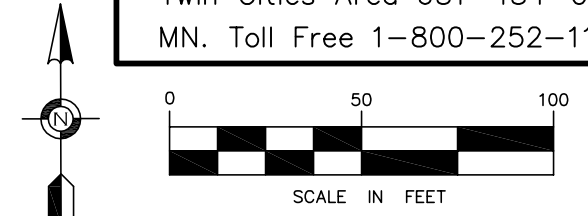
- DENOTES FOUND PROPERTY IRON
- DENOTES SET 1/2" X 18" REBAR WITH PLASTIC CAP "PLS 25105"
- DENOTES BOUNDARY LINE
- - - DENOTES LOT LINE
- - - DENOTES SETBACK LINE
- 999.99 DENOTES EXISTING SPOT ELEVATION
- 4 DENOTES CONCRETE SURFACE
- 999 DENOTES EXISTING CONTOUR LINE
- X FFE DENOTES FINISH FLOOR ELEVATION
- DENOTES BITUMINOUS SURFACE
- DENOTES DECIDUOUS TREE
- DENOTES WHITE PVC FENCE
- ⊙ DENOTES SANITARY MANHOLE
- ⊙ DENOTES LIGHT POLE
- ⊙ DENOTES ELECTRIC CABINET /GENERATOR
- ⊙ DENOTES GAS METER
- ⊙ DENOTES WATER VALVE
- DENOTES STORM CATCH BASIN
- ⊙ DENOTES STORM MANHOLE
- ⊙ DENOTES STORM PIPE END
- ⊙ DENOTES ELECTRIC OUTLET
- ⊙ DENOTES HYDRANT
- 4 DENOTES CONCRETE SURFACE
- DENOTES BITUMINOUS SURFACE
- X DENOTES REMOVE TREE
- 854.1 DENOTES PROPOSED GRADE
- DENOTES NEW BOUNDARY LINE
- XXX DENOTES PROPOSED CONTOURS
- - - DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SILT FENCE
- DENOTES PROPOSED ROCK CONSTR. ENT.
- DENOTES PROPOSED HOUSE
- DENOTES PROPOSED GARAGE
- DENOTES PROPOSED DRIVEWAY

NO.	DATE	DESCRIPTION	BY

# GRADING, DRAINAGE AND EROSION CONTROL PLAN

Call 48 Hours before digging  
**GOPHER STATE ONE CALL**  
 Twin Cities Area 651-454-0002  
 MN. Toll Free 1-800-252-1166

NOTE: CONTRACTOR SHALL VERIFY PROPOSED ELEVATIONS AND SITE DIMENSIONS.



**BUILDING SETBACKS**  
 ZONING: R-1 = LOW DENSITY RESIDENTIAL DISTRICT  
 HOUSE: FRONT = 35 FT  
 SIDE = 10 FT MIN (30 FT TOTAL SIDE)  
 REAR = 40 FT MIN OR 20% OF LOT DEPTH WHICHEVER IS LESS, BUT NO LESS THAN 25 FT  
 907.1 BFE = 20 FT

**REFERENCE BENCHMARK**  
 ELEVATION = 911.85 TNH AT THE NE QUADRANT OF ANN LANE AND OAK RIDGE ROAD

**EXISTING DESCRIPTION**  
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**PROPOSED HARDCOVER OF LOT 2**

PROPOSED HOUSE	2,414 SQ. FT.
PROPOSED GARAGE	900 SQ. FT.
PROPOSED CONCRETE SURFACE	900 SQ. FT.
TOTAL IMPERVIOUS SURFACE	4,214 SQ. FT.
TOTAL LOT AREA	46,285 SQ. FT.
PROPOSED HARDCOVER	9.1 %

- NUMBERED NOTES**
- 1 INSTALL SILT FENCE PRIOR TO START OF SOIL DISTURBING ACTIVITIES.
  - 2 INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE PRIOR TO START OF SOIL DISTURBING ACTIVITIES.
  - 3 INSTALL SWMP BOX NEAR THE CONSTRUCTION ENTRANCE.
  - 4 PLACE SOD AROUND THE HOUSE FROM FRONT CURB TO BACK OF THE HOUSE
  - 5 TREE PROTECTION DEVICE

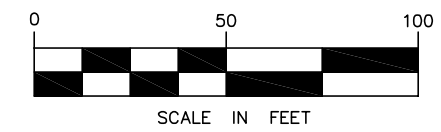
- LEGEND**
- DENOTES FOUND PROPERTY IRON
  - DENOTES SET 1/2" X 18" REBAR WITH PLASTIC CAP "PLS 25105"
  - DENOTES BOUNDARY LINE
  - DENOTES LOT LINE
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  - x999.99 DENOTES EXISTING SPOT ELEVATION
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  - DENOTES SANITARY MANHOLE
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  - DENOTES GAS METER
  - ww DENOTES WATER VALVE
  - DENOTES STORM CATCH BASIN
  - DENOTES STORM MANHOLE
  - DENOTES STORM PIPE END
  - EM DENOTES ELECTRIC OUTLET
  - DENOTES HYDRANT
  - ✕ DENOTES REMOVE TREE

- PROPOSED**
- 854.1 DENOTES PROPOSED GRADE
  - DENOTES NEW BOUNDARY LINE
  - xxx DENOTES PROPOSED CONTOURS
  - DENOTES PROPOSED STORM SEWER
  - DENOTES PROPOSED SILT FENCE
  - DENOTES PROPOSED ROCK CONSTR. ENT.
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  - DENOTES PROPOSED HOUSE
  - DENOTES PROPOSED GARAGE
  - DENOTES PROPOSED DRIVEWAY

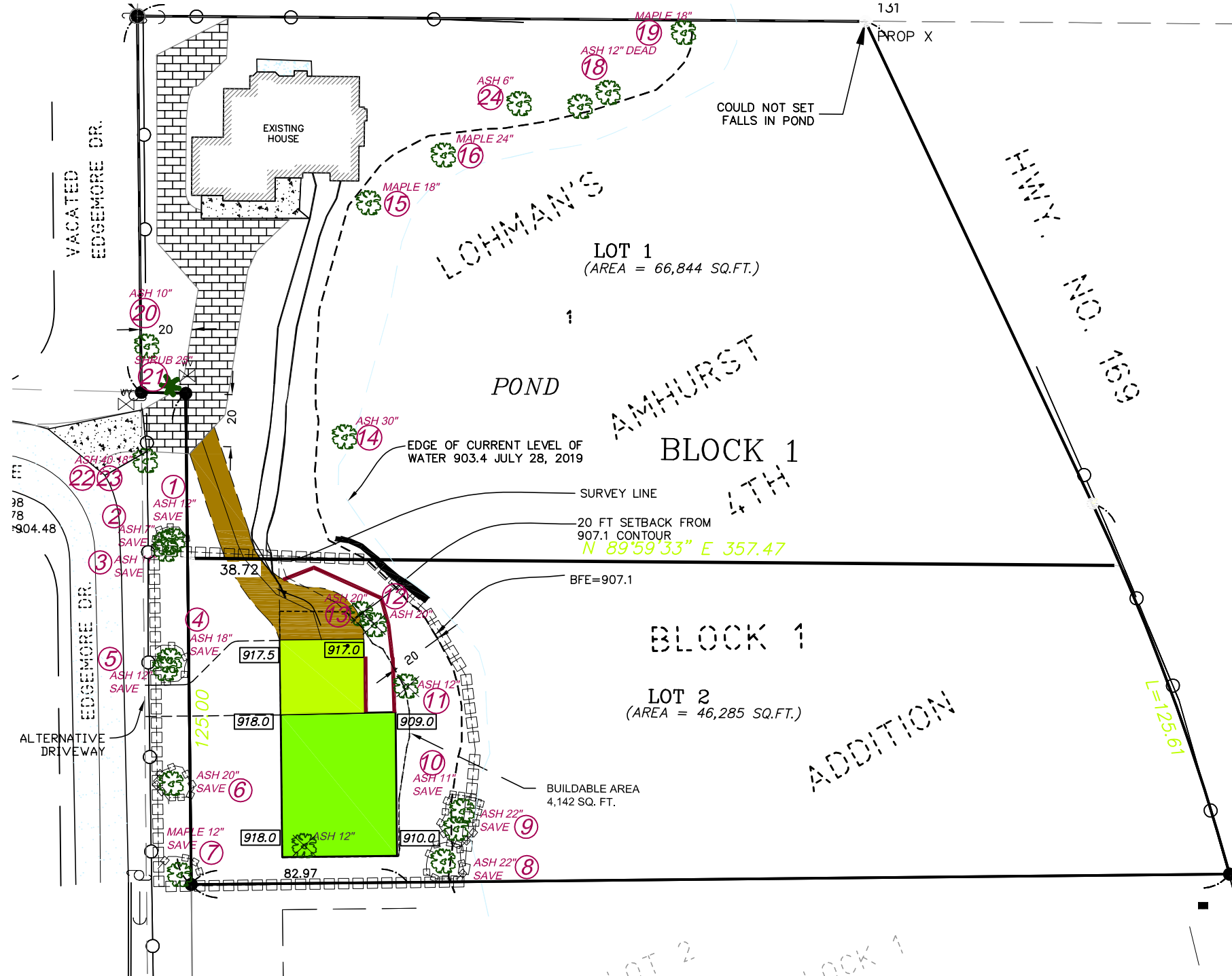
NO.	DATE	DESCRIPTION	BY

# TREE PLAN

NOTE: CONTRACTOR SHALL VERIFY PROPOSED ELEVATIONS AND SITE DIMENSIONS.



Call 48 Hours before digging  
**GOPHER STATE ONE CALL**  
 Twin Cities Area 651-454-0002  
 MN. Toll Free 1-800-252-1166



### TREE SURVEY NOTES

- 24 TREES WERE LOCATED WITHIN THE PARCEL
- ALL TREES 4 INCHES OR LARGER IN DIAMETER WERE LOCATED AT THE CHEST LEVEL APPROXIMATELY 4.5 FEET FROM THE GROUND LEVEL
- ALL DIAMETERS WERE MEASURED IN INCHES
- THE TRUE CENTER OF THE TREES WERE LOCATED BY USING THE DISTANCE OFFSET TOOL IN DECIMAL FEET
- MULTI STEM TREES ARE DESCRIBED WITH MULTIPLE DIAMETERS FOR ONE STEM. (EXAMPLE: MAPLE 12 24)
- TREES SPECIES WERE IDENTIFIED TO THE BEST OF OUR KNOWLEDGE. (EXAMPLE OAK 9)
- DEAD TREES WERE LABELED AS DEAD AT THE END OF THE DESCRIPTOR TO THE BEST OF OUR ABILITY. (EXAMPLE: ASH 12 DEAD)

### LEGEND

- DENOTES FOUND PROPERTY IRON
- DENOTES SET 1/2" X 18" REBAR WITH PLASTIC CAP "PLS 25105"
- DENOTES BOUNDARY LINE
- - - DENOTES LOT LINE
- - - DENOTES SETBACK LINE
- x999.99 DENOTES EXISTING SPOT ELEVATION
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- ✗ DENOTES REMOVE TREE

### PROPOSED

- 854.1 DENOTES PROPOSED GRADE
- DENOTES NEW BOUNDARY LINE
- DENOTES PROPOSED CONTOURS
- XXX DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SILT FENCE
- DENOTES PROPOSED ROCK CON. ENT
- DENOTES PROPOSED RET. WALL
- DENOTES PROPOSED HOUSE
- DENOTES PROPOSED GARAGE
- DENOTES PROPOSED DRIVEWAY

TAG #	SPECIES	DIAMETER (Inches)	CONDITION	DISTURBED/UNDISTURBED /EXEMPT
1	ASH	12	8	U
2	ASH	7	8	U
3	ASH	11	8	U
4	ASH	18	8	U
5	ASH	12	8	U
6	ASH	20	8	U
7	MAPLE	12	8	U
8	ASH	22	8	U
9	ASH	22	8	U
10	ASH	11	8	U
11	ASH	12	8	D
12	ASH	20	8	D
13	ASH	20	8	D
14	ASH	30	8	U
15	MAPLE	18	8	U
16	MAPLE	24	8	U
17	MAPLE	16	8	U
18	ASH	12	DEAD	U
19	MAPLE	18	8	U
20	ASH	11	8	U
21	SHRUB	25	8	U
22-23	ASH	40 18	8	U
24	ASH	6	8	U
		0		EXEMPT TREES
		0		REVISED DIAMETER
		3		DISTURBED TREES
		21		UNDISTURBED TREES
		24		TOTAL TREES
		88		%SAVED

### PROPOSED DESCRIPTIONS

Parcel 1:  
 The North 207.77 feet of Lot 1, Block 1, LOHMAN'S AMHURST 4TH ADDITION, Hennepin County, Minnesota, according to the recorded plat thereof.

Parcel 2:  
 That part of Lot 1, Block 1, LOHMAN'S AMHURST 4TH ADDITION, Hennepin County, Minnesota, according to the recorded plat thereof, lying southerly of the North 207.77 feet of said Lot 1.

### EXISTING DESCRIPTION

Lot 1, Block 1, LOHMAN'S AMHURST 4TH ADDITION, Hennepin County, Minnesota, according to the recorded plat thereof.

### REFERENCE BENCHMARK

ELEVATION = 911.85 TNH AT THE NE QUADRANT OF ANN LANE AND OAK RIDGE ROAD

NO.	DATE	DESCRIPTION	BY

**EDS** ENGINEERING DESIGN & SURVEYING  
 6480 Wayzata Blvd. Minneapolis, MN 55426  
 OFFICE: (763) 545-2800 FAX: (763) 545-2801  
 EMAIL: info@edsmn.com WEBSITE: http://edsmn.com

I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Vlad Sivriver*  
 VLADIMIR SIVRIVER L.S. NO. 25105 DATED: 04/26/20

**IULIYAN DAMYAN**  
 LOCATION: 9598 ANN LANE  
 MINNETONKA, MN 55305

FIELD WORK DATE: 04/30/19  
 FIELD BOOK NO.: EDS-13

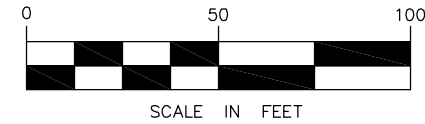
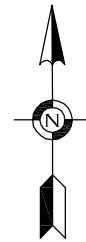
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 CHECKED BY: VS

PROJECT NO.: 12-010  
 SHEET NO. C6

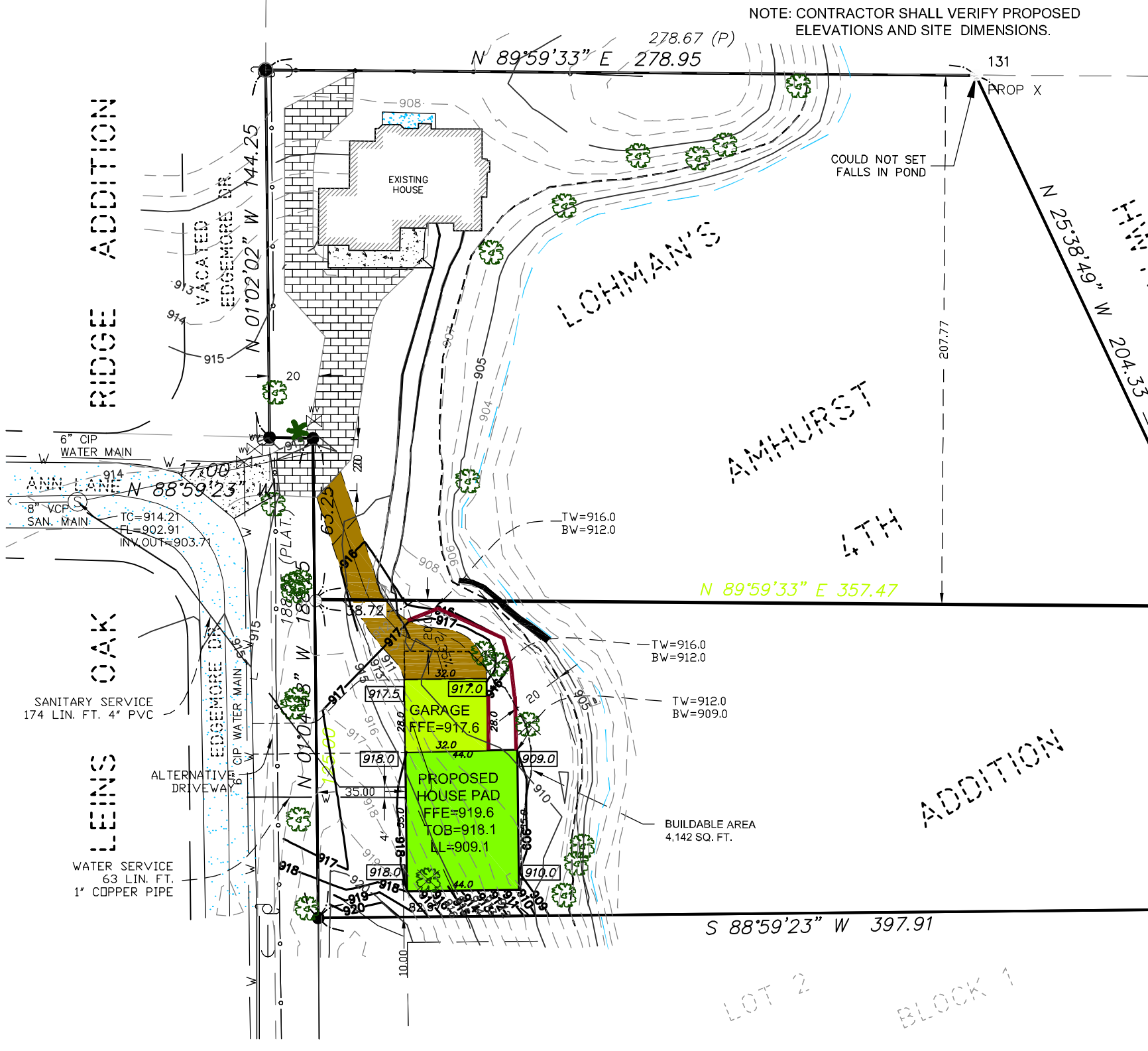
Proposed utility plan

# UTILITY PLAN

Call 48 Hours before digging  
**GOPHER STATE ONE CALL**  
 Twin Cities Area 651-454-0002  
 MN. Toll Free 1-800-252-1166



NOTE: CONTRACTOR SHALL VERIFY PROPOSED ELEVATIONS AND SITE DIMENSIONS.



**REFERENCE BENCHMARK**  
 ELEVATION = 911.85 TNH AT THE NE QUADRANT OF ANN LANE AND OAK RIDGE ROAD

**MATERIALS**  
**WATER**  
 -EXISTING WATERMAIN 6" CIP PIPE  
 -WATER SERVICE 1" TYPE K COPPER PIPE  
**SANITARY**  
 -EXISTING SANITARY MAIN 8" VCP PIPE  
 -SANITARY SERVICE 4" SDR 40 PVC PIPE SCHEDULE 40

**SEPARATION/LOCATION NOTES**  
 - 10' TYPICAL SEPARATION BETWEEN SANITARY MAIN AND WATER MAIN.  
 - 4' TYPICAL SEPARATION BETWEEN SANITARY SERVICE AND WATER SERVICE.  
 - 18" MINIMUM VERTICAL SEPARATION IS REQUIRED FROM THE BOTTOM OF SANITARY SERVICE TO THE TOP OF WATER SERVICE.

**CONSTRUCTION NOTES**

- CONTRACTOR SHALL CONTACT "GOPHER STATE ONE CALL" WITHIN TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS. TWIN CITIES METRO AREA: 651-454-0002 OR TOLL-FREE: 1-800-252-1166.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND INVERTS, SHOWN OR NOT SHOWN. ANY DISCREPANCY BETWEEN PLANS AND FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
- THE UTILITY CONTRACTOR SHALL VERIFY THE LOCATIONS AND ELEVATIONS OF THE BUILDING PIPE SYSTEM PRIOR TO CONSTRUCTING SERVICE CONNECTIONS.
- ALL UTILITY WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF MINNETONKA SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
- UTILITY TRENCHES SHALL BE COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698.78 OR AASHTO T-99) FROM THE PIPE ZONE TO WITHIN THREE FEET OF THE GROUND SURFACE AND 100% STANDARD PROCTOR IN THE UPPER THREE FEET.
- CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING THE APPROPRIATE SEWER, WATER AND PLUMBING PERMITS FROM THE CITY'S BUILDING DEPARTMENT. CONTACT UTILITIES DIVISION.
- EXISTING SANITARY SEWER AND WATERMAIN STUBS SHALL BE USED FOR UTILITY CONNECTIONS AS REQUIRED.
- GENERAL CONTRACTOR SHALL COORDINATE WORK WITH ALL UTILITY COMPANIES.

- LEGEND**
- DENOTES FOUND PROPERTY IRON
  - DENOTES SET 1/2" X 18" REBAR WITH PLASTIC CAP "PLS 25105"
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  - DENOTES HYDRANT
  - 4" DENOTES CONCRETE SURFACE
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  - ✕ DENOTES REMOVE TREE
  - >> DENOTES EXISTING SANITARY SEWER MAIN
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- PROPOSED**
- 854.1 DENOTES PROPOSED GRADE
  - DENOTES NEW BOUNDARY LINE
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  - DENOTES PROPOSED HOUSE
  - DENOTES PROPOSED GARAGE
  - DENOTES PROPOSED DRIVEWAY
  - w DENOTES WATER SERVICE
  - >> DENOTES SANITARY SEWER SERVICE

- NOTES**
- Contractor must grade the public right-of-way per City Detail.
  - All site grading must be completed, certified by the developers Engineer and all "Off Road" grading equipment removed from the site before starting any public utility work.

NO.	DATE	DESCRIPTION	BY

**EDS ENGINEERING DESIGN & SURVEYING**  
 6480 Wayzata Blvd. Minneapolis, MN 55426  
 OFFICE: (763) 545-2800 FAX: (763) 545-2801  
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*Vlad Sivriver*  
 VLADIMIR SIVRIVER L.S. NO. 25105 DATED: 04/28/20

**IULYAN DAMYAN**  
 LOCATION: 9598 ANN LANE  
 MINNETONKA, MN 55305

FIELD WORK DATE: 04/30/19  
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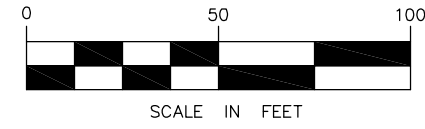
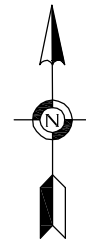
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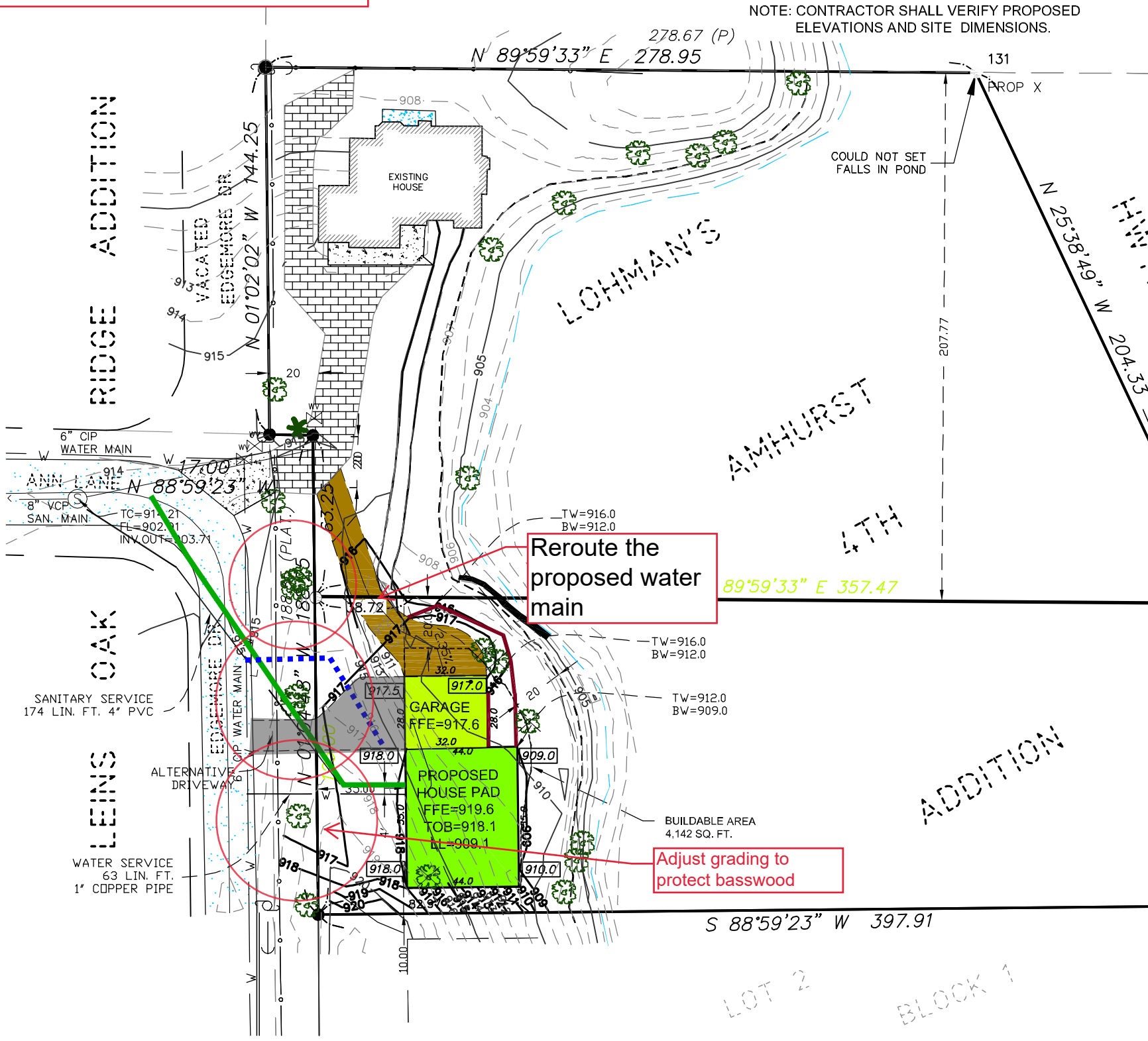
Staff identified alternative -  
For illustrative purposes only

# UTILITY PLAN

Call 48 Hours before digging  
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Twin Cities Area 651-454-0002  
MN. Toll Free 1-800-252-1166



NOTE: CONTRACTOR SHALL VERIFY PROPOSED ELEVATIONS AND SITE DIMENSIONS.



**REFERENCE BENCHMARK**  
ELEVATION = 911.85 TNH AT THE NE QUADRANT OF ANN LANE AND OAK RIDGE ROAD

**MATERIALS**  
**WATER**  
 -EXISTING WATERMAIN 6" CIP PIPE  
 -WATER SERVICE 1" TYPE K COPPER PIPE  
**SANITARY**  
 -EXISTING SANITARY MAIN 8" VCP PIPE  
 -SANITARY SERVICE 4" SDR 40 PVC PIPE SCHEDULE 40

**SEPARATION/LOCATION NOTES**  
 - 10' TYPICAL SEPARATION BETWEEN SANITARY MAIN AND WATER MAIN.  
 - 4' TYPICAL SEPARATION BETWEEN SANITARY SERVICE AND WATER SERVICE.  
 - 18" MINIMUM VERTICAL SEPARATION IS REQUIRED FROM THE BOTTOM OF SANITARY SERVICE TO THE TOP OF WATER SERVICE.

**CONSTRUCTION NOTES**

1. CONTRACTOR SHALL CONTACT "GOPHER STATE ONE CALL" WITHIN TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS. TWIN CITIES METRO AREA: 651-454-0002 OR TOLL-FREE: 1-800-252-1166.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND INVERTS, SHOWN OR NOT SHOWN. ANY DISCREPANCY BETWEEN PLANS AND FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
3. THE UTILITY CONTRACTOR SHALL VERIFY THE LOCATIONS AND ELEVATIONS OF THE BUILDING PIPE SYSTEM PRIOR TO CONSTRUCTING SERVICE CONNECTIONS.
4. ALL UTILITY WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF MINNETONKA SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
5. UTILITY TRENCHES SHALL BE COMPACTED TO 95 % STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698.78 OR AASHTO T-99) FROM THE PIPE ZONE TO WITHIN THREE FEET OF THE GROUND SURFACE AND 100 % STANDARD PROCTOR IN THE UPPER THREE FEET.
6. CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING THE APPROPRIATE SEWER, WATER AND PLUMBING PERMITS FROM THE CITY'S BUILDING DEPARTMENT. CONTACT UTILITIES DIVISION.
7. EXISTING SANITARY SEWER AND WATERMAIN STUBS SHALL BE USED FOR UTILITY CONNECTIONS AS REQUIRED.
8. GENERAL CONTRACTOR SHALL COORDINATE WORK WITH ALL UTILITY COMPANIES.

- LEGEND**
- DENOTES FOUND PROPERTY IRON
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- PROPOSED**
- 854.1 DENOTES PROPOSED GRADE
  - DENOTES NEW BOUNDARY LINE
  - xxx DENOTES PROPOSED CONTOURS
  - DENOTES PROPOSED HOUSE
  - DENOTES PROPOSED GARAGE
  - DENOTES PROPOSED DRIVEWAY
  - w DENOTES WATER SERVICE
  - >> DENOTES SANITARY SEWER SERVICE
- NOTES**
1. Contractor must grade the public right-of-way per City Detail.
  2. All site grading must be completed, certified by the developers Engineer and all "Off Road" grading equipment removed from the site before starting any public utility work.

NO.	DATE	DESCRIPTION	BY

**EDS ENGINEERING DESIGN & SURVEYING**  
 6480 Wayzata Blvd. Minneapolis, MN 55426  
 OFFICE: (763) 545-2800 FAX: (763) 545-2801  
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*Vlad Sivriyer*  
 VLADIMIR SIVRIYER L.S. NO. 25105 DATED: 04/28/20

**IULYAN DAMYAN**  
 LOCATION: 9598 ANN LANE  
 MINNETONKA, MN 55305

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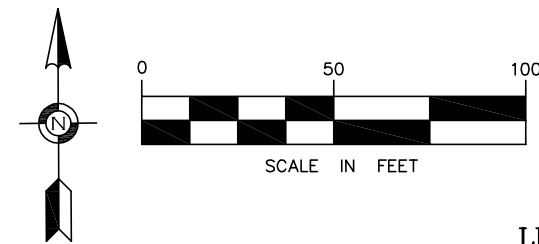
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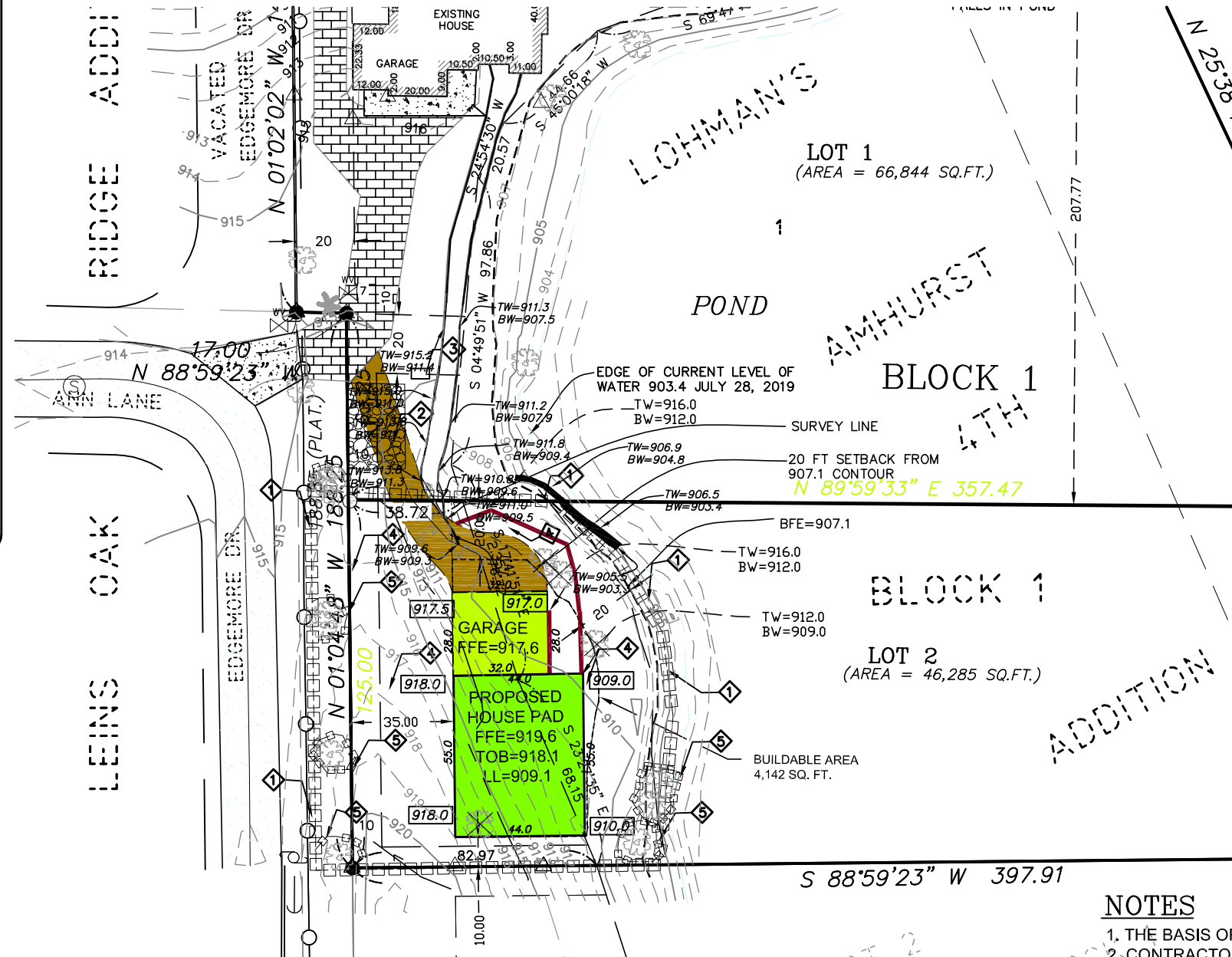


Call 48 Hours before digging  
**GOPHER STATE ONE CALL**  
 Twin Cities Area 651-454-0002  
 MN. Toll Free 1-800-252-1166

# STORM WATER MANAGEMENT PLAN



NOTE: CONTRACTOR SHALL VERIFY PROPOSED ELEVATIONS AND SITE DIMENSIONS.



- GENERAL NOTES**
- SEE SWMP NOTES ON SHEET C5 FOR FURTHER SWMP REQUIREMENTS, IN CASE OF CONFLICT BETWEEN THIS PLAN AND SWMP NOTES, THE SWMP NOTES SHALL OVERRULE.
  - ALL EROSION CONTROL MEASURES MUST BE INSTALLED AT THE INITIAL STAGES OF CONSTRUCTION AND MAINTAINED UNTIL ALL AREAS ALTERED HAVE BEEN RESTORED.
  - ALL REAR YARD AREAS OF LOTS AT SETBACK LINE ARE TO BE MULCHED AND SEEDED WITHIN 14 DAYS OF GRADING BY GRADING CONTRACTOR. ALL AREAS BETWEEN THE CURB AND SETBACK LINE ARE TO BE MULCHED AND SEEDED WITHIN 14 DAYS OF PRIVATE UTILITY INSTALLATION BY THE UTILITY CONTRACTOR.
  - STREET SWEEPING MUST BE UNDERTAKEN ON AN AS-NEEDED BASIS.
  - PERFORM SEEDING FOR FINAL STABILIZATION OF DISTURBED AREA AS FOLLOWS:
    - REPLACE TOPSOIL TO PROVIDE A UNIFORM THICKNESS. LOOSEN TOPSOIL TO MINIMUM DEPTH OF 3".
    - APPLY COMMERCIAL GRADE SLOW RELEASE FERTILIZER PER 1,000 SQUARE FEET.
    - INCORPORATE FERTILIZER INTO SOIL BY USE OF HARROW OR OTHER MEANS TO PLACE FERTILIZER BELOW GROUND LEVEL.
    - APPLY Mn/DOT SEED MIXTURE 190 AT RATE OF 100 POUNDS PER ACRE WITH BRILLION TYPE SEEDER OR OTHER MEANS TO COVER SEED WITH 1/3" TO 3/4" OF SOIL.
    - APPLY UNIFORM COVERING OF Mn/DOT TYPE 1 MULCH AT A RATE OF 2 TONS PER ACRE.
    - ANCHOR MULCH TO DEPTH OF 2" TO 3" WITH DISC ANCHOR OR OTHER MEANS IMMEDIATELY AFTER SEEDING.

- LEGEND**
- DENOTES FOUND PROPERTY IRON
  - DENOTES SET 1/2" X 18" REBAR WITH PLASTIC CAP "PLS 25105"
  - DENOTES BOUNDARY LINE
  - DENOTES LOT LINE
  - DENOTES SETBACK LINE
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- PROPOSED**
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  - DENOTES PROPOSED STORM SEWER
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  - DENOTES PROPOSED RET. WALL
  - DENOTES PROPOSED HOUSE
  - DENOTES PROPOSED GARAGE
  - DENOTES PROPOSED DRIVEWAY

- NUMBERED NOTES**
- INSTALL SILT FENCE PRIOR TO START OF SOIL DISTURBING ACTIVITIES.
  - INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE PRIOR TO START OF SOIL DISTURBING ACTIVITIES.
  - INSTALL SWMP BOX NEAR THE CONSTRUCTION ENTRANCE.
  - PLACE SOD AROUND THE HOUSE FROM FRONT CURB TO BACK OF THE HOUSE
  - TREE PROTECTION DEVICE

- NOTES**
- THE BASIS OF THE BEARING SYSTEM IS ASSUMED.
  - CONTRACTOR SHALL VERIFY PROPOSED ELEVATIONS
  - NO SPECIFIC SOIL INVESTIGATION HAS BEEN COMPLETED
  - NO TITLE INFORMATION WAS PROVIDED FOR THIS SURVEY. THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD.
  - EXISTING UTILITIES AND SERVICES SHOWN HEREON OWNER LOCATED EITHER PHYSICALLY ON THE GROUND DURING THE SURVEY OR FROM EXISTING RECORDS MADE AVAILABLE TO US OR BY RESIDENT TESTIMONY. OTHER UTILITIES AND SERVICES MAY BE PRESENT. VERIFICATION AND LOCATION OF UTILITIES AND SERVICES SHOULD BE OBTAIN FROM THE OWNERS OF RESPECTIVE UTILITIES BY CONTACTING GOPHER STATE ONE CALL AT (651) 454-0002 PRIOR TO ANY DESIGN, PLANNING OR EXCAVATION.

**BUILDING SETBACKS**  
 ZONING: R-1 = LOW DENSITY RESIDENTIAL DISTRICT  
 HOUSE: FRONT = 35 FT  
 SIDE = 10 FT MIN (30 FT TOTAL SIDE)  
 REAR = 40 FT MIN OR 20% OF LOT DEPTH WHICHEVER IS LESS, BUT NO LESS THAN 25 FT  
 907.1 BFE = 20 FT

**PROPOSED HARDCOVER OF LOT 2**

PROPOSED HOUSE	2,414 SQ. FT.
PROPOSED GARAGE	900 SQ. FT.
PROPOSED CONCRETE SURFACE	900 SQ. FT.
TOTAL IMPERVIOUS SURFACE	4,214 SQ. FT.
TOTAL LOT AREA	46,285 SQ. FT.
PROPOSED HARDCOVER	9.1 %

**REFERENCE BENCHMARK**  
 ELEVATION = 911.85 TNH AT THE NE QUADRANT OF ANN LANE AND OAK RIDGE ROAD

**PROPOSED DESCRIPTIONS**  
 Parcel 1:  
 The North 207.77 feet of Lot 1, Block 1, LOHMAN'S AMHURST 4TH ADDITION, Hennepin County, Minnesota, according to the recorded plat thereof.  
 Parcel 2:  
 That part of Lot 1, Block 1, LOHMAN'S AMHURST 4TH ADDITION, Hennepin County, Minnesota, according to the recorded plat thereof, lying southerly of the North 207.77 feet of said Lot 1.

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 Twin Cities Area 651-454-0002  
 MN. Toll Free 1-800-252-1166

Storm Water Management Plan  
 The work described to implement the following Storm Water Management Plan (SWMP) shall be considered part of the Contract Documents and shall be performed by the Contractor. The work to install and maintain the Best Management Practices (BMP's) to prevent erosion and provide sediment control shall be in accordance with Permit No. MN R10000F and shall include, but are not necessarily be limited to, the requirements contained herein.

1. Construction Activity Information

Project Name: RESIDENTIAL SINGLE FAMILY HOUSE DESIGN  
 Project Address/Location: Section-Township-Range = 18-117-21  
 City/Township: City of MINNETONKA State: MN Zip Code: 55305  
 County Parcel ID Number(s): 18-117-21-32-0239  
 All cities where construction will occur: City of MINNETONKA  
 All townships where construction will occur: Not Applicable  
 All counties where construction will occur: HENNEPIN County  
 Project Size (number of acres to be disturbed): 0.33  
 Project Type:  Residential  Commercial/Industrial  
 Road Construction  Other (describe)

Cumulative Impervious Surface:  
 Existing area of impervious surface to nearest quarter acre: 0.25  
 Post construction area of impervious surface to nearest quarter acre: 0.25  
 Receiving Waters:

Name of Water Body	Type	Appendix A Special Water?
-	-	No

Dates of Construction

Estimated Construction Start Date: June, 2020  
 Estimated Completion Date: September, 2020

Contact Information

Owner of Project Site: IULIYAN DAMYAN  
 Business/Firm Name:  
 Federal Tax ID Number: available as needed  
 State -Tax ID Number: available as needed  
 Contact Person: IULIYAN DAMYAN

Title: Owner

Phone: 612-987-1913  
 Mailing Address: 9598 ANN LN.  
 City: MINNETONKA  
 State: MN Zip Code: 55305

Contractor (Party who will oversee implementation of the SWMP. May be same party as Owner above): DRAGOMIR PERZHU  
 Business/Firm Name: PERZHU CONSTRUCTION, LLC.  
 Federal Tax ID Number- available as needed  
 State Tax ID Number- available as needed  
 Contact Person: DRAGOMIR PERZHU  
 Title: President  
 Phone: 612-636-1244  
 Mailing Address: 6840 130th Ave. NE,  
 City: Ramsey  
 State: MN Zip Code: 55303

General Construction Project Information

Description of the construction activity (what will be built, general time/ins., etc.).

SINGLE FAMILY HOME CONSTRUCTION. The construction activities will include grading operations for the construction of surface drainage and utilities. Roof drain sewer construction, exposed soil stabilization, and bituminous paving will follow grading operations.

2. General Site Information

Description of the location and type of all temporary and permanent erosion prevention and sediment control BMP's to be used, including the timing for installation and procedures used to establish additional temporary BMP 's as necessary.

Contractor shall install and maintain the temporary and permanent erosion prevention and sediment control BMP's as shown on the accompanying drawing and as described herein. The timing shall be in accordance with the Construction Activity Sequence below and in accordance with sound and proactive construction scheduling and practices.

Accompanying this SWMP is a site plan that includes the following features:

- \* Existing and proposed grades, including dividing lines and direction of flow for all pre- and post-construction stormwater runoff drainage areas located within the project limits.
- \* Locations of impervious surfaces and soil types.
- \* Locations of areas not to be disturbed.
- \* Method(s) to be used for final stabilization of all exposed soil areas.

Description of stormwater mitigation measures required as the result of an environmental, archaeological, or other required local, state, or federal review of the project.

Not applicable to this project.

Description of the type and locations of BMP's appropriate for this site and sufficient to comply with all applicable requirements of the TMDL implementation plan and identification of the receiving water and of the areas of project site discharging to an impaired water that has an approved TMDL implementation plan that contains requirements for construction Stormwater discharges:

Not applicable to this project.

Selection of Permanent Stormwater Management System

Will the project create a new cumulative impervious surface greater than or equal to one acre?  Yes  No

If yes, a water quality volume of 1/2 inch of runoff from this area must be treated before leaving the site or entering surface waters (1 inch of runoff from this area if discharging to special waters).

Method(s) to be used to treat runoff from the new impervious surfaces created by the project:  
 Wet sedimentation basin  X\_Infiltration/Filtration basin/POND EXISTING  
 Regional ponds  Combination of practices

Description of treatment method(s) to be used, including design information for each method:

Existing pond will be used to collect water from the roof.

Description of why it is not feasible to meet the treatment requirement for water quality volume. This can include proximity to bedrock or road projects where the lack of right-of-way precludes the installation of any permanent stormwater management practices. Description of what other treatment, such as grassed swales, smaller ponds, or grit chambers, will be implemented to treat runoff prior to discharge to surface waters:

Not Applicable

Description of how a proposed alternative method to treat runoff from new impervious surfaces will achieve approximately 80% removal of total suspended solids on an annual average basis:

Not Applicable

3. Erosion Prevention Practices

Description of construction phasing, vegetative buffer strips, horizontal slope grading, and other construction practices to be used to minimize erosion:

Stage the soil disturbing activities to minimize the amount of disturbed soil prior to stabilization. Disturbed areas will be considered stabilized when covered with materials such as anchored mulch, staked sod, riprap, wood fiber blanket, or other materials that prevent erosion from occurring. Grass seeding alone will not be considered stabilization.

Disturb only those areas where proposed contours and elevations are shown to differ from the existing and where removals and other operations are noted. Special areas of the project site that are not to be disturbed by construction activity are noted on the plan.

Description of temporary erosion protection or permanent cover to be used for exposed positive slopes within 200 lineal feet of a surface water (stream, lake, pond, marsh, wetland, reservoir spring, river, storm water basin, storm water drainage system, waterways, water courses, and irrigation systems whether surface water is natural or artificial, public or private with maximum time an exposed soil area can remain exposed when the area is not actively being worked:

Provide year round stabilization to the above mentioned areas in accordance with the following table:

Steepness of slope (H:V)	Maximum Exposure Duration When Area Is Not Actively Worked
Greater than 3:1	7 Days
3:1 through 10:1	14 Days
Less than 10:1	21 Days

Description of practices to be used to stabilize the normal wetted perimeter of drainage or diversion ditches within 200 lineal feet of the property edge or point of discharge to a surface water within 24 hours of connecting the ditch to the surface water:

Install seed, fertilizer, and disc-anchored mulch or temporary wood fiber blanket in ditches and swales within 24 hours of connecting the ditch or swale to the surface water where shown on the plan in accordance with the details.

Description of other erosion prevention practices to be used:

Install the specified energy dissipation method, such as riprap and geotextile fabric, at pipe outlets within 24 hours of installation. Permanently seed disturbed areas prior to end of seeding dates specified by MnDOT.

4. Sediment Control Practices

Description of sediment control practices to be used to minimize sediments from entering surface waters, including curb and gutter systems and storm drain inlets:

Permanent sediment control practices to be used on this project consist of sedimentation basins. Temporary sediment control practices to be used are silt fence, culvert inlet protection, storm sewer inlet protection, stone pad exits, ditch checks, and, if necessary, street sweeping.

5. Dewatering and Basin Draining

If the project includes dewatering or basin draining, describe the BMP's to be used to prevent the discharge from adversely affecting the receiving waters and downstream landowners.

N/A

6. Additional BMP's for Special Waters and Discharges to Wetlands

This project does not discharge stormwater directly to a Special Water. This project does not discharge stormwater directly to wetlands, except roof drain 6" PVC.

7. Construction Activity Sequence

In addition to performing and sequencing the tasks associated with implementing this SWMP as described herein and shown on the plan, the Contractor shall perform construction activities in accordance with the following sequence:

- (1) Install silt fence along property line of project site where shown on plan and when property line is down gradient and within 100 feet of areas to have disturbed soil and where property line is within 20 feet of soil disturbing and other construction activities.
- (2) Install silt fence along edge of wetlands and at other locations shown on the plan.
- (3) Install stone exit pads where shown on plan and at other locations where vehicles and equipment will leave the site onto paved and gravel surfaces.
- (4) Construct storm water ponds and related piping and control structures as shown on the project plans. Install and maintain temporary erosion prevention measures as shown on the plan.
- (5) Install silt fence along bottom of storm water pond inslopes and where shown on the plan.
- (6) Install trunk sanitary sewer.
- (7) Complete earthwork activities. Install and maintain sediment control measures such as ditch checks and stormwater inlet protection.
- (8) Complete utility construction. Install and maintain sediment control measures such as inlet protection as work proceeds.
- (9) Remove silt deposits from site, remove silt deposits from stormwater basins.
- (10) Provide soil stabilization to disturbed areas by preparing topsoil, seeding, fertilizing, mulching, anchoring mulch in accordance with plans and specifications.
- (11) Remove perimeter silt fence, other silt fence, check dams, and other sediment control measures upon achieving final stabilization and Owner submits the Notice of Termination.

8. Inspections and Maintenance

Description of procedures to be taken to routinely inspect the construction site:

Contractor shall inspect erosion prevention and sediment control BMP's to ensure integrity and effectiveness. Repair, replace, or supplement non-functional BMP's to provide continually functional BMP's. Contractor shall inspect the entire construction site a minimum of once every seven (7) days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours. Inspections shall include stabilized areas, erosion prevention and sediment control BMP's, and infiltration areas. Specific tasks associated with the inspection and maintenance of the BMP's include the following:

- \* Maintain and retain at the construction site written records of the inspections and maintenance performed. Records of each inspection and maintenance activity shall include: Date and time of inspection/maintenance activity; Name of person(s) Performing the activity; Finding of inspection; Recommended corrective actions; Corrective actions taken; and Date and amount of rainfall events greater than 0.5 inches in 24 hours.
- \* Repair, replace, or supplement silt fences that become nonfunctional or accumulate sediment to the level of 1/3 the silt fence height or more within 24 hours of discovery or as soon as conditions allow access.
- \* Drain temporary and permanent sediment basins and remove sediment when the volume of sediment collected reaches 1/2 the permanent storage volume within 72 hours of discovery or as soon as conditions allow access.
- \* Inspect surface waters, drainage ditches, and stormwater conveyance systems for evidence of sediment deposited by erosion. Remove deltas and deposited sediment and restabilize areas where sediment removal results in exposed soil within seven (7) days of discovery unless precluded by legal, regulatory, or physical constraints. Removal and stabilization shall be completed within seven (7) days of obtaining access. The NPDES/SDS permit holder is responsible for contacting the local, regional, state, and federal authorities and receiving the applicable permits prior to performing this work.
- \* Inspect construction site vehicle exit locations for evidence of sediment being tracked off-site onto paved surfaces. Remove tracked sediment from off-site paved surfaces within 24 hours of discovery.
- \* Inspect perimeter of construction site. Remove off-site accumulations of sediment in a manner and at a frequency to minimize off-site impacts.

9. Pollution Prevention Management Measures

Contractor shall implement the following pollution prevention management measures on the site:

- \* Solid Waste: Collect and properly dispose of sediment, asphalt and concrete millings, floating debris, paper, plastic, fabrics, construction and demolition debris, and other wastes in accordance with MPCA disposal requirements.
- \* Hazardous Materials: Properly store, provide required secondary containment, and dispose of oil products, fuels, paint products, and other hazardous substances to prevent spills, leaks, and other discharges in accordance with MPCA regulations. Provide restricted access storage areas to prevent unauthorized access and vandalism.
- \* Equipment Washing: Restrict external washing of trucks and other construction equipment to a defined area of site. Contain runoff and properly dispose of waste. Engine degreasing is prohibited on the property.
- \* Spill prevention: Park construction equipment and store potentially hazardous materials in a designated area located as far as practicable from potential environmentally sensitive areas. Construct impoundment dike and take other measures required to contain spilled material. Remove and dispose of contaminated soil, vegetation, and other materials and perform other mitigation measures as required in accordance with MPCA regulations.
- \* Sanitary and Septic Waste: Provide and maintain temporary facilities in accordance with MPCA and Minnesota Department of Health regulations.

10. Final Stabilization

Contractor shall achieve final stabilization of the construction site by achieving the following:

- \* Soil disturbing activities have been completed and soils are stabilized by a uniform perennial vegetative cover with a density of 70 percent over the entire pervious surface area or other equivalent means to prevent soil failure under erosive conditions.
- \* Temporary synthetic and structural erosion prevention and sediment control BMP's are removed.
- \* Sediment is removed from permanent sedimentation basins to return basins to the design capacity, removed from stormwater conveyance systems, and is stabilized or removed from the site.

11. Notice of Termination

Contractor shall notify Owner immediately upon achieving Final Stabilization. Owner must submit the Notice of Termination within 30 days after Final Stabilization or within 30 days of another owner assuming control according to Part II.B.5. over all areas of the site that have not undergone Final Stabilization.



**ENGINEERING DESIGN & SURVEYING**  
 6480 Wayzata Blvd. Minneapolis, MN 55426  
 OFFICE: (763) 545-2800 FAX: (763) 545-2801  
 EMAIL: info@edsmn.com WEBSITE: http://edsmn.com

I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Vlad Sivriev* 03/09/20

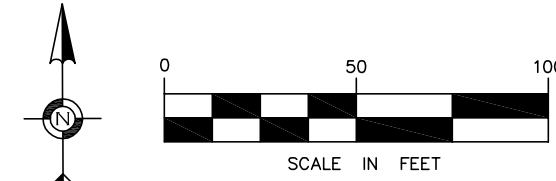
JOB NAME: IULIYAN DAMYAN  
 LOCATION: 9598 ANN LANE  
 MINNETONKA, MN 55305

FIELD WORK DATE: 04/30/19  
 FIELD BOOK NO.: EDS-13

DRAWN BY: IS  
 CHECKED BY: VS  
 PROJECT NO.: 12-010  
 SHEET NO. C9

# EROSION AND SEDIMENT CONTROL PLAN

Call 48 Hours before digging  
**GOPHER STATE ONE CALL**  
 Twin Cities Area 651-454-0002  
 MN. Toll Free 1-800-252-1166

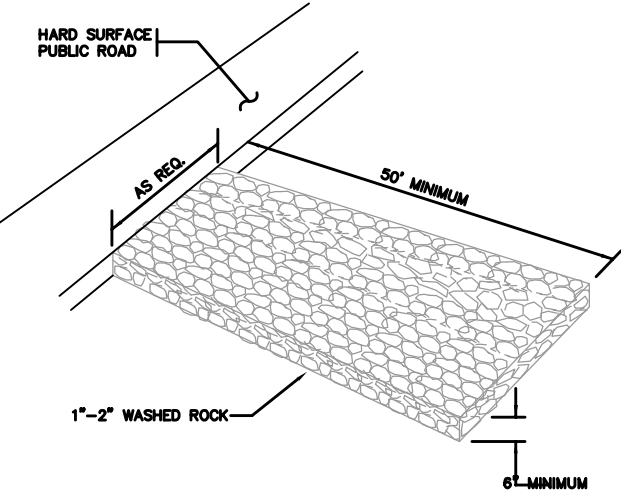


## LEGEND

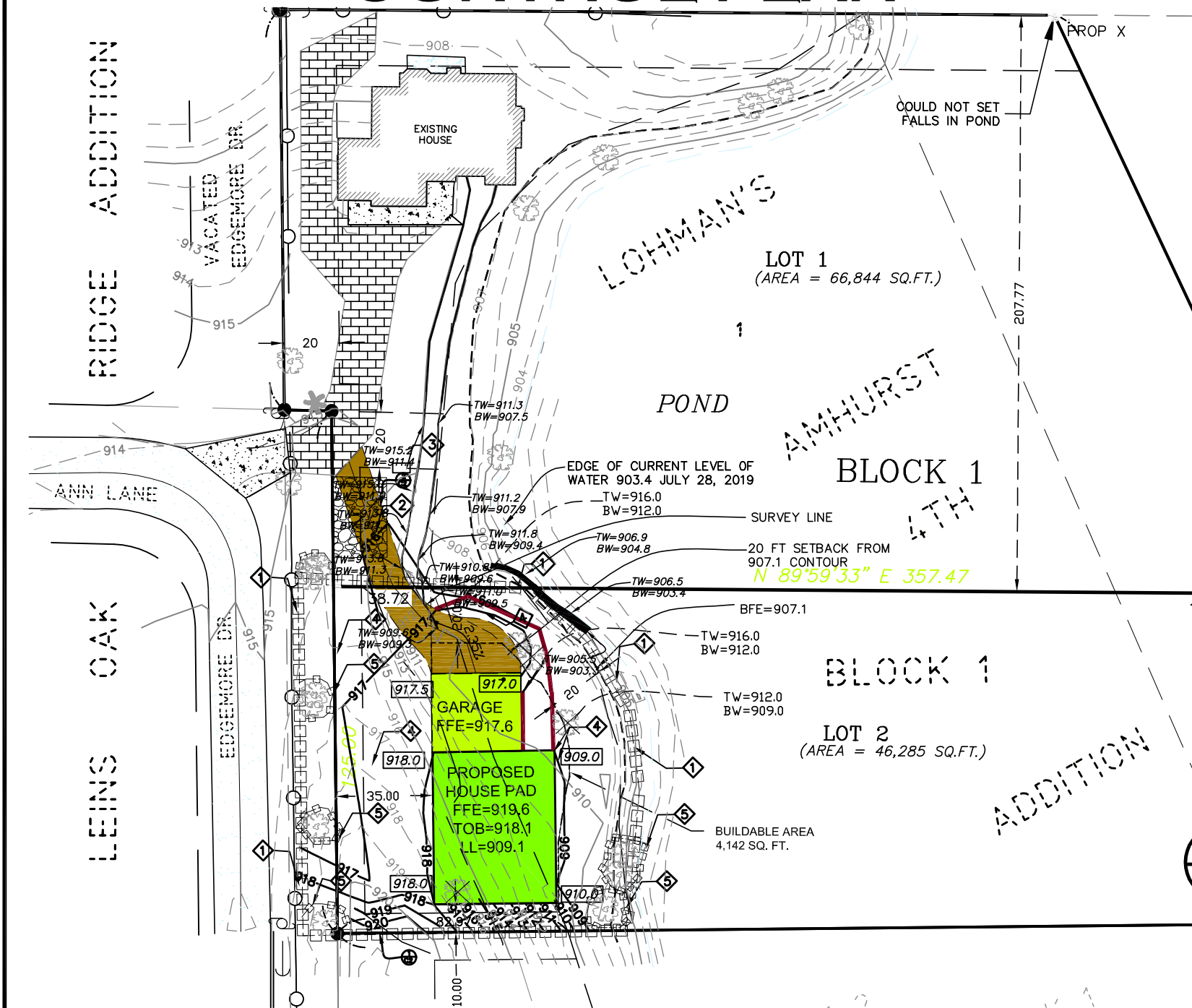
- DENOTES FOUND PROPERTY IRON
  - DENOTES SET 1/2" X 18" REBAR WITH PLASTIC CAP "PLS 25105"
  - DENOTES BOUNDARY LINE
  - - - DENOTES LOT LINE
  - - - DENOTES SETBACK LINE
  - 999.99 DENOTES EXISTING SPOT ELEVATION
  - [4] DENOTES CONCRETE SURFACE
  - 999- DENOTES EXISTING CONTOUR LINE
  - FFE DENOTES FINISH FLOOR ELEVATION
  - [ ] DENOTES BITUMINOUS SURFACE
  - (T) DENOTES DECIDUOUS TREE
  - (S) DENOTES WHITE PVC FENCE
  - (S) DENOTES SANITARY MANHOLE
  - (\*) DENOTES LIGHT POLE
  - (E) DENOTES ELECTRIC CABINET /GENERATOR
  - (G) DENOTES GAS METER
  - (WV) DENOTES WATER VALVE
  - [ ] DENOTES STORM CATCH BASIN
  - (SM) DENOTES STORM MANHOLE
  - (PE) DENOTES STORM PIPE END
  - (EM) DENOTES ELECTRIC OUTLET
  - (H) DENOTES HYDRANT
  - [4] DENOTES CONCRETE SURFACE
  - [ ] DENOTES BITUMINOUS SURFACE
  - (X) DENOTES REMOVE TREE
- ### PROPOSED
- [854.1] DENOTES PROPOSED GRADE
  - - - DENOTES NEW BOUNDARY LINE
  - (XXX) DENOTES PROPOSED CONTOURS
  - - - DENOTES PROPOSED STORM SEWER
  - [ ] DENOTES PROPOSED SILT FENCE
  - [ ] DENOTES PROPOSED ROCK CONSTR. ENT.
  - [ ] DENOTES PROPOSED RET. WALL
  - [ ] DENOTES PROPOSED HOUSE
  - [ ] DENOTES PROPOSED GARAGE
  - [ ] DENOTES PROPOSED DRIVEWAY



**1 TYPICAL EROSION LOGS**  
NOT TO SCALE



**2 TYPICAL ROCK SURFACE**  
NOT TO SCALE



### BUILDING SETBACKS

ZONING: R-1 = LOW DENSITY RESIDENTIAL DISTRICT  
 HOUSE: FRONT = 35 FT  
 SIDE = 10 FT MIN (30 FT TOTAL SIDE)  
 REAR = 40 FT MIN OR 20% OF LOT DEPTH WHICHEVER IS LESS, BUT NO LESS THAN 25 FT  
 907.1 BFE = 20 FT

### PROPOSED HARDCOVER OF LOT 2

PROPOSED HOUSE	2,414 SQ. FT.
PROPOSED GARAGE	900 SQ. FT.
PROPOSED CONCRETE SURFACE	900 SQ. FT.
TOTAL IMPERVIOUS SURFACE	4,214 SQ. FT.
TOTAL LOT AREA	46,285 SQ. FT.
PROPOSED HARDCOVER	9.1 %

### REFERENCE BENCHMARK

ELEVATION = 911.85 TNH AT THE NE QUADRANT OF ANN LANE AND OAK RIDGE ROAD

### PROPOSED DESCRIPTIONS

Parcel 1:  
 The North 207.77 feet of Lot 1, Block 1, LOHMAN'S AMHURST 4TH ADDITION, Hennepin County, Minnesota, according to the recorded plat thereof.

Parcel 2:  
 That part of Lot 1, Block 1, LOHMAN'S AMHURST 4TH ADDITION, Hennepin County, Minnesota, according to the recorded plat thereof, lying southerly of the North 207.77 feet of said Lot 1.

### NUMBERED NOTES

- 1 INSTALL SILT FENCE PRIOR TO START OF SOIL DISTURBING ACTIVITIES.
- 2 INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE PRIOR TO START OF SOIL DISTURBING ACTIVITIES.
- 3 INSTALL SWMP BOX NEAR THE CONSTRUCTION ENTRANCE.
- 4 PLACE SOD AROUND THE HOUSE FROM FRONT CURB TO BACK OF THE HOUSE
- 5 TREE PROTECTION DEVICE

### NOTES

1. THE BASIS OF THE BEARING SYSTEM IS ASSUMED.
2. CONTRACTOR SHALL VERIFY PROPOSED ELEVATIONS
3. NO SPECIFIC SOIL INVESTIGATION HAS BEEN COMPLETED
4. NO TITLE INFORMATION WAS PROVIDED FOR THIS SURVEY. THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD.
5. EXISTING UTILITIES AND SERVICES SHOWN HEREON OWNER LOCATED EITHER PHYSICALLY ON THE GROUND DURING THE SURVEY OR FROM EXISTING RECORDS MADE AVAILABLE TO US OR BY RESIDENT TESTIMONY. OTHER UTILITIES AND SERVICES MAY BE PRESENT. VERIFICATION AND LOCATION OF UTILITIES AND SERVICES SHOULD BE OBTAIN FROM THE OWNERS OF RESPECTIVE UTILITIES BY CONTACTING GOPHER STATE ONE CALL AT (651) 454-0002 PRIOR TO ANY DESIGN, PLANNING OR EXCAVATION.

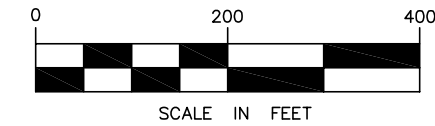
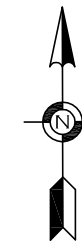
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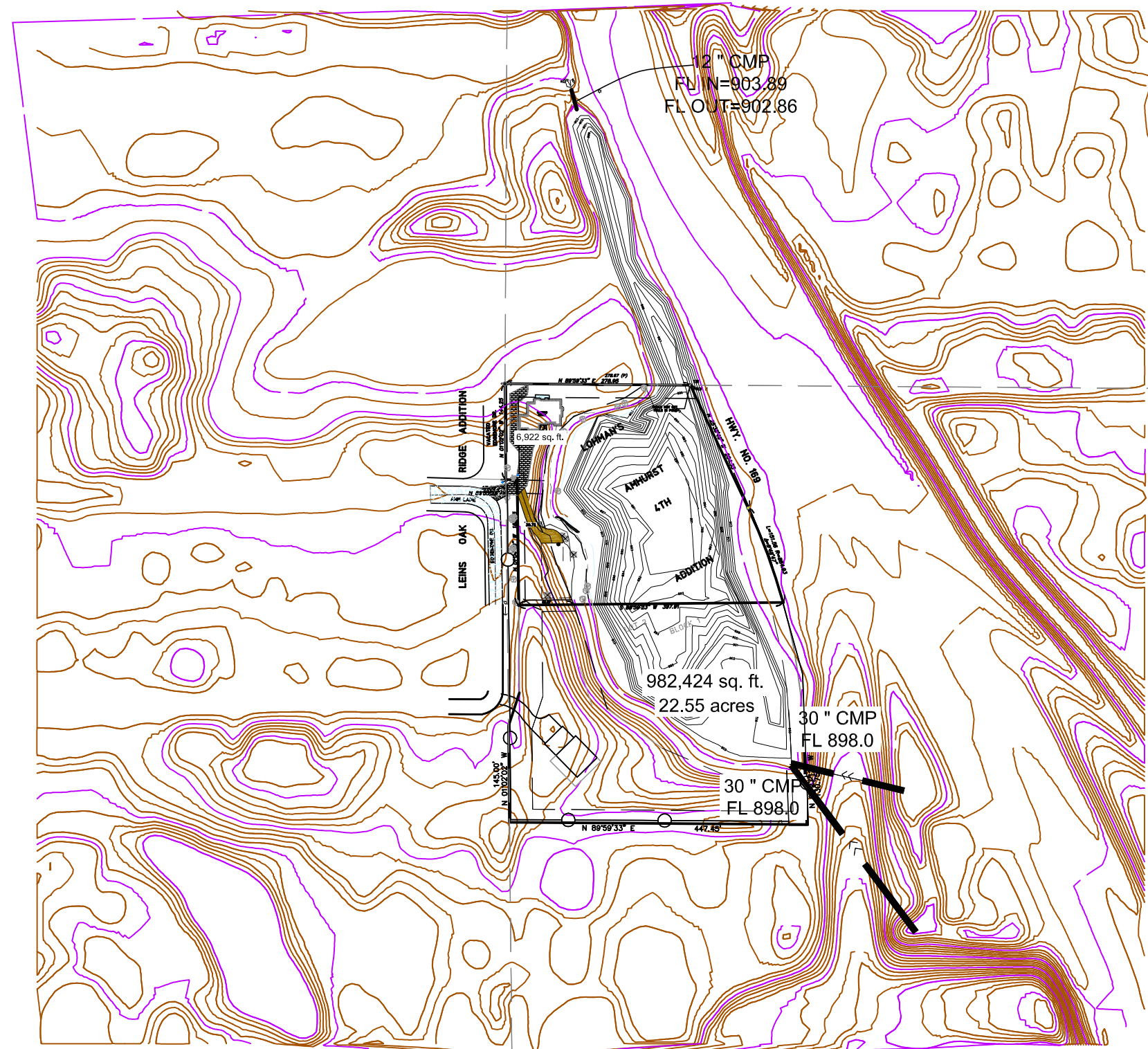
*Vlad Sivirer* 03/09/20

JOB NAME: IULIYAN DAMYAN	FIELD WORK DATE: 04/30/19	DRAWN BY: IS	PROJECT NO.: 12-010
LOCATION: 9598 ANN LANE MINNETONKA, MN 55305	FIELD BOOK NO.: EDS-13	CHECKED BY: VS	SHEET NO. C10

# DRAINAGE AREAS CALCULATIONS



Call 48 Hours before digging  
**GOPHER STATE ONE CALL**  
 Twin Cities Area 651-454-0002  
 MN. Toll Free 1-800-252-1166



### LEGEND

- DENOTES FOUND PROPERTY IRON
- DENOTES SET 1/2" X 18" REBAR WITH PLASTIC CAP "PLS 25105"
- DENOTES BOUNDARY LINE
- DENOTES LOT LINE
- DENOTES SETBACK LINE
- - 999 - - DENOTES EXISTING CONTOUR LINE
- ← DENOTES DRAINAGE FLOW

### BUILDING SETBACKS

ZONING: R-1 = LOW DENSITY RESIDENTIAL DISTRICT  
 HOUSE: FRONT = 35 FT  
 SIDE = 10 FT MIN (30 FT TOTAL SIDE)  
 REAR = 40 FT MIN OR 20% OF LOT DEPTH WHICHEVER IS LESS, BUT NO LESS THAN 25 FT

### REFERENCE BENCHMARK

ELEVATION = 911.85 TNH AT THE NE QUADRANT OF ANN LANE AND OAK RIDGE ROAD

### EXISTING DESCRIPTION

Lot 1, Block 1, LOHMAN'S AMHURST 4TH ADDITION, Hennepin County, Minnesota, according to the recorded plat thereof.

### PROPOSED DESCRIPTIONS

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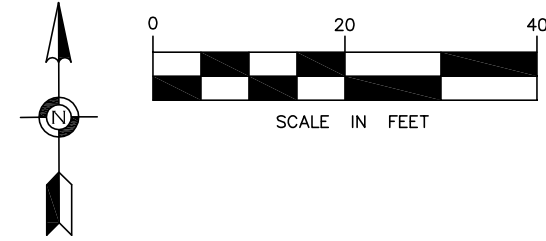
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6. THE BUILDABLE AREA OF PARCEL 2 IS 4,142 SQ.FT.
7. THE PROPOSED HOUSE AREA IS 2,414 SQ. FT AND PROPOSED GARAGE AREA IS 900 SQ. FT.

NO.	DATE	DESCRIPTION	BY

# POND OUTLET

Call 48 Hours before digging  
**GOPHER STATE ONE CALL**  
 Twin Cities Area 651-454-0002  
 MN. Toll Free 1-800-252-1166



### LEGEND

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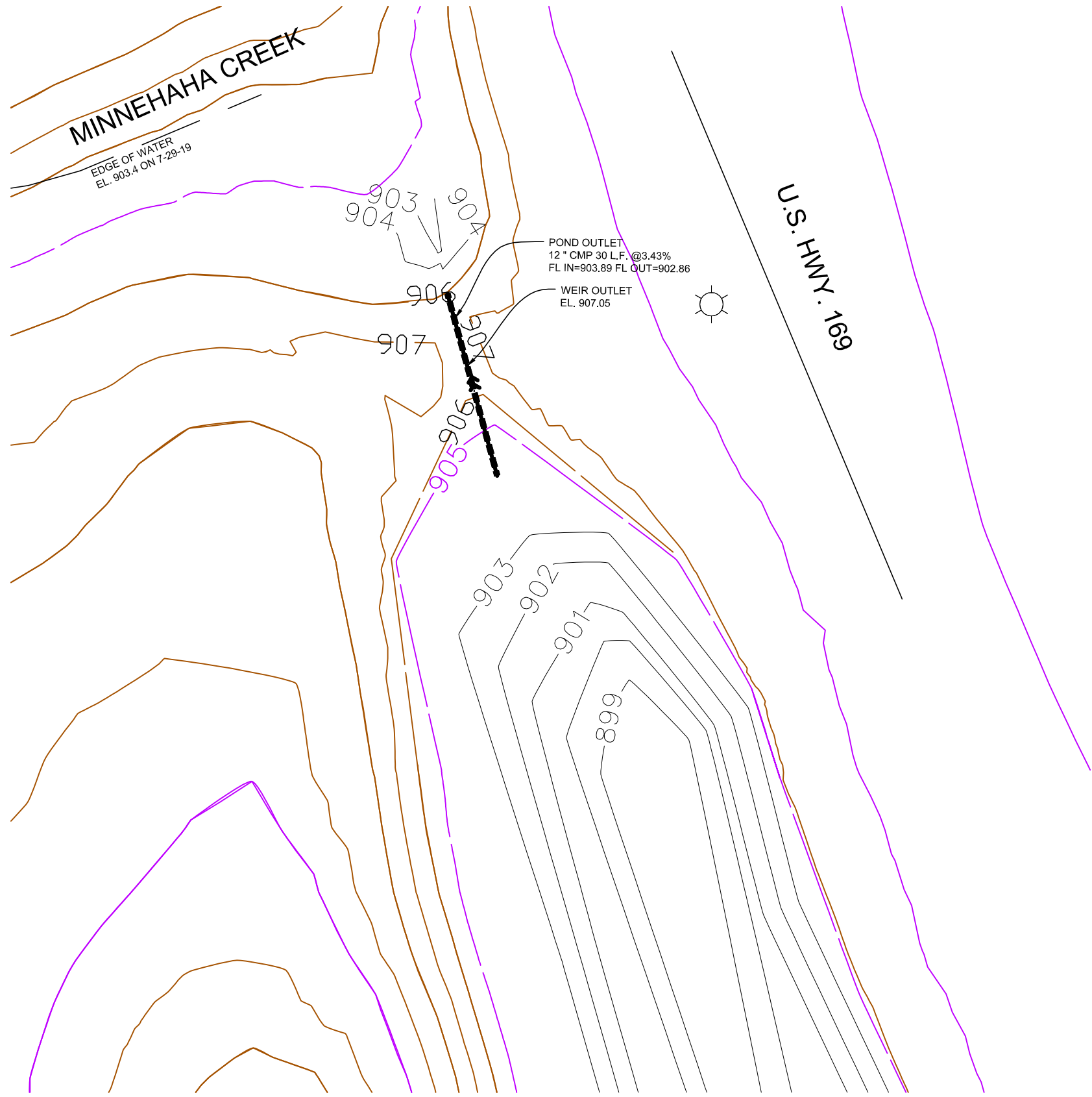
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NO.	DATE	DESCRIPTION	BY

**Resolution No. 2020-**

**Resolution approving the preliminary plat of DAMYAN'S ADDITION,  
a two-lot subdivision at 9598 Ann Lane**

---

Be it resolved by the City Council of the City of Minnetonka, Minnesota, as follows:

Section 1. Background.

1.01 EDS, Inc., has requested preliminary plat approval for DAMYAN'S ADDITION

1.02 The property is located at 9598 Ann Lane. It is legally described as follows:

Lot 1, Block 1, LOHMAN'S AMHURST 4<sup>TH</sup> ADDITION, Hennepin County, Minnesota, according to the recorded plat thereof.

1.03 On May 7, 2020, the planning commission held a hearing on the proposed plat. The applicant was provided the opportunity to present information to the commission. The commission considered all of the comments received and the staff report, which are incorporated by reference into this resolution. The commission recommended that the city council grant preliminary plat approval.

Section 2. General Standards.

2.01 City Code §400.025 outlines general design requirements for residential subdivisions. These standards are incorporated by reference into this resolution.

Section 3. Findings.

3.01 The proposed preliminary plat meets the design requirements as outlined in City Code §400.025.

Section 4. Council Action.

4.01 The above-described preliminary plat is hereby approved, subject to the following conditions:

1. Final plat approval is required. A final plat will not be placed on a city council agenda until a complete final plat application is received.
  - a) The following must be submitted for a final plat application to be considered complete:
    - 1) A final plat drawing that clearly illustrates the following:
      - a. A minimum 10-foot wide drainage and utility easements adjacent to the public right-of-way(s) and minimum 7-foot wide drainage and utility easements along all other lot lines.
      - b. Utility easements over existing or proposed public utilities, as determined by the city engineer.
      - c. Drainage and utility easements over floodplain, existing and public utilities, and stormwater management facilities, as determined by the city engineer.
      - d. Clearly identify all existing and proposed easements.
    - 2) Documents for the city attorney's review and approval. These documents must be prepared by an attorney knowledgeable in the area of real estate.
      - a. Title evidence that current within thirty days before release of the final plat.
      - b. If the driveway will be shared, a private shared driveway agreement.
2. Prior to final plat approval:
  - a) This resolution must be recorded with Hennepin County.
  - b) The documents outlined in section 4.01(1)(a)(2) above must be approved by the city attorney.
  - c) Outstanding utility bills must be paid.
3. Prior to release of the final plat for recording, submit the following:
  - a) Two sets of mylars for city signatures.
  - b) An electronic CAD file of the plat in microstation or DXF.

- c) Park dedication fee of \$5,000.
  - d) Consent to plat from all mortgagees unless previously satisfied.
4. Subject to staff approval, DAMYAN'S ADDITION, must be developed and maintained in substantial conformance with the following plans, except as modified by the conditions below:
- Site, grading, utility and tree preservation plans dated April 30, 2019
5. No site work – including but not limited to grading, tree removal, etc – is allowed until a permit has been issued, unless authorized by city staff. Prior to issuance of a permit:
- a) Submit the following:
    - 1) Evidence of filing the final plat at Hennepin County and copies of all recorded easements and documents as required in section 4.01(1)(a)(2) of this resolution.
    - 2) Final site, grading, drainage, utility, landscape, and tree mitigation plans, and a stormwater pollution prevention plan (SWPPP) for staff approval.
      - a. Final grading and tree preservation plan must:
        - Include the house, drive, utilities, grading and other improvements located to minimize tree impacts.
        - Not remove more than one high priority tree. This includes removal caused by impacts caused by impacts to more than 30 percent of the critical root zone. The other two high priority trees on the site must be adequately protected.
        - Final landscaping and tree mitigation plans must meet minimum landscaping and mitigation requirements as outlined in ordinance. However, at the sole discretion of natural resources staff, mitigation may be adjusted based on site conditions. Based on the submitted plans, mitigation would be 21 inches plus three, 2-inch trees.



- b. Final stormwater management plan for the entire site's impervious surface. This plan must demonstrate conformance with the following:
- RATE: limit peak runoff flow rates to that of existing conditions from the 2-, 10-, and 100-year events at all points where stormwater leaves the site.
  - VOLUME: provide the onsite retention of 1-inch of runoff from the entire site's impervious surface.
  - QUALITY: Provide for runoff to be treated to at least 60 percent total phosphorus annual removal efficiency and 90 percent total suspended solid annual removal efficiency.
- c. Final utility plan must:
- Provide a minimum 1-1/2 inch copper service to the property line. This work will require a right-of-way permit. If the service is to cross a property line, a private service easement and agreement is required to be recorded against both properties.
  - Sanitary sewer main must be extended east on Ann Lane to curve in the road culminating in a man hole. The existing service to Lot 1 must be removed from the roadway with a new service being constructed to minimize the length of the service pipe within the street. A new service is to be constructed to Lot 2.
  - The sanitary sewer extension requires a plan from a licensed civil engineer.
  - Sanitary sewer service must be 6-inch PVC SDR26 to the property line. This work will require a right of way permit. If the service crosses a property line, a private service easement and agreement is required to be recorded against both properties.
  - The plan must comply with the tree protection ordinance.

- 3) Individual letters of credit or cash escrow for 125% of a bid cost or 150% of an estimated cost to construct utility improvements, comply with grading permit, tree mitigation requirements, and to restore the site. One itemized letter of credit is permissible, if approved by staff. The city will not fully release the letters of credit or cash escrow until: (1) as-built drawings have been submitted; (2) a letter certifying that the utilities have been completed according to the plans approved by the city has been submitted; (3) vegetated ground cover has been established; and (4) required landscaping or vegetation has survived one full growing season.
  - 4) Cash escrow in an amount to be determined by city staff. This escrow must be accompanied by a document prepared by the city attorney and signed by the builder and property owner. Through this document the builder and property owner will acknowledge:
    - The property will be brought into compliance within 48 hours of notification of a violation of the construction management plan, other conditions of approval, or city code standards; and
    - If compliance is not achieved, the city will use any or all of the escrow dollars to correct any erosion and/or grading problems.
  - 5) A construction management plan. The plan must be in a city approved format and must outline minimum site management practices and penalties for non-compliance.
  - 6) A letter from the surveyor stating that the boundary and lot stakes have been installed as required by ordinance.
  - 7) A driveway permit if the new driveway is no longer shared with Lot 1 and will connect directly to the public roadway.
- b) Prior to issuance of the permit, install a temporary rock driveway, erosion control, tree and wetland protection fencing and any other measures identified on the SWPPP for staff inspection. These items must be maintained throughout the course of construction.
  - c) Any roadway disturbed for utility installation must be repaired or replaced to city standards.
  - d) Permits may be required from other outside agencies including, Hennepin County, the Minnehaha Creek Watershed District, and

the MPCA. It is the applicant's and/or property owner's responsibility to obtain any necessary permits.

- e) Submit all required hook-up fees.
6. All lots and structures within the development are subject to the all R-1 zoning standards. In addition:
- a) Minimum floor elevation is 909.1'.
  - b) All lots within the development must meet all minimum access requirements as outlined in Minnesota State Fire Code Section 503. These access requirements include road dimension, surface, and grade standards. If access requirements are not met, houses must be protected with a 13D automatic fire sprinkler system or an approved alternative system.
7. During construction, the streets must be kept free of debris and sediment.
8. The property owner is responsible for replacing any required landscaping that dies.
9. The city must approve the final plat within one year of preliminary approval or receive a written application for a time extension or the preliminary approval will be void.

Adopted by the City Council of the City of Minnetonka, Minnesota, on May 18, 2020.

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Brad Wiersum, Mayor

Attest:

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Becky Koosman, City Clerk

Action on this resolution:

Motion for adoption:

Seconded by:

Voted in favor of:

Voted against:

Abstained:

Absent:

Resolution adopted.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the City Council of the City of Minnetonka, Minnesota, at a duly authorized meeting held on May 18, 2020.

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Becky Koosman, City Clerk