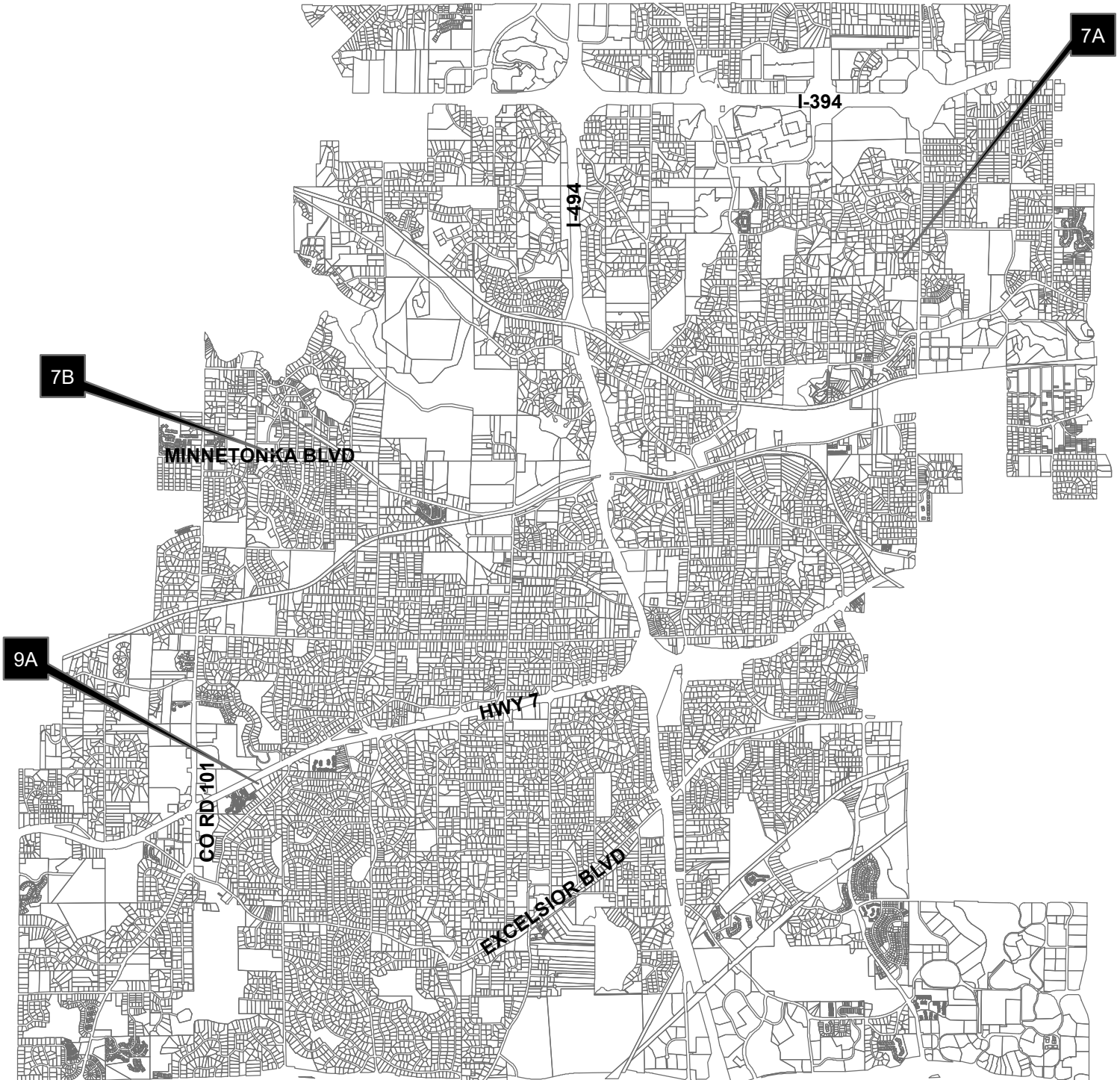




CITY OF  
**MINNETONKA**

**CITY OF MINNETONKA**  
**JULY 9, 2020**

14600 Minnetonka Blvd. • Minnetonka, MN 55345  
(952) 939-8200 • Fax (952) 939-8244  
minnetonkamn.gov





## Planning Commission Agenda

July 9, 2020 – 6:30 p.m.

### Virtual Meeting via WebEx

Due to the COVID-19 health pandemic, the planning commission's regular meeting place is not available. Pursuant to Minn. Stat. § 13D.021, planning commission members will participate in the meeting remotely via WebEx. Members of the public who desire to monitor the meeting remotely or to give input or testimony during the meeting can find instructions at <https://www.minnetonkamn.gov/government/virtual-meeting-information>.

**1. Call to Order**

**2. Roll Call**

**3. Approval of Agenda**

**4. Approval of Minutes:** June 18, 2020

**5. Report from Staff**

**6. Report from Planning Commission Members**

**7. Public Hearings: Consent Agenda.**

A. Expansion permit for a living space addition at 11309 Fetterly Road West.

Recommendation: Adopt the resolution approving the expansion permit (4 votes)

- Final Decision, subject to appeal
- Project Planner: Drew Ingvalson

B. Expansion permit for garage and living space additions at 3326 Shores Blvd.

Recommendation: Adopt the resolution approving the expansion permit (4 votes)

- Final Decision, subject to appeal
- Project Planner: Susan Thomas

**8. Public Hearings: Non-Consent Agenda Items (None)**

**9. Other Business**

A. Concept plan review for Lake Minnetonka Care Center at 16913 Hwy 7.

Recommendation: Discussion only. No formal action required

- City Council Review, July 27
- Project Planner: Ashley Cauley

**10. Adjournment**

**Planning Commission Agenda**  
**July 9, 2020**  
**Page 3**

**Notices**

1. Please call the planning division at (952) 939-8290 to confirm meeting dates as they are tentative and subject to change.
2. There are currently no applications scheduled for the July 23, 2020 agenda.



# **Minnetonka Planning Commission Meeting**

## **Agenda Item 4**

Previous Meeting Minutes

**Unapproved  
Minnetonka Planning Commission  
Minutes**

**June 18, 2020**

**1. Call to Order**

Chair Sewall called the meeting to order at 6:30 p.m.

**2. Roll Call**

Commissioners Powers, Waterman, Henry, Luke, Maxwell and Sewall were present. Hanson was absent.

Staff members present: City Planner Loren Gordon, Senior Planner Ashley Cauley, Planner Drew Ingvalson, and Network Administrator Jeff Dulac.

**3. Approval of Agenda**

***Powers moved, second by Maxwell, to approve the agenda with a modification to Item 8B, items concerning Dairy Queen, provided in the change memo dated June 18, 2020.***

***Powers, Waterman, Henry, Luke, Maxwell and Sewall voted yes. Hanson was absent. Motion carried.***

**4. Approval of Minutes: May 21, 2020**

***Henry moved, second by Waterman, to approve the May 21, 2020 meeting minutes as submitted.***

***Powers, Waterman, Henry, Luke, Maxwell and Sewall voted yes. Hanson was absent. Motion carried.***

**5. Report from Staff**

Gordon briefed the commission on land use applications considered by the city council at its meeting of June 8, 2020:

- Adopted a resolution approving the three-lot preliminary plat for Semrud Hills at 4716 Williston Road.
- Adopted a resolution approving the final plat for Standberg East and West at 14616 Woodhaven Road.
- Adopted a resolution approving items concerning The Pointe at 801 Carlson Parkway.

The next regular, virtual planning commission meeting is scheduled to be held July 9, 2020.

**6. Report from Planning Commission Members**

Henry purchased two trees from the city's tree sale.

Powers was supporting a small business by taking karate lessons.

**7. Public Hearings: Consent Agenda**

No item was removed from the consent agenda for discussion or separate action.

***Luke moved, second by Henry, to approve the items listed on the consent agenda as recommended in the respective staff reports as follows:***

**A. Setback variance for freestanding electronic message center sign at 14525 Hwy 7.**

Dulac noted that the applicant was available for questions.

Adopt the resolution approving a setback variance for a freestanding electronic message center at 14525 Hwy 7.

***Powers, Waterman, Henry, Luke, Maxwell and Sewall voted yes. Hanson was absent.***

***Motion carried and the item on the consent agenda was approved as submitted.***

Chair Sewall stated that an appeal of the planning commission's decision must be made in writing to the planning division within 10 days.

**8. Public Hearings**

**A. Expansion permit and variance for additions at 16610 Cottage Grove Ave.**

Chair Sewall introduced the proposal and called for the staff report.

Ingvalson reported. He recommended approval of the application based on the findings and subject to the conditions listed in the staff report.

Henry noted that the house east of the property is located close to the adjoining property line. Ingvalson stated that staff is comfortable with the proposal.

Luke asked if the house is occupied. Ingvalson explained that the house sustained fire damage and is unoccupied.

Waterman confirmed with Ingvalson that the building inspectors would enforce setback and fire separation standards.

Maxwell asked if staff received a comment from the neighbors. Ingvalson answered in the negative.

Erica Koehnen, 16610 Cottage Grove Ave, applicant, stated that she was available for questions.

In response to Waterman's question, Ms. Koehnen stated that the garage was located in a manner to best meet the aggregate-side-yard-setback requirement.

In response to Henry's question, Ms. Koehnen stated that the garage was located on the east side to preserve the hill separating the property from the park.

Maxwell asked if the house would be remodeled or torn down and rebuilt. Ms. Koehnen stated that it would be remodeled. The gravel driveway would be paved.

The public hearing was opened. Dulac stated that there was no one waiting to speak at the public hearing. No testimony was submitted and the hearing was closed.

Maxwell confirmed with Ingvalson that any increase in the approved footprint of the proposal would require approval of a variance.

Luke asked Ms. Koehnen if she talked with the neighbor. Ms. Koehnen responded that she did speak with the neighbor and the neighbor is comfortable with the proposal.

Maxwell appreciates the map showing a comparison of the setbacks for lots in the area being provided in the well written staff report. She appreciates the applicant decreasing the size of the garage to prevent additional grading. The proposal would maintain the character of the neighborhood. She supports staff's recommendation.

Waterman noted that the lot has practical difficulties. He leaned toward allowing a standard, two-car garage 24' x 24' in size. He supports the plan.

Henry appreciated the applicant improving the house and property. He would prefer the size of a standard two-car garage, but the perspective home buyer would determine if the garage would meet the buyer's needs.

Powers thought a practical difficulty would be created by the garage not being at least 24' x 24' in size. The proposal does not change the character of the neighborhood. He supports staff's recommendation.

Chair Sewall agreed that he, personally, would like a two-car garage to be at least 24' x 24' in size, but then there would be a chance that the application would not be approved.

***Powers moved, second by Henry, to adopt the resolution approving an expansion permit and a variance for garage and living space additions at 16610 Cottage Grove Ave.***

***Powers, Waterman, Henry, Luke, Maxwell and Sewall voted yes. Hanson was absent. Motion carried.***

Chair Sewall stated that an appeal of the planning commission's decision must be made in writing to the planning division within 10 days.

**B. Items concerning Dairy Queen at 4912 Co Rd 101.**

Chair Sewall introduced the proposal and called for the staff report.

Cauley reported. She recommended approval of the application based on the findings and subject to the conditions listed in the staff report.

In response to Powers' question, Cauley explained the city's regulations pertaining to the use of EIFS on the proposed building.

Janet Smith, with Fourteen Foods, Inc., applicant, stated that Cauley has been great to work with. The application meets the city's requirements. The business would be family owned. She looked forward to being part of the community. She was available for questions.

Luke asked if the applicant owns other businesses in the area. Ms. Smith said that there are 30 Dairy Queens in Minnesota. The first prototype Dairy Queen was built in St. Michael. This would be the second prototype built in the United States. Visitors would travel to the site to see how it operates.

Luke asked when it would be completed. Ms. Smith stated that the building permit has already been submitted. Construction could begin as soon as the final approval is received. The restaurant could be completed in four months.

Henry asked what would make the building a prototype. Ms. Smith stated that it would have a modern look and feel.

Henry was excited to have a Dairy Queen near his neighborhood. He encouraged the applicant to look into adding landscaping, solar panels, and other sustainability options. Ms. Smith appreciated the suggestion. Her architect would work with city staff and building inspectors to implement feasible sustainability features.

The public hearing was opened. Dulac stated that no one from the public was waiting to comment. No testimony was submitted and the hearing was closed.

Luke appreciated Henry's suggestion to add solar panels on the roof. The location is a very sunny spot. She was excited to have a Dairy Queen in the city.

Powers was glad that it would be a complete restaurant. He felt it would be a lot to ask of a small building to have solar panels, but he would appreciate any effort by the applicant to help the environment.

Waterman supports the proposal. It would add a lot to the neighborhood and would fit in the commercial area.

Maxwell felt that the outdoor seating would be appreciated. The proposal would be a good way to use the space.

Henry liked the blend of the drive thru to accommodate vehicles and the painted pathways for pedestrians. He noted that solar panels could showcase the building.

Maxwell suggested providing a parking area for bikes.

Chair Sewall agreed. He supports the application. The proposal would be more pedestrian friendly than the current site. He likes the outdoor seating. The site would have plenty of parking.

***Maxwell moved, second by Powers, to recommend that the city council adopt the resolution approving the site and building plans and a conditional use permit for Dairy Queen at 4912 Co Rd 101 with a modification provided in the change memo dated June 18, 2020.***

***Powers, Waterman, Henry, Luke, Maxwell and Sewall voted yes. Hanson was absent. Motion carried.***

**9. Adjournment**

***Luke moved, second by Waterman, to adjourn the meeting at 7:45 p.m. Motion carried unanimously.***

By: \_\_\_\_\_  
Lois T. Mason  
Planning Secretary

# **Minnetonka Planning Commission Meeting**

## **Agenda Item 7**

Public Hearing: Consent Agenda



**MINNETONKA PLANNING COMMISSION**  
**July 9, 2020**

**Brief Description** Expansion permit for a living space addition over an existing garage at 11309 Fetterly Road West.

**Recommendation** Adopt the resolution approving the expansion permit

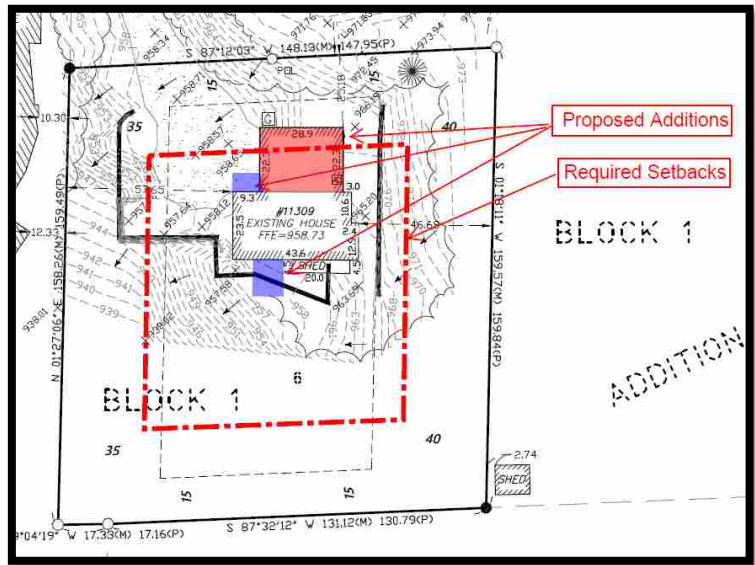
**Proposal**

The applicant, Scott Jerome, is proposing to construct:

- a second level addition over an existing garage (shown in red);
- a stairway to the front door (shown in blue); and
- a deck (shown in blue).

**Existing Property Information**

- **Lot Size:** 23,600 square feet
- **Lot Dimensions:**
  - Frontage: none, non-conforming lot-behind-lot (city code requirement: 80 feet)
  - Dimensions: Approximately 145 feet by 160 feet
- **Use:** Residential Single Family Home
- **Buildings:**
  - 993 square foot home with a 2-stall garage (built 1977)
  - The subject home has a non-conforming northern property line setback
- **Access:** Fetterly Road West



**Proposal Requirements**

The applicant has proposed to add a second level addition within the footprint of an existing garage. The second level addition requires an expansion permit, as the subject garage currently encroaches into the required northern property line setback. The proposed stairway to the front door and deck do not require any special approvals (shown in blue above), as they would be located within the required property line setbacks.

	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>
Northern Property Line Setback	32 ft.	23.5 ft.	23.5 ft.*

\*requires expansion permit

## Staff Analysis

Staff finds that the applicant's proposal for a second level addition is reasonable:

1. **Reasonableness:** The subject home was originally constructed in 1977 and has a legal non-conforming northern property line setback. The proposed addition would be built within the same footprint as the existing garage, which encroaches into the northern property line setback. The subject structure is positioned 23.5 feet from the northern property line and the proposed second level would have the same setback.
2. **Circumstance Unique to the Property:** The position of the non-conforming structure is a unique characteristic of the property. The subject home currently encroaches into the northern property line setback. The proposed second level addition would maintain the same setback as the existing structure.
3. **Neighborhood Character:** The existing home encroaches into the northern property line setback. The proposed second level addition would maintain this setback. The proposed addition would not alter the essential character of the neighborhood because the established setback would be maintained by the proposed addition.

In addition, there is significant vegetation between the proposed addition and the neighboring property to the north. This vegetation would serve as a buffer between the buildings and limit the visual impact on the adjacent neighbor to the north.

## Staff Recommendation

Adopt the resolution approving an expansion permit for a living space addition over an existing garage at 11309 Fetterly Road West.

Originator: Drew Ingvalson, Planner  
Through: Loren Gordon, AICP, City Planner

### Supporting Information

<b>Project No.</b>	20016.20a
<b>Property</b>	11309 Fetterly Road West
<b>Applicants/Owners</b>	Scott Jerome
<b>Surrounding Land Uses</b>	All properties to the north, south, east, and west are zoned R-1 and are guided for low density residential.
<b>Planning</b>	Guide Plan designation: low density residential Zoning: R-1
<b>Lot Behind Lot Setbacks</b>	<p>The subject lot is defined by city code as a “lot-behind-lot” because the property does not have any frontage on a public right-of-way. Lot-behind-lot properties are required to have a setback from all properties lines of 40 feet or 20% of the average distance between opposite lines, whichever is less, but no less than 25 feet.</p> <p>With the subject lot, the average distance between the north and south property lines is 160 feet. As such, the required setback distance from both of these lot lines is 32 feet. The subject proposal, with maintaining the 23.5-foot setback from the north property line, would not meet this setback requirement.</p>
<b>McMansion Policy</b>	<p>The McMansion Policy is a tool the city can utilize to ensure new homes or additions requiring variances are consistent with the character of the homes within the existing neighborhood. By policy, the floor area ratio (FAR) of the subject property cannot be greater than the largest FAR of properties within 1,000 feet on the same street, and a distance of 400 feet from the subject property. The subject request is for an expansion permit, not a variance. As such, the proposal is not subject to the McMansion Policy.</p> <p>As an exercise, staff found the largest FAR within the neighborhood and calculated the proposed FAR of the subject property. Currently, the property’s FAR is 0.09. The proposed addition would increase the properties FAR to 0.12, which is well below the largest FAR within 400 feet of the property, which is 0.64.</p>
<b>Expansion Permit v. Variance</b>	<p>An expansion permit is required for an expansion of a non-conforming structure when that expansion maintains the same setbacks as the existing non-conformity. A variance is required for expansion of a non-conforming structure when the expansion would intrude into one or more setback areas beyond the distance of the existing structure.</p> <p>By definition, a non-conforming structure is one that is not in full compliance with the regulations of the ordinance and either: (1) was legally established before the effective date of the ordinance provision</p>

with which it does not comply; or (2) became non-conforming because of other governmental action, such as a court order or a taking by a governmental body under eminent domain or negotiated sale.

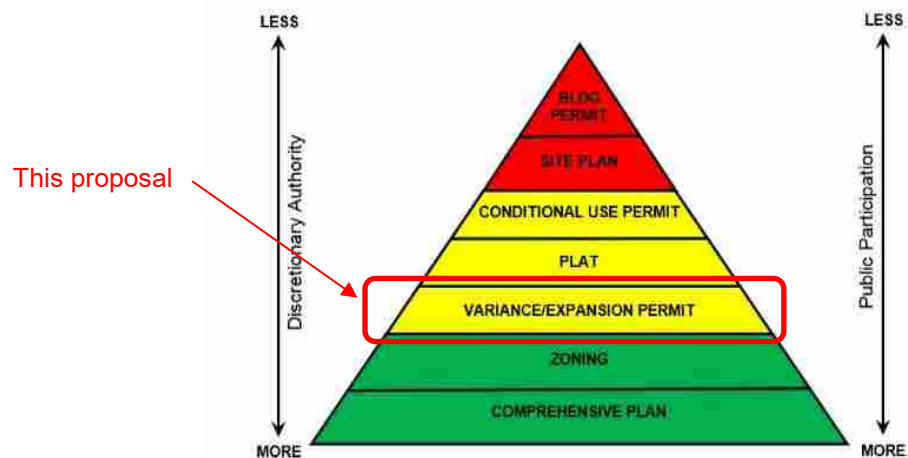
The existing home is considered non-conforming as the structure was built prior to the amendment of city ordinance regarding lot-behind-lot structures. The second level addition requires an expansion permit as it would not encroach further into the required northern property line setback than the existing structure.

### Expansion Permit

By City Code §300.29, an expansion permit for a non-conforming use may be granted, but is not mandate, when an applicant meets the burden of proving that:

1. The proposed expansion is reasonable use of the property, considering such things as:
  - Functional and aesthetic justifications for the expansions;
  - Adequacy of off-street parking for the expansion;
  - Absence of adverse off-site impacts from such things as traffic, noise, dust odors, and parking;
  - Improvement to the appearance and stability of the property and neighborhood.
2. The circumstances justifying the expansion are unique to the property, are not caused by the landowner, are not solely for the landowner's convenience, and are not solely because of economic considerations; and
3. The expansion would not adversely affect or alter the essential character of the neighborhood.

### Pyramid of Discretion



**Natural Resources** Best management practices must be followed during the course of site preparation and construction activities. This would include installation and maintenance of erosion control and tree fencing.

**Motion Options** The planning commission has three options:

1. Concur with staff's recommendation. In this case a motion should be made approving the expansion permit request.
2. Disagree with staff's recommendation. In this case a motion should be made denying the expansion permit request. This motion must include a statement as to why the requests are denied.
3. Table the request. In this case, a motion should be made to table the item. The motion should include a statement as to why the request is being tabled with direction to staff, the applicant or both.

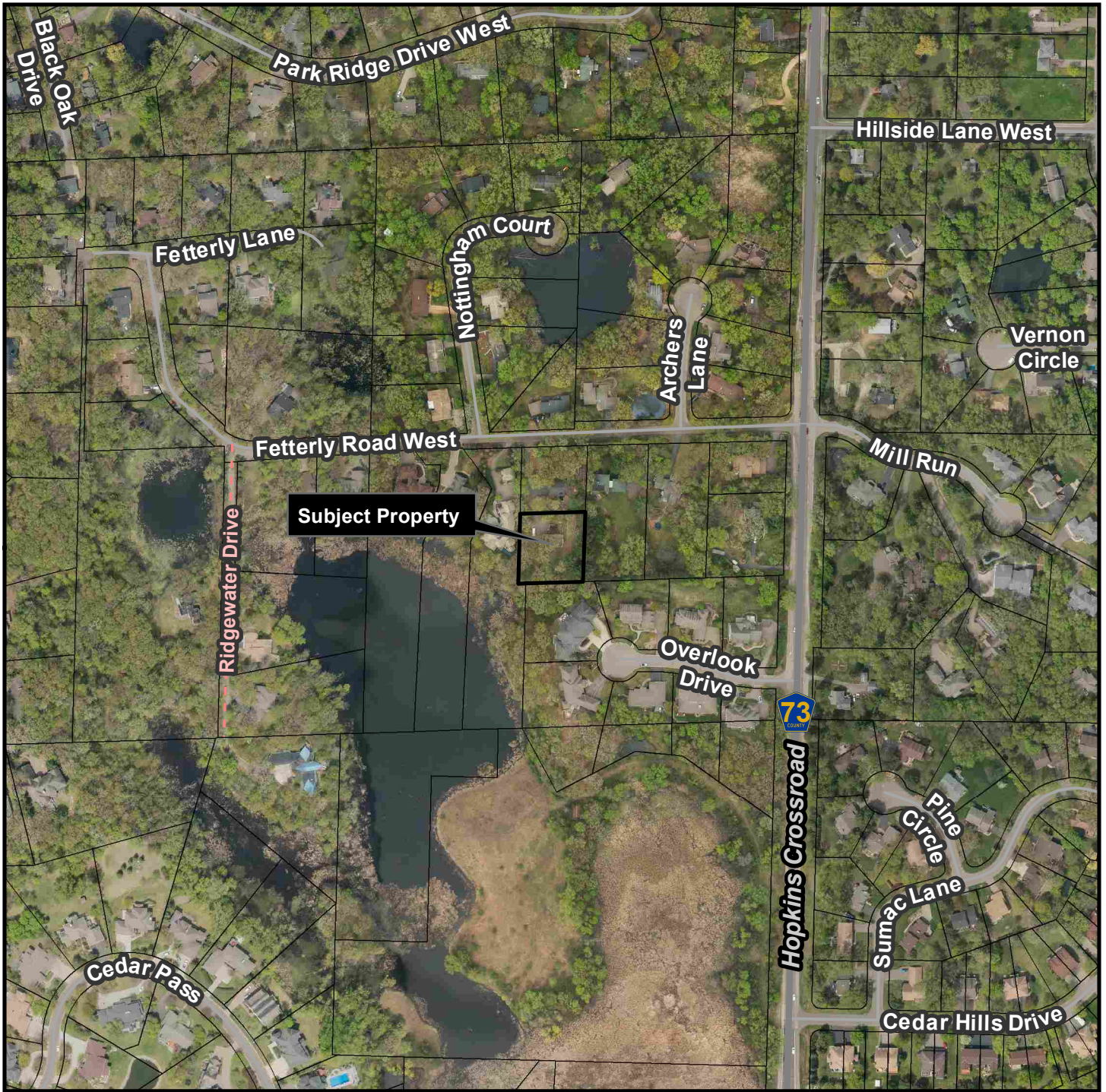
**Neighborhood Comments** The city sent notices to 30 area property owners and has received no comments.

**Voting Requirement** The planning commission action on the applicant's request is final subject to appeal. Approval requires the affirmative vote of five commissioners.

**Appeals** Any person aggrieved by the planning commission's decision about the requested variance may appeal such decision to the city council. A written appeal must be submitted to the planning staff within ten days of the date of the decision.

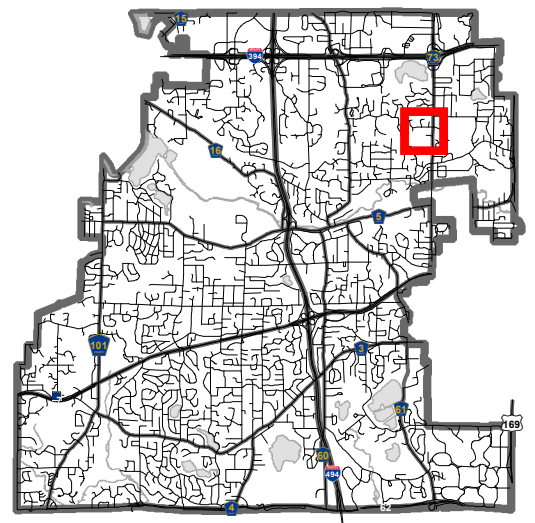
**Deadline for Decision** Oct. 12, 2020





### Location Map

Project: Jerome Residence  
Address: 11309 Fetterly Rd W

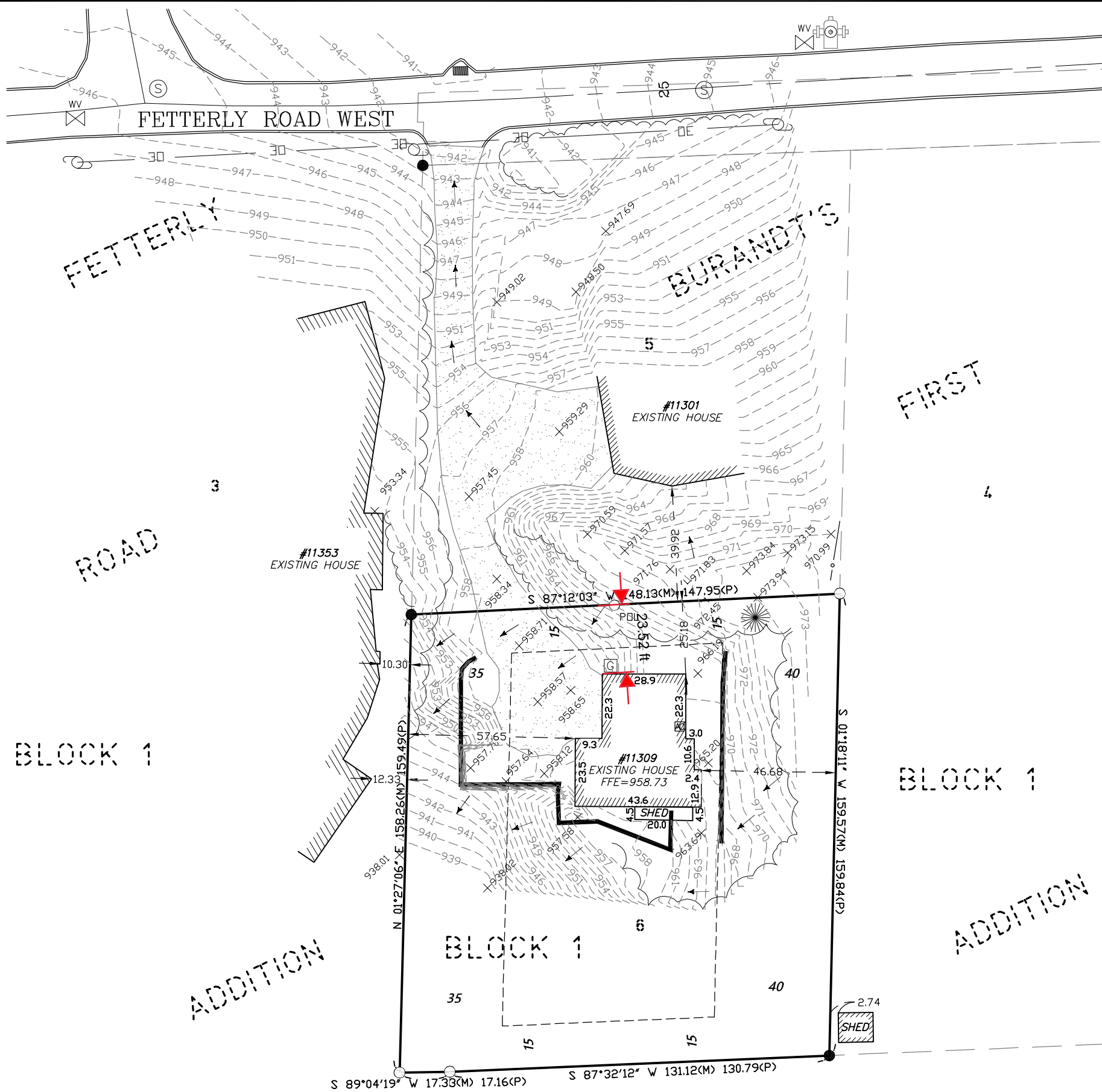




# CERTIFICATE OF SURVEY

for SCOTT JEROME

Call 48 Hours before digging  
**GOPHER STATE ONE CALL**  
 Twin Cities Area 651-454-0002  
 MN. Toll Free 1-800-252-1166



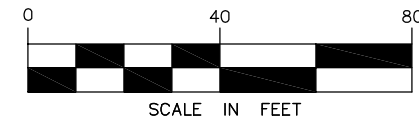
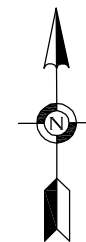
**REFERENCE BENCHMARK**  
 ELEVATION = 901.84 (NGVD 29) MNDOT DISK "SONYA".

**LEGAL DESCRIPTION**  
 Lot 6, Block 1, BURANDT'S FIRST ADDITION, Hennepin County, Minnesota, according to the recorded plat thereof.

**BUILDING SETBACKS**  
 ZONING: R1 = LOW DENSITY RESIDENTIAL DISTRICT  
 HOUSE: FRONT = 35 FT  
 SIDE = 10 FT MIN, 30 FT SUM  
 REAR = 40 FT OR 20% DEPTH, WHICHEVER IS LESS

**EXISTING HARDCOVER**

EXISTING HOUSE	1,645 SQ. FT.
EXISTING BITUMINOUS SURFACE	1,544 SQ. FT.
TOTAL IMPERVIOUS AREA	3,189 SQ. FT.
TOTAL LOT AREA	23,540 SQ. FT.
EXISTING HARDCOVER	13.5 %



**LEGEND**

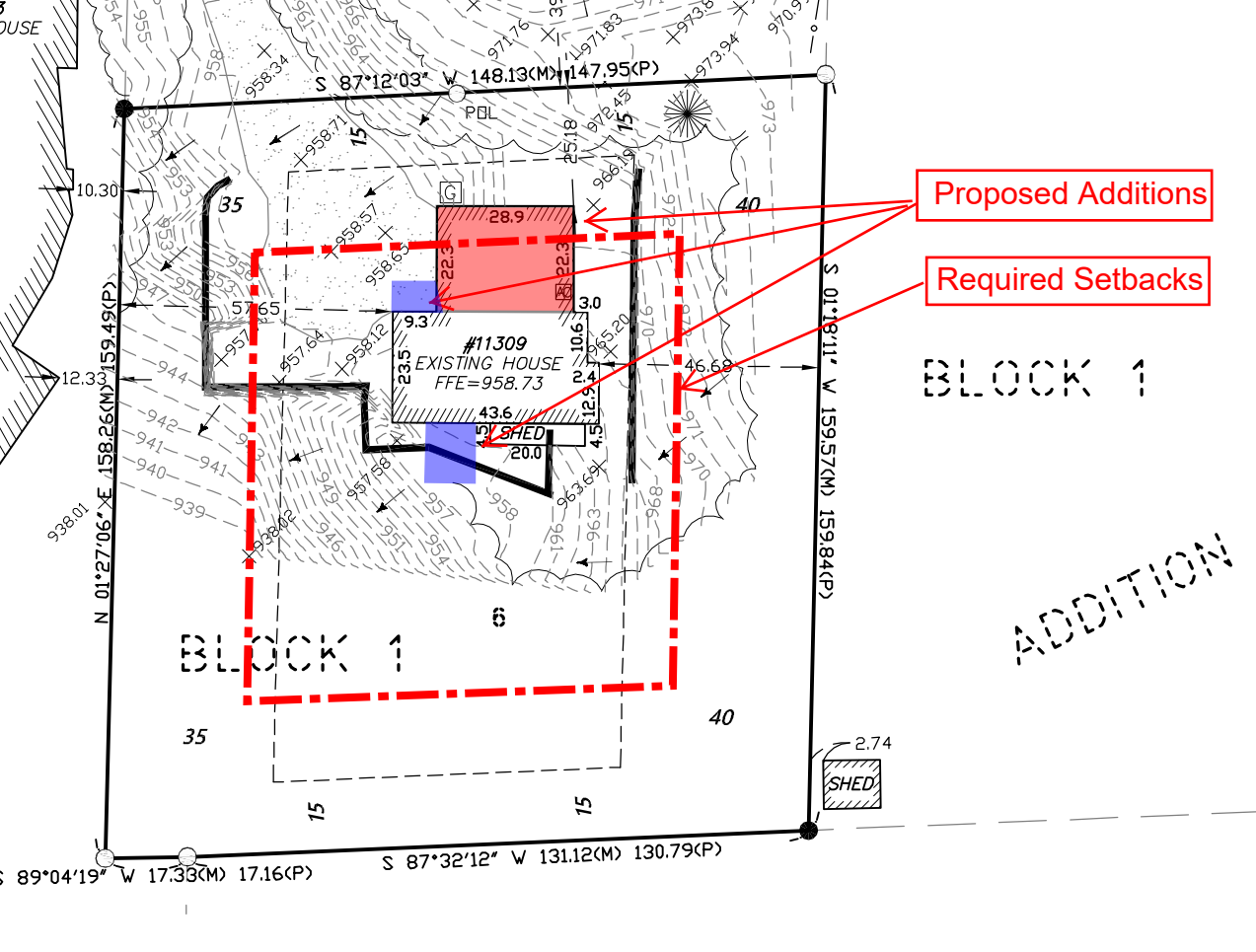
- DENOTES FOUND PROPERTY IRON
- DENOTES SET 1/2" X 18" REBAR WITH PLASTIC CAP "PLS 25105"
- DENOTES BOUNDARY LINE
- - - DENOTES LOT LINE
- - - DENOTES SETBACK LINE
- x999.99 DENOTES EXISTING SPOT ELEVATION
- 999 DENOTES EXISTING CONTOUR LINE
- FFE DENOTES FINISH FLOOR ELEVATION
- [Pattern] DENOTES BITUMINOUS SURFACE
- WV DENOTES WATER VALVE
- [Tree] DENOTES TREE LINE
- [Hydrant] DENOTES FIRE HYDRANT
- [Sun] DENOTES CONIFEROUS TREE
- DENOTES CHAINLINK FENCE
- OE DENOTES OVERHEAD ELECTRIC
- [Towers] DENOTES ELECTRIC POWER POLE
- [Wall] DENOTES RETAINING WALL
- (M) DENOTES MEASURED DISTANCE
- (P) DENOTES PLATTED DISTANCE
- Ⓢ DENOTES SANITARY MANHOLE
- EM DENOTES ELECTRIC METER
- AC DENOTES AIR CONDITIONER
- [Arrow] DENOTES DRAINAGE FLOW
- G DENOTES GAS METER
- [Basin] DENOTES STORM CATCH BASIN

**NOTES**

1. THE BASIS OF THE BEARING SYSTEM IS ASSUMED.
2. NO SPECIFIC SOIL INVESTIGATION HAS BEEN COMPLETED
3. CONTRACTOR SHALL VERIFY PROPOSED ELEVATIONS.
4. NO TITLE INFORMATION WAS PROVIDED FOR THIS SURVEY. THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD.
5. EXISTING UTILITIES AND SERVICES SHOWN HEREON OWNER LOCATED EITHER PHYSICALLY ON THE GROUND DURING THE SURVEY OR FROM EXISTING RECORDS MADE AVAILABLE TO US OR BY RESIDENT TESTIMONY. OTHER UTILITIES AND SERVICES MAY BE PRESENT. VERIFICATION AND LOCATION OF UTILITIES AND SERVICES SHOULD BE OBTAIN FROM THE OWNERS OF RESPECTIVE UTILITIES BY CONTACTING GOPHER STATE ONE CALL AT (651) 454-0002 PRIOR TO ANY DESIGN, PLANNING OR EXCAVATION.

NO.	DATE	DESCRIPTION	BY





Proposed Additions

Required Setbacks

BLOCK 1

ADDITION



Proposed Additions





Existing  
Vegetation

Proposed  
Additions





**SHEET INDEX**

- A1..... EXISTING PLANS & EXTR. ELEVATIONS
- A2..... PROPOSED FIRST FLOOR PLAN
- A3..... PROPOSED SECOND FLOOR PLAN
- A4..... PROPOSED EXTERIOR ELEVATIONS
- A5..... PROPOSED EXTERIOR ELEVATIONS
- A6..... PROPOSED EXTERIOR ELEVATIONS
- A7..... PROPOSED EXTERIOR ELEVATIONS
- A8..... PROPOSED BUILDING SECTION
- A9..... GEN. REMODELING NOTES, TYP. WALL SEC.

**PROJECT TEAM**

**ARCHITECT**  
SHARRATT DESIGN & CO. LLC.  
CONTACT: MIKE SHARRATT

**GENERAL CONTRACTOR**  
COMPANY: X  
CONTACT: X  
ADDRESS: X  
PHONE: X

**GENERAL NOTE:**  
ALL EXISTING CONDITIONS, NOTES, DIMENSIONS, AS-BUILT DRAWINGS & RELATED INFORMATION BY OTHERS, CONTRACTOR(S) TO FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS.

SHARRATT DESIGN COMPANY MAKES NO WARRANTY AS TO THE EXACT CONDITIONS TO BE ENCOUNTERED ON SITE. DRAWINGS ARE PROVIDED TO DELINEATE DESIGN INTENT ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO PERFORM PROPER FIELD INVESTIGATION BEFORE UNDERTAKING ANY DEMOLITION OR RECONSTRUCTION ACTIVITY.

**ISSUED FOR**

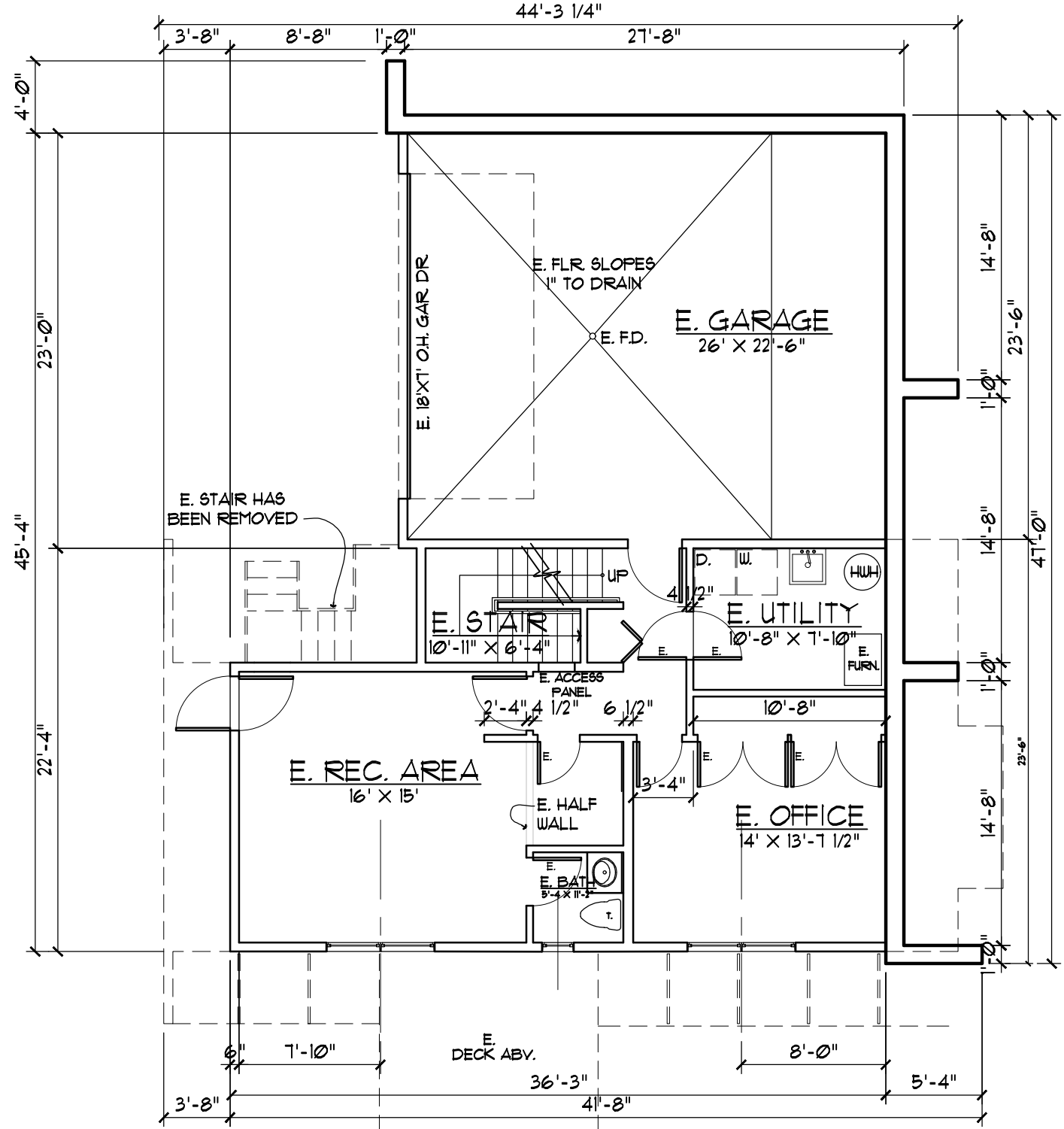
ISSUE DATE	CHECK SET	CLIENT REVIEW	MEETING SET	ESTIMATE SET	ARCH. REVIEW	VARIANCE/C.U.P. APPL	PERMIT SET	BID SET	REVISION	CONSTRUCTION SET
11/05/2019	X									
11/13/2019	X									
11/14/2019	X									
11/19/2019	X	X								
11/21/2019										X

PROPOSED REMODELING OF:

**JEROME HOME**

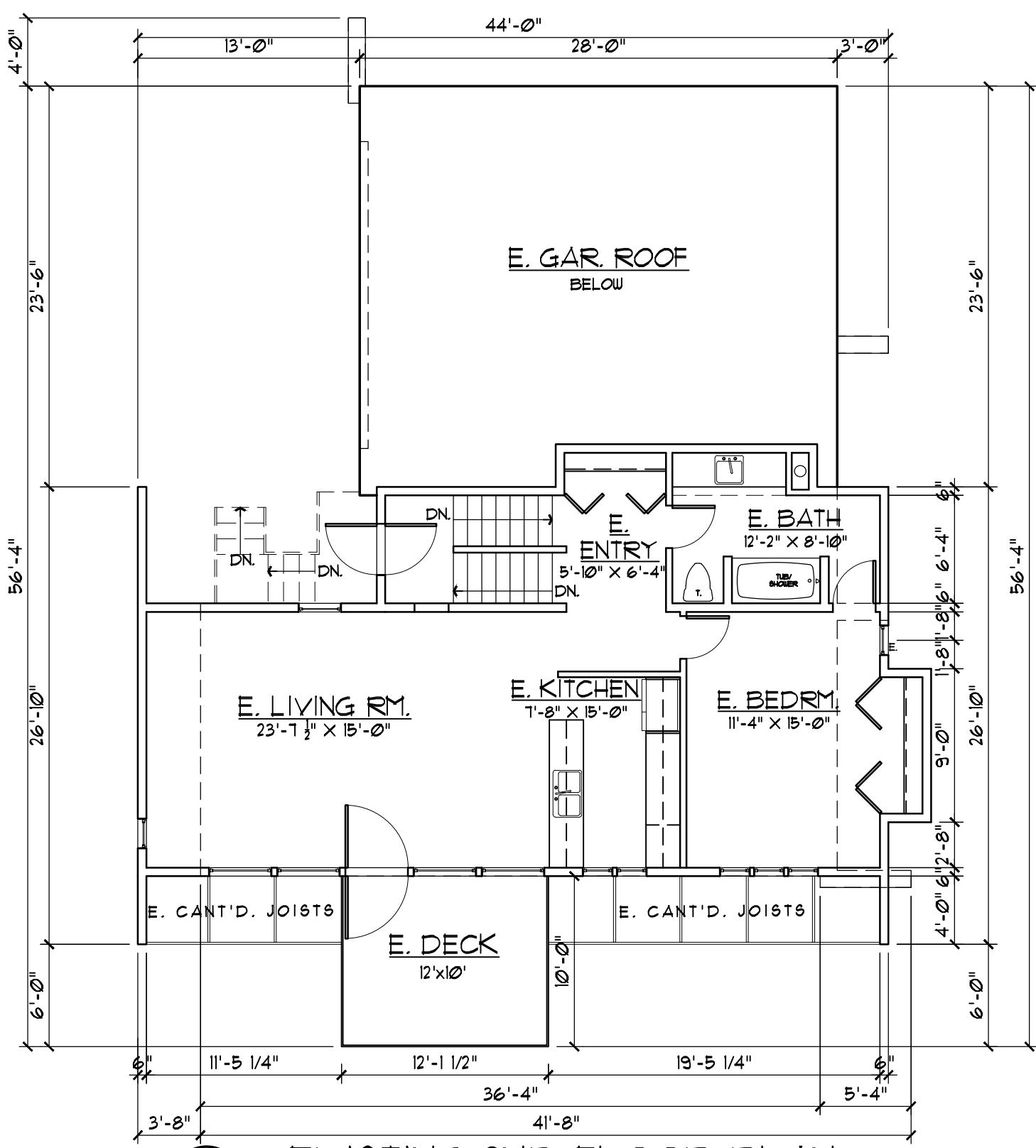
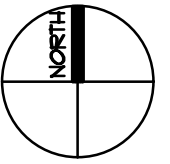
11309 FETTERLY RD. W.  
MINNETONKA, MINNESOTA 55305

SHEET  
**A1**



**1 EXISTING 1ST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

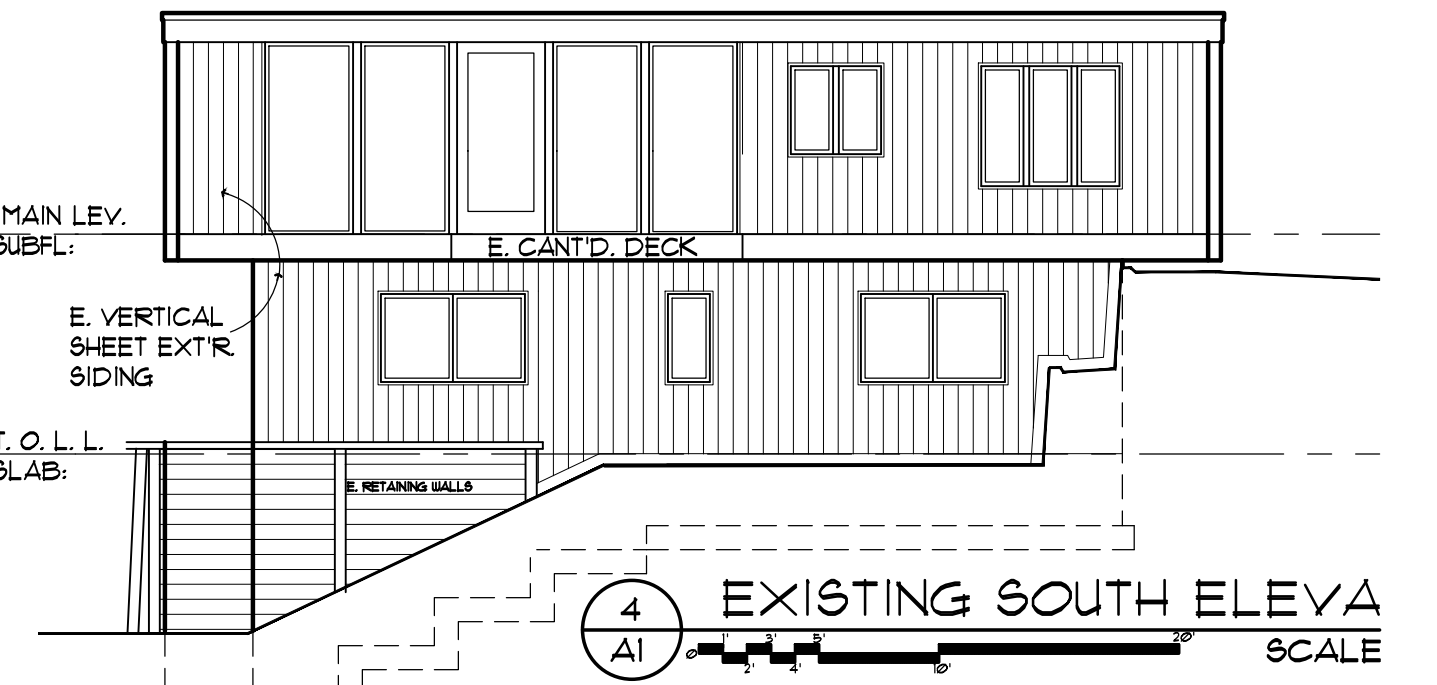
**NOTE:**  
EXISTING DRAWINGS BASED UPON ORIGINAL DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS UPON COMMENCEMENT OF WORK & COORDINATE PROPOSED WORK WITH ANY VARIATIONS.



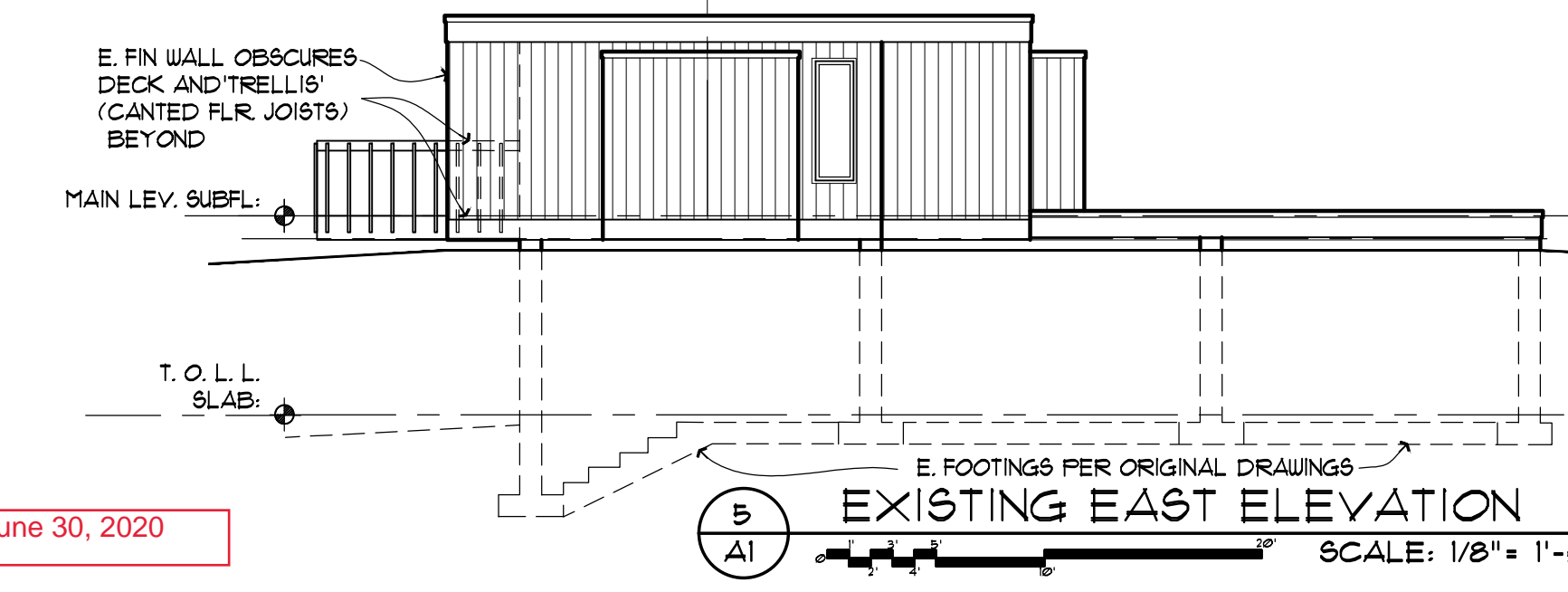
**2 EXISTING 2ND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



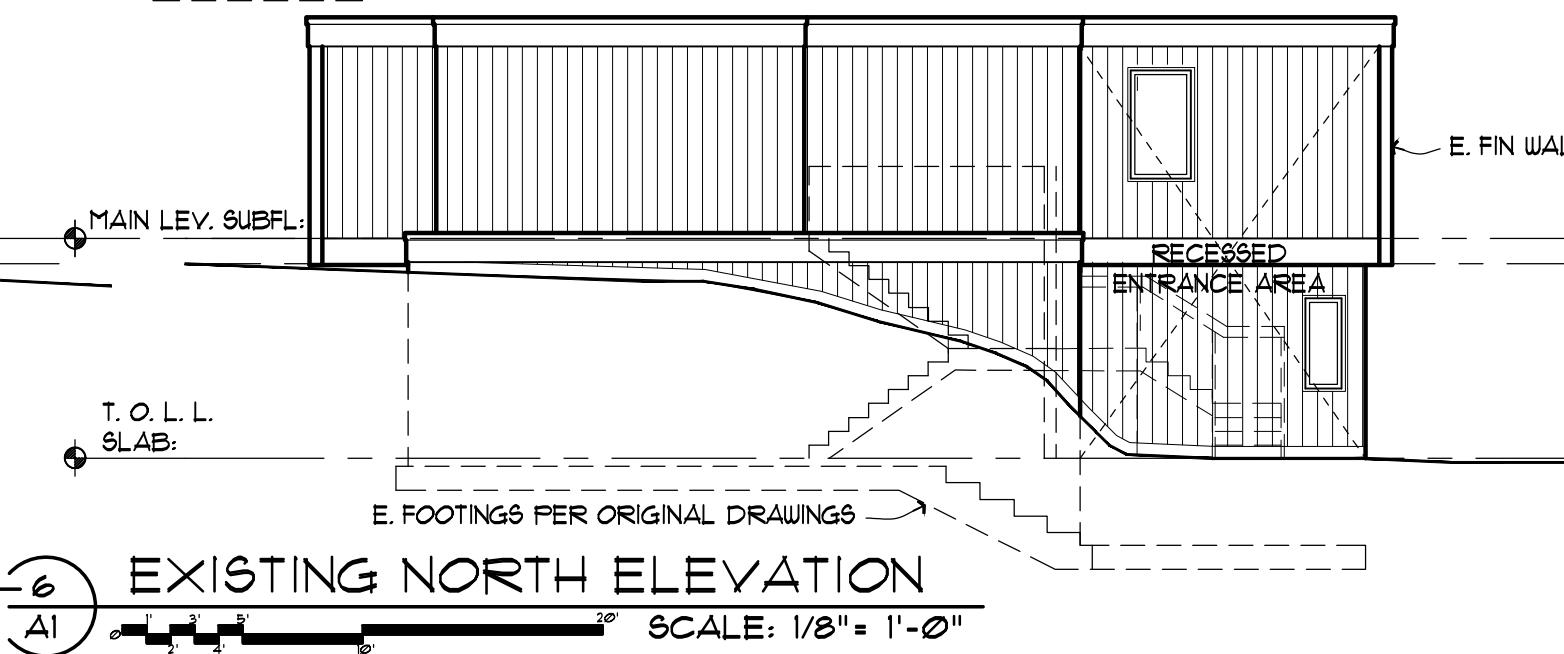
**3 EXISTING WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**4 EXISTING SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**5 EXISTING EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**6 EXISTING NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

Received June 30, 2020

**SHEET INDEX**

A1 ..... EXISTING PLANS & EXTR. ELEVATIONS  
A2 ..... PROPOSED FIRST FLOOR PLAN  
A3 ..... PROPOSED SECOND FLOOR PLAN  
A4 ..... PROPOSED EXTERIOR ELEVATIONS  
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**ARCHITECT**  
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ADDRESS: X  
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**GENERAL NOTE:**  
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**ISSUED FOR**

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11/14/2019	X									
11/19/2019	X		X							
11/21/2019										X

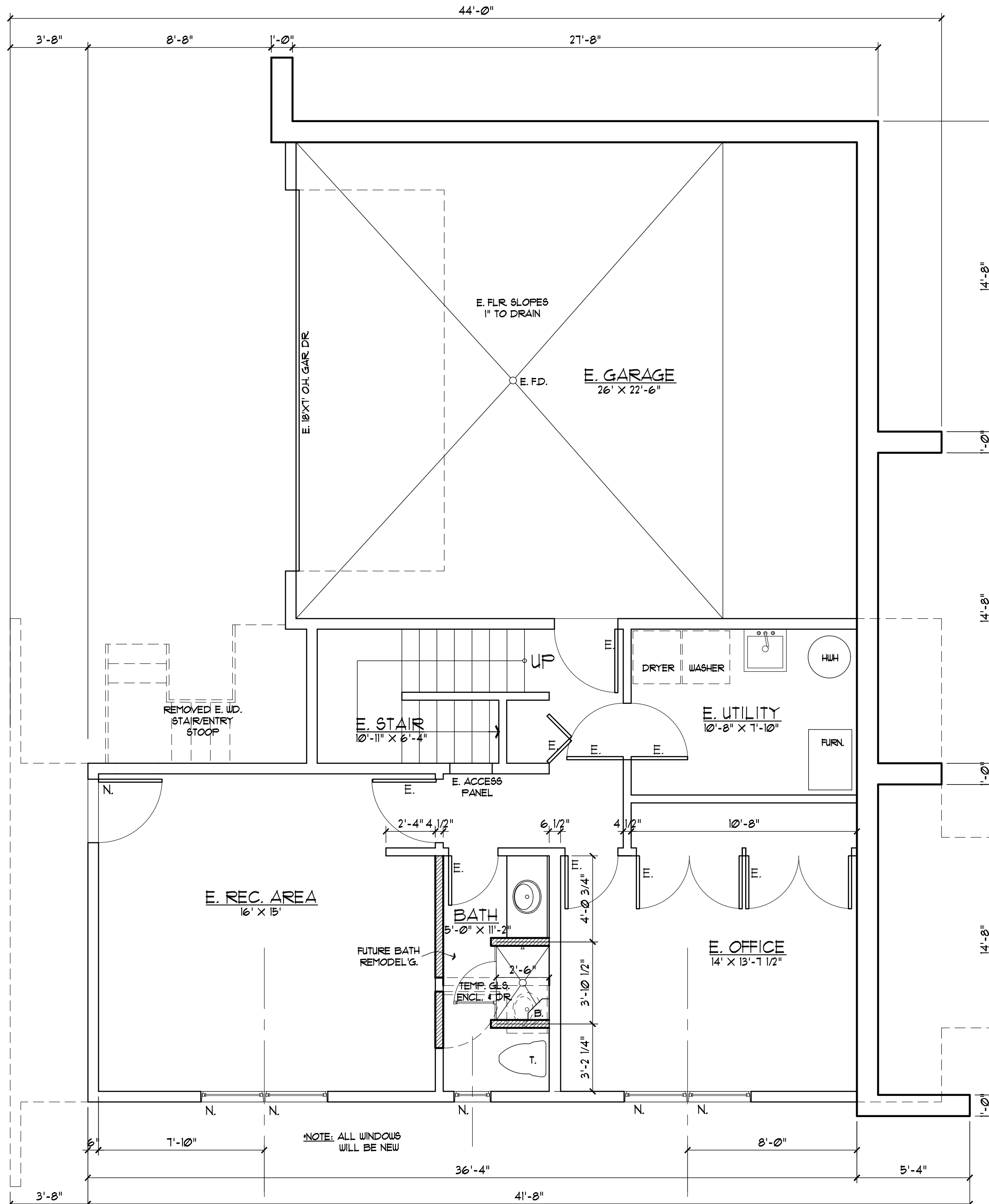
PROPOSED REMODELING OF:

**JEROME HOME**

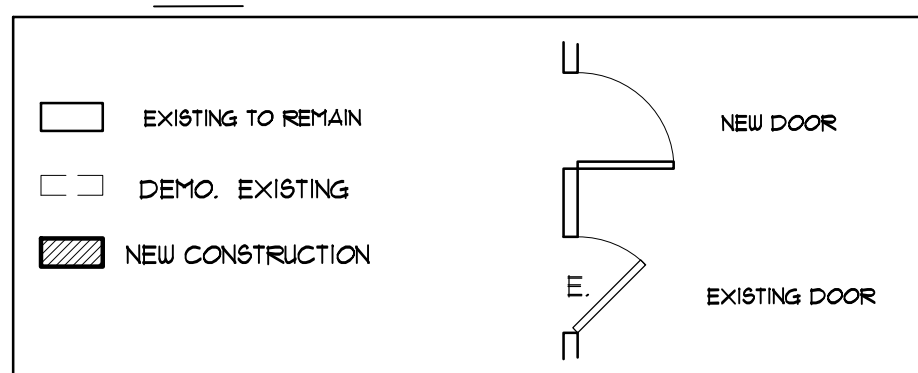
11309 FETTERLY RD. W.  
MINNETONKA, MINNESOTA 55305

SHEET

A2



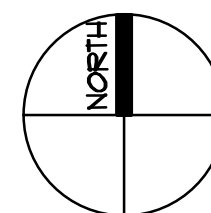
**KEY:**



1  
A2

**PROPOSED 1ST FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**SHEET INDEX**

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A6	PROPOSED EXTERIOR ELEVATIONS
A7	PROPOSED EXTERIOR ELEVATIONS
A8	PROPOSED BUILDING SECTION
A9	GEN. REMODELING NOTES, TYP. WALL SEC.

**PROJECT TEAM**

**ARCHITECT**  
SHARRATT DESIGN & CO. LLC.  
CONTACT: MIKE SHARRATT

**GENERAL CONTRACTOR**

COMPANY: X  
CONTACT: X  
ADDRESS: X  
PHONE: X

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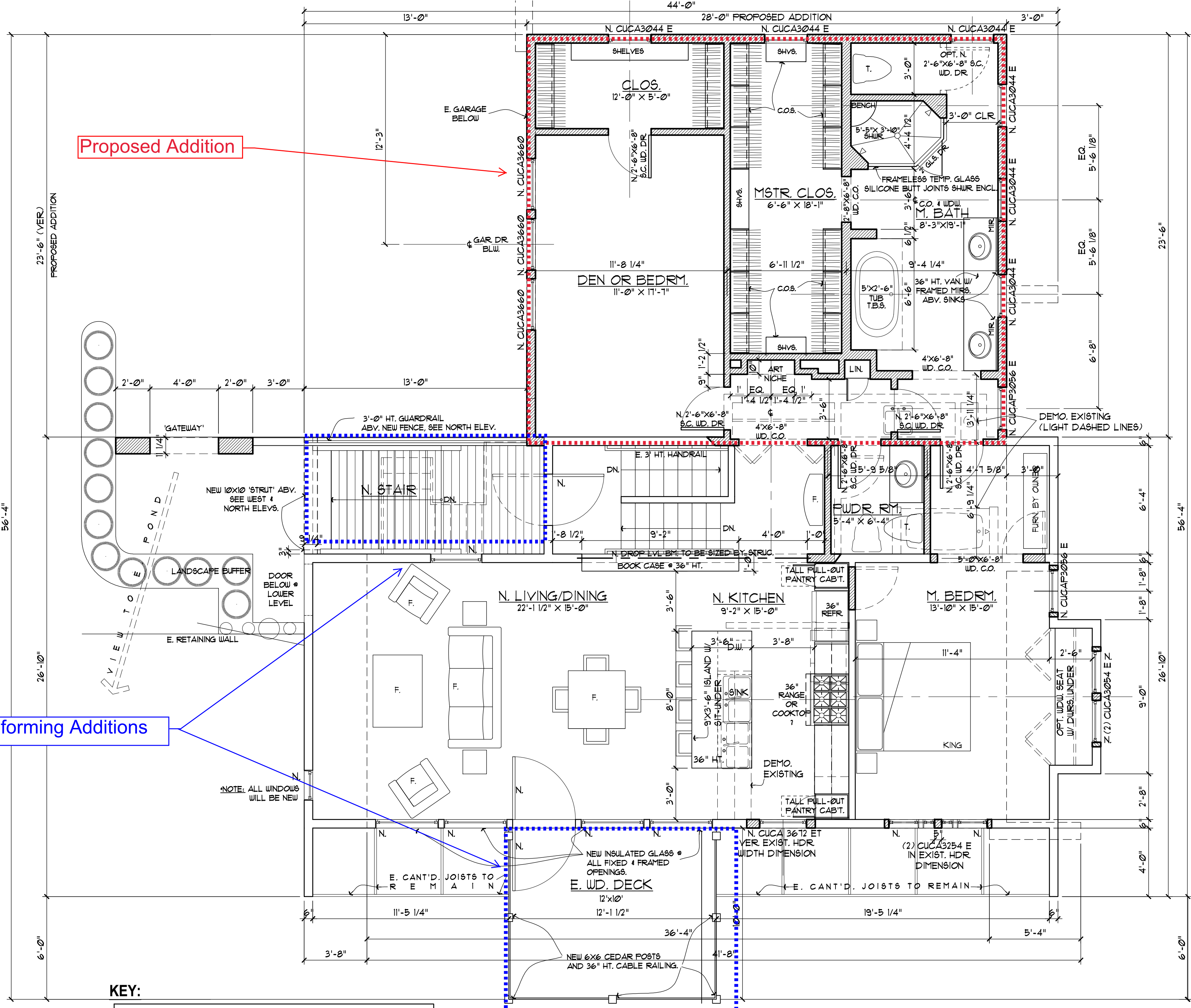
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11/13/2019	X									
11/14/2019	X									
11/19/2019	X	X								
11/21/2019										X
11/26/2019										X

PROPOSED REMODELING OF:

**JEROME HOME**

11309 FETTERLY RD. W.  
MINNETONKA, MINNESOTA 55305

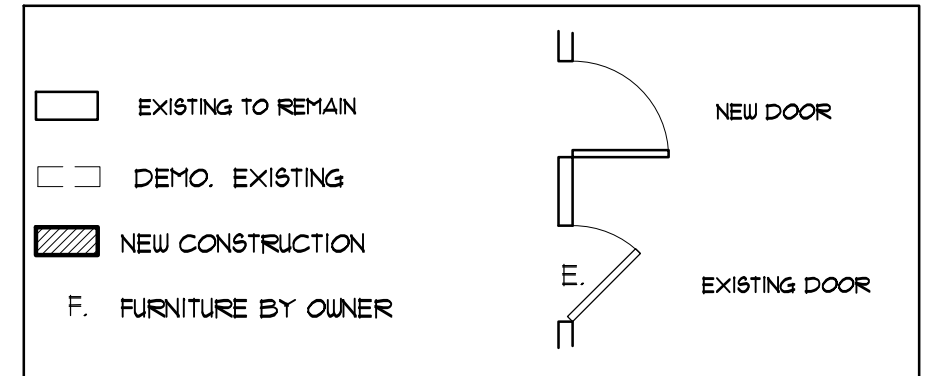
SHEET  
**A3**



Proposed Addition

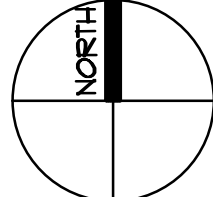
Conforming Additions

**KEY:**



Received June 30, 2020

**PROPOSED 2ND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"





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A7 ..... PROPOSED EXTERIOR ELEVATIONS  
A8 ..... PROPOSED BUILDING SECTION  
A9 ..... GEN. REMODELING NOTES, TYP. WALL SEC.

**PROJECT TEAM**

**ARCHITECT**

SHARRATT DESIGN & CO. LLC.  
CONTACT: MIKE SHARRATT

**GENERAL CONTRACTOR**

COMPANY: X  
CONTACT: X  
ADDRESS: X  
PHONE: X

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PROPOSED REMODELING OF:

**JEROME HOME**

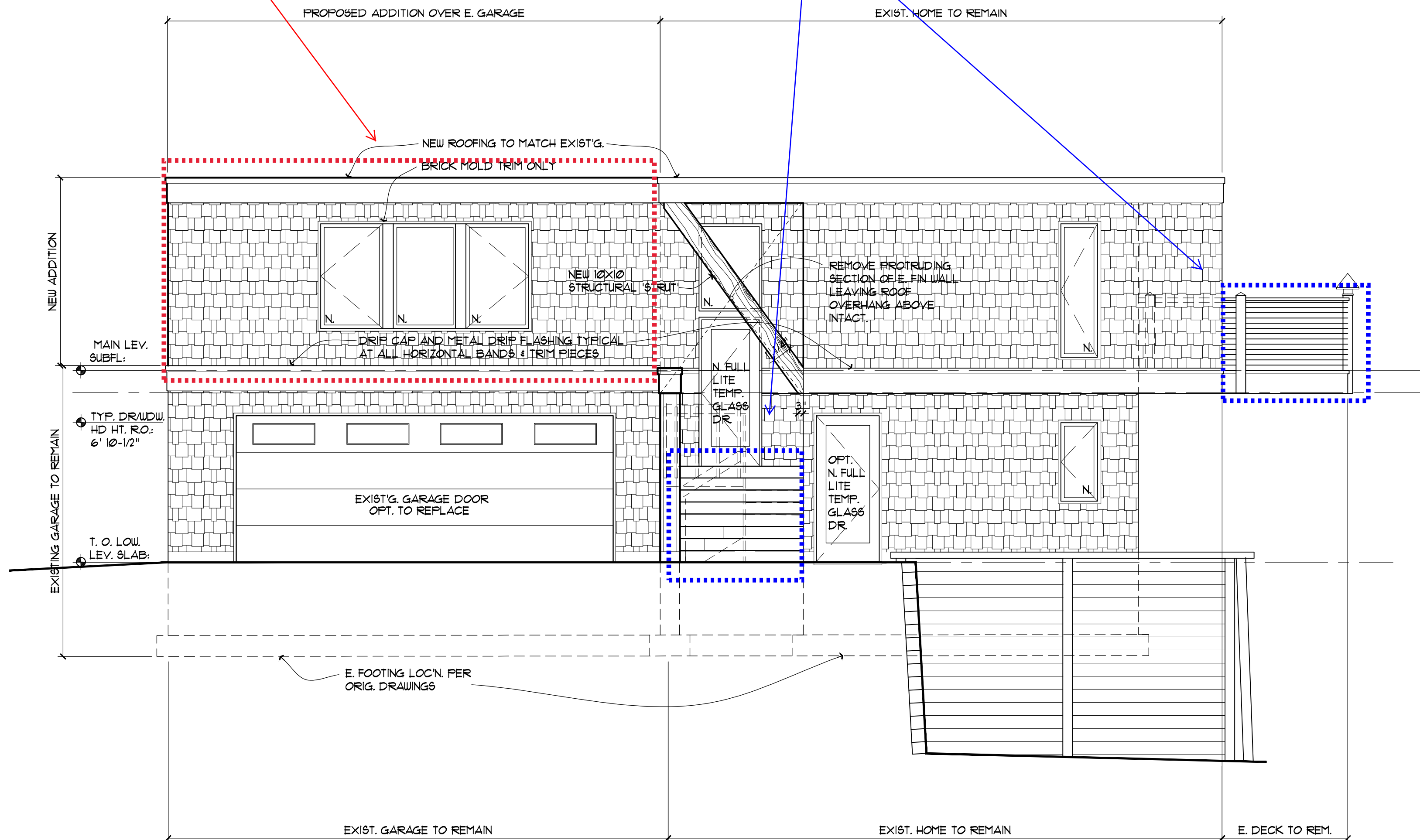
11309 FETTERLY RD. W.  
MINNETONKA, MINNESOTA 55305

SHEET

A4

Conforming Additions

Proposed Addition



1  
A4  
**PROPOSED WEST ELEVATION**  
SCALE: 1/4" = 1'-0"





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A8 ..... PROPOSED BUILDING SECTION  
A9 ..... GEN. REMODELING NOTES, TYP. WALL SEC.

**PROJECT TEAM**

**ARCHITECT**  
SHARRATT DESIGN & CO. LLC.  
CONTACT: MIKE SHARRATT

**GENERAL CONTRACTOR**

COMPANY: X  
CONTACT: X  
ADDRESS: X  
PHONE: X

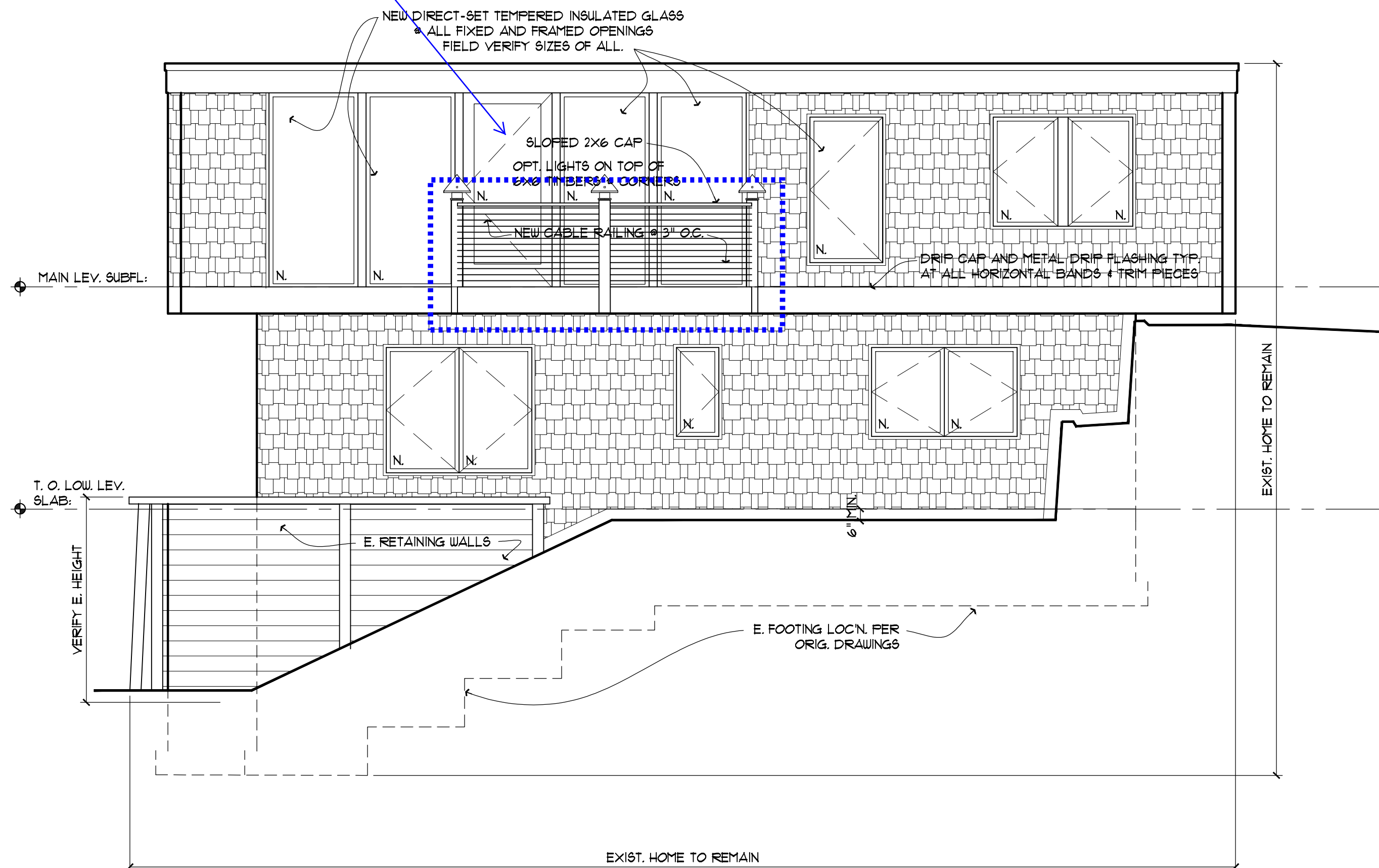
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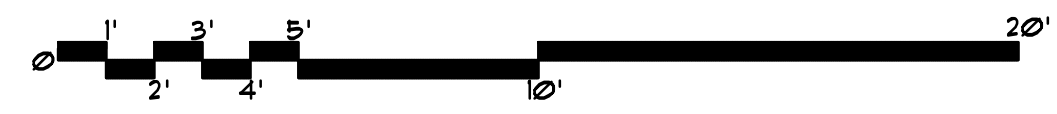
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11/13/2019	X									
11/14/2019	X									
11/19/2019	X		X							
11/21/2019										X

Conforming Addition



1  
A5  
**PROPOSED SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



PROPOSED REMODELING OF:

**JEROME HOME**

11309 FETTERLY RD. W.  
MINNETONKA, MINNESOTA 55305

SHEET  
**A5**

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 A8..... PROPOSED BUILDING SECTION  
 A9..... GEN. REMODELING NOTES, TYP. WALL SEC.

**PROJECT TEAM**

**ARCHITECT**  
 SHARRATT DESIGN & CO. LLC.  
 CONTACT: MIKE SHARRATT

**GENERAL CONTRACTOR**  
 COMPANY: X  
 CONTACT: X  
 ADDRESS: X  
 PHONE: X

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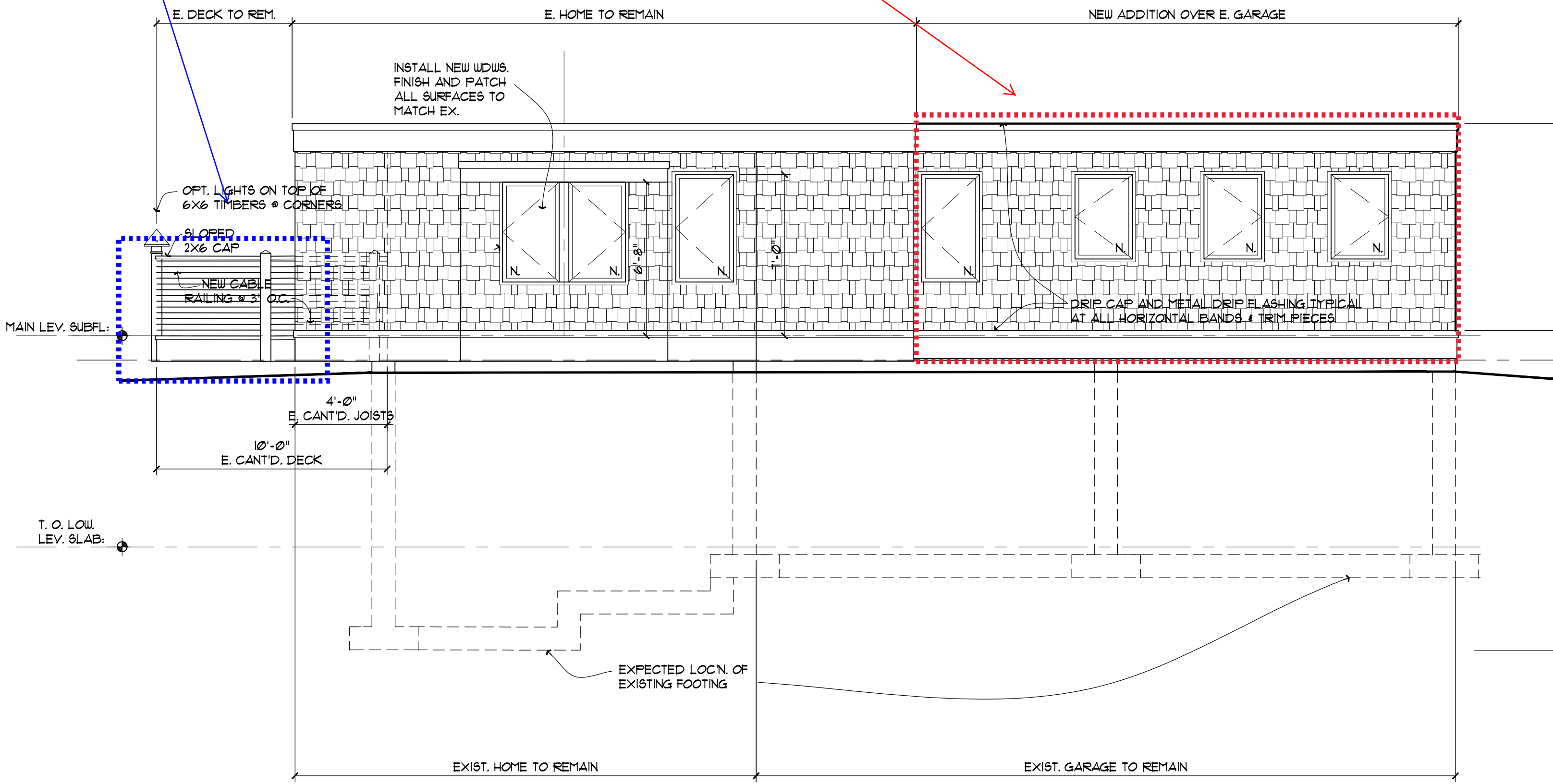
**JEROME HOME**

11309 FETTERLY RD. W. MINNETONKA, MINNESOTA 55305

SHEET  
**A6**

Conforming Addition

Proposed Addition



**1**  
**A6**  
**PROPOSED EAST ELEVATION**  
 SCALE: 1/4" = 1'-0"  
 0' 1' 2' 3' 4' 5' 10' 20'

Received June 30, 2020

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A7 ..... PROPOSED EXTERIOR ELEVATIONS  
A8 ..... PROPOSED BUILDING SECTION  
A9 ..... GEN. REMODELING NOTES, TYP. WALL SEC.

**PROJECT TEAM**

**ARCHITECT**  
SHARRATT DESIGN & CO. LLC.  
CONTACT: MIKE SHARRATT

**GENERAL CONTRACTOR**  
COMPANY: X  
CONTACT: X  
ADDRESS: X  
PHONE: X

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11/19/2019	X		X							
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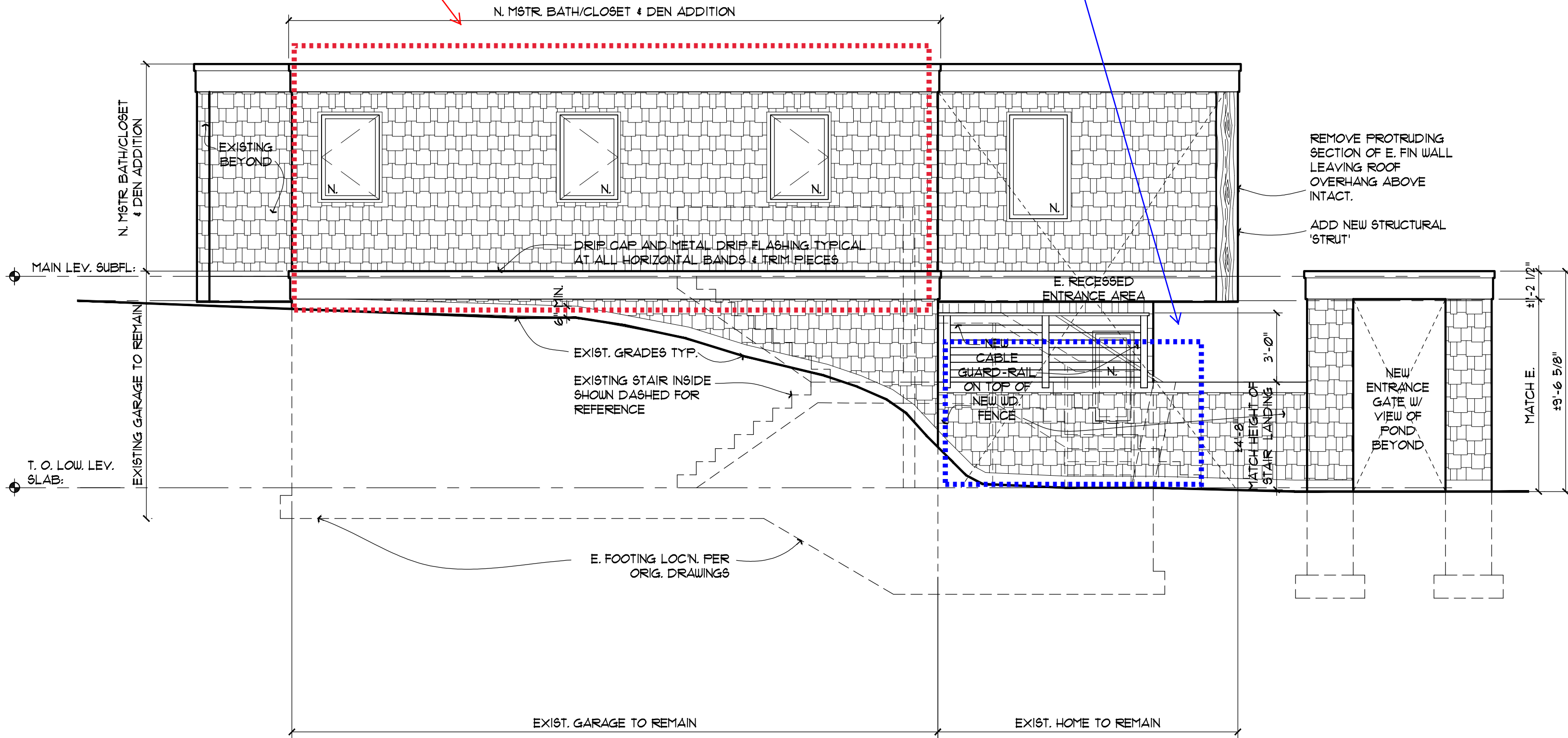
**JEROME HOME**

11309 FETTERLY RD. W.  
MINNETONKA, MINNESOTA 55305

SHEET  
**A7**

Proposed Addition

Conforming Addition



**1**  
**A7** PROPOSED NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



Received June 30, 2020

**SHEET INDEX**

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A4 ..... PROPOSED EXTERIOR ELEVATIONS  
A5 ..... PROPOSED EXTERIOR ELEVATIONS  
A6 ..... PROPOSED EXTERIOR ELEVATIONS  
A7 ..... PROPOSED EXTERIOR ELEVATIONS  
A8 ..... PROPOSED BUILDING SECTION  
A9 ..... GEN. REMODELING NOTES, TYP. WALL SEC.

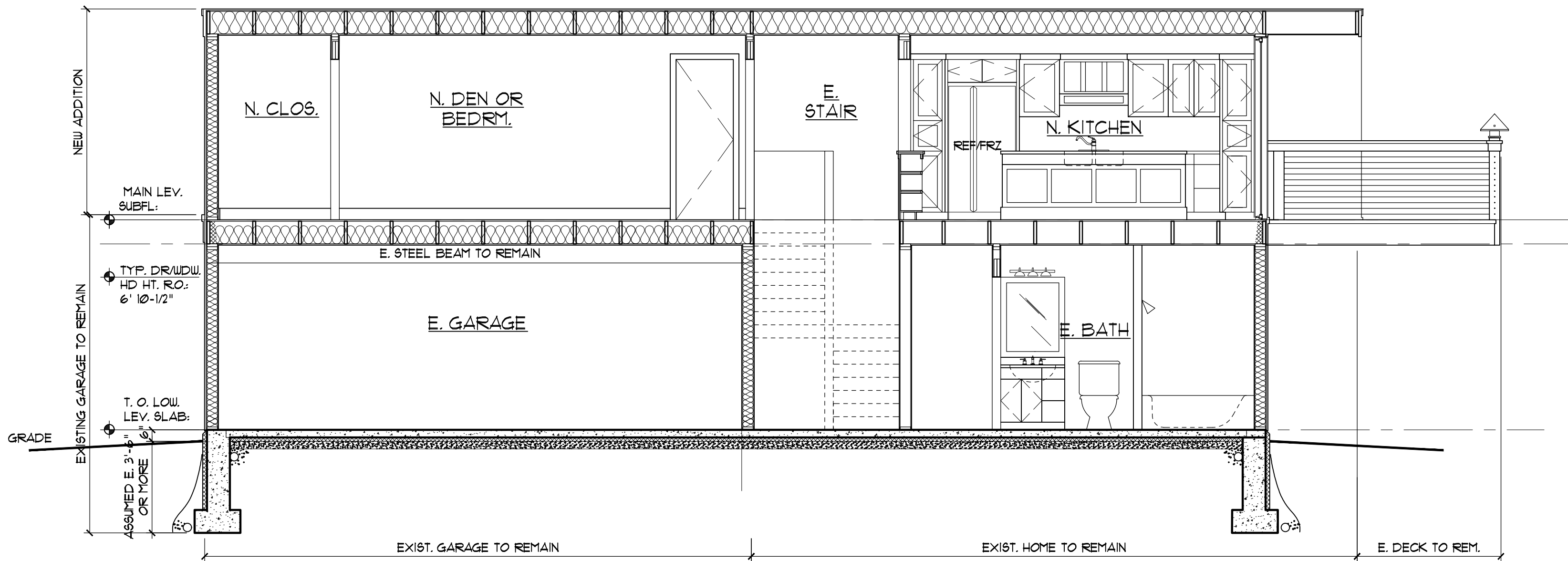
**PROJECT TEAM**

**ARCHITECT**  
SHARRATT DESIGN & CO. LLC.  
CONTACT: MIKE SHARRATT

**GENERAL CONTRACTOR**

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CONTACT: X  
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1  
A8

**PROPOSED BUILDING SECTION**

SCALE: 1/4" = 1'-0"

**ISSUED FOR**

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11/13/2019	X									
11/14/2019	X									
11/19/2019	X	X								
11/21/2019								X		

PROPOSED REMODELING OF:

**JEROME  
HOME**

11309 FETTERLY RD. W.  
MINNETONKA, MINNESOTA 55305

SHEET  
**A8**

Received June 30, 2020



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A7	.....	PROPOSED EXTERIOR ELEVATIONS
A8	.....	PROPOSED BUILDING SECTION
A9	.....	GEN. REMODELING NOTES, TYP. WALL SEC.

**PROJECT TEAM**

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**GENERAL CONTRACTOR**

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11/19/2019	X		X							
11/21/2019									X	

PROPOSED REMODELING OF:

**JEROME HOME**

11309 FETTERLY RD. W.  
MINNETONKA, MINNESOTA 55305

SHEET

A9

**ROOF CONSTRUCTION: (EXTERIOR TO INTERIOR)**

- E.P.D.M. ROOFING
- PREFINISHED METAL ROOF EDGE W/ DRIP
- 30# ROOFING FELTS
- ICE & WATER SHIELD ROOF EDGES
- 1/2" CDX FLYWOOD
- 2X12 ROOF JOISTS @ 24" O.C TYPICAL, (VERIFY BY STRUCTURAL)
- PROVIDE 1-1/2" MIN. AIR SPACE UNDER SHEATHING W/ AIR CHUTES AT ALL VENTED CONDITIONS.
- 5/8" GYP. BOARD CL'G. W/ 6 MIL. VAPOR BARRIER

**FASCIA/SOFFIT CONSTRUCTION: MATCH EXISTING**

- MATCH EXISTING FASCIA TRIM SIZE AND DETAIL
- R-50 BLOWN INSULATION W/ 6 MIL. POLY VAPOR BARRIER ON THE WARM SIDE
- 5/8" GYP. BOARD @ CLG.

**WALL CONSTRUCTION:**

- BACKPRIMED CEDAR SHINGLES OR LAP SIDING PER EXTERIOR ELEVATIONS
- (2) LAYERS 60 MIN. GRADE 'D' BLDG. PAPER
- 1/2" CDX FLYWOOD SHEATHING
- 2x6 STUDS W/ R-21 BATT INSULATION
- 6 MIL POLY VAPOR BARRIER
- 1/2" GYP. BD.

**FLOOR CONSTRUCTION:**

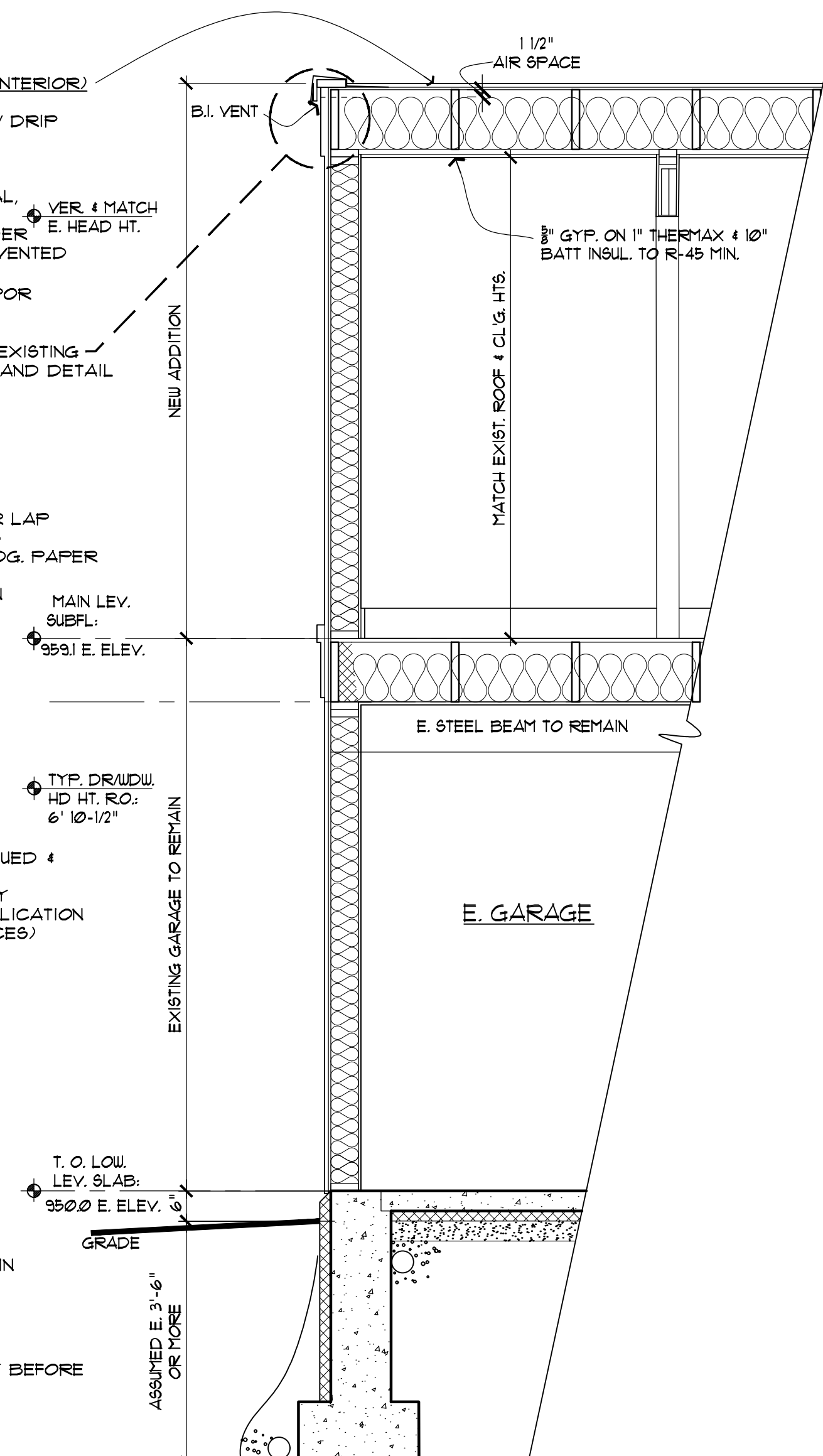
- 3/4" T & G PLYWOOD SUBFLOOR GLUED & SCREWED
- FLOOR FRAMING-VERIFY ADEQUACY
- INSULATION AS REQUIRED FOR APPLICATION (BETWEEN HEATED/UNHEATED SPACES)
- 5/8" GYP. BD. CEILING, 1 HR. RATED ASSEMBLY REQUIRED AT GARAGE

**FLOOR SLAB:**

- E. 4" POURED CONC. SLAB TO REMAIN

**FOUNDATION:**

- EXISTING TO REMAIN
- CONTRACTOR TO VERIFY ADEQUACY BEFORE PROCEEDING WITH WORK.



**GENERAL NOTES TO ADDITION/REMODELING DESIGN DOCUMENTS:**

**1. VERIFICATION-**

DURING THE ENTIRE DEMOLITION AND CONSTRUCTION PROCESS, FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS TO BE COMPATIBLE WITH THE PROPOSED WORK, PRIOR TO PROCEEDING WITH THE WORK. VERIFY ALL STRUCTURAL CONDITIONS DURING DEMO.

**2. CODES-**

ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AS ENFORCED BY THE LOCAL AUTHORITY.

**3. QUALITY, MATERIALS, AND DETAILS-**

ALL WORK AND MATERIALS SHALL BE AT OR ABOVE INDUSTRY STANDARDS. ASSUME TO MATCH ALL MATERIALS, DETAILS, DIMENSIONS, TEXTURES, COLORS, AND SPECIFICATIONS OF THE EXISTING CONSTRUCTION.

**4. ENGINEERING-**

ALL HVAC, PLUMBING, ELECTRICAL, SOILS, AND STRUCTURAL ENGINEERING AND DESIGN SHALL BE PROVIDED BY THE RESPECTIVE SUBCONTRACTOR/SUPPLIER OF THOSE SYSTEMS AND COORDINATED BY THE OWNER/GENERAL CONTRACTOR. INFORMATION HEREIN SHOWN IN THESE REGARDS IS PROVIDED FOR CLARIFICATION OF THE OVERALL PROJECT'S DESIGN INTENT ONLY. UPGRADE EXISTING AS NECESSARY TO MAXIMIZE PERFORMANCE OF FINAL SYSTEMS. MECHANICAL MAKEUP AIR TO BE PROVIDED AS PER I.B.C. AND ANY OTHER APPLICABLE CODES.

**5. WINDOWS-**

ALL WINDOW DESIGNATIONS ARE FOR MARVIN WINDOWS. CONTRACTOR MAY PROVIDE BID ALTERNATE FOR OTHER WINDOW MANUFACTURERS INCLUDING LOEWEN. SUPPLIER TO SUBMIT WINDOW SCHEDULE TO OWNER/GENERAL CONTRACTOR FOR REVIEW AND APPROVAL PRIOR TO PLACING WINDOW ORDER. WINDOW SUPPLIER TO CONFIRM TEMPERED GLASS LOCATIONS, EGRESS AND VENT WINDOW REQUIREMENTS, LIFE PATTERNS, WINDOW SIZES, WINDOW OPERATION, MULL SIZES, EXTENSION JAMBS, ETC. W/ OWNER/GEN. CONTR. PRIOR TO WINDOW ORDER. WINDOWS ARE TO BE PREFINISHED METAL CLAD WINDOWS WITH DOUBLE-PANE, "LOW-E" INSULATED GLASS U.N.O. PREFINISHED COLOR AND HARDWARE FINISH AS SELECTED BY OWNER. ALTERNATE MANUFACTURERS WINDOWS SHALL BE SIMILAR IN SIZE AND SPECIFICATION TO THOSE INDICATED ON THE ARCHITECTURAL DRAWINGS. WINDOW MANUFACTURER SHALL SUBMIT SHOP DRAWINGS OF ALL CUSTOM WINDOWS AND DOORS TO G.C./OWNER FOR REVIEW PRIOR TO FABRICATION. WINDOW SUPPLIER TO VERIFY AND SUPPLY STRUCTURAL MULLS FOR GANGED WINDOW ASSEMBLIES (AND GLAZED DOOR SYSTEMS SUPPLIED BY WINDOW SUPPLIER) AND INCLUDE IN PRICING AT TIME OF BIDDING. WINDOW SUPPLIER TO COORDINATE WINDOW/DOOR DEFLECTION REQUIREMENTS AND STRUCTURAL MULL REQUIREMENTS FOR FINAL DOOR AND WINDOW SELECTIONS WITH STRUCTURAL ENGINEER.

**6. INTERIOR FINISHES-**

ALL INTERIOR SURFACES OF WINDOWS, DOORS, COVE MOULDINGS, BASE MOULDINGS, DOOR CASING TO MATCH EXISTING U.N.O.

**7. EXTERIOR FINISHES-**

PAINT OR STAIN PROPOSED AND EXISTING EXTERIOR WOOD SURFACES IN COLOR SELECTED BY OWNER/GEN. CONTRACTOR.

**9. DEMOLITION-**

PRIOR TO DEMOLITION THE WNER/CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGNING AND INSTALLING ANY TEMPORARY STRUCTURAL SUPPORT OR SHORING REQUIRED TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE STRUCTURE DURING THE CONSTRUCTION PROCESS.

**Planning Commission Resolution No. 2020-**

**Resolution approving an expansion for a living space addition over an existing garage at  
11309 Fetterly Road West**

---

Be it resolved by the Planning Commission of the City of Minnetonka, Minnesota, as follows:

Section 1. Background.

1.01 The applicant, Scott Jerome, is proposing to construct a second level addition over an existing garage.

1.02 The property is located at 11309 Fetterly Road West. It is legally described as:  
Lot 6, Block 1, Burandt’s First Addition, Hennepin County, Minnesota.

1.03 City Code §300.10 Subd. 5(e) states “minimum setbacks for principal buildings on lots-behind-lots: 40 feet or 20% of the average distance between opposite lot lines, whichever is less, but no less than 25 feet..”

1.04 The applicant is requesting the following expansion permit:

	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>
Northern Property Line Setback	32 ft.	23.5 ft.	23.5 ft.*

\*requires expansion permit

1.05 Minnesota Statute §462.357 Subd. 6, and City Code §300.07 authorizes the planning commission to grant variances and expansion permits.

1.06 City Code §300.29 Subd.3(g) allows expansion of a nonconformity only by variance or expansion permit.

1.07 City Code §300.29 Subd.7(c) authorizes the city to grant expansion permits.

Section 2. Standards.

2.01 By City Code §300.29, an expansion permit for a non-conforming use may be granted, but is not mandated, when an applicant meets the burden of proving that:

1. The proposed expansion is reasonable use of the property, considering such things as:
  - a) Functional and aesthetic justifications for the expansions;
  - b) Adequacy of off-street parking for the expansion;
  - c) Absence of adverse off-site impacts from such things as traffic, noise, dust odors, and parking;
  - d) Improvement to the appearance and stability of the property and neighborhood.
2. The circumstances justifying the expansion are unique to the property, are not caused by the landowner, are not solely for the landowner's convenience, and are not solely because of economic considerations; and
3. The expansion would not adversely affect or alter the essential character of the neighborhood.

Section 3. Findings.

3.01 The proposed second level addition above the existing garage would meet the expansion permit standards as outlined in City Code §300.29.

1. **REASONABLENESS and UNIQUE CIRCUMSTANCE:** The subject home was originally constructed in 1977 and has a legal non-conforming northern property line setback. The proposed addition would be built within the same footprint as the existing garage, which encroaches into the northern property line setback. The subject structure is positioned 23.5 feet from the northern property line and the proposed second level would have the same setback.
2. **NEIGHBORHOOD CHARACTER:** The existing home encroaches into the northern property line setback. The proposed second level addition would maintain this setback. The proposed addition would not alter the essential character of the neighborhood because the established setback would be maintained by the proposed addition.

In addition, there is significant vegetation between the proposed addition and the neighboring property to the north. This vegetation will serve as a buffer between the buildings and limit the visual impact on the adjacent neighbor to the north.

Section 4. Planning Commission Action.



- 4.01 The planning commission approves the expansion permit for the second level addition described in section 1.04 of this resolution based on the findings outlined in sections 3.01 of this resolution. Approval is subject to the following conditions:
1. Subject to staff approval, the site must be developed and maintained in substantial conformance with the following plans, except as modified by the conditions below:
    - Survey dated June 5, 2020.
    - Floor plans and elevations received dated June 30, 2020.
  2. Prior to issuance of a building permit:
    - a) A copy of this resolution must be recorded with Hennepin County.
    - b) A building permit is required for all work completed on the property.
    - c) The applicant must submit a tree mitigation plan. The plan must meet mitigation requirements as outlined in ordinance. However, at the sole discretion of staff, mitigation may be decreased. Based on the submitted plans the mitigation requirements would be no mitigation; however, actual mitigation will be assessed following construction activities.
    - d) Install a temporary rock driveway, erosion control, tree and wetland protection fencing and any other measure as identified by the SWPP for staff inspection. These items must be maintained throughout the course of construction.
  3. This variance will end on Dec. 31, 2021, unless the city has issued a building permit for the project covered by this variance or has approved a time extension.

Adopted by the Planning Commission of the City of Minnetonka, Minnesota, on July 9, 2020.

\_\_\_\_\_  
Joshua Sewell, Chairperson

Attest:

\_\_\_\_\_  
Fiona Golden, Deputy City Clerk

Action on this resolution:

Motion for adoption:

Seconded by:

Voted in favor of:

Voted against:

Abstained:

Absent:

Resolution adopted.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the Planning Commission of the City of Minnetonka, Minnesota, at a duly authorized meeting held on July 9, 2020.

---

Fiona Golden, Deputy City Clerk

**MINNETONKA PLANNING COMMISSION**  
**July 9, 2020**

**Brief Description**            Expansion permit for garage and living space additions at 3326 Shores Blvd

**Recommendation**        Adopt the resolution approving the expansion permit

---

**Background**                The subject property was platted in 1916 and a home was constructed on the site in 1951. Both the property and the home existed well before adoption of the city's first subdivision and zoning ordinances. Both are non-conforming.

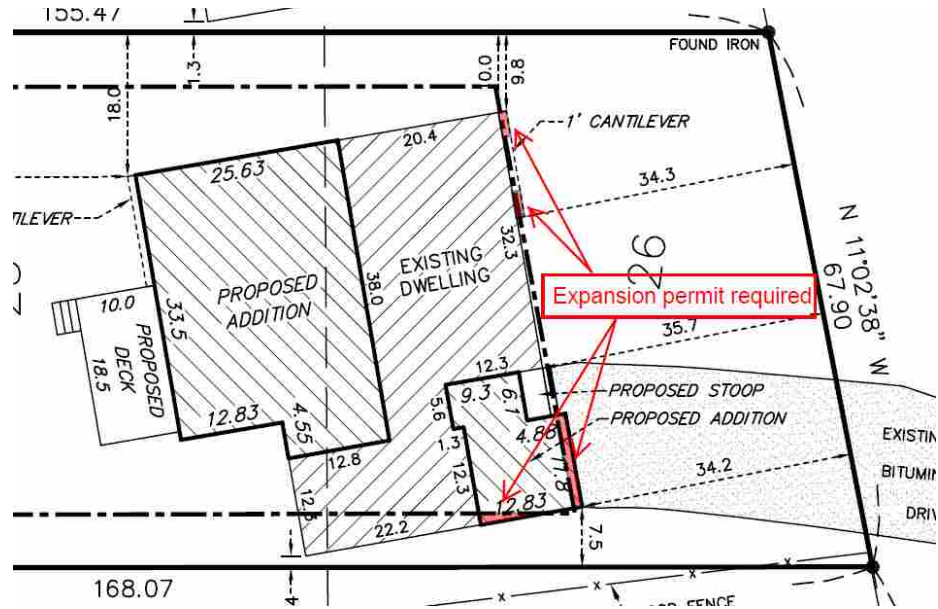
		<b>REQUIRED</b>	<b>EXISTING*</b>
<b>LOT</b>	Area	22,000 sq.ft.	10,800 sq.ft.
	Buildable Area	3,500 sq.ft.	5,000 sq.ft.
	Width at Right of Way	80 ft	67 ft
	Width at Setback	110 ft	67 ft
	Average Depth	125 ft	161 ft
<b>HOUSE**</b>	Front Yard	35 ft	34 ft
	Side Yard	7 ft	1 ft
	Rear Yard	32 ft	75 ft

\*Rounded down to closest 1 foot.

\*\*The property is a small lot as defined by city code. As such, the home qualifies for reduced setbacks.

**Proposal**                    The property owner, Chris Nelson, is proposing the following additions to the home:

- 1)     A roughly 920-square foot living space addition would be made to the rear of the home. This addition would meet all setback requirements.
  
- 2)     Roughly 200-square feet of space would be added to the front of the home. This space would be comprised of garage area, an enclosed entry, and extension of an existing, 1-foot cantilever. As illustrated on the next page, these additions would maintain the existing-non-conforming front and side yard setbacks.



### Staff Analysis

Staff finds that the proposed additions would meet the expansion permit standard outlined in city code:

- **Reasonableness.** The intrusions into required setbacks total less than 25 square feet; less than two percent of the total footprint of the home. These intrusions would not be discernable to the naked eye.
- **Unique Circumstance.** The subject property is just 11,300 sq. ft. in size and just 67 feet in width and the home is set back just 1.4 feet from the south side property line. These existing non-conformities, together with the 17-foot wide boulevard area between the front property line and the paved surface of Shores Boulevard create a unique circumstance.
- **Neighborhood Character.** The proposed additions would not negatively impact the character of the neighborhood. In fact, the proposed setback would be similar to others already existing in the area. Several homes on Shores Boulevard have reduced front and side yard setbacks based on approved variances, approved expansion permits, or simply due to existing non-conformities.

### Staff Recommendation

Adopt the resolution approving an expansion permit for garage and living space additions at 3326 Shores Boulevard

Originator: Susan Thomas, AICP, Assistant City Planner  
Through: Loren Gordon, AICP, City Planner

## Supporting Information

### Surrounding Land Uses

North: Single-family home, zoned R-1  
South: Single-family home, zoned R-1  
East: Single-family home, zoned R-1  
West: GroTonka Park, zoned R-1

### Planning

Guide Plan designation: Low-density residential  
Zoning: R-1

### Small Lots

“Small lots” qualify for reduced structural setbacks. By city code, a “small lot” is one that:

- Is less than 15,000 square feet;
- Was a lot of record as of Feb. 12, 1966; and
- Is located in an area in which the average size of all residential lots within 400 feet is less than 15,000 square feet.

The subject property is 10,800 sq.ft in size and was platted in 1916. The median average lot size in the area is 10,660 square feet. As such, the property is considered a “small lot” by city code definition.

### Variance v. Expansion Permit

A variance is required for any alteration that will intrude into one or more setback areas beyond the distance of the existing, non-conforming structure. An expansion permit is required for any alteration that maintains the existing non-conformity.

### Burden of Proof

By city code, an expansion permit for a non-conforming use may be granted, but is not mandated, when an applicant meets the burden of proving that:

1. The proposed expansion is reasonable use of the property, considering such things as:
  - Functional and aesthetic justifications for the expansions;
  - Adequacy of off-street parking for the expansion;
  - Absence of adverse off-site impacts from such things as traffic, noise, dust odors, and parking;
  - Improvement to the appearance and stability of the property and neighborhood.
2. The circumstances justifying the expansion are unique to the property, are not caused by the landowner, are not solely for the landowner’s convenience, and are not solely because of economic considerations; and
3. The expansion would not adversely affect or alter the essential character of the neighborhood.

**McMansion Policy**

The McMansion Policy is a tool the city can utilize to ensure new homes or additions requiring *variances* are consistent with the character of the existing homes within the neighborhood. By policy, the floor area ratio (FAR) of the subject property cannot be greater than the largest FAR of properties within 1,000 feet on the same street, and a distance of 400 feet from the subject property.

The McMansion Policy does not apply to expansion permits. Nevertheless, for informational purposes, staff calculated the FAR resulting from proposed additions to the applicant's home. The FAR would be 0.26, well under the largest FAR in the area of 0.34

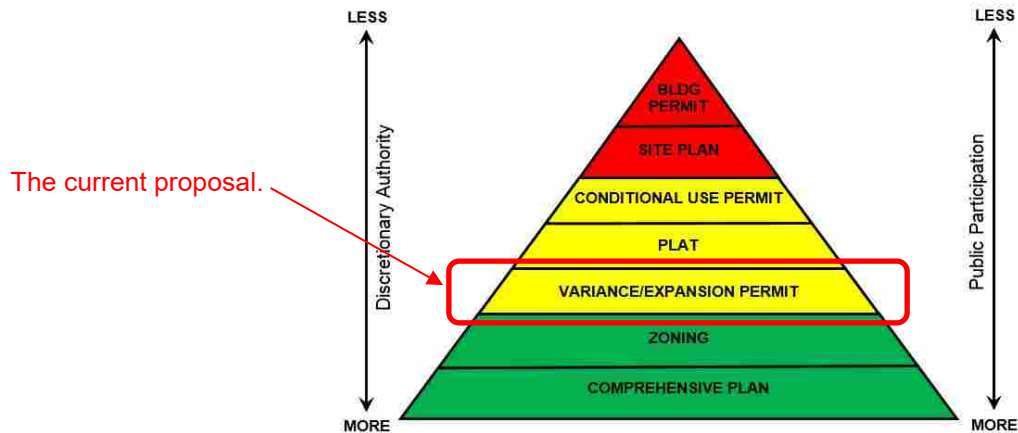
**Natural Resources**

Best management practices must be followed during the course of site preparation and construction activities. This would include installation and maintenance erosion control fencing

**Neighborhood Comments**

The city sent notices to 31 area property owners and received no comments to date.

**Pyramid of Discretion**



**Motion Options**

The planning commission has three options:

1. Concur with the staff recommendation. In this case a motion should be made to adopt the resolution approving the request.
2. Disagree with staff's recommendation. In this case, a motion should be made denying the request. This motion must include a statement as to why the request is denied.
3. Table the request. In this case, a motion should be made to table the item. The motion should include a statement as to why the request is being tabled with direction to staff, the applicant, or both.

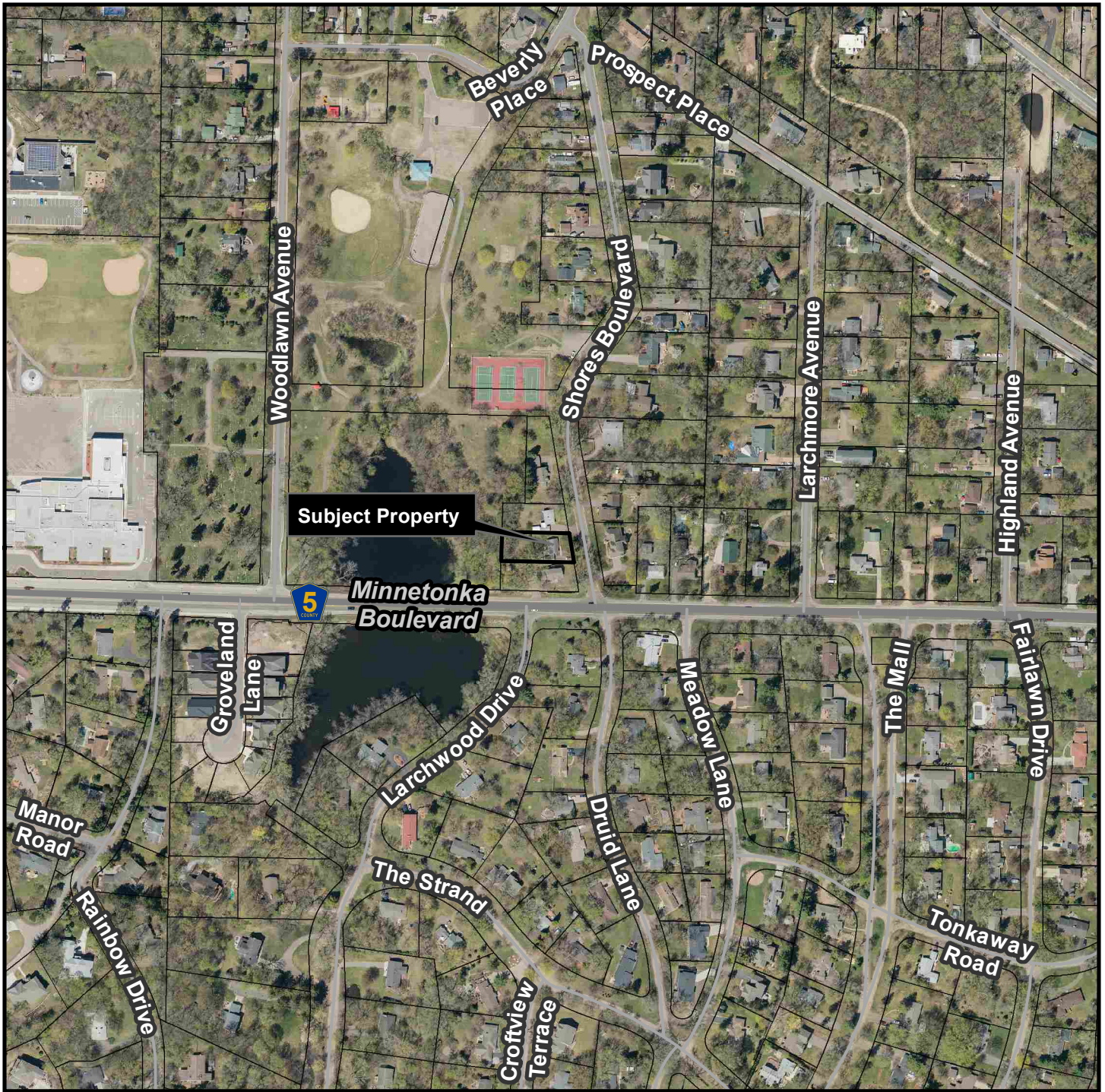
**Appeals**

Any person aggrieved by the planning commission's decision about the request may appeal such decision to the city council. A written

appeal must be submitted to the planning staff within ten days of the date of the decision.

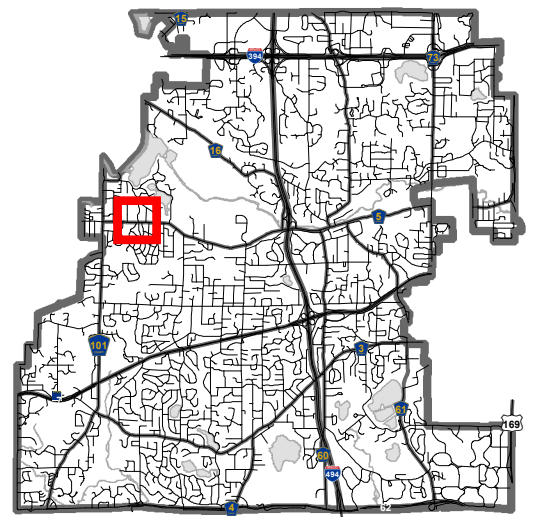
**Deadline for Action      Sept. 21, 2020**





### Location Map

Project: Nelson Residence  
Address: 3326 Shores Blvd





**LEGAL DESCRIPTION:**

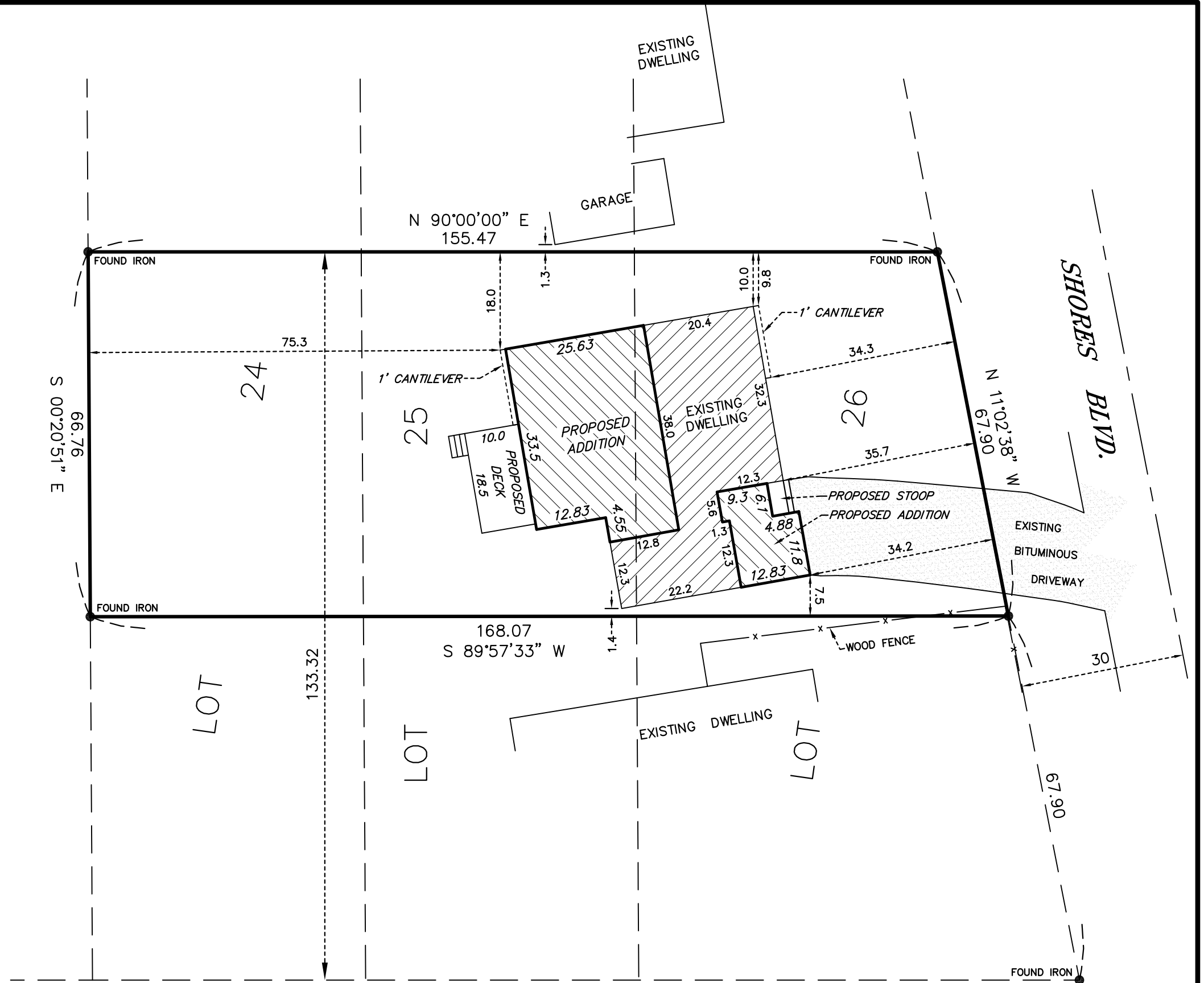
The North 66.66 feet of the South 133.32 feet of Lots 24, 25 and 26, Block 14, Thorpe Bros. Groveland Shores, Hennepin County, Minnesota.

**SCOPE OF WORK & LIMITATIONS:**

1. Showing the length and direction of boundary lines of the legal description listed above. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct and that any matters of record, such as easements, that you wish to be included on the survey have been shown.
2. Showing the location of observed existing improvements we deem necessary for the survey.
3. Setting survey markers or verifying existing survey markers to establish the corners of the property.
4. Existing building dimensions and setbacks measured to outside of siding or stucco.
5. This survey has been completed without the benefit of a current title commitment. There may be existing easements or other encumbrances that would be revealed by a current title commitment. Therefore, this survey does not purport to show any easements or encumbrances other than the ones shown hereon.
6. While we show a proposed location for this home or addition, we are not as familiar with your proposed plans as you, your architect, or the builder are. Review our proposed location of the improvements and proposed yard grades carefully to verify that they match your plans before construction begins. Also, we are not as familiar with local codes and minimum requirements as the local building and zoning officials in this community are. Be sure to show this survey to said officials, or any other officials that may have jurisdiction over the proposed improvements and obtain their approvals before beginning construction or planning improvements to the property.

**STANDARD SYMBOLS & CONVENTIONS:**

"●" Denotes iron survey marker, set, unless otherwise noted.



DATE	REVISION DESCRIPTION	DRAWING ORIENTATION & SCALE	CLIENT/JOB ADDRESS	Advance Surveying & Engineering, Co.	I HEREBY CERTIFY THAT THIS PLAN, SURVEY OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.	DATE SURVEYED:	SHEET TITLE	SHEET NO.
			CHRIS NELSON 3326 SHORES BLVD. MINNETONKA, MN			APRIL 27, 2020	PROPOSED SURVEY	S1
				17917 Highway No. 7 Minnetonka, Minnesota 55345 Phone (952) 474-7964 Web: www.advsur.com	#43503 LICENSE NO.	MAY 26, 2020 DATE	SHEET SIZE: 11 X 17 DRAWING NUMBER 200790 JR	SHEET 1 OF 1

**PROPOSED ADDITIONS**

GARAGE

N 90°00'00" E  
155.47

FOUND IRON

FOUND IRON

SHORES BLVD.

N 11°02'38" W  
67.90

26

EXISTING DWELLING

PROPOSED ADDITION

PROPOSED STOOP

PROPOSED ADDITION

EXISTING BITUMINOUS DRIVEWAY

WOOD FENCE

25

1' CANTILEVER

PROPOSED DECK

24

75.3

168.07  
S 89°57'33" W

4.1

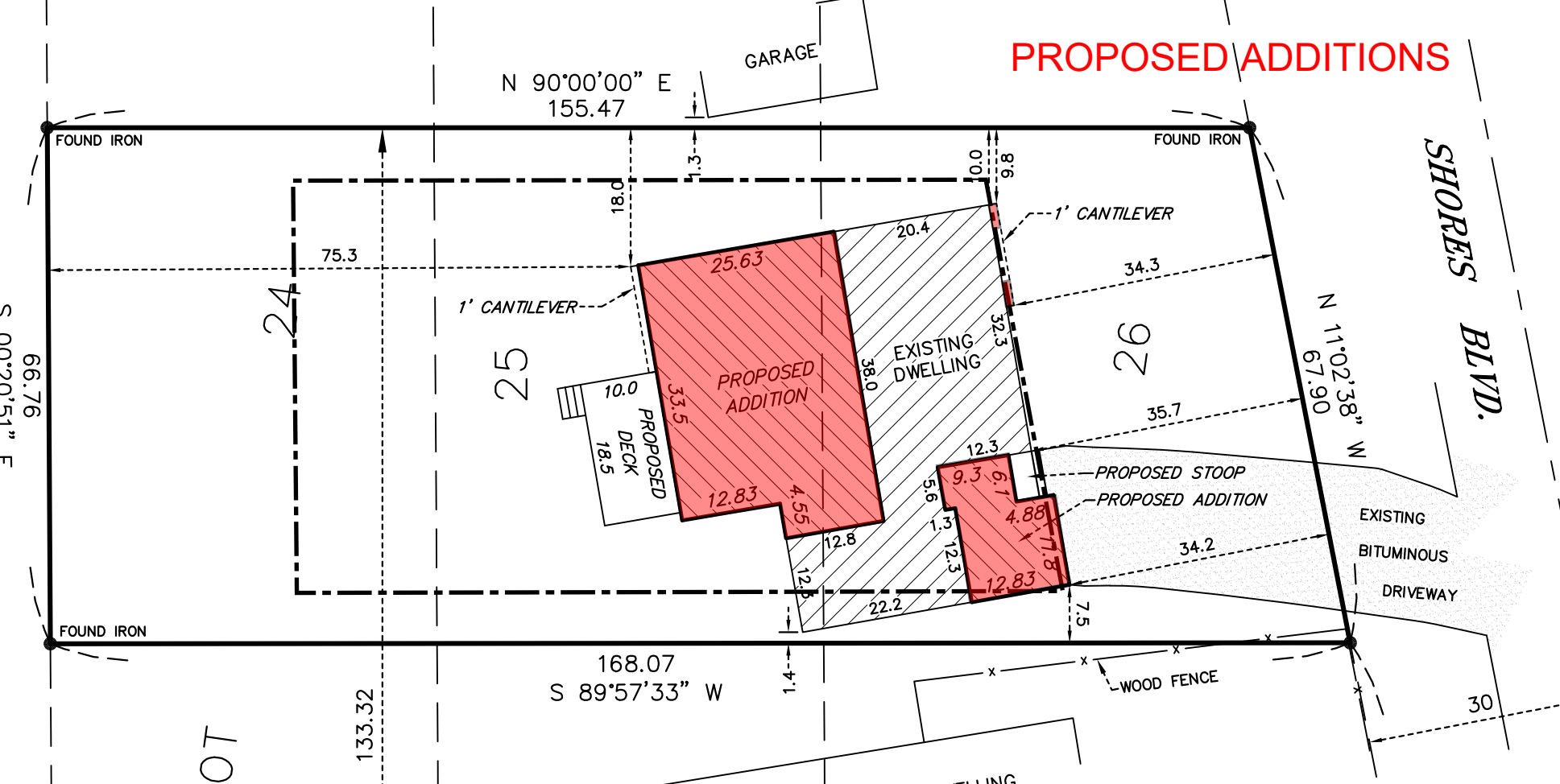
133.32

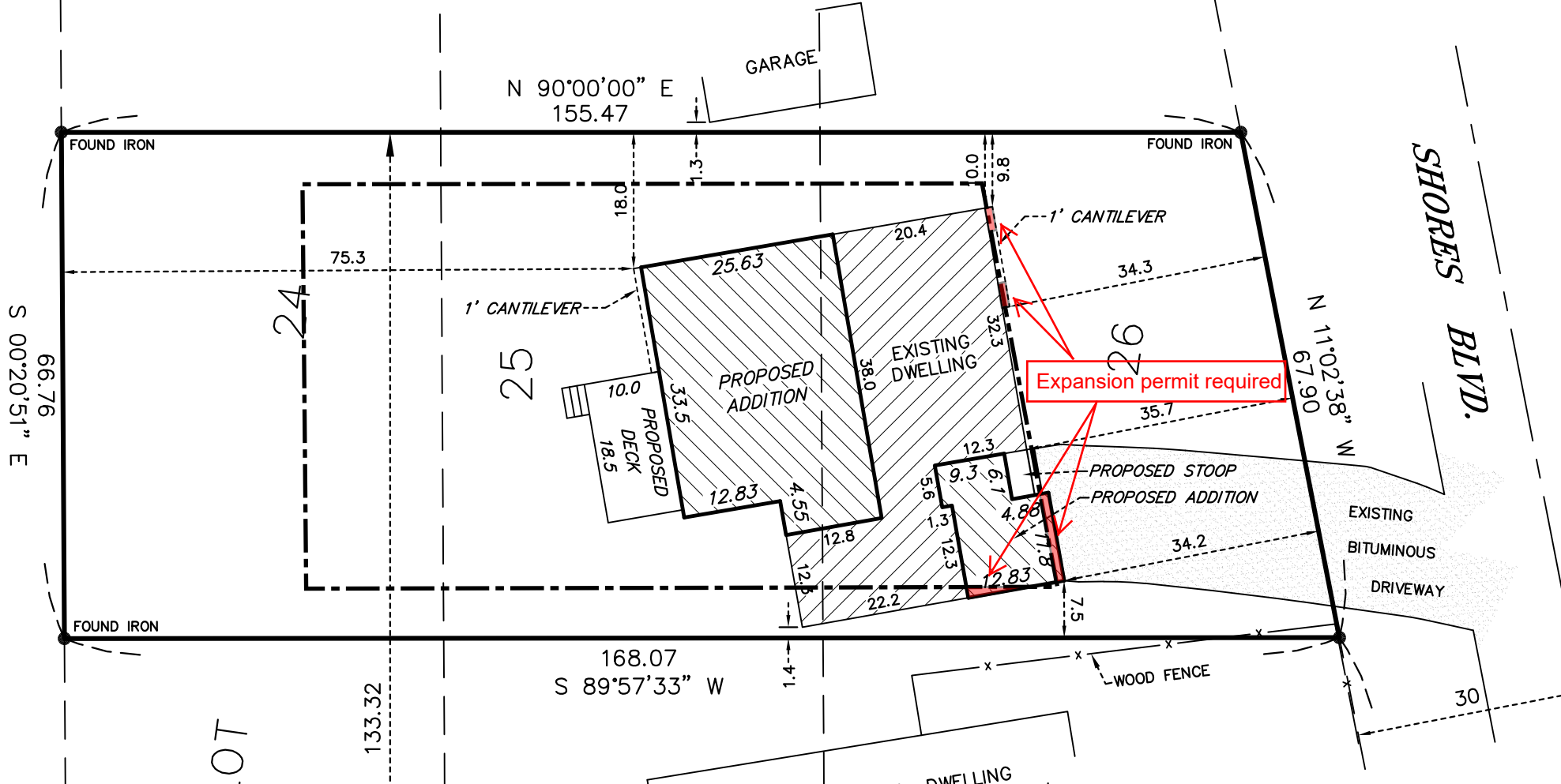
66.76

S 00°20'51" E

FOUND IRON

LOT





N 90°00'00" E  
155.47

GARAGE

FOUND IRON

FOUND IRON

SHORES BLVD.

N 11°02'38" W  
67.90

Expansion permit required

25

26

PROPOSED ADDITION

EXISTING DWELLING

PROPOSED DECK  
10.0  
18.5

PROPOSED STOOP  
PROPOSED ADDITION

EXISTING BITUMINOUS DRIVEWAY

WOOD FENCE

S 89°57'33" W  
168.07

LOT

133.32

DWELLING

30

24

75.3

1' CANTILEVER

1' CANTILEVER

18.0

1.3

0.0

8.6

25.63

20.4

34.3

10.0

33.5

12.83

4.55

12.8

5.6

9.3

6.1

4.86

7.8

35.7

34.2

22.2

7.5

4.1

x

x

x

x

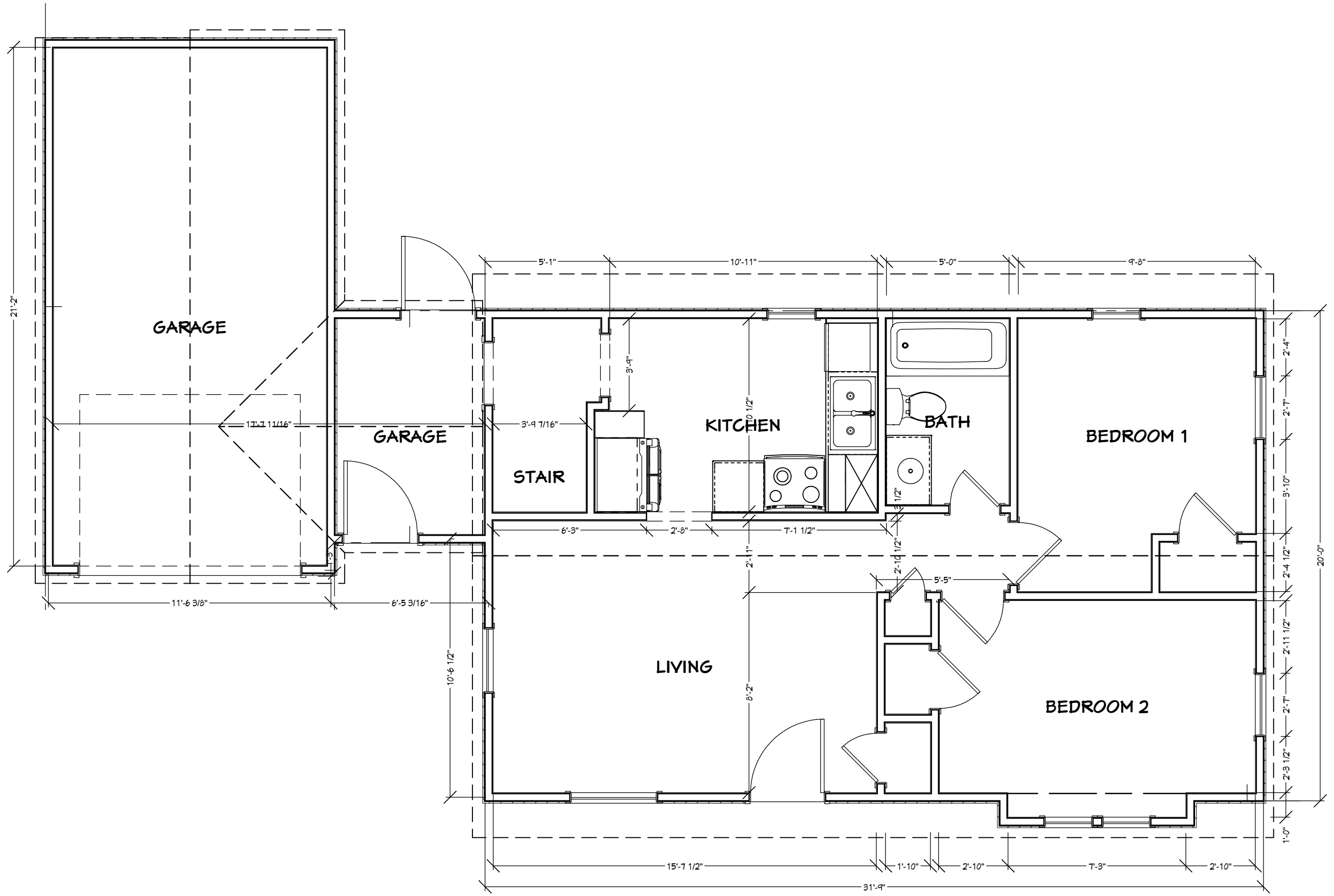
x

x

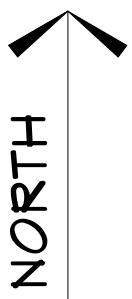
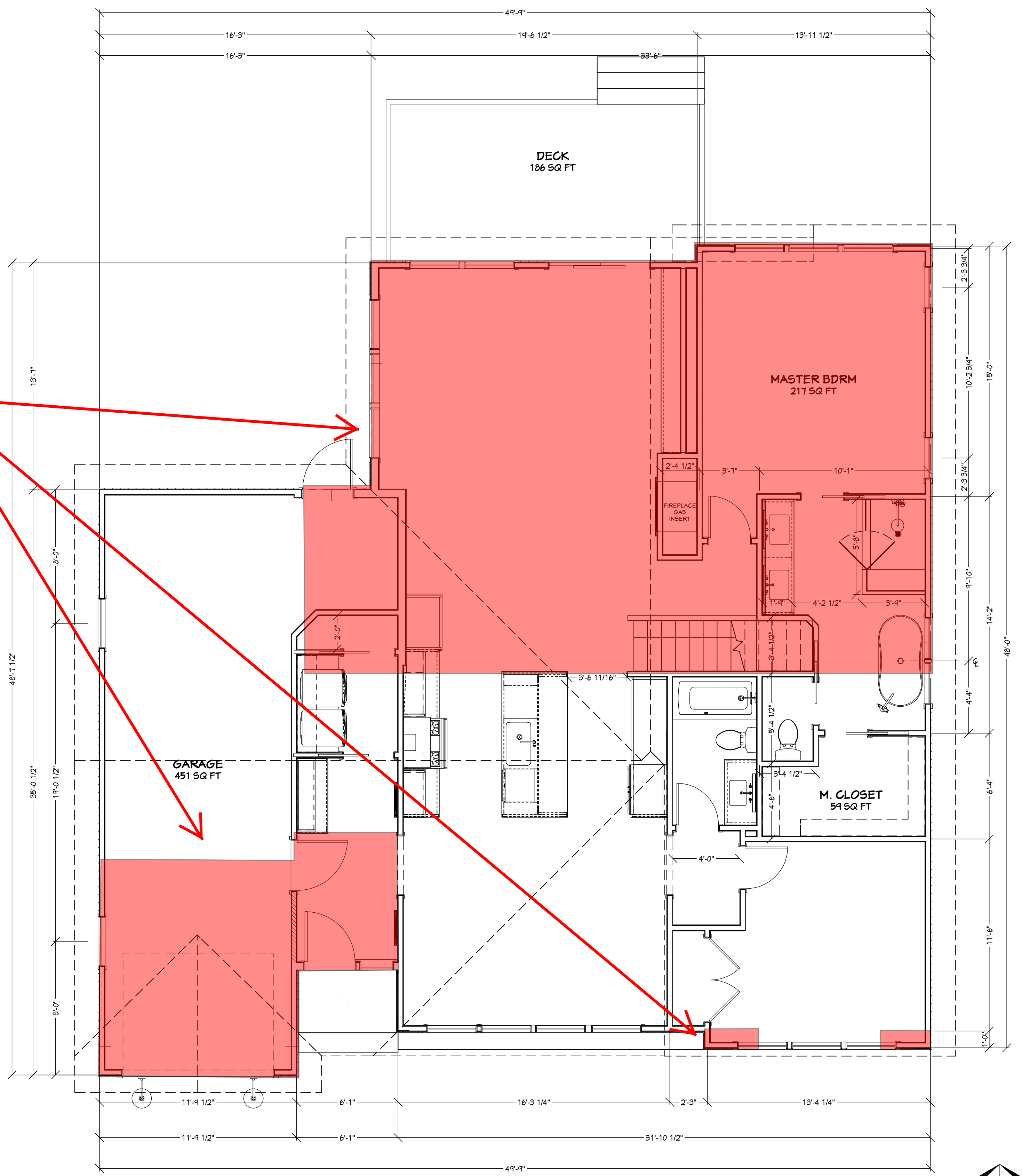
66.76

S 00°20'51" E

DUE TO UNFORESEEN CONDITIONS OF REMODELS & ADDITIONS, DISCREPANCIES MAY OCCUR BETWEEN INFORMATION CONTAINED ON THESE DRAWINGS AND EXISTING CONSTRUCTION DETAILS. MODIFICATIONS TO APPROVED DESIGN MAY BE REQUIRED WITHOUT SIGN-OFF TO MAINTAIN CONSTRUCTION SCHEDULE. SHOULD MODIFICATIONS RESULT IN INCREASED COST TO PROJECT, CUSTOMER WILL BE NOTIFIED.



PROPOSED ADDITION



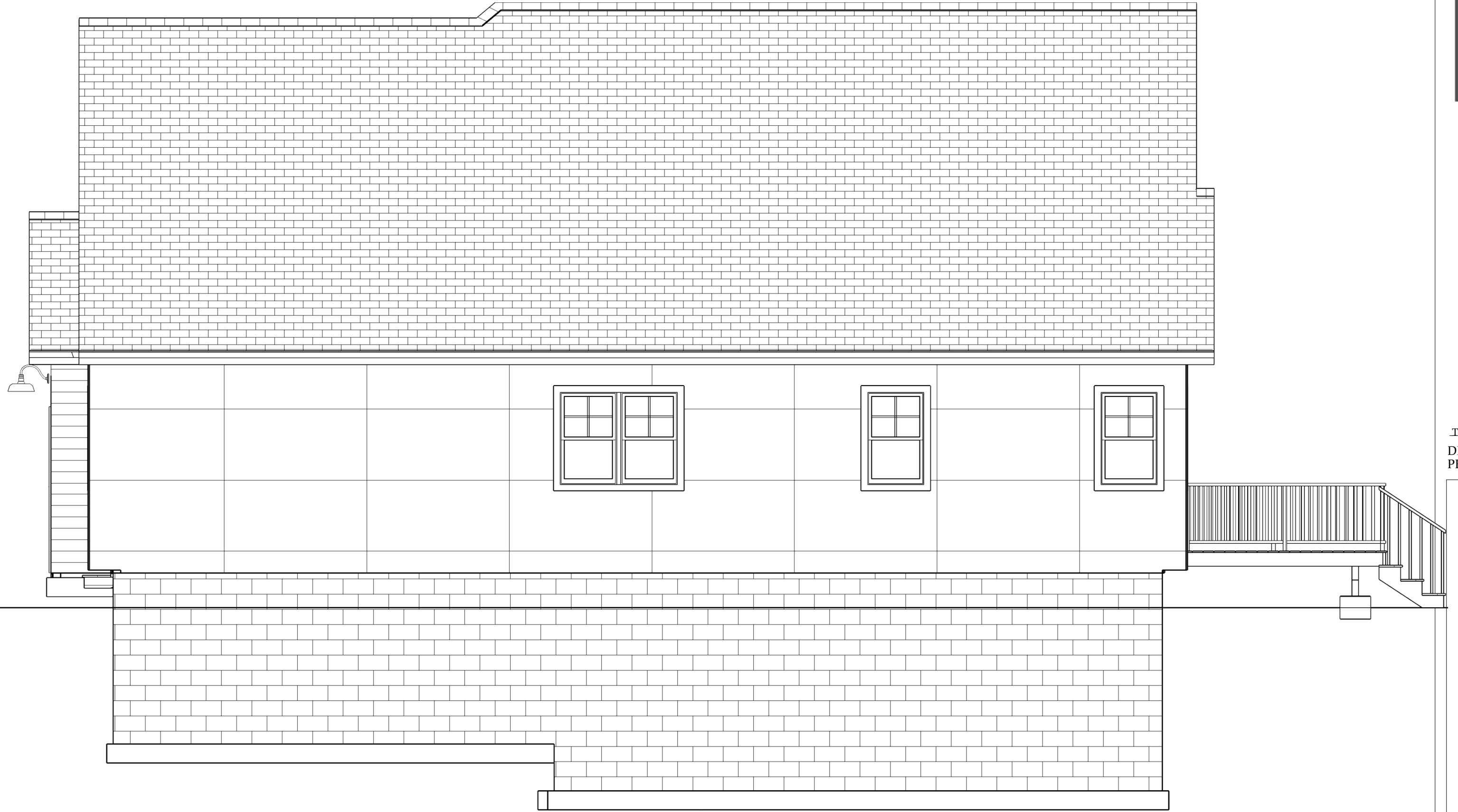
TEAM:  
DESIGNER:  
PETRA SCROGGINS

CLIENT: **CHRIS NELSON**  
Address: XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX, MN

**SHEET LAYOUT**

- T1..TITLE/SITE PLAN/ROOF PLAN
- A1...PROP. LOWER FLOOR
- A2...PROP. 1st FLOOR
- A3...PROP. 2nd FLOOR
- A4...PROP. NORTH/SOUTH ELEV.
- A5...PROP. EAST/WEST ELEV.
- A6...PROP. BUILDING SECTIONS
- A7...PROP. DETAILS
- A8...PROP. INTERIOR ELEV.
- A9...EXIST. FLOOR PLANS/ELEV. & EXIST. ELECTRICAL PLAN
- E1..ELEC. LOWER FLOOR PLAN
- E2..ELEC. 1st FLOOR PLAN
- E3..ELEC. 2nd FLOOR PLAN
- S1...STRUCT. LOWER FLR. PLAN
- S2...STRUCT. 1st FLOOR PLAN
- S3...STRUCT. 2nd FLOOR PLAN

ORIGINATION DATE	xx/xx/xxxx
REVISION DATE	xx/xx/xxxx As-Built



TEAM:  
DESIGNER:  
PETRA SCROGGINS

CLIENT:  
CHRIS

Address  
NELSON  
XXXXXXXXXXXXXXXXXXXX XXXXXXXXXXXXXXX, MN

SHEET LAYOUT	
T1..TITLE/SITE PLAN/ROOF PLAN	
A1..PROP. LOWER FLOOR	
A2..PROP. 1st FLOOR	
A3..PROP. 2nd FLOOR	
A4..PROP. NORTH/SOUTH ELEV.	
A5..PROP. EAST/WEST ELEV.	
A6..PROP. BUILDING SECTIONS	
A7..PROP. DETAILS	
A8..PROP. INTERIOR ELEV.	
A9..EXIST. FLOOR PLANS/ELEV. & EXIST. ELECTRICAL PLAN	
E1..ELEC. LOWER FLOOR PLAN	
E2..ELEC. 1st. FLOOR PLAN	
E3..ELEC. 2nd. FLOOR PLAN	
S1..STRUCT. LOWER FLR. PLAN	
S2..STRUCT. 1st. FLOOR PLAN	
S3..STRUCT. 2nd. FLOOR PLAN	

ORIGINATION DATE
xx/xx/xxxx
REVISION DATE
xx/xx/xxxx As-Built

PROPOSED 1st.  
FLOOR PLAN

SHEET NO.  
**A2**  
Last Name





**EXISTING REDUCED SETBACKS:  
SHORES BLVD**



**Planning Commission Resolution No. 2020-**

**Resolution approving an expansion permit for garage and living space additions  
at 3326 Shores Blvd.**

---

Be it resolved by the Planning Commission of the City of Minnetonka, Minnesota, as follows:

Section 1. Background.

1.01 The subject property is located at 3326 Shores Blvd. It is legally described as:

The North 66.66 feet of the South 133.32 feet of Lots 24, 25 and 26, Block 14, Thorpe. Bros. Groveland Shores, Hennepin County, Minnesota

1.02 The property was platted in 1916 and the original home was constructed on the site 1951. Both the property and the home predate the city's first subdivision and zoning ordinances. Both are non-conforming.

		<b>REQUIRED</b>	<b>EXISTING*</b>
<b>LOT</b>	Area	22,000 sq.ft.	10,800 sq.ft.
	Width at Right of Way	80 ft	67 ft
	Width at Setback	110 ft	67 ft
<b>HOUSE</b>	Side Yard	7 ft	1.4 ft

1.03 The property is defined as a small lot by City Code §300.10 Subd.7. By this same code, the property's required front yard setback is 35 feet and side yard setback is 7 feet.

1.04 The property owner, Chris Nelson, is proposing to add roughly 200-square feet of space to the front of the home. This space would be comprised of garage area, an enclosed entry, and small (1-foot) cantilever. These additions would maintain the existing-non-conforming front and side yard setbacks. An expansion permit is required.

1.05 Minnesota Statute §462.357 Subd.1(e)(b) allows a municipality, by ordinance, to permit an expansion of nonconformities.



1.06 City Code §300.29 Subd.3(g) allows expansion of a nonconformity only by variance or expansion permit.

1.07 City Code §300.29 Subd.7(c) authorizes the planning commission to grant expansion permits.

Section 2. Standards.

2.01 City Code §300.29 Subd.7(c) states that an expansion permit may be granted, but is not mandated, when an applicant meets the burden of proving that:

1. The proposed expansion is a reasonable use of the property, considering such things as: functional and aesthetic justifications for the expansion; adequacy of off-site parking for the expansion; absence of adverse off-site impacts from such things as traffic, noise, dust, odors, and parking; and improvement to the appearance and stability of the property and neighborhood.
2. The circumstances justifying the expansion are unique to the property, are not caused by the landowner, are not solely for the landowners convenience, and are not solely because of economic considerations; and
3. The expansion would not adversely affect or alter the essential character of the neighborhood.

Section 3. Findings.

3.01 The proposal meets the expansion permit standards outlined in City Code:

1. Reasonableness: The proposed intrusions into required setbacks are reasonable. They would total less than 25 square feet, which is less than two percent of the total footprint of the home. These intrusions would not be discernable to the naked eye.
2. Unique Circumstance: The subject property is just 11,300 sq.ft. in size and 67 feet in width and the home is set back just 1.4 feet from the south side property line. These existing non-conformities, together with the 17-foot wide boulevard area between front property line and the paved surface of Shores Boulevard create a unique circumstance.
3. Neighborhood Character: The proposed additions would not negatively impact the existing character of the neighborhood. In fact, the proposed setbacks would be similar to others already existing in the area. Several properties on Shores Boulevard have reduced side yard setbacks based on approved variances, approved expansion permits, or simply due to existing non-conformities.

Section 4. Planning Commission Action.

4.01 The planning commission approves the above-described variance based on the findings outlined in section 3 of this resolution. Approval is subject to the following conditions:

1. Subject to staff approval, the site must be developed and maintained in substantial conformance with the following plans, excepted as modified by the conditions below:
  - Survey, dated April 17, 2020
  - Building plans and elevations attached to Planning Commission Staff Report, dated July 9, 2020
2. Prior to issuance of a building permit:
  - a) A copy of this resolution must be recorded with Hennepin County.
  - b) The applicant must confirm total land disturbance area (excavation) and total impervious surface on the site. If disturbance exceeds 50 cubic yards or 5,000 square feet, stormwater treatment is required. If required, a stormwater management practice must be installed to capture 1-inch of runoff over new site impervious area and must draw down in 48 hours. This requirement can be achieved using a raingarden. If raingarden is used, a simple hand sketch of the location of the rain garden the survey with dimensions is sufficient.
  - c) The applicant must confirm the low floor elevation of the additions. Minimum low floor elevation is 938.2.
  - d) Install erosion control fencing as required by staff for inspection and approval. The fencing must be maintained throughout the course of construction.
  - e) Any outstanding utility bills and/or taxes must be paid.
3. This variance will end on Dec. 31, 2021, unless the city has issued a building permit for the project covered by this variance or has approved a time extension.

Adopted by the Planning Commission of the City of Minnetonka, Minnesota, on July 9, 2020.

---

Josh Sewall, Chairperson

Attest:

\_\_\_\_\_  
Fiona Golden, Deputy City Clerk

Action on this resolution:

Motion for adoption:

Seconded by:

Voted in favor of:

Voted against:

Abstained:

Absent:

Resolution adopted.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the Planning Commission of the City of Minnetonka, Minnesota, at a duly authorized meeting held on July 9, 2020.

\_\_\_\_\_  
Fiona Golden, Deputy City Clerk

# **Minnetonka Planning Commission Meeting**

## **Agenda Item 9**

Other Business

**MINNETONKA PLANNING COMMISSION**  
**July 9, 2020**

<b>Brief Description</b>	Concept Plan for Lake Minnetonka Care Center at 16913 Hwy 7
<b>Action Requested</b>	Discuss concept plan with the applicant. No formal action required.

**Introduction**

The property at 16913 Hwy 7 is 1.7-acres in size and is improved with a single family residential home, gazebo and a 1,200 square foot detached garage. In 2019, the city council approved:

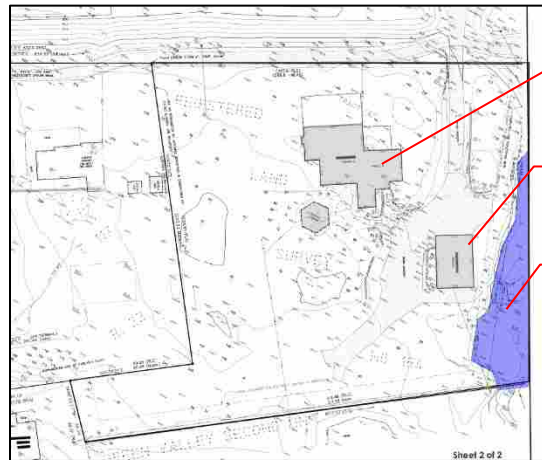
- A conditional use permit for a detached structure 14.5 feet in height and an accessory structure aggregate gross floor total of 1,590 square feet.
- An expansion permit to allow the vertical expansion of a structure within the wetland setback.

The property is zoned R-1, low density residential, and is guided for medium density residential in the 2030 (currently in effect) and 2040 (proposed) Comprehensive Guide Plan.

The neighboring properties along Hwy 7 are all residentially zoned. The single-family residential neighborhood is zoned R-1. The Carlyse Place townhomes are zoned R-3, low or medium density residential district.

**Concept Plan**

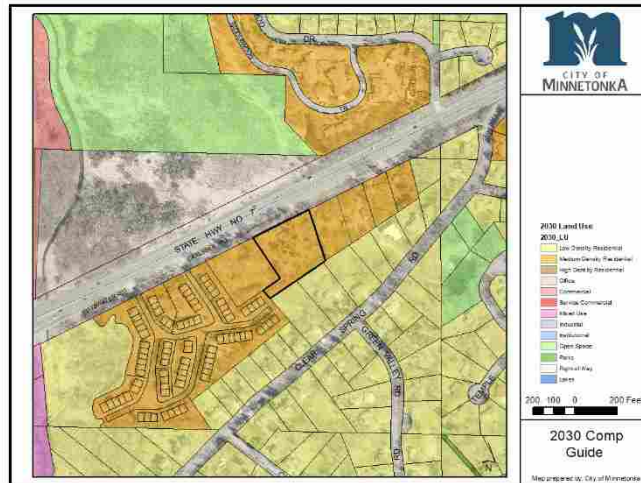
Lake Minnetonka Care Center is an existing 21-resident, skilled nursing facility, located in Deephaven, MN. The facility began operating in 1960s. However, the facility does not meet current ADA standards.



House

Detached garage

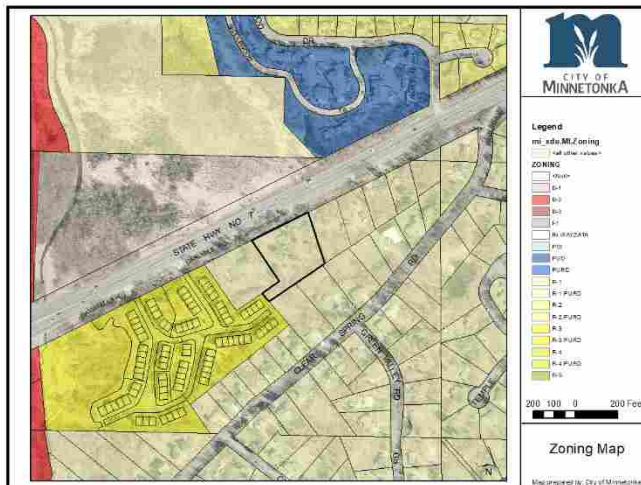
Wetland



2030 Land Use  
 2030 LU  
 Low Density Residential  
 Medium Density Residential  
 High Density Residential  
 Office  
 Commercial  
 Business Commercial  
 Industrial  
 Institutional  
 Open Space  
 Park  
 Riparian Area  
 Water

200 100 0 200 Feet

2030 Comp Guide  
 Map prepared by: City of Minnetonka



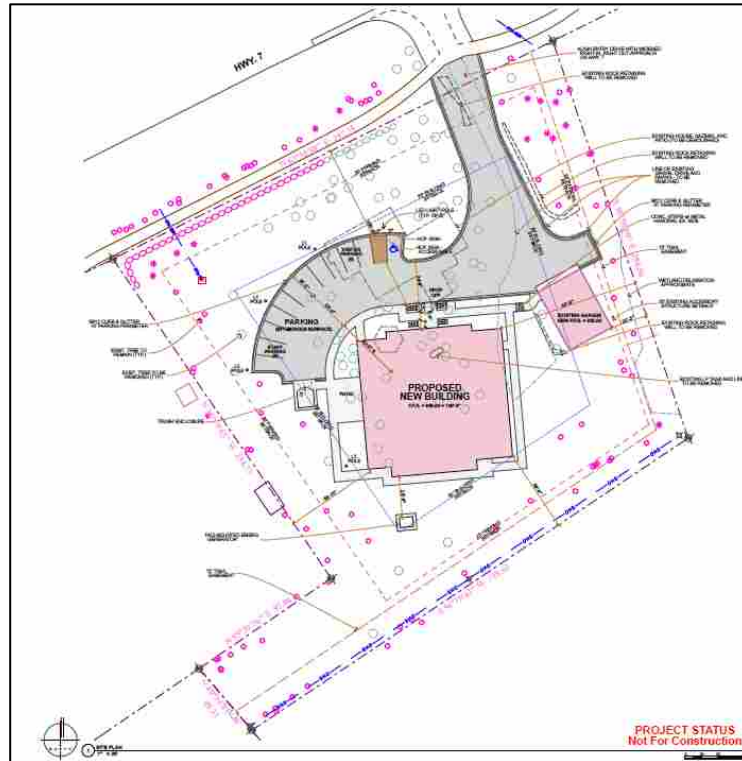
Legend  
 mnc\_code.MZoning  
 (and other values)

200 100 0 200 Feet

Zoning Map  
 Map prepared by: City of Minnetonka

Miller Architects and Builders, on behalf of Lake Minnetonka Care Center, has submitted a concept plan for the subject property. The plan contemplates the removal of the existing home in preparation for the construction of a roughly 18,000 square foot building, with a 7,400 square foot footprint. The plan suggests a 2-story facility for 21-residents. Parking would be provided in a 12-stall parking lot. The existing garage would remain. Utilities would be extended through the property's "tail" and connect to Sandy Lane, southwest of the property.

If a formal proposal based on the concept plan were submitted for review, the potential applications would likely include: (1) conditional use permit for the nursing home facility on property zoned R-1; and (2) site and building plan review for the construction of a new building.



### Review Process

Staff has outlined the following review process for the proposal. At this time, a formal application has not been submitted.

- **Neighborhood Meeting.** The developer held several neighborhood meetings to discuss the concept plan.

June 11, 2020: One person attended the meeting and expressed concern related to traffic, access and zoning.

June 17, 2020: Four people attended the meeting. Generally, those in attendance positively commented on the architecture of the building and asked questions about the levels of care provided at the facility. The residents expressed concerns related to utility connections, tree removal, screening and traffic.

June 25, 2020: One person attended the meeting and expressed concerns related to traffic, future development of surrounding properties, and the utility connection to Carlyle Place.

- **Planning Commission Concept Plan Review.** The planning commission Concept Plan Review is intended as a follow-up to the neighborhood meetings. The objective of this meeting is to identify major issues and challenges in order to inform the subsequent

review and discussion. The meeting will include a presentation by the developer of conceptual sketches and ideas, but not detailed engineering or architectural drawings. No staff recommendations are provided, the public is invited to offer comments, and planning commissioners are afforded the opportunity to ask questions and provide feedback without any formal motions or votes.

- **City Council Concept Plan Review.** The city council Concept Plan Review is intended as a follow-up to the planning commission meeting and would follow the same format as the planning commission Concept Plan Review. No staff recommendations are provided, the public is invited to offer comments, and council members are afforded the opportunity to ask questions and provide feedback without any formal motions or votes.

### **Key Issues**

Staff requests commission and council comment and provide feedback on the following key issues and any other issues the commission and council deem appropriate. The comments/feedback provided are intended to assist the Lake Minnetonka Care Center should the facility chose to put together a formal application package. However, the commission and council decisions on any formal redevelopment application are not suggested or restricted by concept plan review comments/feedbacks.

- **Development pattern.** The city has received concept plans in the past which suggest development of the property concurrent with adjacent properties. The concept plan does not contemplate the development of any of the adjacent properties.
- **Building and site design.** The concept plan suggests a two-story facility and a 12-space parking lot. The plan suggests the existing garage would remain and utilities would be extended from Sandy Lane.

### **Staff Recommendation**

Staff recommends the planning commission provide comment and feedback to assist the applicant with future direction that may lead to the preparation of more detailed development plans.

Originator: Ashley Cauley, Senior Planner  
Through: Loren Gordon, AICP, City Planner

## ADDITIONAL INFORMATION

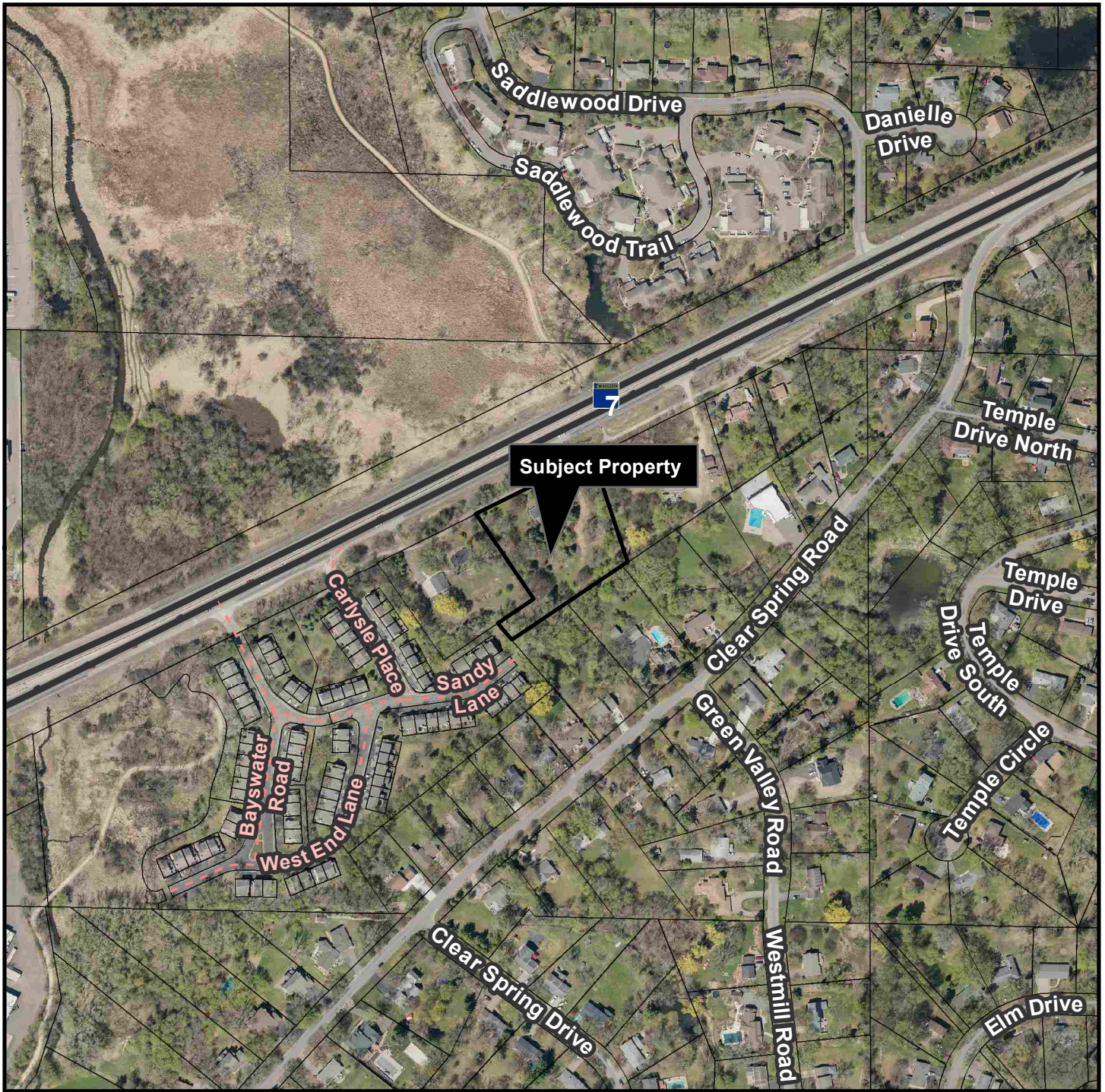
### Next Steps

- **Formal Application.** If the developer chooses to file a formal application, notification of the application would be mailed to area property owners. Property owners are encouraged to view plans and provide feedback via the city's website. Through recent website updates: (1) staff can provide residents with ongoing project updates, (2) residents can "follow" projects they are particularly interested in by signing up for automatic notification of project updates; (3) residents may provide project feedback on project; and (4) and staff can review resident comments.
- **Council Introduction.** The proposal would be introduced at a city council meeting. At that time, the council would be provided another opportunity to review the issues identified during the initial Concept Plan Review meeting, and to provide direction about any refinements or additional issues they wish to be researched, and for which staff recommendations should be prepared.
- **Planning Commission Review.** The planning commission would hold an official public hearing for the development review and would subsequently recommend action to the city council.
- **City Council Action.** Based on input from the planning commission, professional staff and general public, the city council would take final action.

### City Roles and Responsibilities

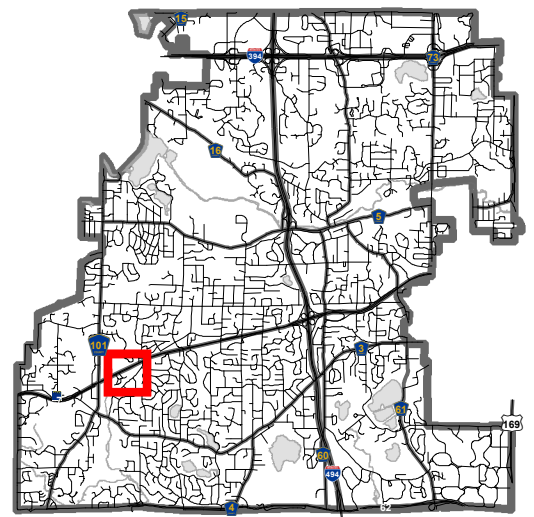
- **City Council.** As the ultimate decision maker, the city council must be in a position to equitably and consistently weigh all input from their staff, the general public, planning commissioners, applicants and other advisors. Accordingly, council members traditionally keep an open mind until all the facts are received. The council ensures that residents have an opportunity to effectively participate in the process.
- **Planning Commission.** The planning commission hosts the primary forum for public input and provides clear and definitive recommendations to the city council. To serve in that role, the commission identifies and attempts to resolve development issues and concerns prior to the council's consideration by carefully balancing the interests of applicants, neighbors, and the general public.
- **City Staff.** City staff is neither an advocate for the public nor the applicant. Rather, staff provides professional advice and recommendations to all interested parties, including the city council, planning commission, applicant and residents. Staff advocates for its professional position, not a project. Staff recommendations consider neighborhood concerns, but necessarily reflect professional standards, legal requirements and broader community interests.





### Location Map

Project: Lake Mtkka Care Center  
Address: 16913 Hwy 7





# **Lake Minnetonka Care Center Site Plan Review & Conditional Use Permit Conceptual Review Written Statement**

The Lake Minnetonka Care Center is an existing 21 resident Skilled Nursing Facility (SNF) currently located at 20395 Summerville Rd in Deephaven, Minnesota. It is the smallest nursing home in the state of Minnesota. The owner of the facility since 1987 is Jeff Sprinkel. The facility has operated as a nursing home since about 1960 and is housed in a formerly residential house built in the early 1900s. The building is woefully inadequate to meet the needs required of today's nursing homes.

As a result, Jeff made the decision to relocate and build a new building. Because of the age of his current building, an addition and/or remodel of the existing facility was not deemed feasible nor cost effective. Jeff began searching for sites, first within Deephaven, but quickly determined there was limited site availability to meet the needs of a new facility.

Jeff then found an ideal site located at 16913 State Highway 7 in Minnetonka. The site is ideal for several reasons: First, the site is zoned R-1 which under Minnetonka statutes allows for the construction of a nursing home with the approval of a conditional use permit. Second, the site had direct access from State Highway 7 almost eliminating any traffic disturbance to neighbors from the site. The site's direct access to Highway 7 discourages most single family home owners, thereby greatly reducing the site's appeal to anyone else for a single family home. Third, the relatively small size of the lot minimizes any chance of most other types of developments. Lastly, the site has a very old, dilapidated house which has been unsuitable for habitation for many years and must be torn down, before it falls down. These four factors alone make it a prime site for a redevelopment such as this.

The proposed new building consists of a two story structure with a partial basement. The building footprint is 7,348 square feet with a total gross building square footage of 17,983, and 15,200 feet above ground. The building site is 1.71 acres or 74,488 square feet. The site also contains an existing garage that was approved with a conditional use permit over a year ago. The footprint of the existing garage is 1,160 square feet.

Some pertinent site statistics with regards to the development would be as follows:

The proposed building and sidewalks, 12 car parking lot and drive, and existing garage would make up less than 32% impervious surface on the site. The building footprint itself would only occupy less than 4% of the overall site.

We are proposing under ground holding for water retention to reduce the site impact on the property.

We are proposing removing less than 32% of the existing trees on the property.

The small nature of the nursing home would mean comparable traffic on the property than an average family. Please see the attached traffic analysis of the proposed use.

We feel the proposed development would be an excellent addition to the city of Minnetonka especially since the city recently lost its only other nursing home. The nursing home would be a good buffer from the noise of State Highway 7 to the residential lots behind. It will be a beautiful structure with a very low impact use with only 21 residents. The residential nature of the building will also tie in very nicely with the single family residences and townhomes in this area.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of MINNESOTA.

Signature: **STUART BAILEY**

Reg. No.: ARCH. LIC. # Date: ISSUED

**LAKE MINNETONKA CARE CENTER  
NEW CARE CENTER  
16913 STATE HWY. 7  
MINNETONKA, MINNESOTA 55345**

REVISIONS

Issue ID	Issue Name	Issue Date

SHEET TITLE  
SITE PLAN

DRAWN BY:	DATE:	PROJ. NO.
MAP	5/29/20	39175

SHEET NO.  
**P-001**

**SITE/BUILDING STATISTICS**

LAKE MINNETONKA CARE CENTER  
16913 STATE HWY NO. 7  
MINNETONKA, MN 55345

**SITE**

AREA: 74,488 SQ. FT. / 1.71 ACRES

DISTRICT: R-1

USE: NURSING HOME - SKILLED CARE  
(CONDITIONAL USE)

**PROPOSED BUILDING AREA:**

BASEMENT 3,029 SQ. FT.  
1st FLOOR 7,384 SQ. FT.  
2nd FLOOR 7,570 SQ. FT.  
TOTAL 17,983 SQ. FT.

CANOPY ROOF 357 SQ. FT.

**BUILDING SETBACKS:**

FRONT YARD:  
ALLOWED: 50'-0"  
ACTUAL: 105'-6"

SIDE YARD:  
EAST: 50'-0"  
ACTUAL: 85'-9"  
WEST: 50'-0"  
ACTUAL: 55'-11"

REAR YARD:  
ALLOWED: 50'-0"  
ACTUAL: 50'-0"

**BUILDING HEIGHT:**

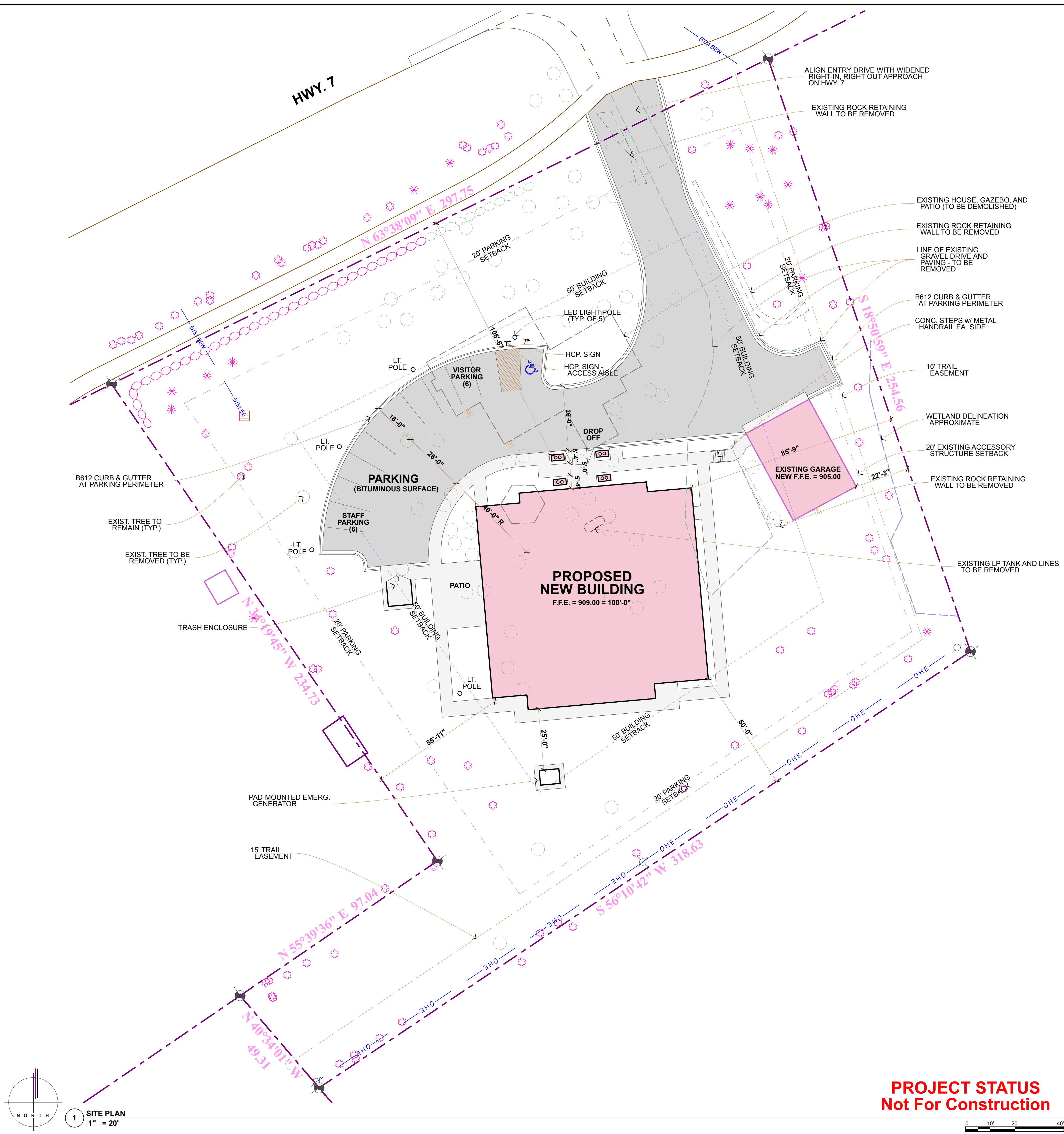
ALLOWED: 35'-0" TO CENTER LINE OF ROOF  
ACTUAL: 27'-9"

**ROOF OVERHANGS:**

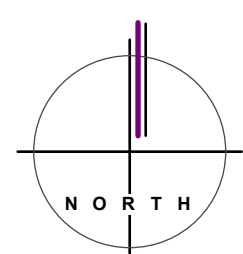
2'-0" TYPICAL AT 2nd STORY

**IMPERVIOUS SURFACE CALCULATION:**

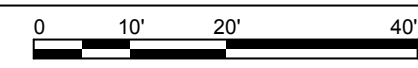
PROPOSED SITE AND BUILDINGS: 223,696 SF of 74,488 SF or 31.81%



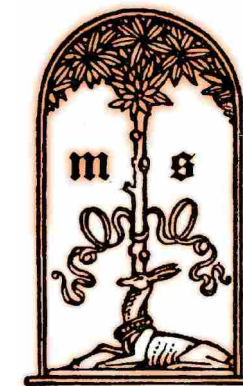
**PROJECT STATUS  
Not For Construction**



1 SITE PLAN  
1" = 20'







**SALZMAN**  
LANDSCAPE  
ARCHITECT  
2266 SARGENT AVE  
SAINT PAUL, MN 55105  
952-412-6210

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of MINNESOTA.

Signature: Mark Salzman

Reg. No.: 19480 Date: ISSUED

**LAKE MINNETONKA CARE CENTER**  
**NEW CARE CENTER**  
**16913 STATE HWY. 7**  
**MINNETONKA, MINNESOTA 55345**

**REVISIONS**

Issue ID	Issue Name	Issue Date

**SHEET TITLE**  
TREE REMOVAL PLAN

<b>DRAWN BY:</b> MLS	<b>DATE:</b> 5/21/20	<b>PROJ. NO.:</b> 39175
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**SHEET NO.**  
**L-1**

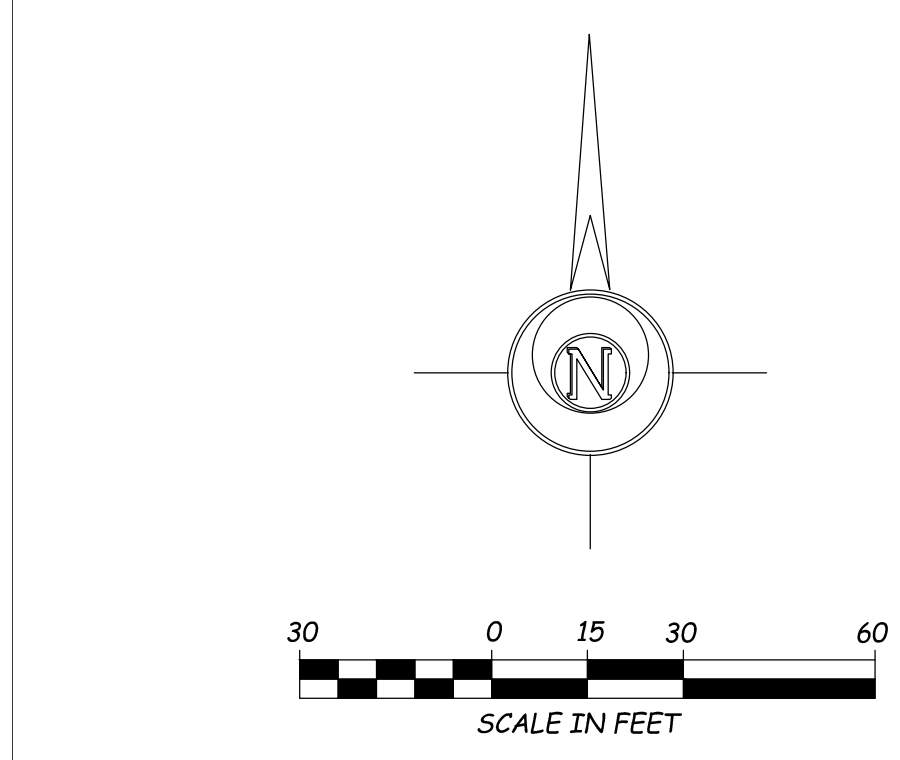
NUMBER	TYPE	Size (cal.in.)	Height (ft.)	NUMBER	TYPE	Size (cal.in.)	Height (ft.)
40	BASSWOOD	12		210	CEDAR	12	32'
41	SPRUCE	16	60'	212	ASH	16	
43	ELM	12		213	ASH	16	
44	COTTONWOOD (TWIN)	20		214	MAPLE	12	
45	BOXELDER	14		228	ELM	12	
47	ELM	10		258	MAPLE	22	
48	ELM	10		259	ASH	32	
49	ELM	10		300	BOXELDER	10	
51	SPRUCE	12	56'	301	WALNUT	6	
52	BOXELDER	12		302	BOXELDER	6	
54	ASH	20		303	PINE	4	
56	ASH	12		304	BOXELDER	8	
57	ELM	20		305	BOXELDER	8	
58	ELM	12		306	BOXELDER	6	
59	ASH	20		307	BOXELDER	6	
60	MAPLE	12		308	BOXELDER	8	
61	ASH	16		309	BOXELDER	8	
62	SPRUCE	12	36'	310	BOXELDER	8	
63	BERRY (TRIPLE)	10		311	BIRCH (CLUSTER)	10	
64	BASSWOOD	30		312	LINDEN	8	
65	SPRUCE	16	44'	313	BIRCH (TWIN)	8	
66	SPRUCE	12	42'	314	ELM	8	
67	SPRUCE	12	42'	315	ELM	8	
68	SPRUCE	12	38'	316	ARBORVITAE	28'	
69	SPRUCE	12	42'	317	ARBORVITAE	28'	
70	SPRUCE	12	42'	318	MAPLE	6	
71	SPRUCE	10	28'	319	FRUIT	10	
72	SPRUCE	12	38'	320	SPRUCE	4	
73	HEMLOCK	16	42'	321	ARBORVITAE	20'	
74	MAPLE (CLUSTER)	14		322	ARBORVITAE	20'	
75	SPRUCE	12	34'	323	ELM	8	
76	SPRUCE	12	36'	324	BOXELDER	8	
77	BIRCH	12		325	BOXELDER	8	
78	SPRUCE	10	38'	326	BOXELDER	8	
79	SPRUCE	12	40'	327	BOXELDER	8	
80	SPRUCE	10	38'	328	BOXELDER	4	
81	SPRUCE	10	38'	329	MAPLE	8	
82	LINDEN	12		330	MAPLE	6	
83	SPRUCE	12	42'	331	PINE	6	24'
85	ASH	24		332	BERRY	6	
86	SPRUCE	10	38'	333	PINE	6	22'
87	SPRUCE	10	28'	334	BIRCH (CLUSTER)	10	
88	SPRUCE	12	40'	335	UNKNOWN	8	
89	ASH	20		336	ASH	10	
90	ASH	24		337	ARBORVITAE	16'	
91	SPRUCE	10	36'	338	ARBORVITAE	20'	
92	BOXELDER	12		339	MAPLE	8	
93	BOXELDER	12		340	FRUIT	10	
94	BOXELDER	12		341	FRUIT	10	
95	BOXELDER	12		342	ASH	16	
96	ASH	22		343	BOXELDER	8	
97	BOXELDER (CLUSTER)	14		344	ASH	16	
98	BOXELDER (TWIN)	12		345	ELM	8	
99	BOXELDER	16		346	BOXELDER	8	
100	MAPLE	24		347	ASH	10	
101	ASH	24		348	BOXELDER	5	
102	SPRUCE	20	40'	349	BOXELDER	8	
104	COTTONWOOD	20		350	BOXELDER (TWIN)	9	
105	SPRUCE	20	40'	351	ASH	9	
106	SPRUCE	16	40'	352	MAPLE	12	
107	COTTONWOOD	16		353	BOXELDER	10	
108	ELM	12		354	BOXELDER	10	
109	ELM (CLUSTER)	12		355	BOXELDER	10	
110	ELM	10		356	BOXELDER (TWIN)	10	
111	ELM	16		357	SPRUCE	4	
112	ELM	24	18'	358	SPRUCE	8	24'
113	SPRUCE	10	32'	359	SPRUCE	4	12'
115	SPRUCE	10	30'	360	PINE	8	15'
116	SPRUCE	10	32'	361	ELM	10	
117	SPRUCE	8	26'	362	ELM	10	
119	SPRUCE	10	32'	363	ELM	12	
120	COTTONWOOD	16		364	ELM	8	
121	BOXELDER (TWIN)	10		365	ELM	8	
127	SPRUCE	8	32'	366	BOXELDER (TWIN)	8	
128	SPRUCE	6	30'	367	ELM	8	
131	SPRUCE	6	30'	368	ELM	8	
132	ASH	24		369	ELM	6	
133	PINE	20	52'	370	ELM	10	
134	SPRUCE	10	35'	371	ELM	10	
136	SPRUCE	12	40'	372	ELM	10	
137	SPRUCE	12	32'	373	ELM	8	
139	SPRUCE	8	28'	374	ELM	8	
140	SPRUCE	8	32'	375	ELM	8	
141	MAPLE	12		376	ELM	8	
144	SPRUCE	24	48'	377	ELM	8	
145	SPRUCE	6	26'	378	BOXELDER	10	
146	BASSWOOD (CLUSTER)	16		379	BOXELDER	12	
147	BASSWOOD	30		380	COTTONWOOD	10	
150	BASSWOOD (CLUSTER)	16		381	COTTONWOOD	6	
				382	PINE	6	30'
				383	PINE	6	20'
				384	MAPLE	8	
				385	MAPLE (DEAD?)	20	

40 TREES TOTAL  
31 trees total

TREES TO REMOVE 40 TREES TOTAL  
26 trees total 36 TREES TOTAL  
57 trees total 76 TREES TOTAL

SURVEY PREPARED BY:  
O'MALLEY & KRON  
LAND SURVEYORS, INC.

PROJECT STATUS  
Not For Construction



Legend  
○ INDICATES IRON MONUMENT PLACED  
● INDICATES IRON MONUMENT FOUND

**LEGEND**

ST	INDICATES STORM SEWER LINE
SN	INDICATES SANITARY SEWER LINE
I	INDICATES UNDERGROUND WATER
G	INDICATES UNDERGROUND GAS
OHP	INDICATES OVERHEAD POWER
X	INDICATES FENCE LINE
⊙	INDICATES SANITARY MANHOLE
⊞	INDICATES CATCH BASIN
⊕	INDICATES WATER VALVE
⊕	INDICATES HYDRANT
⊕	INDICATES POWER POLE
⊕	INDICATES GAS PEDESTAL
⊕	INDICATES ELECTRIC PEDESTAL
*	INDICATES CONIFEROUS TREE
⊙	INDICATES DECIDUOUS TREE
⊞	INDICATES CONCRETE SURFACE
X	INDICATES TREES TO BE REMOVED





I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of MINNESOTA.

Signature: Mark Salzman

Reg. No.: 19480 Date: ISSUED

**LAKE MINNETONKA CARE CENTER**  
**NEW CARE CENTER**  
**16913 STATE HWY. 7**  
**MINNETONKA, MINNESOTA 55345**

**REVISIONS**

Issue ID	Issue Name	Issue Date

**SHEET TITLE**  
#Layout Name

**DRAWN BY:** ML5 **DATE:** 5/21/20 **PROJ. NO.:** 39175

**SHEET NO.**

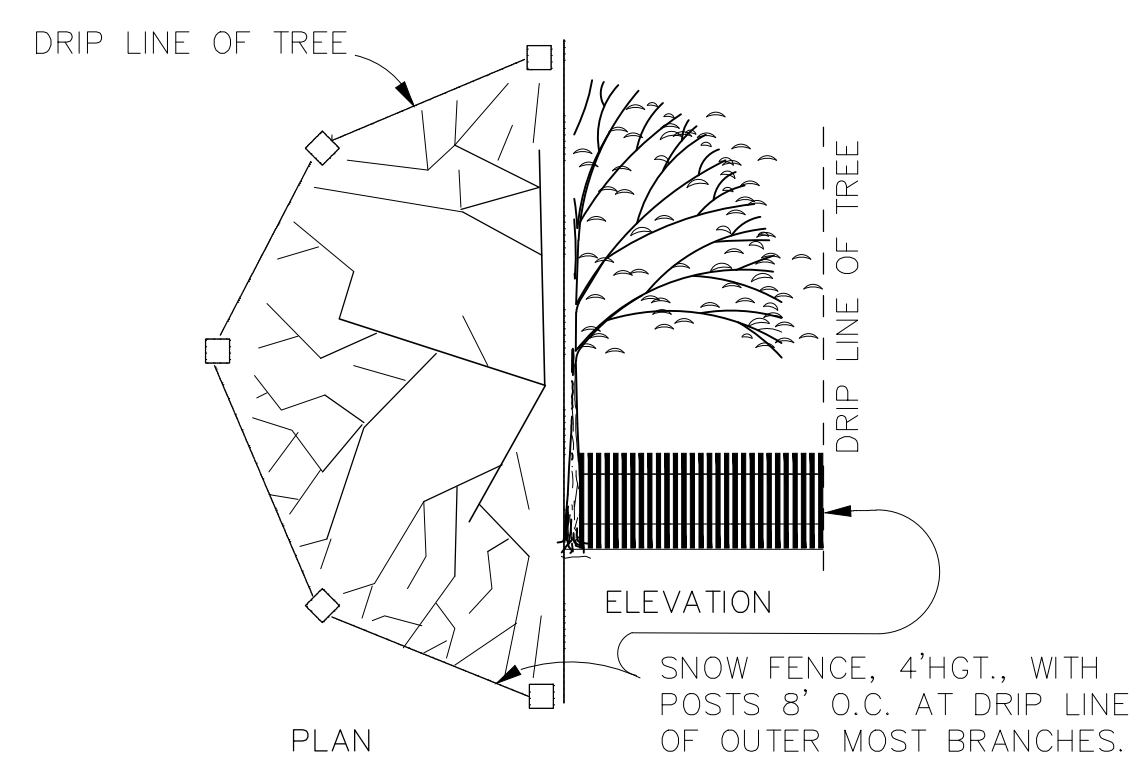
**L-2**

NUMBER	TYPE	Size (cal.in.)	Height (ft.)	NUMBER	TYPE	Size (cal.in.)	Height (ft.)
40	BASSWOOD	12		214	MAPLE	12	
41	SPRUCE	16	60'	228	ELM	12	
43	ELM	12		258	MAPLE	22	
44	COTTONWOOD (TWIN)	20		259	ASH	32	
45	BOXELDER	14		300	BOXELDER	10	
47	ELM	10		301	WALNUT	6	
48	ELM	10		302	BOXELDER	6	
49	ELM	10		303	PINE	4	
51	SPRUCE	12	56'	304	BIRCH (CLUSTER)	10	
52	BOXELDER	12		305	BOXELDER	8	
54	ASH	20		306	BOXELDER	8	
56	ASH	12		307	BOXELDER	6	
77	BIRCH	12		308	BOXELDER	6	
85	ASH	24		309	BOXELDER	8	
88	SPRUCE	12	40'	310	BOXELDER	8	
89	ASH	20		311	BOXELDER	8	
90	ASH	24		339	FRUIT	10	
91	SPRUCE	10	36'	340	MAPLE	8	
92	BOXELDER	12		341	FRUIT	10	
93	BOXELDER	12		342	ASH	16	
94	BOXELDER	12		343	BOXELDER	8	
95	BOXELDER	12		344	ASH	16	
96	ASH	22		345	ELM	8	
97	BOXELDER (CLUSTER)	14		346	BOXELDER	8	
98	BOXELDER (TWIN)	12		347	ASH	10	
99	BOXELDER	16		348	BOXELDER	5	
100	MAPLE	24		349	BOXELDER	8	
101	ASH	24		350	BOXELDER (TWIN)	9	
104	COTTONWOOD	20		351	ASH	9	
105	SPRUCE	20	40'	352	MAPLE	12	
106	SPRUCE	16	40'	353	BOXELDER	10	
107	COTTONWOOD	16		354	BOXELDER	10	
108	ELM	12		355	BOXELDER	10	
109	ELM (CLUSTER)	12		356	BOXELDER (TWIN)	10	
110	ELM	10		357	SPRUCE	4	
111	ELM	16		358	SPRUCE	8	24'
112	ELM	24	18'	359	SPRUCE	4	12'
113	SPRUCE	10	32'	360	PINE	8	15'
115	SPRUCE	10	30'	361	ELM	10	
116	SPRUCE	10	32'	362	ELM	10	
117	SPRUCE	8	26'	363	ELM	12	
119	SPRUCE	10	32'	364	ELM	8	
120	COTTONWOOD			365	ELM	8	
121	BOXELDER (TWIN)	10		366	BOXELDER (TWIN)	8	
127	SPRUCE	8	32'	367	ELM	8	
128	SPRUCE	6	30'	368	ELM	8	
131	SPRUCE	6	30'	369	ELM	6	
132	ASH	24		370	ELM	10	
146	BASSWOOD (CLUSTER)	16		371	ELM	10	
147	BASSWOOD	30		372	ELM	10	
150	BASSWOOD (CLUSTER)	16		373	ELM	8	
210	CEDAR	12	32'	374	ELM	8	
212	ASH	16		375	ELM	8	
213	ASH	16		376	ELM	8	
				377	ELM	8	
				381	COTTONWOOD	6	
				382	PINE	6	30'

SYMBOL	TREES	TOTAL QTY.	SIZE/COND.	REMARKS
QA	QUERCUS ALBA WHITE OAK	2	2.5" CAL/B&B	SINGLE LEADER, STAKE
QB	QUERCUS BICOLOR SWAMP WHITE OAK	8	2.5" CAL/B&B	SINGLE LEADER, STAKE
QM	QUERCUS MACROCARPA BUR OAK	1	2.5" CAL/B&B	SINGLE LEADER, STAKE
QR	QUERCUS RUBRA RED OAK	4	2.5" CAL/B&B	SINGLE LEADER, STAKE
TA	TILIA AMERICANA AMERICAN LINDEN	2	2.5" CAL/B&B	SINGLE LEADER, STAKE
AR	ACER RUBRUM RED MAPLE	5	2.5" CAL/B&B	SINGLE LEADER, STAKE
AS	ACER SACCHARUM SUGAR MAPLE	1	2.5" CAL/B&B	SINGLE LEADER, STAKE
AA	AMELANCHIER ARBOREA SERVICEBERRY	3	7" CLUMP/B&B	MULTI-STEM, STAKE
CC	CERCIS CANADENSIS REDBUD NORTHERN CLUMP	1	7" CLUMP/B&B	SINGLE LEADER, STAKE
PS	PINUS STROBUS WHITE PINE	4	6 FT. HT./B&B	FULL FORM TO GRADE, STAKE
PSY	PINUS SYLVESTRIS SCOTCH PINE	4	6 FT. HT./B&B	FULL FORM TO GRADE, STAKE
DL	DIERVELLA LONICERA DWARF BUSH HONEYSUCKLE	27	#5 CONT.	SPACE PER PLAN
RA	RHUS AROMATICA 'GROW LOW' GROW LOW SUMAC	22	#5 CONT.	SPACE PER PLAN
TM	TAXUS X MEDIA TAUNTON YEW	12	30"/B&B	SPACE PER PLAN
SS	SCHIZACHYRIUM SCOPARIUM 'MINNIBLUE A' BLUE HEAVEN LITTLE BLUESTEM	34	#1 CONT.	SPACE PER PLAN
HO	HOSTA "TOUCH OF CLASS" 'TOUCH OF CLASS' HOSTA	247	#1 CONT.	SPACE PER PLAN
LA	LAVENDULA ANGSTIFOLIA 'MUNSTEAD' MUNSTEAD LAVENDER	75	#1 CONT.	SPACE PER PLAN
AN	ANNUALS	425	PACS	SPACE 8" O.C.

**GENERAL NOTES**

- ALL PERENNIAL, GRASS AND SHRUB BEDS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH. TREES ALSO TO RECEIVE INDIVIDUAL MULCH CIRCLES.
- ALL PERENNIAL, GRASS AND SHRUB BEDS TO RECEIVE 4" OF TOPSOIL.
- CONTRACTOR TO LAY OUT LANDSCAPE PLAN BASED ON SCALED DIMENSIONS TAKEN FROM THE LANDSCAPE PLAN.
- ENTIRE SITE SHALL BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM. DESIGN WILL BE SUBMITTED WITH FINAL DESIGN PLANS.
- PRIOR TO BEGINNING WORK, CONTACT GOPHER STATE ONECALL (651-454-0002) TO LOCATE UTILITIES THROUGHOUT THE AREA UNDER CONSTRUCTION. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A PRIVATE UTILITY LOCATOR TO LOCATE THE PRIVATE UTILITIES.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL STANDARD SPECIFICATIONS FOR CONSTRUCTION.



**A**  
**1**  
**TREE PROTECTION**  
N.T.S.

- Legend**
- INDICATES IRON MONUMENT PLACED
  - INDICATES IRON MONUMENT FOUND

- LEGEND**
- ST— INDICATES STORM SEWER LINE
  - SN— INDICATES SANITARY SEWER LINE
  - I— INDICATES UNDERGROUND WATER
  - G— INDICATES UNDERGROUND GAS
  - OHP— INDICATES OVERHEAD POWER
  - X— INDICATES FENCE LINE
  - ⊕ INDICATES SANITARY MANHOLE
  - ⊞ INDICATES CATCH BASIN
  - ⊞ INDICATES WATER VALVE
  - ⊞ INDICATES HYDRANT
  - ⊞ INDICATES POWER POLE
  - ⊞ INDICATES GAS PEDESTAL
  - ⊞ INDICATES ELECTRIC PEDESTAL
  - \* INDICATES CONIFEROUS TREE
  - ⊞ INDICATES DECIDUOUS TREE
  - ▨ SOD
  - ▨ SEED
  - ▨ ROCK MULCH 4" DEEP DRESSER TRAP ROCK
  - ▨ PERENNIALS WITH 3" DEEP SHREDDED HARDWOOD MULCH
  - ▨ ANNUALS, 8" O.C.

**SURVEY PREPARED BY:**  
**O'MALLEY & KRON**  
**LAND SURVEYORS, INC.**

PROJECT STATUS  
Not For Construction







I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of MINNESOTA.

Signature: **STUART BAILEY**

Reg. No.: ARCH. LIC. # Date: ISSUED

**LAKE MINNETONKA CARE CENTER  
NEW CARE CENTER  
16913 STATE HWY. 7  
MINNETONKA, MINNESOTA 55345**

REVISIONS

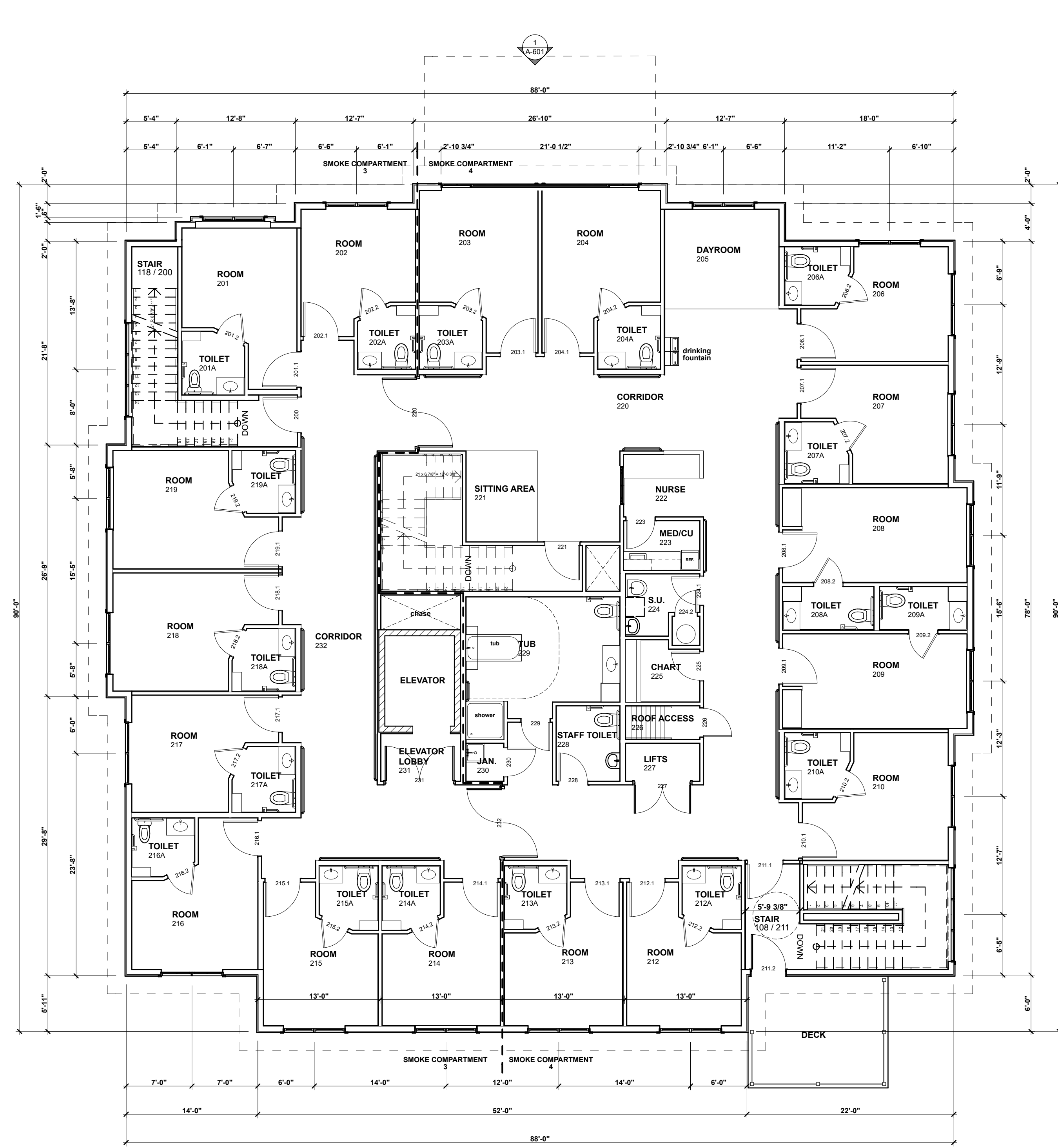
Issue ID	Issue Name	Issue Date

SHEET TITLE  
FLOOR PLAN

DRAWN BY:	DATE:	PROJ. NO.
MAP	5/8/20	39175

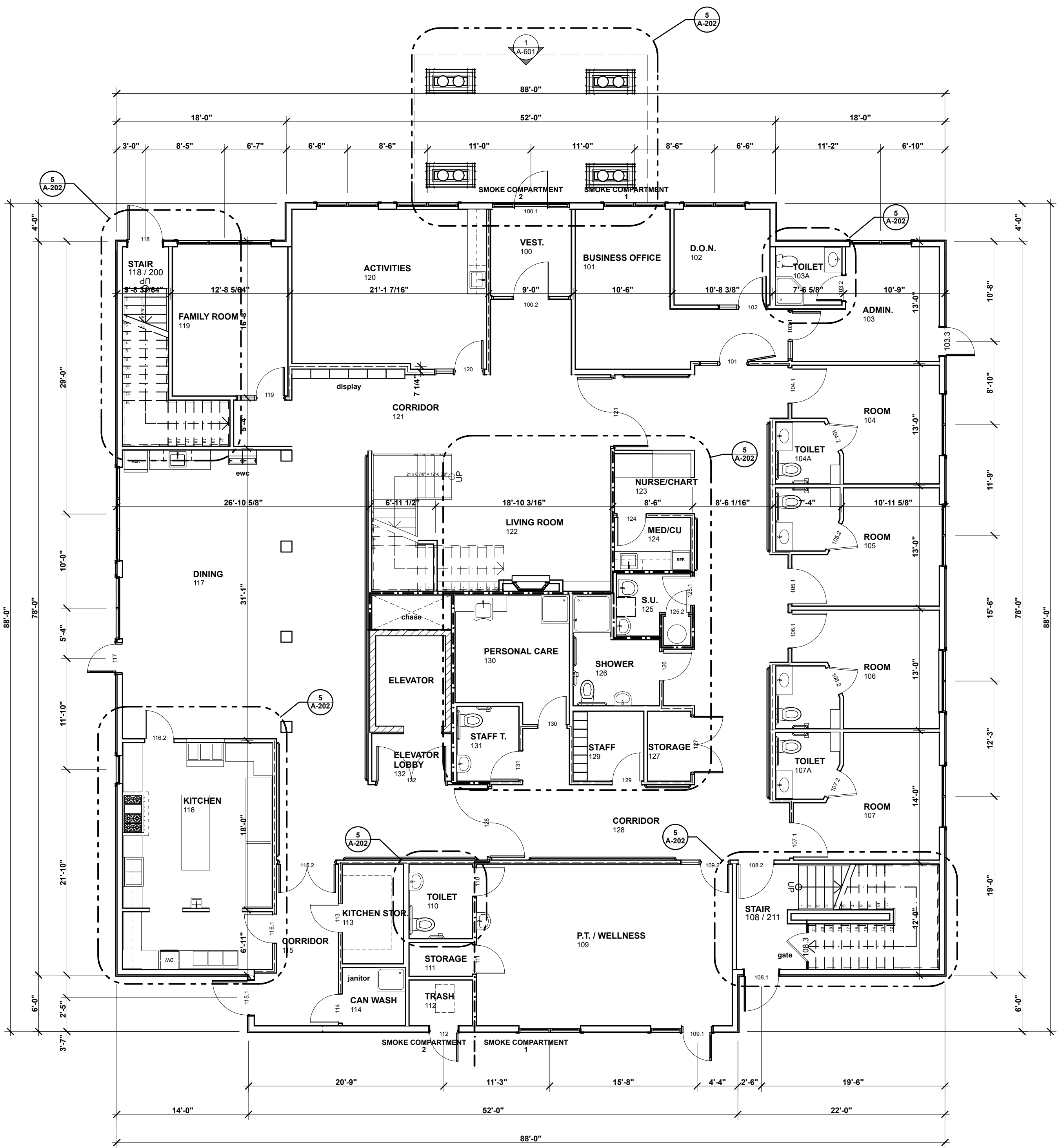
SHEET NO.  
**P-002**

**PROJECT STATUS  
Not For Construction**



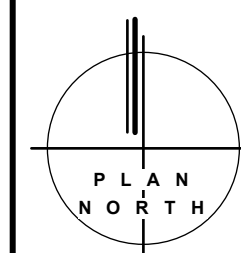
**2 FLOOR PLAN - SECOND FLOOR**  
1/8" = 1'-0"

7,570 sf



**1 FLOOR PLAN - FIRST FLOOR**  
1/8" = 1'-0"

7,384 sf

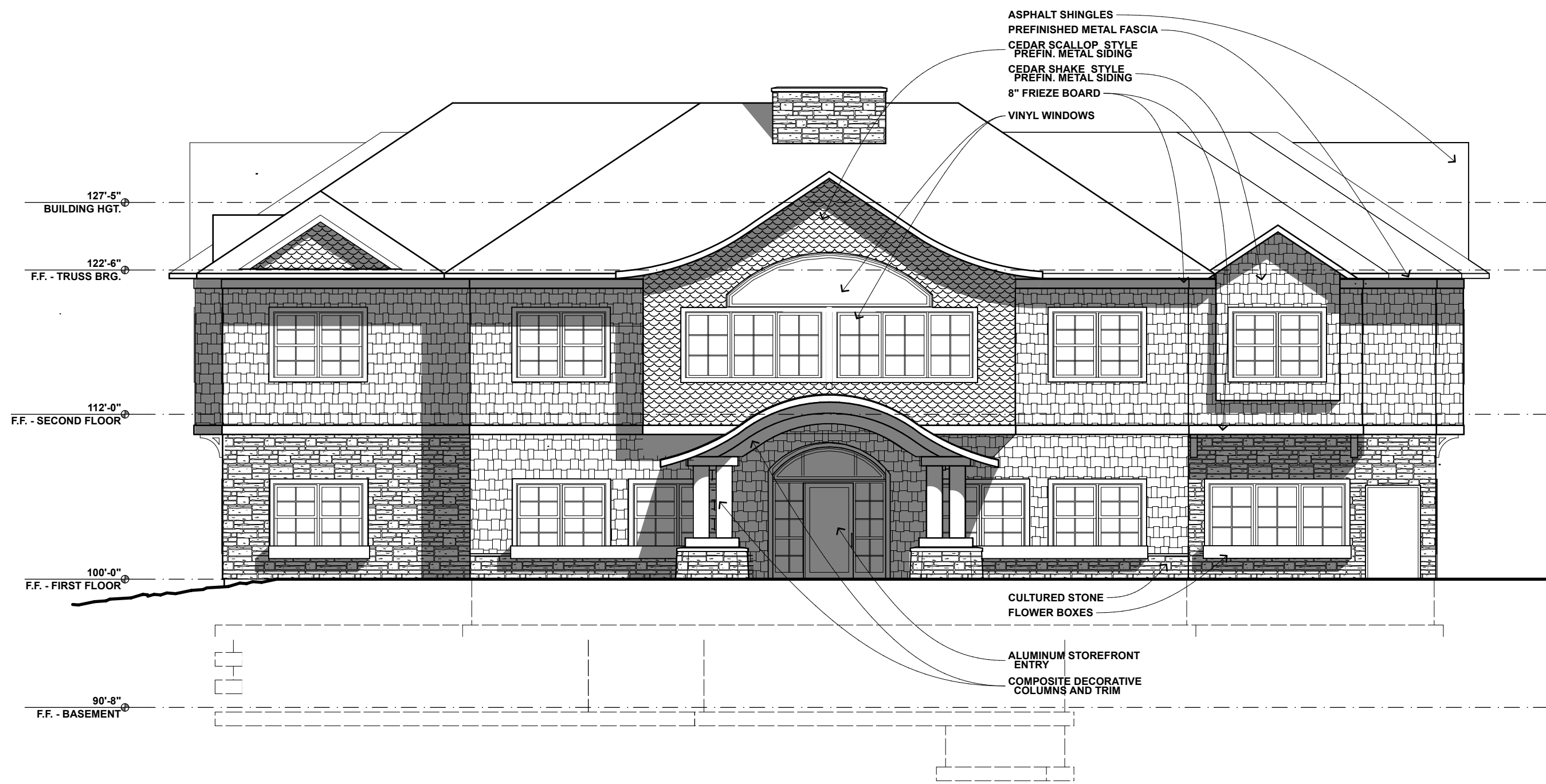




I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of MINNESOTA.

Signature: **STUART BAILEY**

Reg. No.: ARCH. LIC. # Date: ISSUED



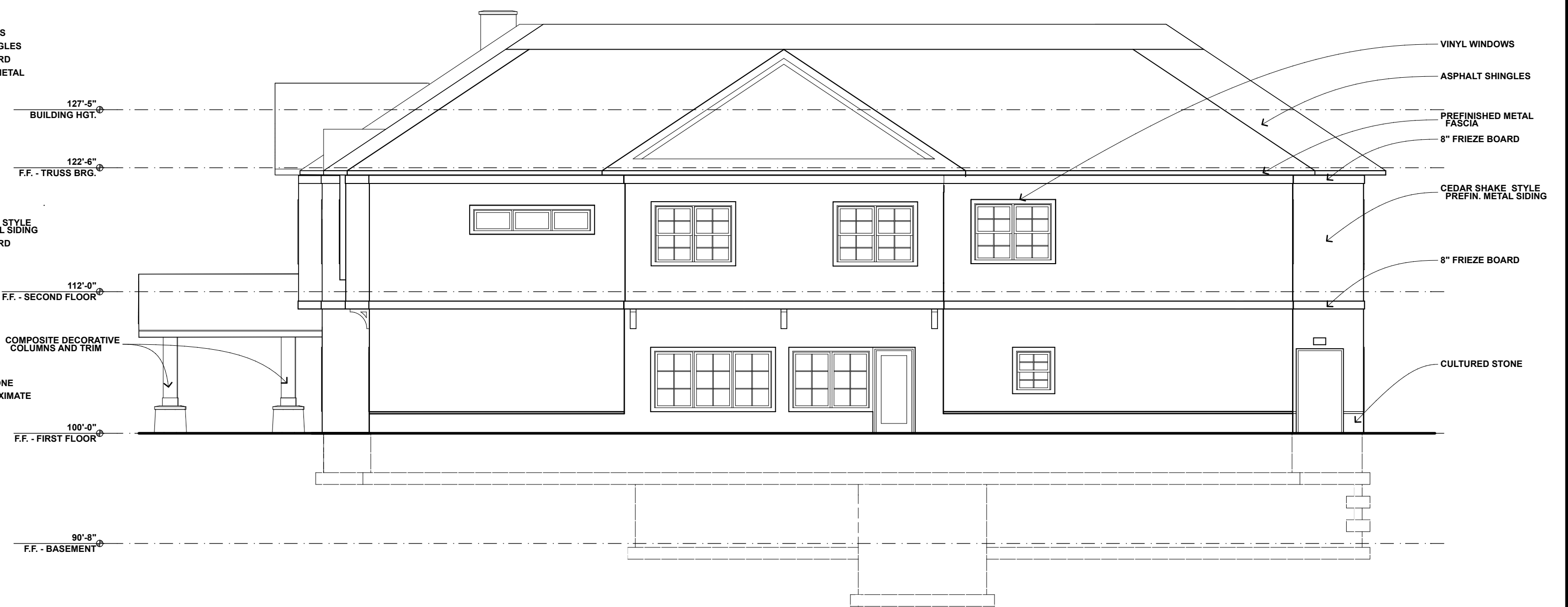
1 NORTH ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"



3 SOUTH ELEVATION  
1/8" = 1'-0"



4 WEST ELEVATION  
1/8" = 1'-0"

**LAKE MINNETONKA CARE CENTER**  
**NEW CARE CENTER**  
16913 STATE HWY. 7  
MINNETONKA, MINNESOTA 55345

REVISIONS		
Issue ID	Issue Name	Issue Date

SHEET TITLE		
ELEVATIONS		
DRAWN BY:	DATE:	PROJ. NO.
MAP	5/8/20	39175

SHEET NO.  
**P-004**





**PROJECT STATUS**  
Not For Construction



CITY OF  
MINNETONKA

**2030 Land Use**

**2030\_LU**

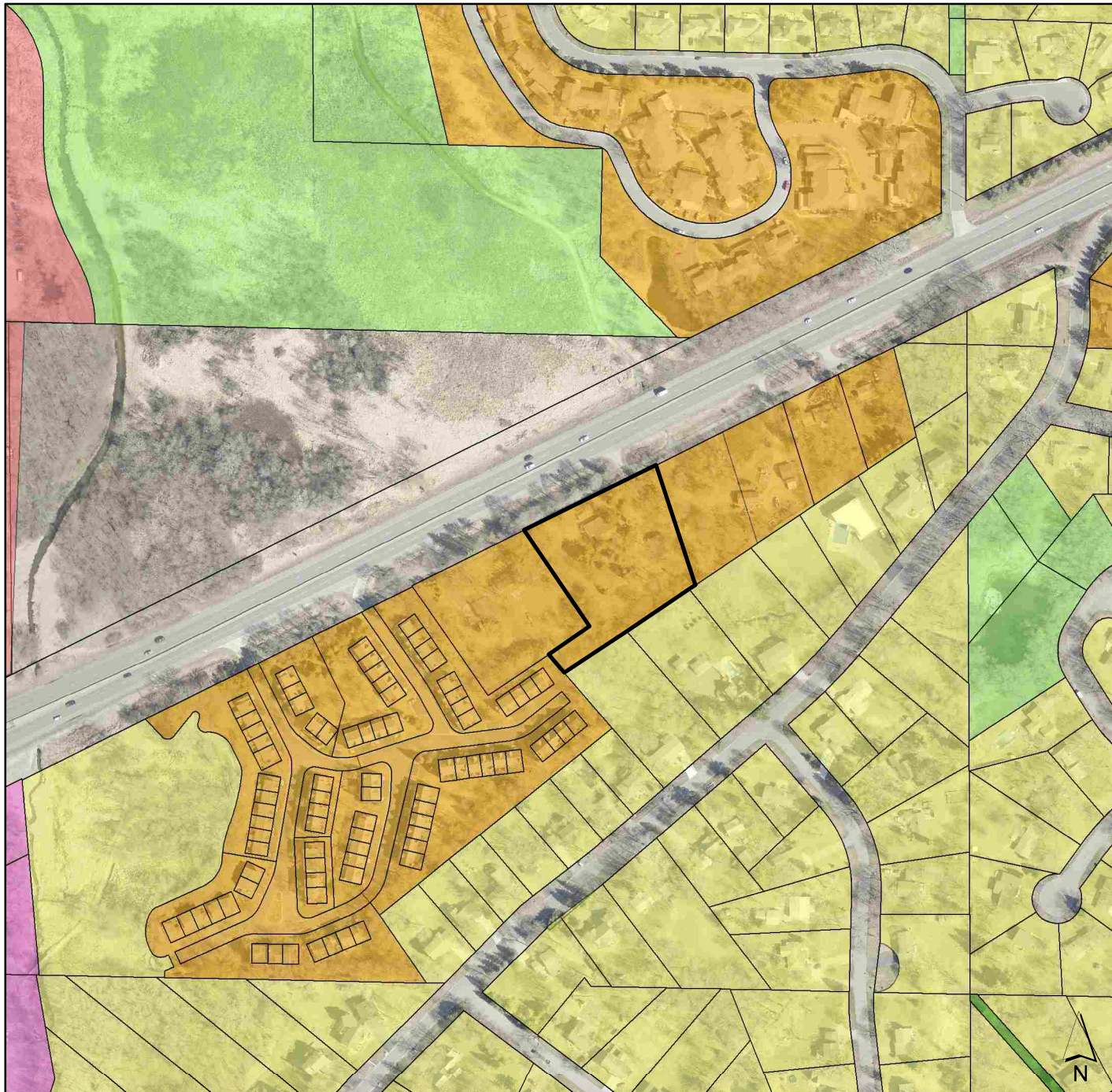
-  Low Density Residential
-  Medium Density Residential
-  High Density Residential
-  Office
-  Commercial
-  Service Commercial
-  Mixed Use
-  Industrial
-  Institutional
-  Open Space
-  Parks
-  Right of Way
-  Lakes

200 100 0 200 Feet



**2030 Comp  
Guide**

Map prepared by: City of Minnetonka







CITY OF  
MINNETONKA

### Legend

#### mi\_sde.MI.Zoning

<all other values>

#### ZONING

- <Null>
- B-1
- B-2
- B-3
- I-1
- IN WAYZATA
- PID
- PUD
- PURD
- R-1
- R-1 PURD
- R-2
- R-2 PURD
- R-3
- R-3 PURD
- R-4
- R-4 PURD
- R-5

200 100 0 200 Feet



## Zoning Map

Map prepared by: City of Minnetonka

