

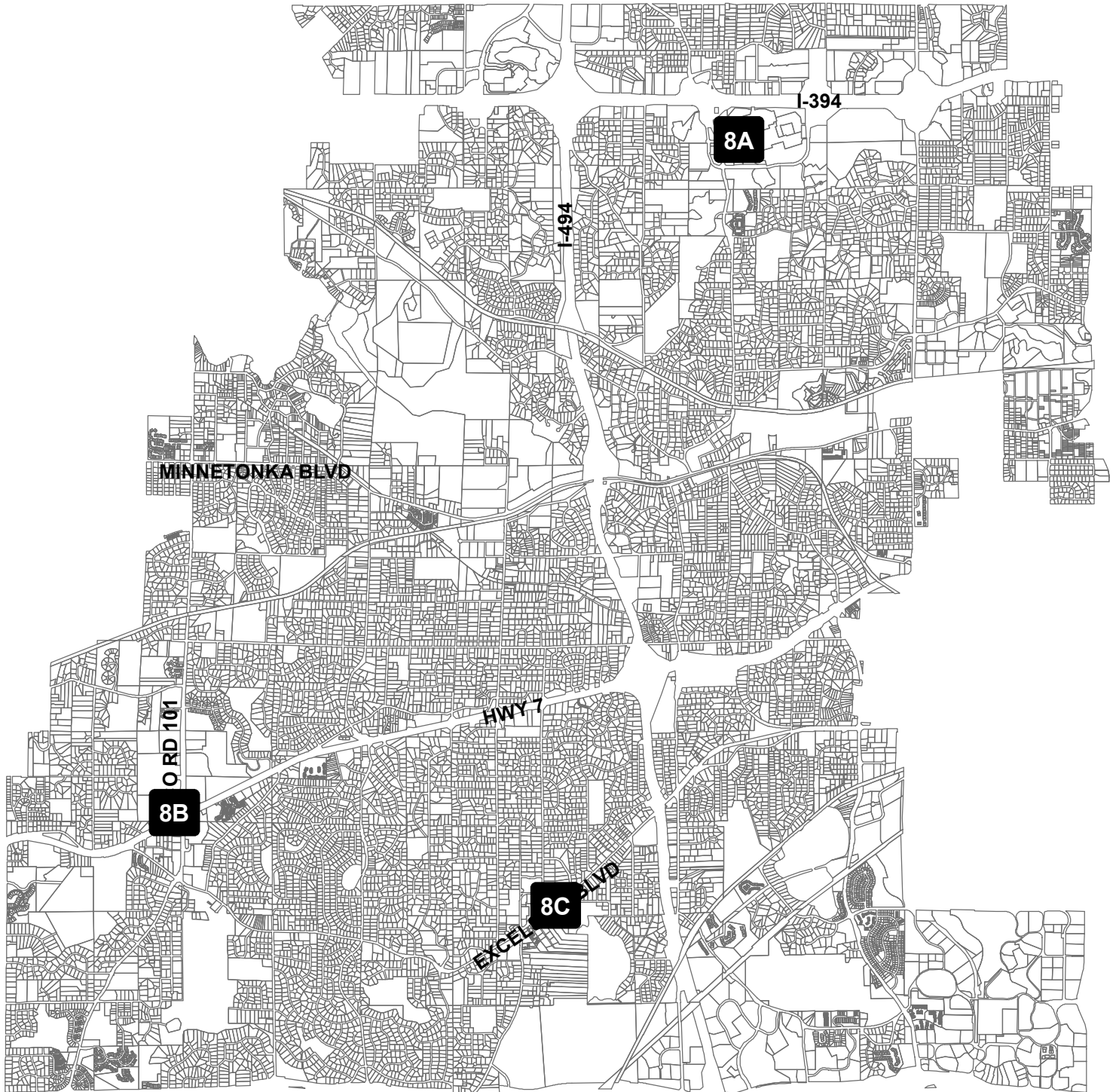


CITY OF
MINNETONKA

PLANNING COMMISSION

NOV. 18, 2021

14600 Minnetonka Blvd. • Minnetonka, MN 55345
(952) 939-8200 • Fax (952) 939-8244
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**Planning Commission Agenda
Nov. 18, 2021**

City Council Chambers – Minnetonka Community Center

- 1. Call to Order**
- 2. Roll Call**
- 3. Approval of Agenda**
- 4. Approval of Minutes:** Oct. 28, 2021
- 5. Report from Staff**
- 6. Report from Planning Commission Members**
- 7. Public Hearings: Consent Agenda:** None
- 8. Public Hearings: Non-Consent Agenda Items**
 - A. Items concerning Dick's House of Sport at 12437 Wayzata Blvd.

Recommendation: Recommend the city council adopt the ordinance and resolution. (4 Votes)
 - Recommendation to City Council (Dec. 6, 2021)
 - Project Planner: Ashley Cauley
 - B. Items concerning Mister Car Wash at 17600 Hwy 7.

Recommendation: Recommend the city council adopt the resolution. (4 Votes)
 - Recommendation to City Council (Dec. 6, 2021)
 - Project Planner: Ashley Cauley
 - C. Concept plan for redevelopment of the property at 14317 Excelsior Blvd.

Recommendation: Provide feedback; no formal action.
 - To City Council (Nov. 8, 2021)
 - Project Planner: Susan Thomas
- 9. Adjournment**

Planning Commission Agenda

Nov. 18, 2021

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Notices

1. Please call the planning division at (952) 939-8290 to confirm meeting dates as they are tentative and subject to change.
2. There following applications are tentatively schedule for the Dec. 2, 2021 agenda.

Project Description	Klonne Residence, CUP for an accessory structure
Project Location	4127 Williston Road
Assigned Staff	Susan Thomas
Ward Councilmember	Bradley Schaeppi, Ward 3

Project Description	Baldwin Residence, CUP for an accessory structure
Project Location	13907 McGinty Road E
Assigned Staff	Ashley Cauley
Ward Councilmember	Rebecca Schack, Ward 2

Project Description	Da Vinci Custom Homes, VAR for floodplain setback
Project Location	4230 Lindsey Lane
Assigned Staff	Ashley Cauley
Ward Councilmember	Kissy Coakley, Ward 4

Project Description	Woodhaven at Minnetonka, REZ/PPL for 9-lot subdivision
Project Location	2424 and 2440 Plymouth Road
Assigned Staff	Ashley Cauley
Ward Councilmember	Rebecca Schack, Ward 2

Project Description	Walser Nissan, SBP for remodel
Project Location	15906 Wayzata Blvd
Assigned Staff	Susan Thomas
Ward Councilmember	Bradley Schaeppi, Ward 3

**Unapproved
Minnetonka Planning Commission
Minutes**

Oct. 28, 2021

1. Call to Order

Chair Sewall called the meeting to order at 6:30 p.m.

2. Roll Call

Commissioners Waterman, Banks, Hanson, Henry, Maxwell, Powers, and Sewall were present.

Staff members present: City Planner Loren Gordon, Senior Planner Ashley Cauley, and Planner Drew Ingvalson.

3. Approval of Agenda

Maxwell moved, second by Henry, to approve the agenda as submitted with additional comments provided in the change memo dated Oct. 28, 2021.

Waterman, Banks, Hanson, Henry, Maxwell, Powers, and Sewall voted yes. Motion carried.

4. Approval of Minutes: Oct. 14, 2021

Waterman moved, second by Hanson, to approve the Oct. 14, 2021 meeting minutes as submitted.

Waterman, Banks, Hanson, Henry, Maxwell, Powers, and Sewall voted yes. Motion carried.

5. Report from Staff

Gordon briefed the commission on land use applications considered by the city council at its meeting of Oct. 18, 2021:

- Adopted a resolution approving Tonkawood Farms Third Addition at 15014 Highwood Drive.
- Introduced an ordinance for items relating to Dick's Sporting Goods and referred it to the planning commission.
- Adopted an ordinance amendment pertaining to definitions and lot shape.
- Adopted an ordinance amendment regarding tree protection.

The next planning commission meeting is scheduled to be held on Nov. 18, 2021.

6. Report from Planning Commission Members: None

7. **Public Hearings: Consent Agenda:** None

8. **Public Hearings**

A. Resolution approving a conditional use permit and setback variance for a deck, patio, and hot tub at 5724 Seven Oaks Court.

Chair Sewall introduced the proposal and called for the staff report.

Ingvalson reported. He recommended approval of the application based on the findings and subject to the conditions listed in the staff report.

Hanson asked for the definition of a bluff. Ingvalson explained that a bluff has a slope of more than 20 percent and is located within 1,000 feet of the shoreline.

Henry asked if the fence had been installed by the city or the property owner. Ingvalson answered the property owner. A fence at least five feet in height would be required to surround a swimming spa.

Maxwell asked for the intent of the bluff impact ordinance. She suspected it was designed to prevent erosion and address stability concerns. Ingvalson agreed that the bluff impact ordinance was designed to protect the bluff and natural resources such as Glen Lake by preventing erosion, maintaining stabilization, and keeping the appearance of the viewshed more natural. A condition of approval would require the pavers to be pervious so water would soak into the ground instead of significantly increasing the amount of water runoff. The applicant has already done a lot of work to stabilize the bluff area. A bluff impact zone allows specific recreational uses. A bluff setback would restrict a building from being constructed in the setback.

In response to Waterman's question, Ingvalson explained that the properties in the area were developed in the 1980s, and bluff requirements were created in 1993. Those properties are considered legal, nonconforming uses.

Henry confirmed with Ingvalson that the fire pit would have to be removed if the application would not be approved by the city council and there is a zero-foot setback for steps located on the side of a property.

Chair Sewall confirmed with Ingvalson that the staff's recommendation would require the swim spa to meet setback requirements.

Pam Kosanke, 5724 Seven Oaks Court, applicant, stated that she appreciates the thorough presentation done by staff and everyone's time. She explained that:

- Before she started the project, she hired a landscape architect, architect, designer, and engineers to make sure everything would be done properly. After several months of being told and having it in writing that the plan

would be fine and no building permit would be needed, she learned of the setback and conditional use permit requirements. She was told by three swim spa retailers that Minnetonka has no building permit requirement and the plan would be fine. She had no intention of doing anything incorrectly.

- She spent over \$10,000 over the last two years to stabilize the bluff with the help of Land Bridge Ecological.
- The neighbor who previously lived next door moved, and the new owners have no problem with the proposal.

Greg Ratten, the architect for the applicant, stated that:

- He has been working with the homeowners, Ingvalson and Natural Resources Specialist Sara Middleton to make the proposal as close to compliant with ordinance regulations as possible.
- The side-yard setbacks would now be met.
- A slab would be needed under the lap pool, but it would be located under a tub that would hold water.

Maxwell asked for the purpose of the stairs. Mr. Ratten said that there would be no other way to get up and down the slope. An engineer designed the stairs to provide the least amount of impact to the site. It would be difficult to locate the stairs to meet setback requirements.

Banks asked how much work was done with the previous contractor. Ms. Kosanke said that the hot tub was not located in the correct location. She has paid to have it installed and ripped out already. Four contractors and swim spa retailers told her that a permit would not be needed. She is trying to find a solution that would be safe, fair, and respects the bluff.

Chair Sewall confirmed with Mr. Ratten that the swim spa and concrete slab would be approximately eight feet by sixteen feet in size.

Ingvalson said that natural resources staff notified him that a concrete slab under the swim spa was included in the request and included for approval in the staff's recommendation.

The public hearing was opened. No testimony was submitted, and the hearing was closed.

Powers supports staff's recommendation. He noted that the neighbors at 5746 Seven Oaks Court have no concerns with the proposal. The applicants are good stewards of the land. He supports the applicant being able to keep the fire pit.

Ingvalson clarified that the fire pit is included in the staff's recommendation and would be allowed to stay with a preexisting patio.

Waterman agreed with Powers. He appreciated the applicant's efforts to work diligently with the city. The request is fairly straightforward. He agrees with the staff's recommendation to approve the variances for all of the reasons listed. It does not appear that there would be a significant impact on the bluff or shoreline. He was glad the applicant was able to work with staff to create an acceptable project.

Maxwell found this proposal to be a challenge. It was unfortunate that so much work went into the project, and contractors gave the applicant the wrong information. She was concerned with having no setback to the top of the bluff. She did not think there would be enough space to meet the requirements. She thought the hot tub and fire pit would be o.k., but the swim spa would be too close. She trusts the conditions of approval made by staff, including natural resources and engineering staff, to protect the bluff. She was having a hard time making a decision because she did not want to set a precedent to allow a setback variance of zero feet.

Henry appreciated the commissioners' comments. He encouraged property owners to call city staff when considering a home project. He was not a fan of even pervious pavers being located up to the top of the bluff. He trusts the expertise put into staff's review and conditions included in the recommendation for approval of the proposal. The request is reasonable. He supports the staff's recommendation.

Chair Sewall feels for the applicant being given misinformation from retailers. He was concerned with the side-yard setback, but the neighbors do not have an issue. He supports the staff's recommendation.

Waterman moved, second by Banks, to recommend that the city council adopt the attached resolution approving a shoreland-setback variance, bluff-setback variance, and bluff-impact-zone conditional use permit for the proposed recreational items at 5724 Seven Oaks Court.

Waterman, Banks, Hanson, Henry, Powers, and Sewall. Maxwell voted no. Motion carried.

This item is scheduled to be reviewed by the city council on Nov. 8, 2021.

B. Resolution approving the preliminary plat of Monson Meadows, a two-lot subdivision with front-yard setback variances, at 5500 Rowland Road.

Chair Sewall introduced the proposal and called for the staff report.

Cauley reported. She recommended approval of the application based on the findings and subject to the conditions listed in the staff report.

In response to Hanson's question, Cauley explained that either a shared driveway or separate driveways would be allowed. Both options are included in the staff report.

In response to Henry's question, Cauley answered that the wooded area is no longer large enough to qualify as a woodland preservation area.

Banks asked what the purpose would be for the front yard setback on Lot 2. Cauley explained that the variance would allow the house to be moved forward to create more separation from the house and the steep slope. The 50-foot front yard setback diminishes the site's buildable area.

Waterman confirmed with Cauley that the proposal met the tree preservation ordinance requirements when it was submitted. A condition of approval would require the building permit to be in substantial compliance with the approved plans, including the location of the driveway.

Brian Lubben, 4501 Hunters Ridge Road, introduced himself and his wife, Sue, applicants. He stated that:

- He is an architect and plans to live in a house on one of the lots.
- He represents Mike Monson, who did purchase the small corner of land to clean up the shape of the parcel.
- The property is 1.5 acres and very steep. Mr. Monson purchased the property in 2005, and many ideas have been considered on how it could be developed. This plan was created a year ago and worked hard to fit the site, preserve the slopes and preserve the trees. The property is beautiful, and as many trees as possible would be saved.
- The 10-foot-front-yard-setback variance is necessary to protect the steep slopes and wetland. The setback would allow construction to be done safely on the west side and create a safe site when completed.
- The retaining walls on Lot 2 are currently there and have been for years.
- The staff did a great job on the staff report and presentation.
- One of the reasons to locate the house on Lot 1 where it is proposed is to be able to reuse existing utilities and prevent the need to install additional ones. It has a very steep bank and has stone walls. The goal is to keep the disturbance of the site to an absolute minimum.
- He was available for questions.

In response to Henry's question, Mr. Lubben answered that the elevation from Rowland Road to the shared driveway would be five feet which are at the max to bring the houses and shared driveway up a little bit to prevent the need to do a lot of grading on the backside of the house and save trees. A lot of the streets in Minnetonka are sloped at seven percent and eight percent. His previous house had a driveway that was 15 percent. He would not do that again.

The public hearing was opened. No testimony was submitted, and the hearing was closed.

Waterman confirmed with Cauley that city engineers and building inspectors would determine the usability of the existing water and sanitary sewer pipes at the time of construction.

Hanson said that the property is awesome. The plan feels modest, respectful, and meets the tree protection ordinance requirements. He wishes the applicants good luck. He was excited to see the proposal come to fruition.

Waterman agreed. He supports the staff's recommendation. He appreciates the use of judgment when deciding on building placement and requests for a setback variance to allow for greater preservation of the natural features. It is great that it meets the tree protection ordinance requirements. He commended the applicant. He supports the proposal.

Maxwell agreed with Waterman. The tradeoff to save trees and protect the slope for 10 feet of a 50-foot setback would be a good use of a variance. The neighbors across the street are well buffered from the street. She supports the staff's recommendation. The proposal is very well done.

Powers agreed with commissioners. The proposal is a victory for good land stewardship. He supports the proposal.

Chair Sewall agreed. This proposal is a great reason for a variance. He was not a fan of shared driveways, but he understood the issues. He supports the staff's recommendation.

Maxwell moved, second by Henry, to recommend that the city council adopt the attached resolution approving the preliminary plat of Monson Meadows, a two-lot subdivision with front-yard setback variances, at 5500 Rowland Road and the adjacent unaddressed parcel.

Waterman, Banks, Hanson, Henry, Maxwell, Powers, and Sewall voted yes. Motion carried.

This item is scheduled to be reviewed by the city council on Nov. 8, 2021.

C. Resolution approving a conditional use permit for a restaurant at 1641 Plymouth Road.

Chair Sewall introduced the proposal and called for the staff report.

Cauley reported. She recommended approval of the application based on the findings and subject to the conditions listed in the staff report.

Hanson was concerned that the previous use and proposed use would not be different enough for the proposed use to have a great enough reduction in parking need for the proposed number of parking stalls to accommodate the proposed use's parking demand.

Cauley explained that a restaurant with a liquor license is required to have a parking stall for every 50 square feet. Retail spaces are required to have 5.5 parking stalls for every 1,000 square feet of space. The proposal would have mostly retail space and a very small restaurant space compared to the former use, which was entirely used as a restaurant. Parking ordinance requirements often require much more parking areas than what parking studies determine would be needed.

In response to Henry's question, Cauley explained that staff notified 1,297 area property owners and received no comments. She explained how the parking study was conducted and the times when the site was observed.

In response to Maxwell's question, Gordon explained that the city council has the authority to issue or deny liquor licenses.

Omar Torres, VP of Marketing for Top Ten Liquors, representing the applicant, stated that:

- He appreciated everyone attending the meeting.
- He was happy to work with staff, councilmembers, and planning commissioners to open a Top Ten Liquors in Minnetonka.
- The proposal is a new concept for the enjoyment of wine and spirits in the state. The proposal would be a wine bar, restaurant, cheese shop, and liquor store that would provide an experience of all things related to wine. There would be over 100 bottles of wine kept in a preservation system available for customers to try.
- The liquor store would take up 7,400 square feet of the building. The experiential place would utilize 1,300 square feet of tailored and specifically catered grocery items. The cheese bar, wine bar, and seating area would use 2,100 square feet.
- It would not be a full-blown restaurant. There would be cheese and wine. The system would not do bubbly or champagne. There would be beer.
- This type of concept has been working out east and in California.
- There would be no full-blown service kitchen. There would be no fumes created. There may be a small flatbread oven. There would be small plates with deli, lunch items. The floor plan has been adapted after each meeting with city staff and will continue to be modified to meet all requirements.
- Top Ten Liquors provides a great product, great service, and great value to its customers. This concept is the evolution to add to the experience. The selections and services would be tailored to complement each other. Restaurants 14,000 square feet in size are no longer as successful as they once were, and retail uses that do not provide an experience are often not successful. The proposal would combine the successful parts of both.
- Wine Side is all about wine. He is proud to support Minnesota products. Local beer and distilleries would be provided in the bar area and liquor

store. The tasting center would mostly have wine, but the bar area would have cocktails and local beer.

- Wine Side uses a wine preservation system like a little refrigerator and helps educate the patrons about wine.
- The signs shown in the proposal are the size that the city would allow. He would now work with the property owner to meet the property's regulations.

The public hearing was opened.

Robert Ludwig, 733 Fairfield Circle, asked if competing businesses received the public hearing notice postcard.

No additional testimony was submitted, and the hearing was closed.

Cauley stated that the public-hearing-notice postcard was sent to 1,300 area property owners and all liquor-license holders in Minnetonka.

Hanson loves the concept. It would work well in the Ridgedale area. The walkability for the residents in the Ridgedale area would make it a great fit. He likes the experiential component of the use. He struggled with the size of the parking variance because he would hate for this to be used as an example in another case. He hopes the use will be successful. He encouraged a shared parking agreement to be completed. He does not think there would be a parking issue in the long term. He supports the staff's recommendation.

Maxwell loves the concept. It is a new, unique use for the space that complements what is already available at Ridgedale. She lives near the area and walks and bikes in the area. The parking lot area could use the addition of sidewalks to provide pedestrian safety. She has never had a problem parking except for the two weeks before Dec. 25th. She supports the proposal.

Henry likes the concept. The applicant has put ample thought into the concept and has utilized the feedback from council members and staff. It would be a great addition to Minnetonka. Ridgedale is considered more of a destination than it used to be. It would complement what is already there. He encouraged city staff to look at making the parking area more walkable and connected to surrounding areas. He supports the staff's recommendation.

Powers likes that Minnetonka would be an incubator for a new idea. He wants the business to be a very visible success. He likes that local wines and beers would be featured. He likes the idea. He is concerned about the parking, but he left that to the experts and others to handle if it would become a problem.

Banks supports the proposal. The concept is put together well. It would be interesting to see how it does. He hopes it does well. The mall would provide an overflow parking area. A pedestrian crosswalk at the three-way stop sign might help if parking becomes

an issue. He noted that there are three liquor stores in close proximity. He supports the proposal and looks forward to trying it out.

Waterman supports the proposal. Everyone he spoke to is excited about the concept. He supports the restaurant. The liquor store caused him a moment of pause. He supports council members tying the operation of the liquor store to the operation of the restaurant. He was a little concerned with parking and traffic flow, but the study is comfortable with the amount of parking. He supports the staff's recommendation.

Chair Sewall appreciated commissioners taking a good look at the amount of parking. The Copper Cow and Duke's have had parking issues. There are ample parking and overflow parking options for this site. Champs had ample parking. He was comfortable with the parking. He agreed that making the west side of the Ridgedale area more pedestrian accessible is needed. He suggested making the signs distinguish the areas for off-sale of liquor and areas for wine and cheese tasting. He supports the staff's recommendation.

Powers moved, second by Hanson, to recommend that the city council adopt the attached resolution approving a conditional use permit and parking variance for a restaurant at 1641 Plymouth Road.

Waterman, Banks, Hanson, Henry, Maxwell, Powers, and Sewall voted yes. Motion carried.

This item is scheduled to be reviewed by the city council on Nov. 8, 2021.

9. Adjournment

Banks moved, second by Hanson, to adjourn the meeting at 9:05 p.m. Motion carried unanimously.

By: _____

Lois T. Mason
Planning Secretary

Minnetonka Planning Commission Meeting

Agenda Item 8

Public Hearing: Non-Consent Agenda

MINNETONKA PLANNING COMMISSION
Nov. 18, 2021

Brief Description

Items concerning Dick's House of Sport and Ridgedale at 12437 Wayzata Blvd:

1. Amendment to an existing master development plan;
2. Final site and building plans; and
3. Sign plan amendment.

Recommendation

Adopt the resolution approving the requests

Background

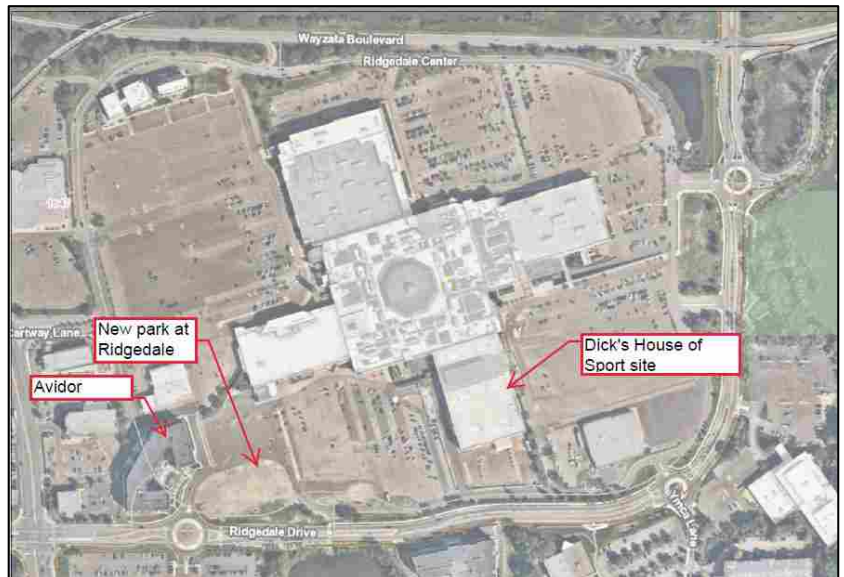
Ridgedale Center and the immediately surrounding area have an extensive development history, which includes privately-led changes to the shopping center itself and city-led development studies and investment into public infrastructure. (This history is outlined, in detail, in the Jan. 7, 2021 planning commission report).

On Dec. 21, 2020, the city council introduced an ordinance to amend the existing Ridgedale Master Development Plan for Dick's Sporting Goods. The proposal included site improvements within the parking lot, exterior signage, façade, and interior remodeling to the former Sear's tenant space for Dick's Sporting Goods. At the introduction, the city council expressed concerns related to the amount of signage, lack of connectivity to the new park, and façade improvements.

On Jan. 7, 2021, the planning commission reviewed the proposal and generally made comments about the façade and signage. Ultimately, the planning commission concurred with the city council's initial comments at the introduction related to the connectivity to the new park.

Following the planning commission meeting, the applicant submitted revised plans. The revised plans:

- Removed the site improvements, including the updated parking lot, stormwater, landscaping, and pedestrian connections.
- Removed the signage and façade improvements for future tenants.
- Incorporated a clerestory, removed EIFS, and lowered the steel structure on the east elevation for Dick's Sporting Goods.



On Feb. 8, 2021, the city council reviewed and approved the amendment to the Ridgedale Mall master development plan and the building plans (façade updates) for Dick's Sporting Goods. Following approval, a permit was issued, and construction began.

On Oct. 18, 2021, the city council introduced an ordinance to again amend the master development plan to accommodate the applicant's current proposal.

Previous staff reports and meeting minutes can be found [here](#).

Proposal

Darion Ziegler, on behalf of NELSON Worldwide and Brookfield Properties, is proposing additional site and building improvements for Dick's House of Sport (Dick's Sporting Goods).

The improvements generally include:

- An outdoor athletic field;
- Stormwater, parking lot, and pedestrian improvements – including a connection to Ridgedale Commons (the new park at Ridgedale);
- Site landscaping;
- An extension of the façade improvements to allow Dick's to occupy roughly 12,000 square feet of additional space within the former Sear's tenant space; and
- New exterior signs to reflect the updated brand (Dick's House of Sport vs. Dick's Sporting Goods).

The applicant's proposal requires:

- **Master development plan:** By city code, a master development plan is required for all property within the Planned I-394 District (PID). The previous amendment incorporated the facade improvements and formalized the "division" of the former anchor tenant space into smaller tenant spaces. The current amendment would acknowledge the increased tenant size, site improvements, and the athletic field.
- **Site and building plan approval:** By city code, an enlargement of a building use by more than 10 percent and site grading requires site and building plan review. The proposal includes an expansion of more than 10 percent and includes several site improvements.
- **Sign plan amendment:** Exterior signage at Ridgedale Center is governed by a sign plan originally adopted in 1986. The current sign plan, which was adopted in 2015, restricts the height of signage for anchor tenants to eight feet. The proposed vertical dimension of the sign on the east façade is 11 feet. The vertical dimension of the west sign is proposed at nine feet.

Proposal Summary

- **Existing site features:** The project site is roughly 12 acres in size and includes the 205,070 square foot anchor tenant space formerly occupied by Sears. The property generally slopes downwards from the building and loading docks outward, away from the building. Seasonal flooding occurs in the southwest corner of the parking lot. A sidewalk

wraps around the east, west, and south sides of the tenant space, but connectivity is interrupted by the existing loading dock. Some landscaping exists on the east side of the building. The existing tenant space is currently under construction.

- **Proposed site improvements:**

Athletic Field:

The field would be 31,000 square feet in area, surrounded by a running-walking track on the west side of the mall. The field would be surrounded by a two-story fence.

Parking lot, landscaping, and pedestrian improvements:

Portions of the parking lot would be new, other areas would be re-sealed or mill and overlaid.

Parking stalls would be re-orientated on the west side of the mall to accommodate a pedestrian connection from the southwest entrance to Ridgedale Commons (the new park). This connection would be landscaped with grasses, perennials, and ornamental trees.

Another major pedestrian connection proposed is a connection from Ridgedale Drive to the south end of the mall. This path would be landscaped with grasses, shrubs, and ornamental trees. An arbor has also been incorporated to incorporate park elements.

Staff had noted that pedestrian connectivity was interrupted by the loading dock on the south side of the mall during its review in 2020. A pedestrian crossing across the loading dock area has been added to improve circulation.

Foundation plantings of perennials, grasses, shrubs, and small trees are proposed on the east entrance. Additional landscaping is proposed for all of the parking lot islands disturbed during the project.

Stormwater and utility improvements: Stormwater from the south and west sides of the site would be collected and directed to the new underground storage facility west of the athletic field. Stormwater from the east side of the building would be collected and directed to existing lines. New sanitary sewer and water mains are proposed to direct services around the athletic field.

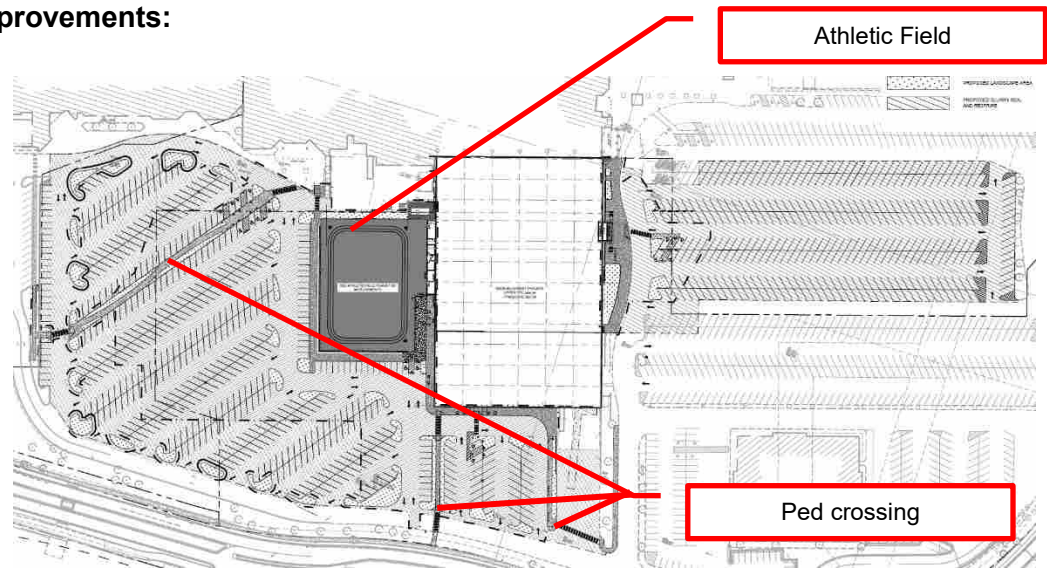


Figure 1: Site plan

Interior remodeling and façade: Dick's House of Sport is proposing to occupy roughly 12,000 square feet of additional space on the second level. The previously approved façade would be expanded to accommodate the additional space.

Lighting: Existing parking lot lighting would be replaced after parking lot reconstruction.

- **Proposed signs:** Staff has worked with the applicant over the last two years regarding signage on the building. Dick's House of Sport is considered an anchor tenant (over 100,000 square feet) and is allowed an eight-foot sign under the Ridgedale Mall sign plan. The applicant is proposing an amendment to this plan for the following:

East façade sign: The east sign would be 9.5 feet tall, 11 feet to the top of the logo.

West façade sign: The west sign would be located within the athletic field and would be seven feet tall, nine feet tall to the top of the logo.

Staff Analysis

A land-use proposal is comprised of many details. These details are reviewed by members of the city's economic development, engineering, fire, legal, natural resources, planning, and public works departments and divisions. These details are then aggregated into a few primary questions or issues. The analysis and recommendations outlined in the following sections of this report are based on the collaborative efforts of this larger staff review team.

- **Is the proposed master development plan amendment appropriate?**

Yes. The master development plan reflects the larger vision for the mall. This plan was a combined effort by the city and the mall property owners to maintain the vitality of the mall as a regional attraction through reinvestment. At the time of adoption, the master development plan also focused on the mall's reorientation from an entirely internally focused mall to a more outward facing focus with improved pedestrian connections. The plan contemplated improvements – particularly landscape – throughout the mall site but did not include improvements to the J.C. Penny and Sears sites.

The division of the anchor tenant into smaller tenants and the building façade for Dick's Sporting Goods was approved as part of the Feb. 2021 amendment.



Figure 2: Ridgedale Center Master Development Plan



Figure 3: west elevation

The current amendment would formalize an additional 12,000 sq. ft. that Dick's House of Sport would occupy beyond that previously approved, the site improvements, and the athletic field on the west side of the mall. These improvements align with the intent of the existing master development plan and add an entertainment use to the site.



Figure 4: east elevation

- **Are the proposed site and building improvements appropriate?**

Generally, yes. The proposed site improvements are appropriate and would generally meet the ordinance standards and guidelines outlined in the [Ridgedale Area Public Realm Guidelines](#). The site improvements allow for pedestrian connectivity through the site, an outdoor activity area, and stormwater improvements would result in an improvement over existing conditions.

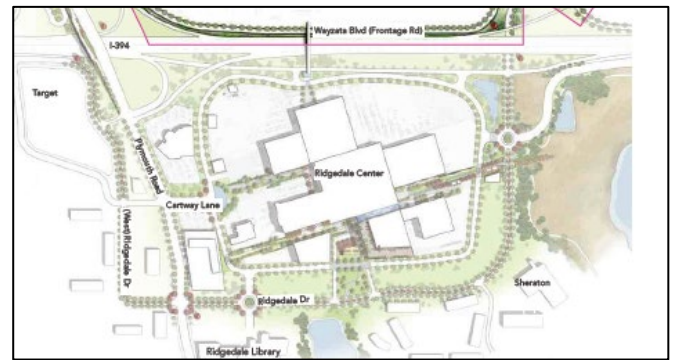


Figure 5: Public realm guidelines

Pedestrian connections: Pedestrian connections through the mall parking lot have been contemplated since the [visioning](#) plan was adopted in 2012. Over the last two years, the city has continued to advocate for pedestrian improvements, particularly for a connection from the mall to Ridgedale Commons. The initial site plan provided to the city council at the introduction in October did not include a connection. However, since the introduction, a revised plan has been submitted with the connection. Staff is pleased to see that it has been incorporated but notes that the alignment does not properly align with the constructed – striped – ring road pedestrian crossing. The slight realignment needed to make this connection more intuitive and suitable has been included as a condition of approval.

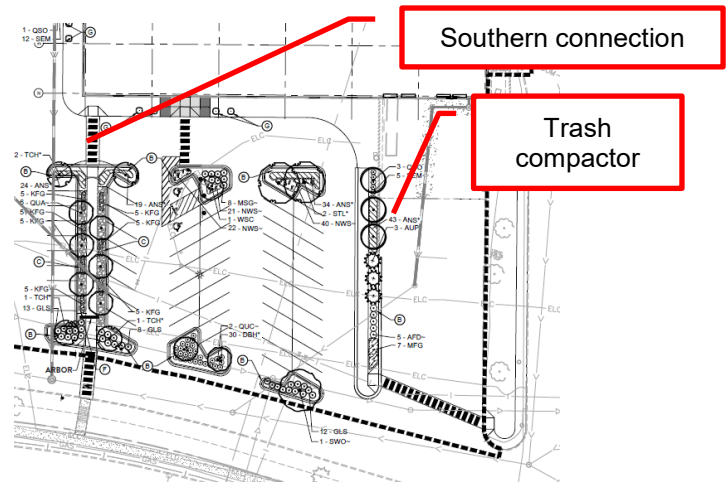





Figure 6: Southern landscaping and trash compactor

			East: one sign West: one sign	18-ft ³ 11-ft ⁴	
	Nordstrom	138,000 sf	North: one sign	5-ft	
East: one sign					
South: one sign					
	JC Penny	171,155 sf	North: one sign	7-ft	
¹ as measured from the top of the <u>copy</u> to the bottom of the copy ² as measured from the top of the <u>graphic</u> to the bottom of the copy ³ as measured from the top of the apostrophe to the bottom tail of the "y" ⁴ as measured <u>excluding</u> the apostrophe					

Staff Recommendation

Recommend the city council adopt the following for Dick's House of Sport at 12437 Wayzata Blvd:

1. Ordinance approving an amendment to the Ridgedale Center master development plan; and
2. Resolution approving final site and building plans and a sign plan amendment.

Originator: Ashley Cauley, Senior Planner
 Through: Loren Gordon, AICP, City Planner

Supporting Information

Surrounding Land Uses

Northerly: Ridgedale Center mall and I-394 beyond
Easterly: Parking lot, hotel, and Crane Lake Preserve
Southerly: Ridgedale Drive, YMCA, and the Luxe Apartments
Westerly: New Park at Ridgedale and Avidor Apartments

Planning

Guide Plan designation: Mixed-Use
Zoning: Planned I-394 District (PID)

Sustainability

In 2018, Ridgedale Center finished construction on its rooftop solar panel installation. It is anticipated that the system will reduce the mall's electrical consumption by about eight percent, equivalent to the gas emissions of 155 passenger vehicles or the amount of energy used by 109 homes in Minnesota.



Figure 7: 2020 aerial photography

MDP Standards

According to City Code 300.31 Subd. 8(f), the planning commission and city council must base their recommendations and actions regarding approval of a master development plan on a consideration of the following:

1. Compatibility of the proposed plan with this section and the goals, policies, and proposals of the comprehensive plan;

Finding: The 2030 comprehensive guide plan identifies the Ridgedale Center mall as, one of three regional areas, which draw people from all over the region. The city is committed to maintaining and improving the economic strength, cohesive design and architectural qualities of these developments. The guide plan includes several development strategies to provide a more pedestrian-scaled transition between the public and residential areas of the mall through redevelopment, by (1) incorporating natural features; and (2) sidewalks/trails to enhance pedestrian access to Ridgedale Center mall and surrounding areas to create a pedestrian-friendly and cohesive area. The proposal would provide vital connections from the mall to Ridgedale Commons and Ridgedale Drive.

2. Effect of the proposed plan on the neighborhood in which it is to be located;

Finding: The plan would continue the redevelopment of currently vacant and under-utilized tenant space, add an entertainment use to the site, and pedestrian access.

3. Internal organization and adequacy of various uses or densities, circulation and parking facilities, public facilities, recreation areas, open spaces, screening and landscaping;

Finding: The amendment would improve pedestrian and vehicular circulation through the site and would introduce connections to public improvements, such as the new park and Ridgedale Drive.

4. Consistency with the standards of section 300.27 pertaining to site and building plan review;

Finding: Site and building plan standards and staff's findings are below.

5. Accommodation of the traffic associated with a proposed development on the public road system within service level goals as stated in this section and in the comprehensive guide plan; and

Finding: While the proposal would result in an increase over existing, vacant conditions, the proposed amendment would not result in a significant increase amount of demand on the public road system anticipated generation for the mall and its tenants.

6. Such other factors as the planning commission or city council deem relevant.

Finding: The planning commission and city council have continued to express interest in a connection from the mall to Ridgedale Commons. The revised plans include the connection.

SBP Standards

The proposal would comply with all site and building standards as outlined in City Code 300.27 Subd.5

1. Consistency with the elements and objectives of the city's development guides, including the comprehensive plan and water resources management plan;

Finding: The site improvements have been reviewed by the city's planning, building, engineering, natural resources, fire and public works staff. Staff finds the site improvements to be generally consistent with the city's development guides.

2. Consistency with this ordinance;

Finding: The site improvements are generally consistent with the ordinance.

3. Preservation of the site in its natural state to the extent practicable by minimizing tree and soil removal and designing grade changes to be in keeping with the general appearance of neighboring developed or developing areas;

Finding: The proposal is a redevelopment of a developed site. Visually, the site will change but will be a vast improvement over existing conditions and will incorporate features of new developments and investments in the surrounding areas.

4. Creation of a harmonious relationship of buildings and open spaces with natural site features and with existing and future buildings having a visual relationship to the development;

Finding: The proposal would provide vital connections from the mall to public and private investments around the mall.

5. Creation of a functional and harmonious design for structures and site features, with special attention to the following:
 - a) an internal sense of order for the buildings and uses on the site and provision of a desirable environment for occupants, visitors and the general community;
 - b) the amount and location of open space and landscaping;
 - c) materials, textures, colors and details of construction as an expression of the design concept and the compatibility of the same with the adjacent and neighboring structures and uses; and
 - d) vehicular and pedestrian circulation, including walkways, interior drives and parking in terms of location and number of access points to the public streets, the width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic and arrangement and amount of parking.

Finding: Proposed stormwater facilities, landscaping, and pedestrian connections would result in improved circulation and conditions on-site. Building materials are consistent with the materials approved in Feb. 2021.

5. Promotion of energy conservation through design, location, orientation and elevation of structures, the use and location of glass in structures and the use of landscape materials and site grading; and

Finding: The proposal would require a building permit and would be required to meet minimum energy standards.

6. Protection of adjacent and neighboring properties through reasonable provision for surface water drainage, sound and sight buffers, preservation of views, light and air and those aspects of design not adequately covered by other regulations which may have substantial effects on neighboring land uses.

Finding: The site improvements would result in an improvement over existing conditions and would not negatively impact neighboring land uses.

Sign Plan Standards

The proposed signage would comply with the sign plan standards as outlined in City Code §325.06:

1. The development includes a high rise (greater than 3-story) structure:

Finding: The proposed site is not considered a high rise but is governed by the Ridgedale Sign Plan.

2. The development includes multiple structures and/or a substantial site area;

Finding: The proposal is part of the larger Ridgedale Center mall development, which includes multiple structures and a substantial site area.

3. The development includes mixed uses:

Finding: The proposed site is part of the Ridgedale Center mall, which includes a variety of uses and building scales.

4. A sign plan is unique adapted to address the visibility needs of a development while remaining consistent with the intent of this section to direct high quality signage; and

Finding: The Ridgedale Center mall sign plan was adopted to accommodate the higher visibility needs of the anchor tenants and restaurants with exterior façades. Staff finds the proposed signs would allow for increased visibility for Dick's, as an anchor tenant.

5. The sign plan includes permanent sign covenants which can be enforced by the city.

Finding: If approved, the proposed signage on the plans would establish the placement, size and scale of the signs for the building.

Natural Resources

Best management practices must be followed during the course of site preparation and construction activities. This would include

installation and maintenance of a temporary rock driveway, erosion control, and tree protection fencing. As a condition of approval the applicant must submit a construction management plan detailing these management practices.

Motion Options

The planning commission has three options:

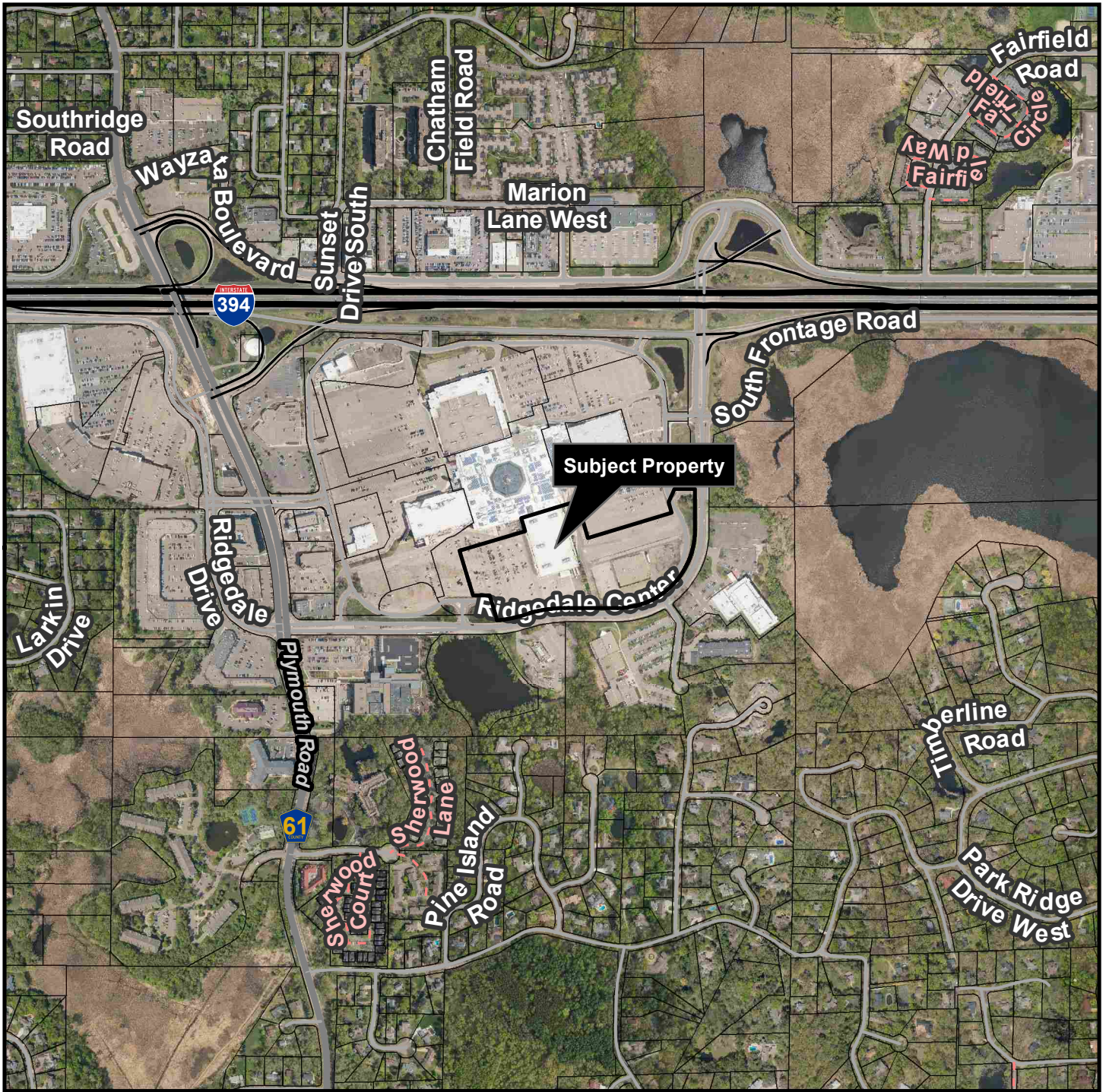
- 1) Concur with the staff recommendation. In this case a motion should be made recommending the council adopt the ordinance and resolutions approving the proposal.
- 2) Disagree with some or all of the staff's recommendations. In this case, a motion should be made recommending the council deny the proposal. This motion should include findings for denial.
- 3) Table the proposal. In this case, a motion should be made to table the item. The motion should include a statement as to why the proposal is being tabled with direction to staff, the applicant, or both.

Neighborhood Comments

The city sent notices to 109 area property owners and received no comments.

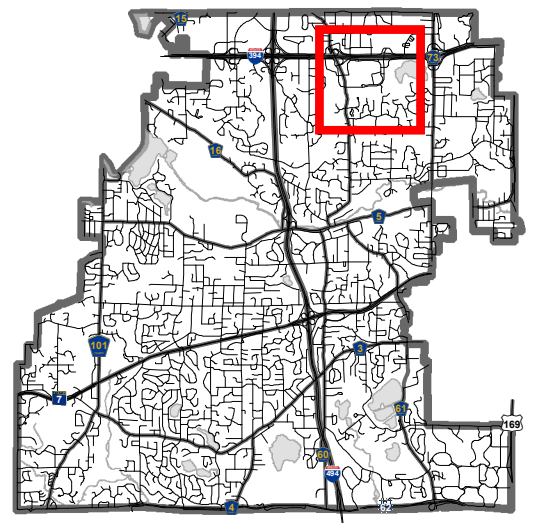
Deadline for Decision

Jan. 10, 2021



Location Map

Project: Dick's Sporting Goods
Address: 12437 Wayzata Blvd



September 14, 2021

Loren Gordon
City Planner
City of Minnetonka
14600 Minnetonka Blvd
Minnetonka, MN 55345

RE: Ridgedale Center - Sears Redevelopment – Dick’s Sporting Goods - Written Statement

Dear Loren:

Brookfield Properties is seeking to amend the Sears Redevelopment design that was approved by the City Council on February 8, 2021. Design modifications include:

1. Dick’s Sporting Goods’ sports field on the West side of the building
2. Revisions to the East and West elevations as part of the Dick’s Sporting Goods’ demised premises reflecting Dick’s Sporting Goods’ leasing an additional 10,000 square feet on the Upper Level of the building
3. Only signs associated with the Dick’s Sporting Goods store are being sought for approval. A future submittal will contain proposed signs for the balance of the building
4. Parking lot improvements at the areas surrounding the Dick’s Sporting Goods’ sports field

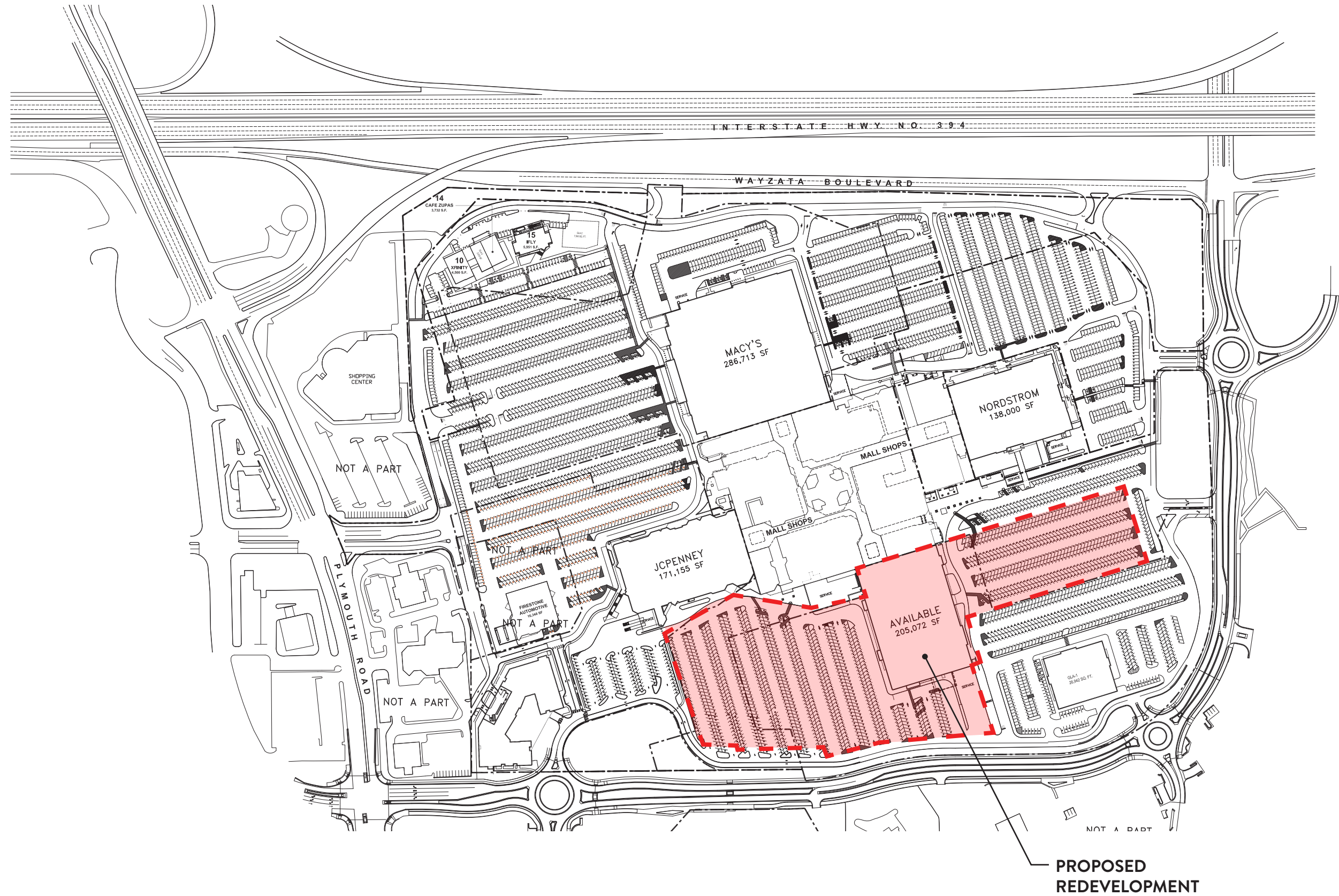
Our intent is to keep the approval process focused on the Dick’s Sporting Goods’ elevations, outdoor sports field, and adjacent parking lot improvements. Brookfield Properties will submit a separate application when we have tenants and signs to present for the balance of the Sears building.

Sincerely,



Matt Lesh
Director
Brookfield Properties Retail

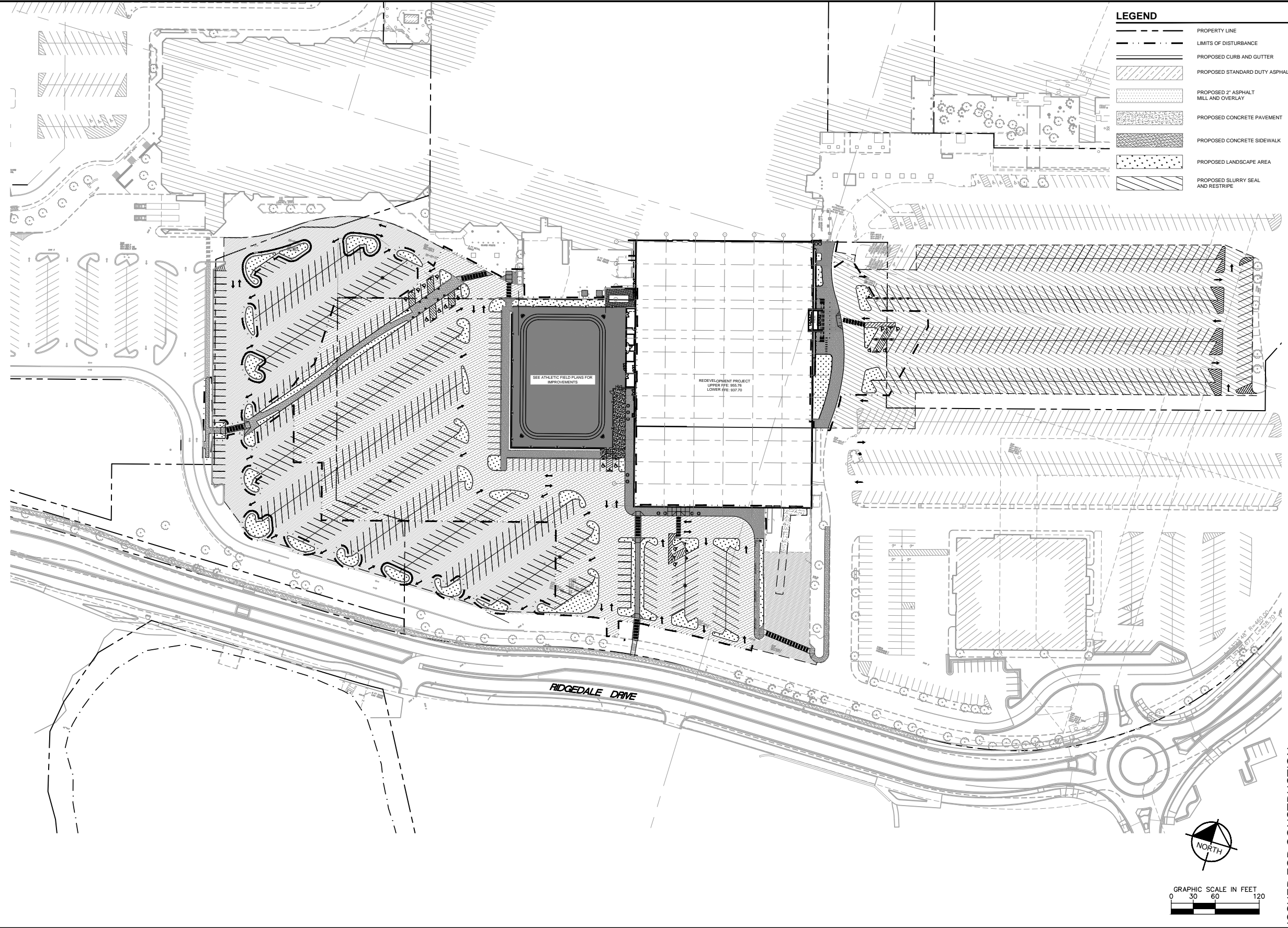
RIDGEDALE CENTER | OVERALL SITE PLAN



RIDGEDALE CENTER | SITE PLAN

K:\TWC_LDEV\Brookfield Properties\Ridgedale Sears Redevelopment\3 Design\CAD\PlanSheets\C4-SITE PLAN.dwg November 10, 2021 - 5:03pm

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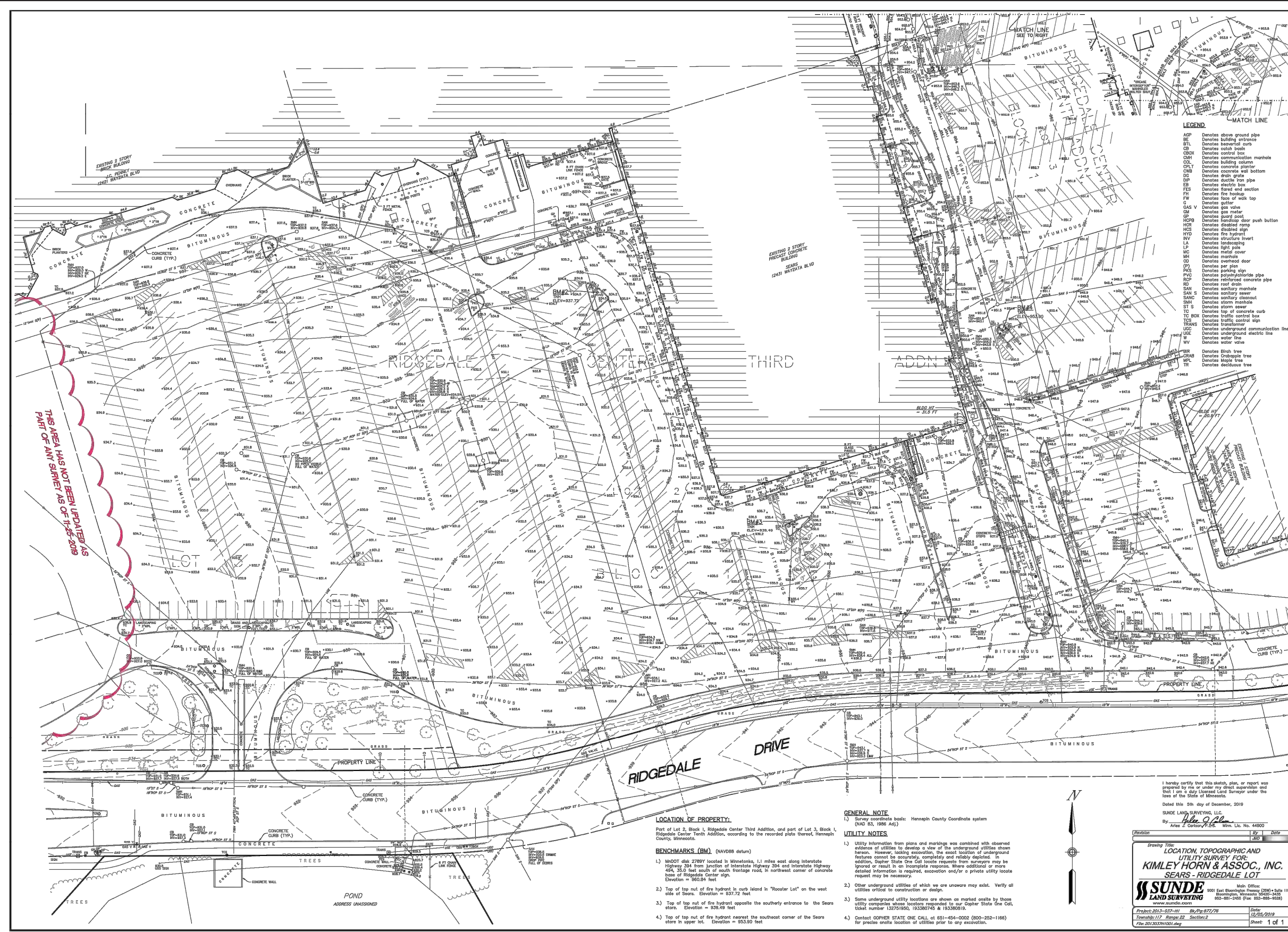
LEGEND

	PROPERTY LINE
	LIMITS OF DISTURBANCE
	PROPOSED CURB AND GUTTER
	PROPOSED STANDARD DUTY ASPHALT
	PROPOSED 2" ASPHALT MILL AND OVERLAY
	PROPOSED CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED LANDSCAPE AREA
	PROPOSED SLURRY SEAL AND RESTRIPE

Kimley >> Horn		©2021 KIMLEY-HORN AND ASSOCIATES, INC. 707 EULIST STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-444-4197 WWW.KIMLEY-HORN.COM	
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.		ALAN L. CATCHPOOL, P.E. M.C. NO. 47869 DATE: 11/10/2021	
KHA PROJECT 180152000	DATE 11/10/2021	SCALE AS SHOWN	DESIGNED BY DSB
DRAWN BY DSB	CHECKED BY ALC	OVERALL SITE PLAN	
RIDGEDALE SEARS REDEVELOPMENT		BROOKFIELD PROPERTIES MINNESOTA	
PREPARED FOR		MINNETONKA	
SHEET NUMBER		C400	
ISSUED FOR CONSTRUCTION		REVISIONS	
		REVISION #2 - CITY COMMENTS	DATE
		REVISION #1 - CITY COMMENTS	DATE
		No.	BY

RIDGEDALE CENTER | SURVEY

K:\TWC_LDEV\Brookfield Properties\Ridgedale Sears Redevelopment3 Design\CAD\PlanSheets\VO-ALTA SURVEY.dwg March 24, 2020 - 8:19am
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THIS AREA HAS NOT BEEN UPDATED AS PART OF ANY SURVEY AS OF 1-25-2019

LOCATION OF PROPERTY:
 Part of Lot 2, Block 1, Ridgedale Center Third Addition, and part of Lot 3, Block 1, Ridgedale Center Tenth Addition, according to the recorded plat thereof, Hennepin County, Minnesota.

BENCHMARKS (BM) (NAVD83 datum)

- MnDOT stat 2789Y located in Minnetonka, 1.1 miles east along Interstate Highway 354 from junction of Interstate Highway 354 and Interstate Highway 494, 35.0 feet south of south frontage road, in northwest corner of concrete base of Ridgedale Center sign. Elevation = 960.84 feet
- Top of top nut of fire hydrant is curb island in "Rooster Lot" on the west side of Sears. Elevation = 937.72 feet
- Top of top nut of fire hydrant opposite the southerly entrance to the Sears store. Elevation = 939.49 feet
- Top of top nut of fire hydrant nearest the southeast corner of the Sears store in upper lot. Elevation = 933.80 feet

GENERAL NOTE
 1.) Survey coordinate basis: Hennepin County Coordinate system (NAD 83, 1986 Ad.)

UTILITY NOTES

- Utility information from plans and markings was combined with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, looking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. In addition, Gopher State One Call locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, excavation and/or a private utility locate request may be necessary.
- Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
- Some underground utility locations are shown as marked onsite by those utility companies whose locators responded to our Gopher State One Call, located number 13279180, 13338743 & 13330819.
- Contact GOPHER STATE ONE CALL at 651-454-0002 (800-252-1166) for precise onsite location of utilities prior to any excavation.

I hereby certify that this sketch, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 09th day of December, 2019

SUNDE LAND SURVEYING, LLC
 By: *Alan J. Carlson* M.S. Minn. Lic. No. 44800
 Alan J. Carlson, P.E., M.S., L.S.

Drawing Title: **LOCATION, TOPOGRAPHIC AND UTILITY SURVEY FOR: KIMLEY HORN & ASSOC., INC. SEARS - RIDGEDALE LOT**

Project: 2019-037-101 Date: 12/05/2019
 Township: 117 Range: 22 Section: 2
 File: 2019037H1001.dwg Sheet: 1 of 1

Kimley-Horn

2018 KIMLEY-HORN AND ASSOCIATES, INC.
 707 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
 PHONE: 651-444-4197
 WWW.KIMLEY-HORN.COM

NO.	REVISIONS	DATE	BY

ALTA SURVEY

KHA PROJECT: 18015200
 DATE: 02/07/2020
 SCALE: AS SHOWN
 DESIGNED BY: N/A
 DRAWN BY: N/A
 CHECKED BY: N/A

ISSUED FOR CONSTRUCTION

RIDGEDALE SEARS REDEVELOPMENT

PREPARED FOR

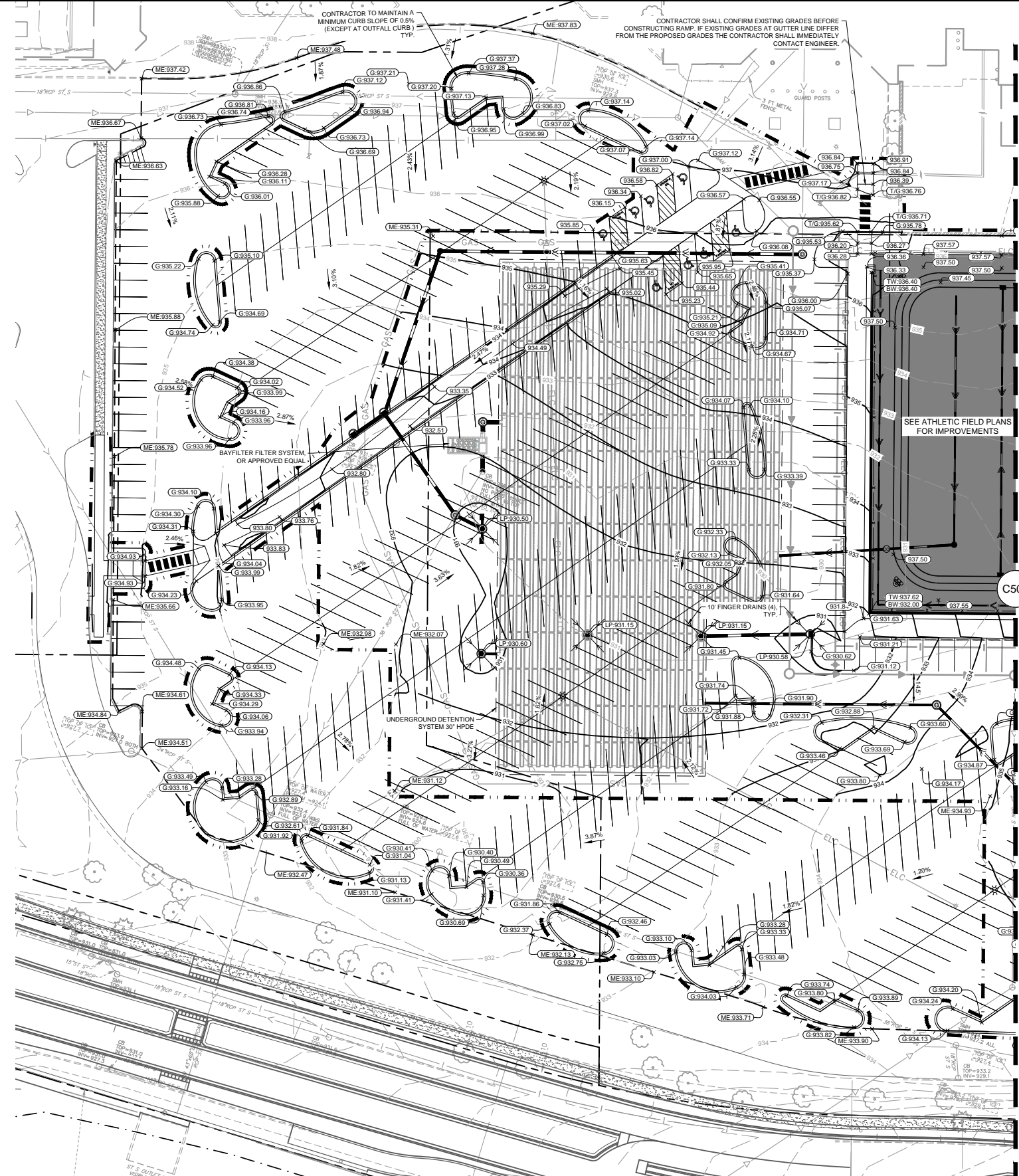
BROOKFIELD PROPERTIES MINNESOTA

SHEET NUMBER **V1.0**

RIDGEDALE CENTER | GRADING & DRAINAGE PLAN

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LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED STORM MANHOLE (SOLID CASTING)
	PROPOSED STORM MANHOLE (ROUND INLET CASTING)
	PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
	PROPOSED STORM SEWER
	PROPOSED SPOT ELEVATION
	PROPOSED TOP STEP ELEVATION
	PROPOSED BOTTOM STEP ELEVATION
	PROPOSED GUTTER ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED FLUSH PAVEMENT ELEVATION
	MATCH EXISTING ELEVATION
	PROPOSED DRAINAGE DIRECTION

- GRADING PLAN NOTES**
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF MINNETONKA, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
 - CONTRACTOR TO CALL GOPHER STATE CALL ONE @ 1-800-252-1166 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
 - STORM SEWER PIPE SHALL BE AS FOLLOWS:
RCP PER ASTM C-76
HDPE: 12" OR GREATER PER ASTM F-2306
PVC SCH. 40 PER ASTM D-3034
STORM SEWER FITTINGS SHALL BE AS FOLLOWS:
RCP PER ASTM C-76, JOINTS PER ASTM C-361, C-990, AND C-443
HDPE PER ASTM 3212
PVC PER ASTM D-3034, JOINTS PER ASTM D-3212
 - CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
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REVISION #	DATE	BY
1	11/10/2021	RBW
2	10/25/2021	RBW

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707 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-444-4197
WWW.KIMLEY-HORN.COM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Alan L. Catropool, P.E.
ALAN L. CATROPOOL, P.E.
DATE: 11/10/2021 U.C. NO. 47809

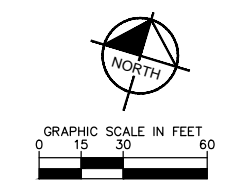
GRADING PLAN

ISSUED FOR CONSTRUCTION

RIDGEDALE SEARS REDEVELOPMENT

PREPARED FOR **BROOKFIELD PROPERTIES MINNESOTA**

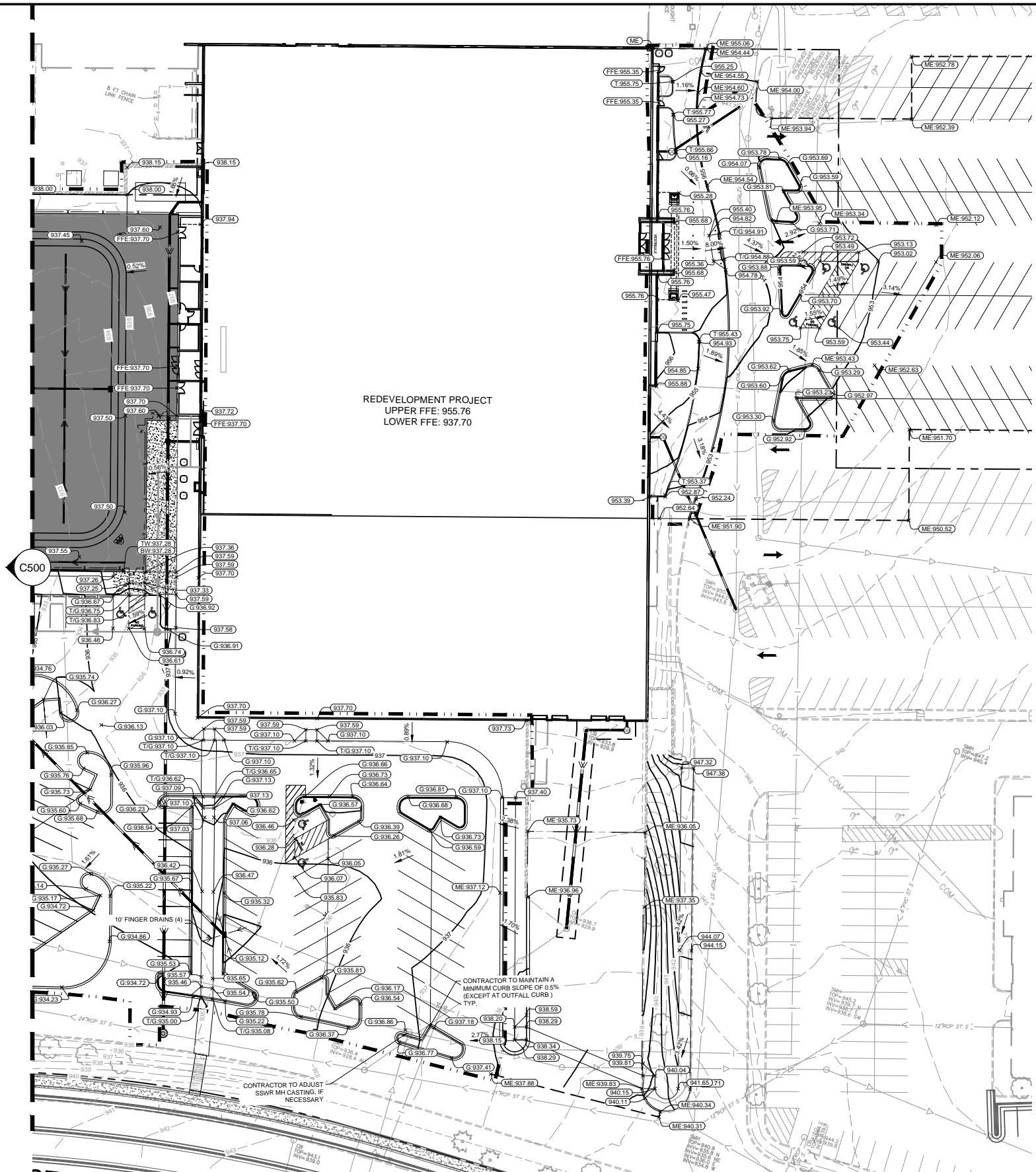
SHEET NUMBER **C500**



RIDGEDALE CENTER | GRADING & DRAINAGE PLAN

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ALAN L. CATHROP, P.E.
DATE: 11/10/2021 U.C. NO. 47909

KHA PROJECT: 160152000
DATE: 11/10/2021
SCALE: AS SHOWN
DESIGNED BY: DSS
DRAWN BY: DSS
CHECKED BY: ALC

REVISION #2 - CITY COMMENTS
11/10/2021 RBW

REVISION #1 - CITY COMMENTS
10/25/2021 RBW

GRADING PLAN

ISSUED FOR CONSTRUCTION

RIDGEDALE SEARS REDEVELOPMENT

PREPARED FOR

BROOKFIELD PROPERTIES

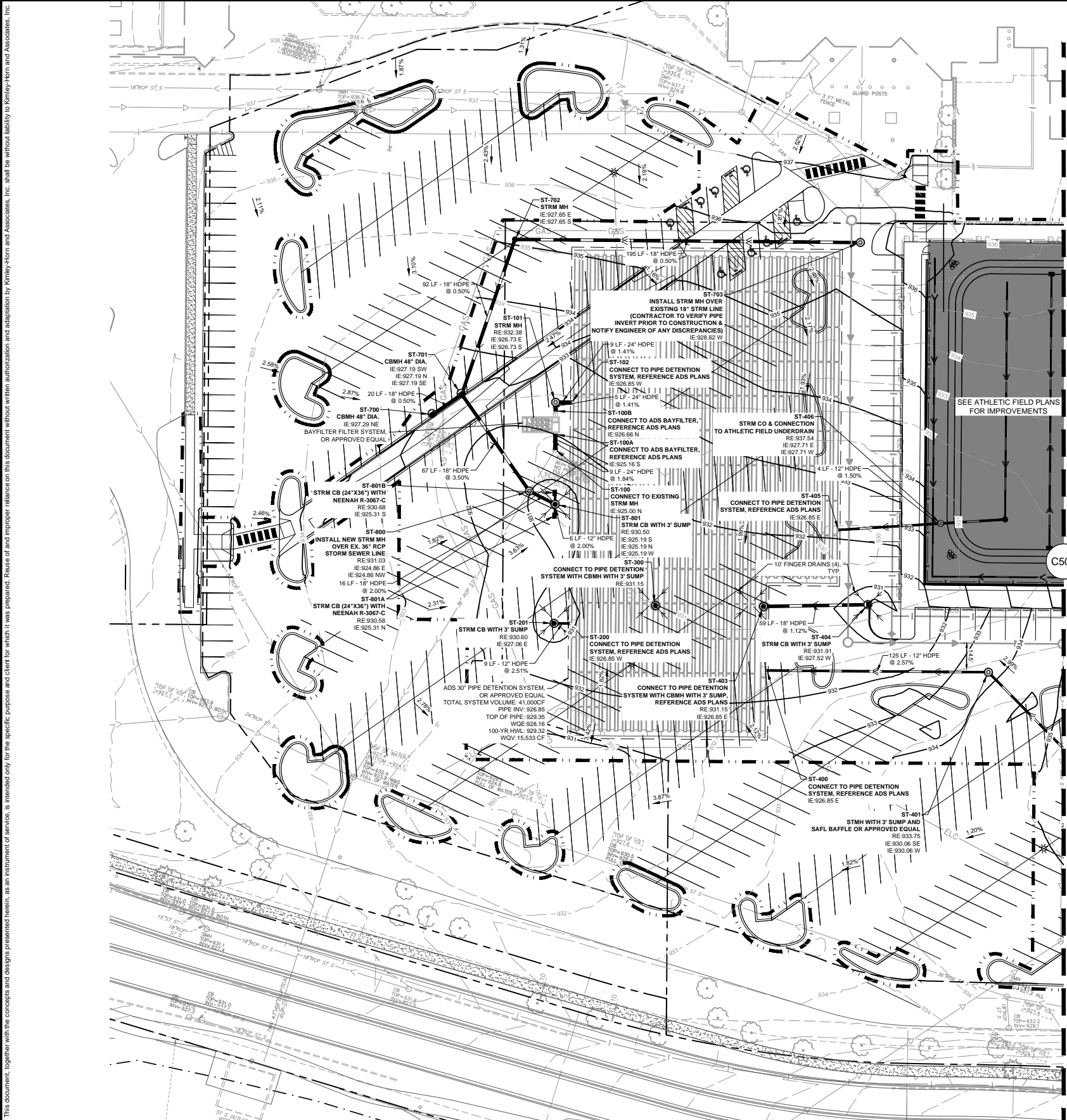
MINNETONKA, MINNESOTA

SHEET NUMBER

C501

RIDGEDALE CENTER | STORM SEWER PLAN

K:\TWC_LDEV\Brookfield Properties\Ridgedale Sears Redevelopment\CAD\PlanSheets\C5-STORM SEWER PLAN.dwg November 10, 2021 - 5:05pm
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LEGEND

	PROPERTY LINE
	PROPOSED STORM MANHOLE (SOLID CASTING)
	PROPOSED STORM MANHOLE (ROUND INLET CASTING)
	PROPOSED STORM MANHOLE/CATCH BASIN (CURB INLET CASTING)
	PROPOSED STORM SEWER CLEANOUT
	PROPOSED FLARED END SECTION
	PROPOSED RIPRAP
	PROPOSED STORM SEWER
	PROPOSED STORM SEWER
	PROPOSED WATERMAIN
	PROPOSED SANITARY SEWER

GRADING PLAN NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF MINNETONKA, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
- CONTRACTOR TO CALL GOPHER STATE CALL ONE @ 1-800-252-1166 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
- STORM SEWER PIPE SHALL BE AS FOLLOWS:
RCP PER ASTM C-76
HDPE: 12" OR GREATER PER ASTM F-2306
PVC SCH. 40 PER ASTM D-3034
STORM SEWER FITTINGS SHALL BE AS FOLLOWS:
RCP PER ASTM C-76, JOINTS PER ASTM C-361, C-990, AND C-443
HDPE PER ASTM 3212
PVC PER ASTM D-3034, JOINTS PER ASTM D-3212
- CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
- SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
- CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
- GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
- ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
- REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING / STRUCTURE NOTATION.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
- INSTALL A MINIMUM OF 4" CLASS 5 AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
- UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE REVEGETATED WITH A MINIMUM OF 4" OF TOPSOIL.
- ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED.
- GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
- MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
- CONTRACTOR TO PROVIDE 3" INSULATION BY 6" WIDE CENTERED ON STORM PIPE IF LESS THAN 4" OF COVER IN PAVEMENT AREAS AND LESS THAN 3" OF COVER IN LANDSCAPE AREAS.
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- ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
- MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
- CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM GUTTER.

REVISION #	DATE	BY
1	11/10/2021	RBW
2	10/22/2021	RBW

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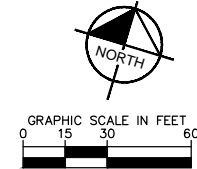
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Alan L. Catchpool
 ALAN L. CATCHPOOL
 U.C. NO. 47869
 DATE: 11/10/2021

STORM SEWER PLAN

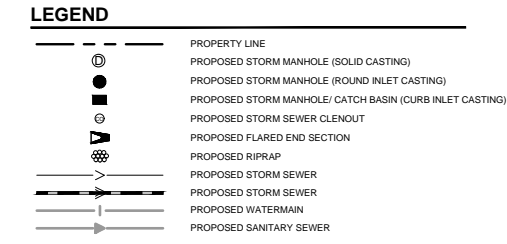
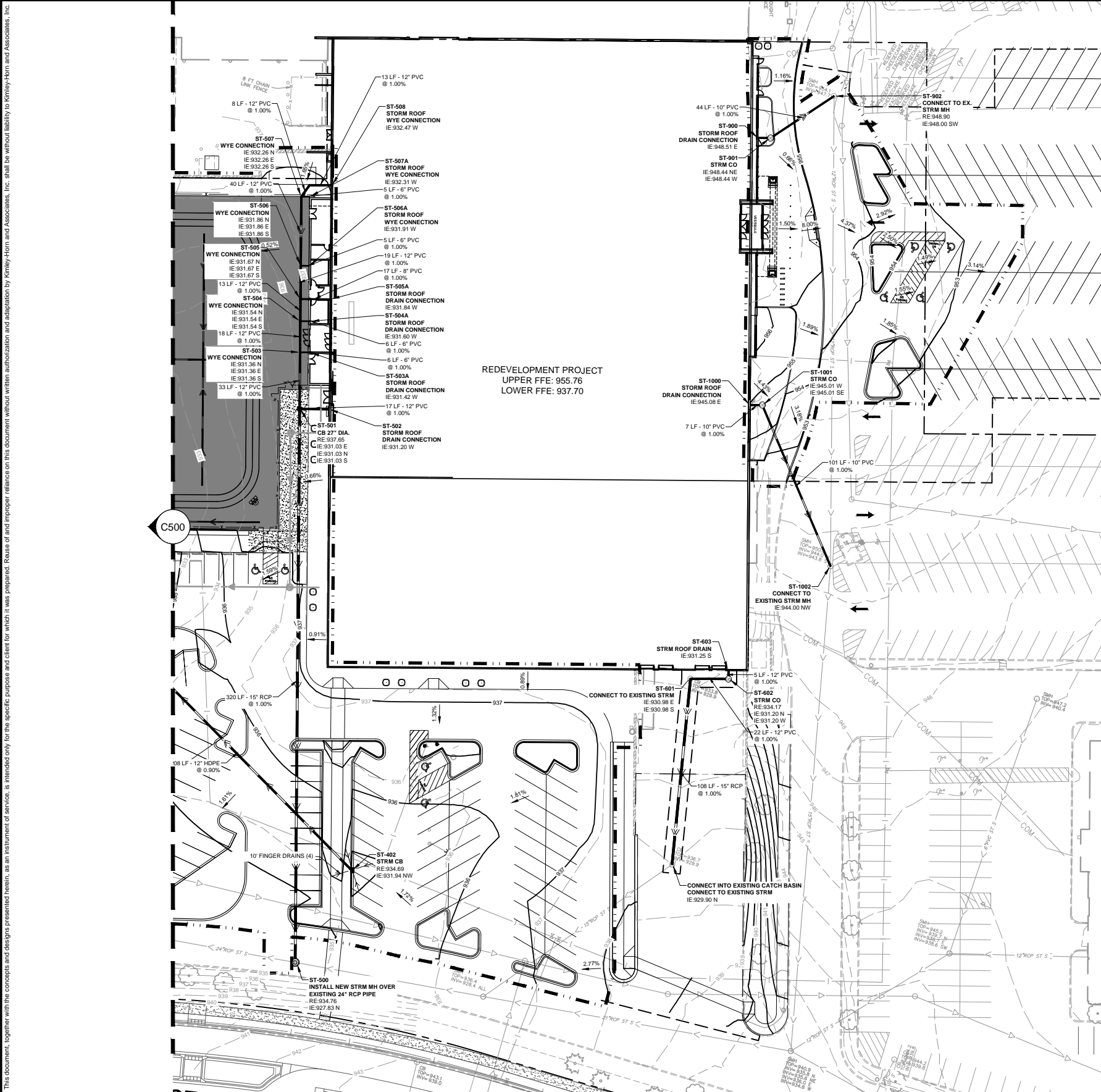
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 PREPARED FOR
BROOKFIELD PROPERTIES MINNESOTA

SHEET NUMBER
C502

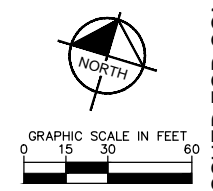


RIDGEDALE CENTER | STORM SEWER PLAN

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	REVISION #2 - CITY COMMENTS 11/10/2021 RBW
	REVISION #1 - CITY COMMENTS 10/25/2021 RBW
	REVISIONS DATE BY

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KHA PROJECT 16015200	DATE 11/10/2021	SCALE AS SHOWN	DESIGNED BY DSS	DRAWN BY DSS	CHECKED BY ALC
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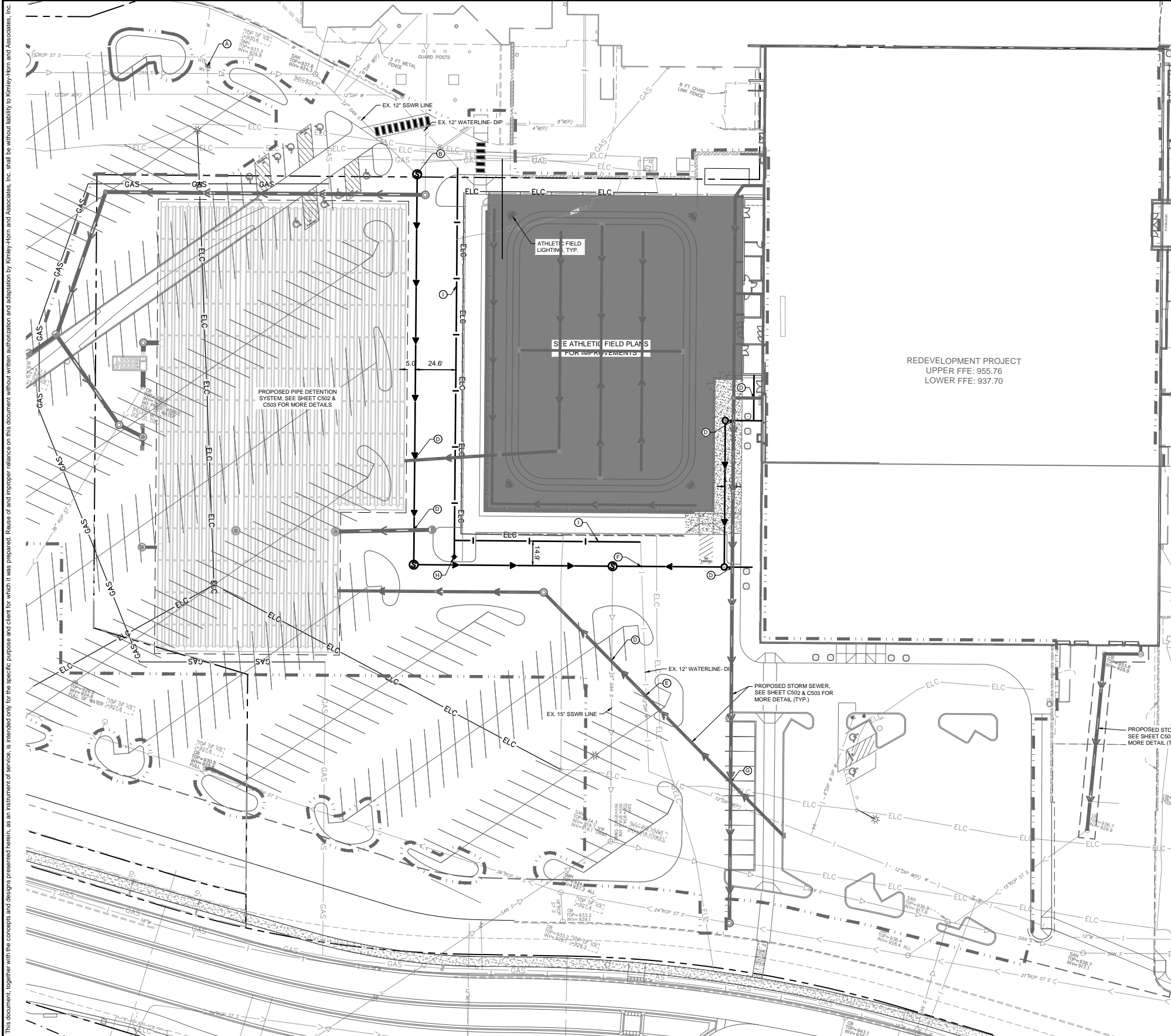
STORM SEWER PLAN

ISSUED FOR CONSTRUCTION
 RIDGEDALE SEARS REDEVELOPMENT
 PREPARED FOR
 BROOKFIELD PROPERTIES
 MINNETONKA, MINNESOTA

SHEET NUMBER
C503

RIDGEDALE CENTER | SITE UTILITY PLAN

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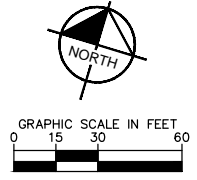


LEGEND	
EXISTING	PROPOSED

- ### UTILITY PLAN NOTES
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
 - SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
8" PVC SDR35 PER ASTM D-3034, FOR PIPES LESS THAN 12' DEEP
8" PVC SDR26 PER ASTM D-3034, FOR PIPES MORE THAN 12' DEEP
6" PVC SCHEDULE 40 PER ASTM D-3034
DUCTILE IRON PIPE PER AWWA C150
 - WATER LINES SHALL BE AS FOLLOWS:
6" AND LARGER, PVC C900 PER ASTM D 2241
CLASS 200 UNDER COUNTY ROADS, OTHERWISE CLASS 150
4" AND LARGER DUCTILE IRON PIPE PER AWWA C150
SMALLER THAN 4" PIPING SHALL BE COPPER TUBE TYPE "K" PER ANSI B16.22 OR PVC, 200 P.S.I., PER ASTM D1784 AND D2241.
 - MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
 - ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL OR COBALT BLUE BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.
 - ALL UTILITIES SHOULD BE KEPT TEN (10) APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE).
 - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 7'-5" COVER ON ALL WATERLINES.
 - IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES, OR ANY OBSTRUCTION (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE SCH. 40 OR C900 WITH MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18" VERTICAL SEPARATION, MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
 - ALL UTILITIES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
 - TOPS OF MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS, IN GREEN AREAS, WITH WATERTIGHT LIDS.
 - ALL CONCRETE FOR ENCASUREMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
 - EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
 - REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
 - CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY OF MINNETONKA AND/OR STATE OF MINNESOTA WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
 - CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
 - CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
 - BACKFLOW DEVICES (DDCV AND PRZ ASSEMBLIES) AND METERS ARE LOCATED IN THE INTERIOR OF THE BUILDING. REF. ARCH / MEP PLANS.
 - ALL ONSITE WATERMANS AND SANITARY SEWERS SHALL BE PRIVATELY OWNED AND MAINTAINED.
 - ALL WATERMAIN STUBOUTS SHALL BE MECHANICALLY RESTRAINED WITH REACTION BLOCKING.

KEYNOTE LEGEND

(A)	SALVAGE & RE-INSTALL FIRE HYDRANT. ADJUST ELEVATION PER PLAN
(B)	ADJUST RIM ELEVATION PER GRADING PLAN
(C)	RELOCATE & RE-INSTALL FIRE HYDRANT. ADJUST ELEVATION PER PLAN
(D)	SANITARY SEWER/STORM SEWER CROSSING, MAINTAIN 18" OF VERTICAL SEPARATION
(E)	STORM SEWER/WATER MAIN CROSSING, MAINTAIN 18" OF VERTICAL SEPARATION
(F)	SANITARY SEWER/WATER MAIN CROSSING, MAINTAIN 18" OF VERTICAL SEPARATION
(G)	STORM SEWER/STORM SEWER CROSSING, MAINTAIN 12" OF VERTICAL SEPARATION
(H)	PROPOSED HYDRANT AND ASSEMBLY
(I)	PROPOSED 12" WATER LINE



ISSUED FOR CONSTRUCTION

RIDGEDALE SEARS REDEVELOPMENT

PREPARED FOR BROOKFIELD PROPERTIES MINNETONKA

KIMLEY-HORN

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PHONE: 651-444-4197
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KHA PROJECT 160152000

DATE 11/10/2021

SCALE AS SHOWN

DESIGNED BY DSJ

DRAWN BY DSJ

CHECKED BY ALC

DATE 11/10/2021

U.C. NO. 47899

REVISION #2 - CITY COMMENTS

REVISION #1 - CITY COMMENTS

DATE

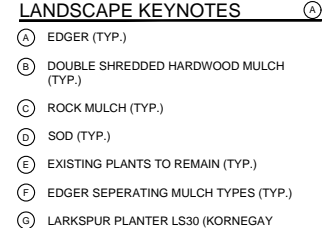
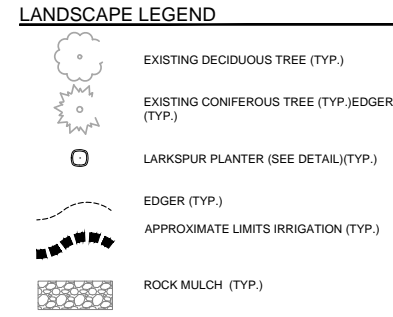
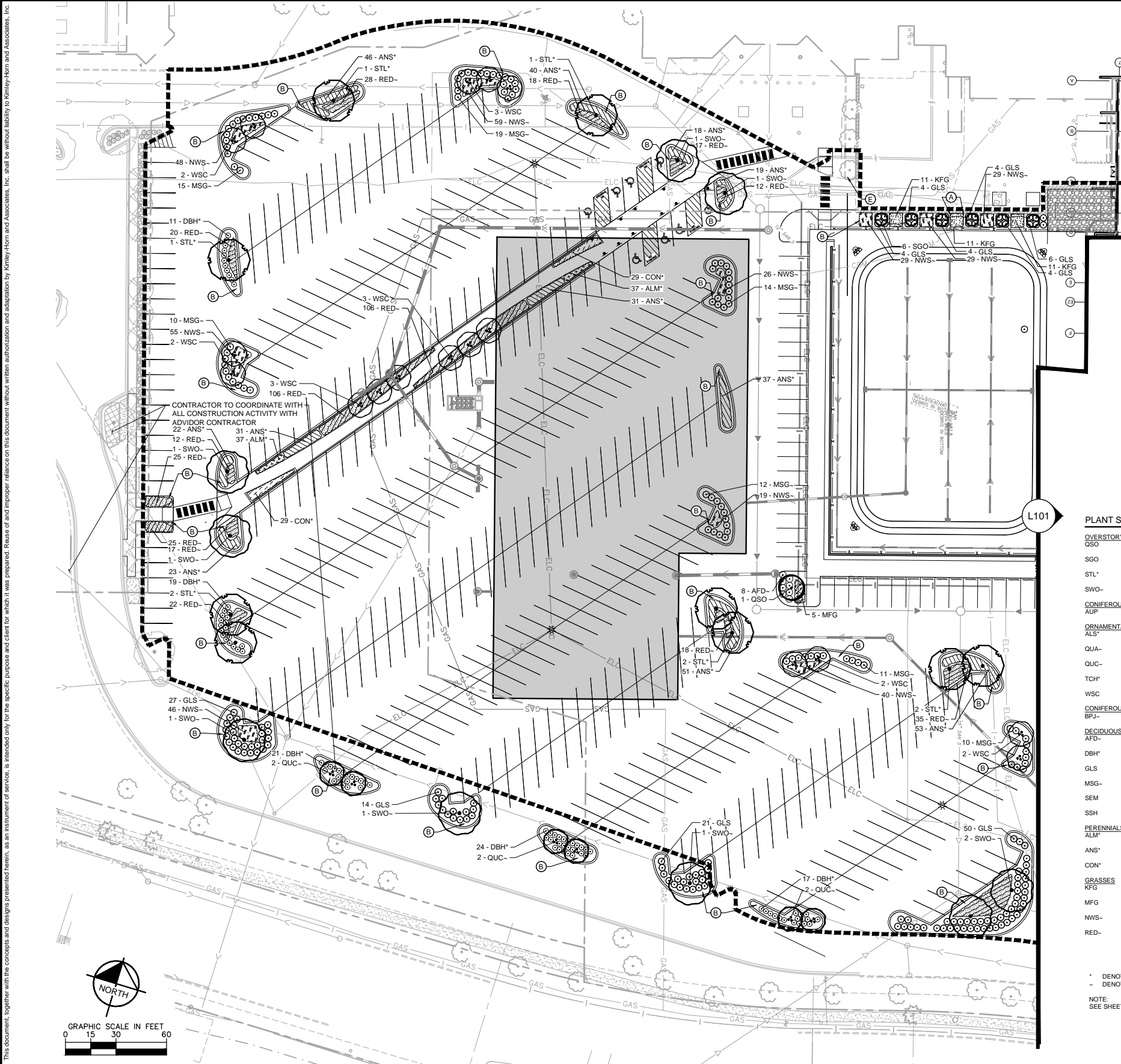
BY

SHEET NUMBER

C600

RIDGEDALE CENTER | LANDSCAPE & TREE PLAN

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PLANT SCHEDULE

OVERSTORY TREES	BOTANICAL NAME	COMMON NAME
QSO	QUERCUS ALBA X QUERCUS ROBUR	CRIMSON SPIRE OAK
SGO	QUERCUS ROBUR X ALBA 'JFS-KW20X' TM	SKINNY GENES OAK
STL'	TILIA AMERICANA 'MCKSENTRY'	SENTRY LINDEN
SWO-	QUERCUS BICOLOR	SWAMP WHITE OAK
CONIFEROUS TREES	BOTANICAL NAME	COMMON NAME
AUP	PINUS NIGRA	AUSTRIAN PINE
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME
ALS'	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLANCE'	AUTUMN BRILLANCE SERVICEBERRY CLUMP
QUA-	POPULUS TREMULOIDES	QUAKING ASPEN
QUC-	POPULUS TREMULOIDES	QUAKING ASPEN CLUMP
TCH'	CRATAEGUS CRUS-GALLI INERMIS TM	THORNLESS COCKSPUR HAWTHORN
WSC	BETULA POPULIFOLIA 'WHITESPIRE'	WHITESPIRE BIRCH CLUMP
CONIFEROUS SHRUBS	BOTANICAL NAME	COMMON NAME
BPJ-	JUNIPERUS HORIZONTALIS 'BLUE PRINCE'	BLUE PRINCE JUNIPER
DECIDUOUS SHRUBS	BOTANICAL NAME	COMMON NAME
AFD-	CORNUS SERICEA 'ARTIC FIRE'	ARTIC FIRE DOGWOOD
DBH'	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE
GLS	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC
MSG-	CORNUS RACEMOSA 'MUSKINGHAM'	MUSKINGHAM GRAY DOGWOOD
SEM	SORBARIA SORBIFOLIA 'SEM'	SEM FALSESPIREA
SSH	HYDRANGEA PANICULATA 'RENSUN' TM	STRAWBERRY SUNDAE HYDRANGEA
PERENNIALS	BOTANICAL NAME	COMMON NAME
ALM'	ALLIUM TANGUTICUM 'SUMMER BEAUTY'	SUMMER BEAUTY ORNAMENTAL ONION
ANS'	AGASTACHE FOENICULUM 'BLUE FORTUNE'	BLUE FORTUNE ANISE HYSSOP
CON'	ECHINACEA X 'TNECHKY'	KISMET YELLOW CONEFLOWER
GRASSES	BOTANICAL NAME	COMMON NAME
KFG	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS
MFG	MISCANTHUS SINENSIS 'PURPURASCENS'	MISCANTHUS FLAME GRASS
NWS-	PANICUM VIRGATUM 'NORTH WIND'	NORTHWIND SWITCH GRASS
RED-	ANDROPOGON GERARDII 'RED OCTOBER'	RED OCTOBER BIG BLUESTEM

* DENOTES PLANTS FROM CITY'S NATIVE CULTIVAR LIST OR MEETS GENERAL INTENT OF LIST
- DENOTES NATIVE PLANT/CULTIVAR OF NATIVE PLANT
NOTE: SEE SHEET ##### FOR LANDSCAPE SCHEDULE.

Kimley-Horn

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LANDSCAPE PLAN

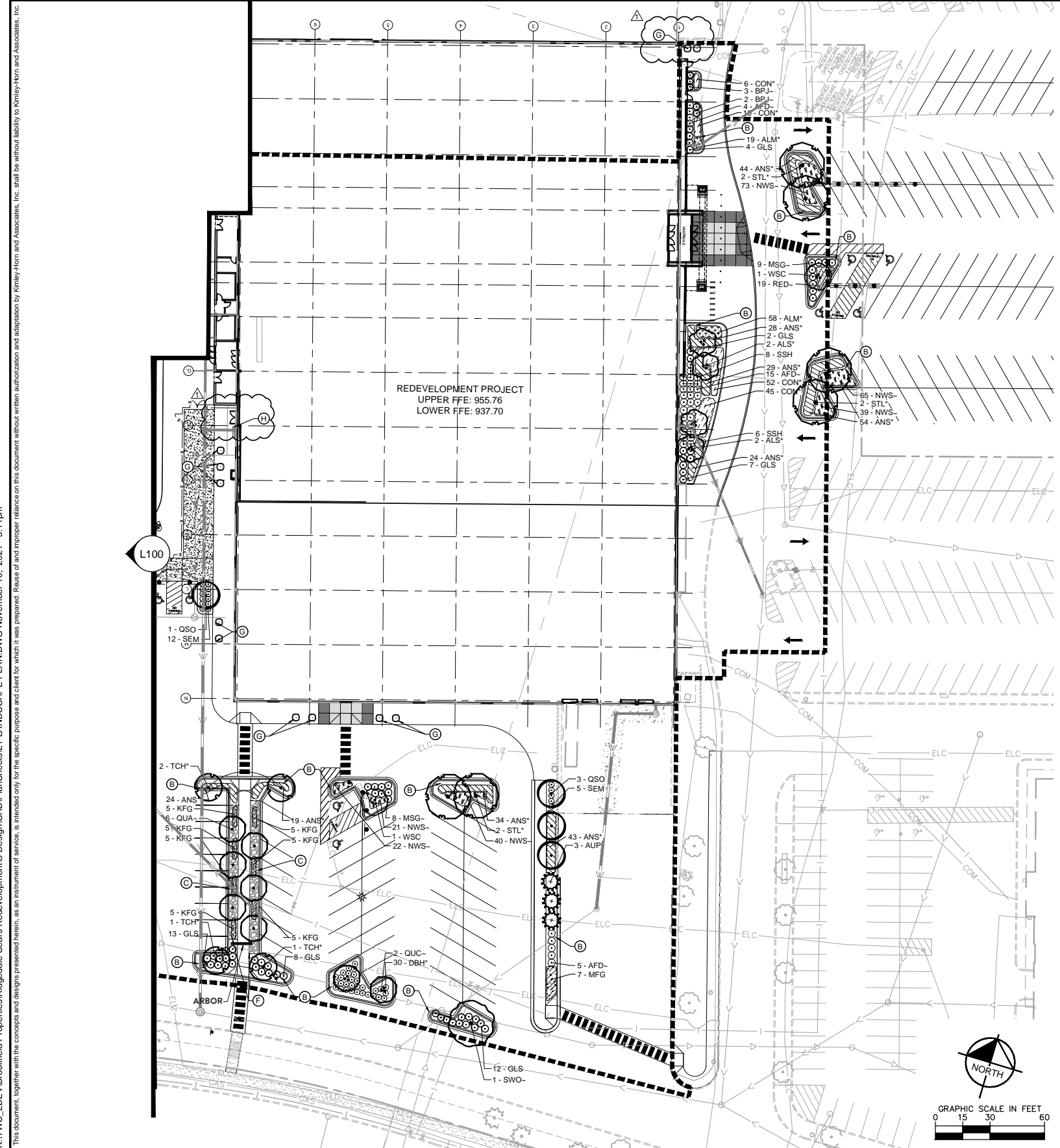
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SHEET NUMBER
L100

RIDGEDALE CENTER | LANDSCAPE & TREE PLAN

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LANDSCAPE LEGEND

- EXISTING DECIDUOUS TREE (TYP.)
- EXISTING CONIFEROUS TREE (TYP.)/EDGER (TYP.)
- LARKSPUR PLANTER (SEE DETAIL)(TYP.)
- EDGER (TYP.)
- APPROXIMATE LIMITS IRRIGATION (TYP.)
- ROCK MULCH (TYP.)

LANDSCAPE KEYNOTES

- (A)** EDGER (TYP.)
- (B)** DOUBLE SHREDDED HARDWOOD MULCH (TYP.)
- (C)** ROCK MULCH (TYP.)
- (D)** SOD (TYP.)
- (E)** EXISTING PLANTS TO REMAIN (TYP.)
- (F)** EDGER SEPERATING MULCH TYPES (TYP.)
- (G)** LARKSPUR PLANTER LS30 (KORNEGAY DESIGN) (SEE DETAIL)(TYP.)
- (H)** ASPECT SERIES PLANTER ASP-60 (KORNEGAY DESIGN) SEE DETAIL

PLANT SCHEDULE

OVERSTORY TREES	BOTANICAL NAME	COMMON NAME
QSO	QUERCUS ALBA X QUERCUS ROBUR	CRIMSON SPIRE OAK
SGO	QUERCUS ROBUR X ALBA 'JFS-KW20X' TM	SKINNY GENES OAK
STL	TILIA AMERICANA 'MCKSENTRY'	SENTRY LINDEN
SWO	QUERCUS BICOLOR	SWAMP WHITE OAK
CONIFEROUS TREES	BOTANICAL NAME	COMMON NAME
AUP	PINUS NIGRA	AUSTRIAN PINE
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME
ALS	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLANCE'	AUTUMN BRILLANCE SERVICEBERRY CLUMP
QUA	POPULUS TREMULOIDES	QUAKING ASPEN
QUC	POPULUS TREMULOIDES	QUAKING ASPEN CLUMP
TCH	CRATAEGUS CRUS-GALLI INERMIS TM	THORNLESS COCKSPUR HAWTHORN
WSC	BETULA POPULIFOLIA 'WHITESPIRE'	WHITESPIRE BIRCH CLUMP
CONIFEROUS SHRUBS	BOTANICAL NAME	COMMON NAME
BPJ	JUNIPERUS HORIZONTALIS 'BLUE PRINCE'	BLUE PRINCE JUNIPER
DECIDUOUS SHRUBS	BOTANICAL NAME	COMMON NAME
AFD	CORNUS SERICEA 'ARTIC FIRE'	ARTIC FIRE DOGWOOD
DBH	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE
GLS	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC
MSG	CORNUS RACEMOSA 'MUSKINGHAM'	MUSKINGHAM GRAY DOGWOOD
SEM	SORBARIA SORBIFOLIA 'SEM'	SEM FALSESPIREA
SSH	HYDRANGEA PANICULATA 'RENSUN' TM	STRAWBERRY SUNDAE HYDRANGEA
PERENNIALS	BOTANICAL NAME	COMMON NAME
ALM	ALLIUM TANGUTICUM 'SUMMER BEAUTY'	SUMMER BEAUTY ORNAMENTAL ONION
ANS	AGASTACHE FOENICULUM 'BLUE FORTUNE'	BLUE FORTUNE ANISE HYSSOP
CON	ECHINACEA X 'TNECHKY'	KISMET YELLOW CONEFLOWER
GRASSES	BOTANICAL NAME	COMMON NAME
KFG	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS
MFG	MISCANTHUS SINENSIS 'PURPURASCENS'	MISCANTHUS FLAME GRASS
NWS	PANICUM VIRGATUM 'NORTH WIND'	NORTHWIND SWITCH GRASS
RED	ANDROPOGON GERARDI 'RED OCTOBER'	RED OCTOBER BIG BLUESTEM

* DENOTES PLANTS FROM CITY'S NATIVE CULTIVAR LIST OR MEETS GENERAL INTENT OF LIST
- DENOTES NATIVE PLANT/ CULTIVAR OF NATIVE PLANT
NOTE: SEE SHEET ##### FOR LANDSCAPE SCHEDULE.

ISSUED FOR CONSTRUCTION

RIDGEDALE SEARS REDEVELOPMENT

PREPARED FOR BROOKFIELD PROPERTIES

MINNETONKA MINNESOTA

Kimley-Horn

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PHONE: 651-444-4197
WWW.KIMLEY-HORN.COM

REVISION #2 - CITY COMMENTS 11/10/2021 RBW

REVISION #1 - CITY COMMENTS 10/25/2021 RBW

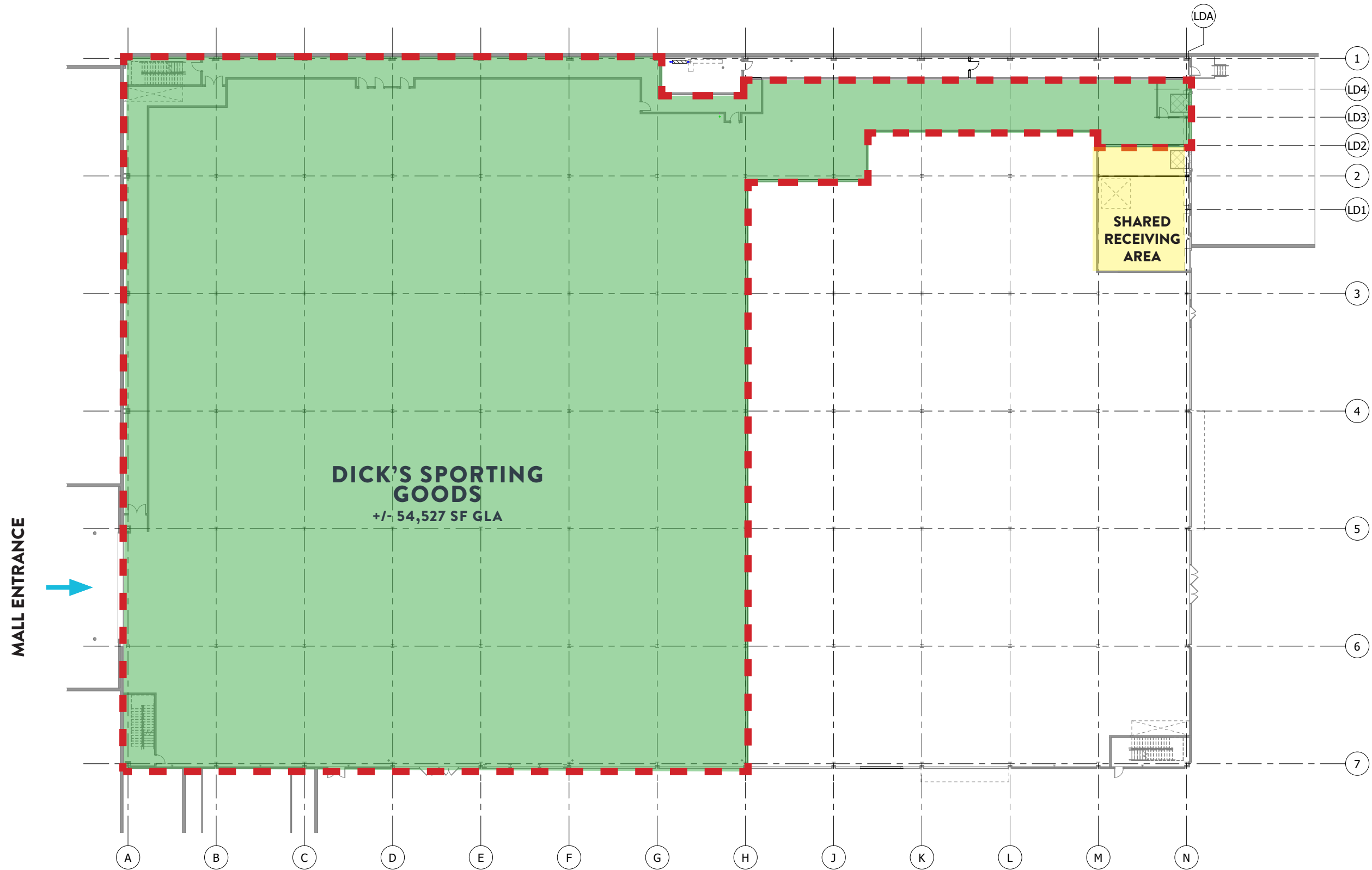
DATE

BY

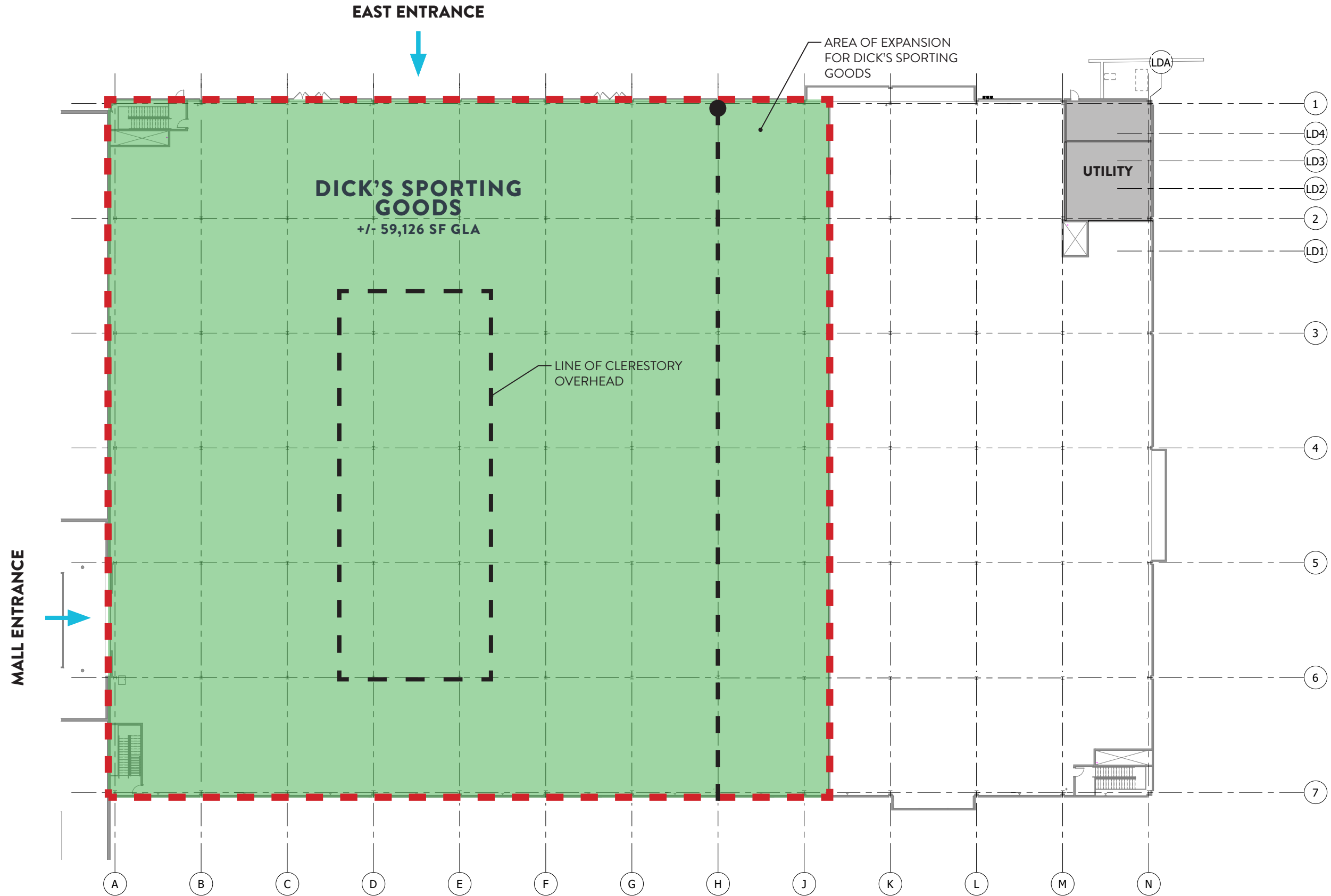
LANDSCAPE PLAN

SHEET NUMBER
L101

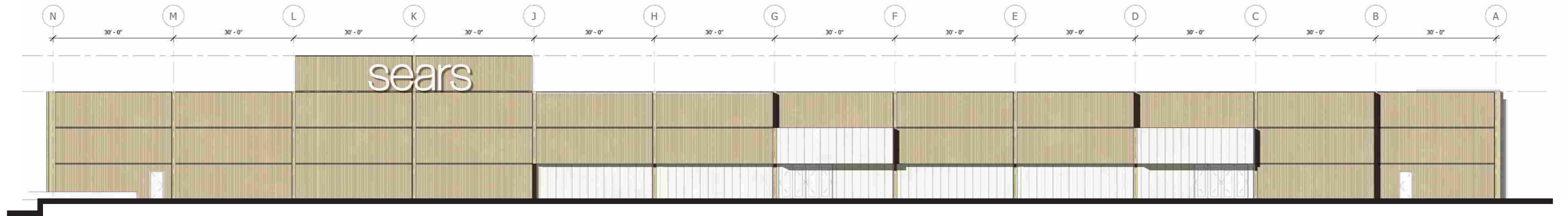
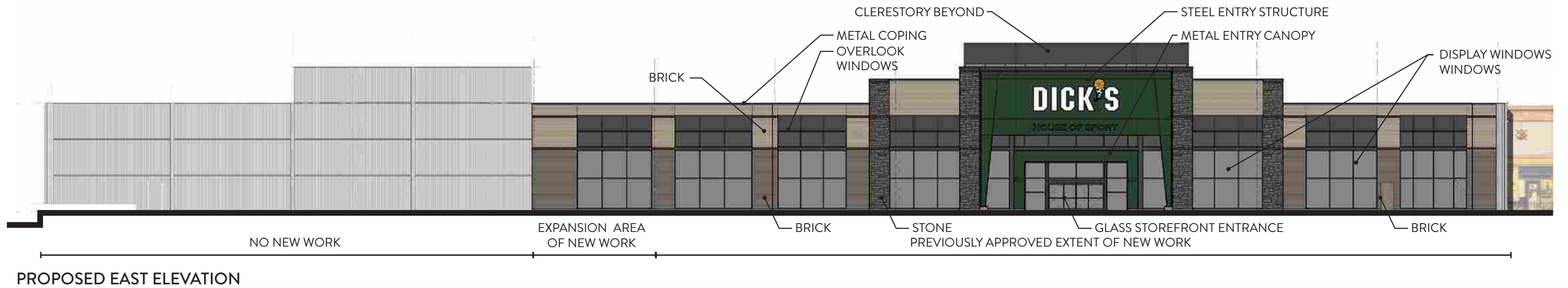
RIDGEDALE CENTER | SEARS ANCHOR - 1ST FLOOR PLAN



RIDGEDALE CENTER | SEARS ANCHOR - 2ND FLOOR PLAN



RIDGEDALE CENTER | EAST ELEVATION



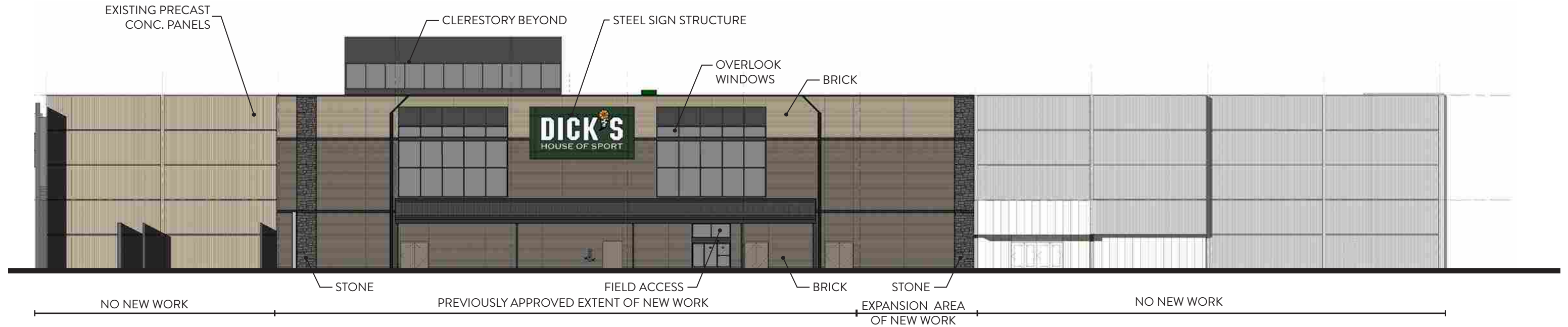
FINISH MATERIAL TAKEOFF

TOTAL ELEVATION AREA = +/- 10,615 SF

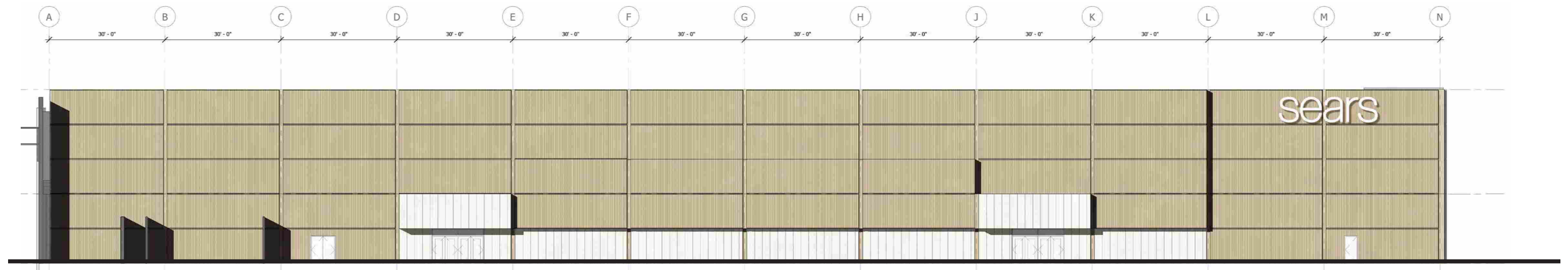
TOTAL RENOVATED AREA = +/- 7,088SF

- BRICK = +/- 1,825 SF (26%)
- STONE = +/- 689 SF (10%)
- STOREFRONT = +/- 3,525 SF (50%)
- METAL = +/- 689 SF (14%)

RIDGEDALE CENTER | WEST ELEVATION



PROPOSED WEST ELEVATION



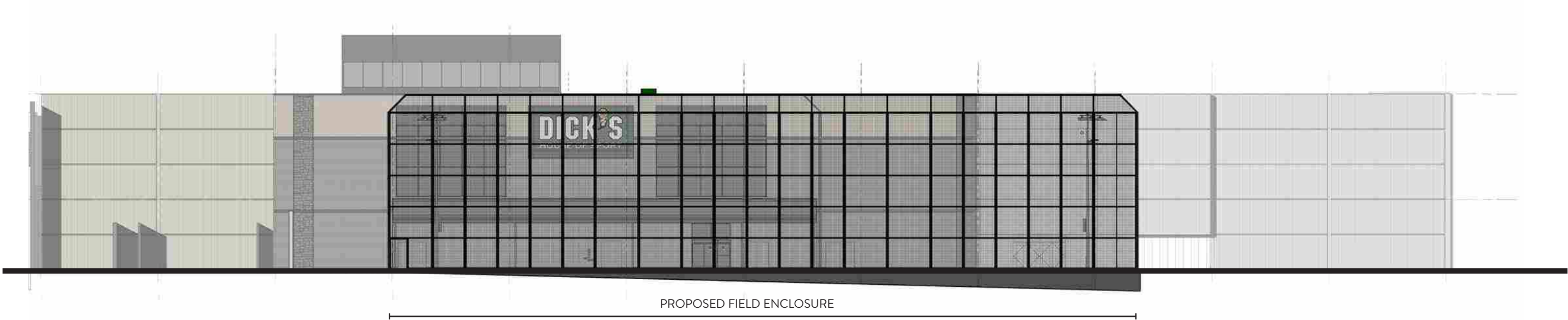
EXISTING WEST ELEVATION

FINISH MATERIAL TAKEOFF

TOTAL ELEVATION AREA = +/- 15,850 SF

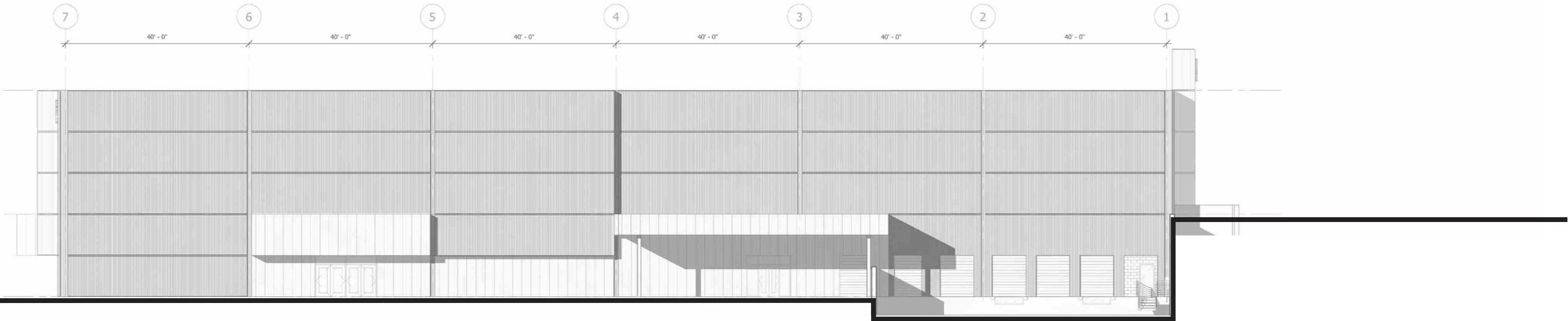
TOTAL RENOVATED AREA = +/- 8,606 SF

- METAL = +/- 168 (2%)
- BRICK = +/- 6,544 SF (76%)
- STONE = +/- 455 SF (5%)
- STOREFRONT = +/- 1,439 SF (17%)



PROPOSED WEST ELEVATION - FIELD

RIDGEDALE CENTER | SOUTH ELEVATION



EXISTING SOUTH ELEVATION - NO NEW WORK, EXISTING TO REMAIN

FINISH MATERIAL TAKEOFF
TOTAL ELEVATION AREA = +/- 10,760 SF

RIDGEDALE CENTER | PERSPECTIVE - EAST ENTRANCE



RIDGEDALE CENTER | PERSPECTIVE - EAST ENTRANCE











East elevation



*SIGNAGE DIMENSIONS ARE NOT SIGNIFICANTLY DIFFERENT FROM THOSE PREVIOUSLY APPROVED (PREVIOUSLY APPROVED WERE 21'-2" WIDE WITH 6'-0" TALL LOGO AND 1'-2" TALL TEXT BELOW)

West Elevation
Sign



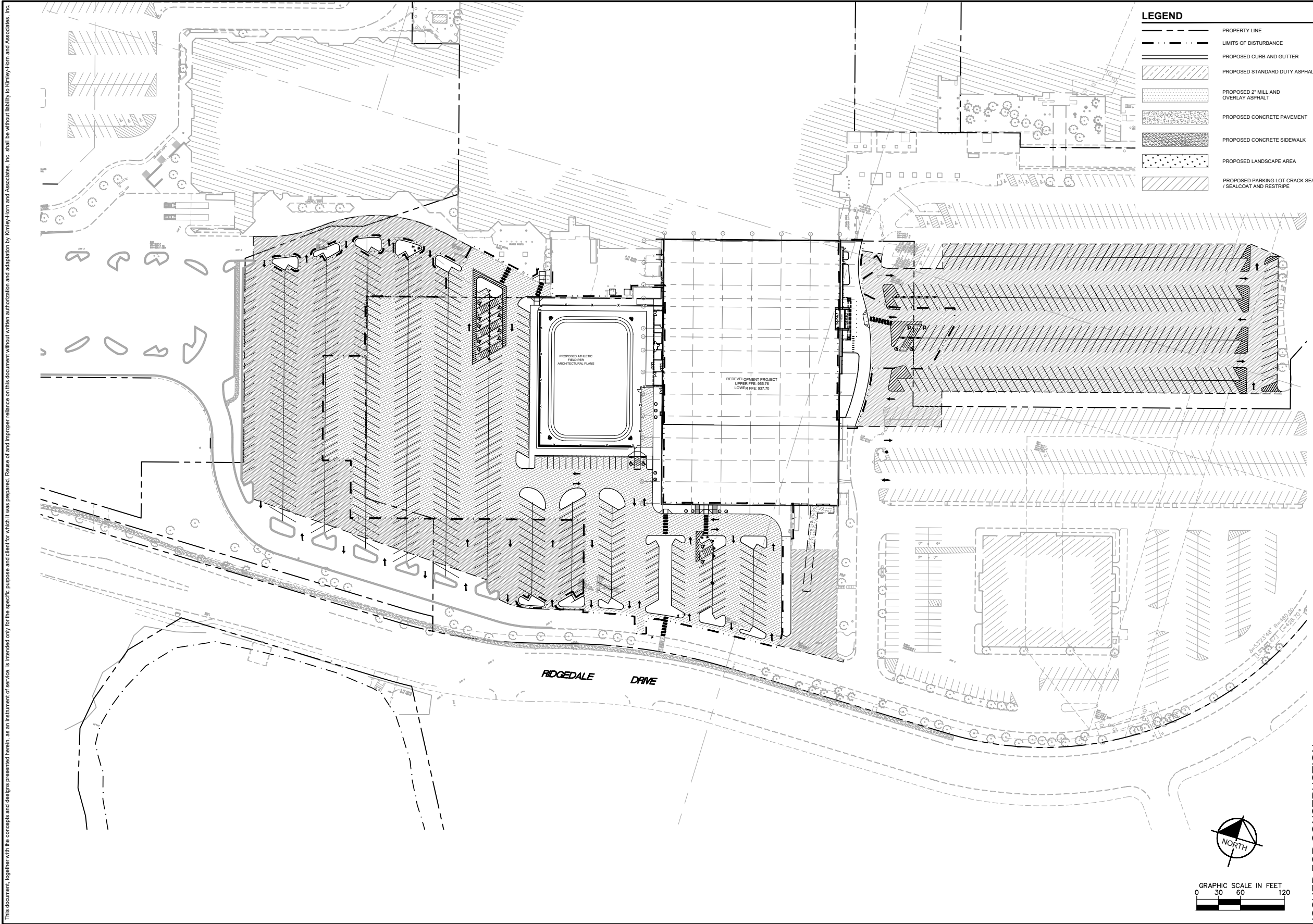
*SIGNAGE DIMENSIONS ARE NOT SIGNIFICANTLY DIFFERENT FROM THOSE PREVIOUSLY APPROVED (PREVIOUSLY APPROVED WERE 21'-2" WIDE WITH 6'-0" TALL LOGO AND 1'-2" TALL TEXT BELOW)

Originally submitted site plan

RIDGEDALE CENTER | SITE PLAN

K:\TWC_LDEV\Brookfield Properties\Ridgedale Sears Redevelopment\3 Design\CAD\PlanSheets\C4-SITE PLAN.dwg September 10, 2021 - 2:02pm

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Release of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND	
	PROPERTY LINE
	LIMITS OF DISTURBANCE
	PROPOSED CURB AND GUTTER
	PROPOSED STANDARD DUTY ASPHALT
	PROPOSED 2" MILL AND OVERLAY ASPHALT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED LANDSCAPE AREA
	PROPOSED PARKING LOT CRACK SEAL / SEALCOAT AND RESTRIPE

NO.	REVISIONS	DATE	BY

Kimley >>> Horn
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 707 EULSTIS STREET, SUITE 100, ST. PAUL, MN 55114
 PHONE: 651-446-4197
 WWW.KIMLEY-HORN.COM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.	
KHA PROJECT 180152000	DATE 09/10/2021
SCALE AS SHOWN	DESIGNED BY DSJ
DRAWN BY DSJ	CHECKED BY ALC
AN L. CATCHPOOL, P.E. M.C. NO. 47869	DATE 09/10/2021

OVERALL SITE PLAN

ISSUED FOR CONSTRUCTION

RIDGEDALE SEARS REDEVELOPMENT
 PREPARED FOR
BROOKFIELD PROPERTIES
 MINNETONKA MINNESOTA

SHEET NUMBER
C400

Ridgedale Mall Sign Plan

EXHIBIT A
RIDGEDALE SIGN PLAN

Exterior signs for Ridgedale Center must meet all of the requirements of the city's sign ordinance, except for the following:

1. The mall is allowed exterior signs according to the following standards:
 - a) The signs must not exceed the following number, height, and size:

	Quantity (max.)	Height (max.)	Copy and graphic area (max.)
pylon sign	1	85 ft.	480 sq. ft.
monument signs	4	8 ft.	40 sq. ft.
directional signs	9	8 ft.	20 sq. ft.
entrance towers	4	N/A	225 sq. ft.

- b) There may be no additional freestanding or pylon signs than identified above. All freestanding signs must include the name of the shopping center only, and must not include individual tenant identification. Directional signs must include only directional messages.
2. Anchor department stores that exceed 100,000 square feet in size are allowed exterior signs according to the following standards:
 - a) Maximum of one wall sign per exterior elevation.
 - b) The total height of the sign must not exceed 8 feet.
 - c) The total length of the sign must not exceed 25% of the lineal footage of the surface to which it is affixed.
3. Restaurants that have frontage on the mall exterior are allowed exterior signs according to the following standards:
 - a) Maximum of one wall sign per exterior elevation.
 - b) The total height of the sign must not exceed 42 inches.
 - c) The sign must be located within the tenant's leased space, unless an alternative location is approved by the planning commission or city council, based on the unique characteristics of the tenant space or building design.

4. Freestanding buildings are allowed exterior signs according to the following standards:
 - a) Maximum of one wall sign per exterior elevation.
 - b) The total height of the sign must not exceed 5 feet.
 - c) The total length of the sign must not exceed 75% of the lineal footage of the surface to which it is affixed.

5. All other tenants are not allowed exterior signs, including temporary business signs.

City Council Ordinance Introduction
Oct. 4, 2021

C. Resolution adopting the 2022 meeting schedule for the Minnetonka City Council

Calvert moved, Kirk seconded a motion to adopt Resolution 2021-111. All voted "yes." Motion carried.

11. Consent Agenda – Items requiring Five Votes:

A. Resolution approving TONKAWOOD FARMS THIRD ADDITION at 15014 Highwood Drive

Schack moved, Calvert seconded a motion to adopt Resolution 2021-112. All voted "yes." Motion carried.

12. Introduction of Ordinances:

A. Items relating to Dick's Sporting Goods at 12437 Wayzata Boulevard

City Planner Loren Gordon gave the staff report.

Calvert stated she found the proposed changes very intriguing. She explained she wanted to learn more about who gets to access the turf field space.

Schack questioned what would happen if the field space was no longer used in the future and stated she too wanted to learn more about how Dick's would be using this field space.

Kirk questioned if there was a way to capture stormwater on the turf field. He indicated he was concerned with the remaining space left in the Sears box.

Schaepfi commented he was generally concerned with how the field will be patrolled and used.

Carter challenged the planning commission to press on potential public/private partnerships for this field space.

Coakley stated she would like to know more about how the field space would be used and how it would be accessed.

Wiersum indicated he was curious about how Dick's would be using the field space as well. He encouraged the planning commission to dig into this further as he wanted to see what can be done to make Ridgedale more vital and distinctive.

Kirk moved, Calvert seconded a motion to introduce the ordinance and refer to the planning commission. All voted "yes." Motion carried.

13. Public Hearings: None

14. Other Business:

A. Resolution providing for the issuance and sale of GO Utility Revenue Bonds, Series 2021A in the proposed aggregate principal amount of \$10,000,000

Finance Director Darin Nelson gave the staff report.

Carter thanked staff for the detailed presentation. She explained she liked the idea of the city having a pricing committee. She questioned if this was a common or emerging practice. Nelson indicated the pricing committee was new to him and stated it made a great deal of sense. Doug Green, Baker Tilly, commented further on the benefits of the pricing committee. He stated there was always a demand for AAA municipal bonds.

Wiersum explained the city does not go into this bond issuance lightly. He noted this funding would be used for infrastructure improvements in the community and requested further comment from staff on this project. Nelson stated utility rates would be impacted in order to assist with funding the city's proposed infrastructure improvements. He described how staff had adjusted utility rates in order to stay ahead of infrastructure improvements.

Schack indicated she supported the proposed bonding. She appreciated how the city stays ahead on its infrastructure improvements and was proud of the fact the city had a AAA bond rating.

Calvert stated she has been contacted by constituents this week that shared consternation with her commitment to modern infrastructure. She reported this bond issuance helps makes the case as to why the city can invest in infrastructure. She indicated clean drinking water should never be taken for granted. She thanked staff for their great work on this bond issuance.

Wiersum discussed how infrastructure improvements are funded by the city through utility bills and bonding. He thanked the public works and finance team for all of their efforts on these types of improvement projects because they make the city better. He commented he was proud of the way the city was taking care of its infrastructure.

Previous meetings: 2020 and 2021
Planning Commission and City Council minutes

Previous Approval Meeting Minutes

- **City Council Introduction:**

Meeting date: [Dec. 21, 2020](#)

Action: Introduced the ordinance and referred it to the planning commission

- **Planning Commission**

Meeting date: [Jan. 7, 2021](#)

Action: Planning commission recommended the city council adopt a resolution denying an amendment to the Ridgedale Center master development plan and building plans; adopt a resolution approving the final site plans; and adopt a resolution denying the sign plan amendment for Dick's Sporting Goods and a future tenant.

- **City Council**

Meeting date: [Jan. 25, 2021](#)

Action: Item tabled to Feb. 8, 2021 city council meeting.

- **City Council**

Meeting date: [Feb. 8, 2021](#)

Action: Adopted an ordinance amending the existing master development plan and building plans.

Ordinance No. 2021-

An ordinance adopting an amendment to the Ridgedale Center master development plan for Dick's House of Sport at 12347 Wayzata Blvd

The City Of Minnetonka Ordains:

Section 1. Background

1.01 The subject property is located at 12437 Wayzata Blvd. The property is legally described as:

Lot 2, Block 1, RIDGEDALE CENTER THIRD ADDITION, and Lot 3, Block 1, RIDGEDALE CENTER TENTH ADDITION according to the recorded plats thereof, Hennepin County, Minnesota.

Torrens Certificate Numbers are 1469396 and 1477447.

1.02 The property was developed in 1974. The mall anchor department store was formerly occupied by Sears.

1.03 The Ridgedale Center Master Development Plan was adopted in 2013. The plan consisted of three phases:

Phase One: The first phase included the construction of an 80,000 square foot addition to Macy's, updating the exterior of Macy's store, as well as parking lot, stormwater, and landscaping improvements for the north side of the site.

Phase Two: The second phase consisted of the demolition of the then existing Macy's Men's and Home store and construction of an addition to the mall and a new 14,000 square foot anchor department store (Nordstrom). Phase Two also included a parking lot, stormwater, and landscaping improvements throughout the site.

Phase Three: The third phase consisted of three new, freestanding restaurants on the northwest side of the mall, as well as the final parking lot and landscaping improvements. Two of the three restaurant pads have been built and are currently occupied by Xfinity, Café Zupas, and iFly. One restaurant pad remains.

The plan did not address site or building improvements on the Sears site, the subject property.

- 1.04 On Feb. 8, 2021, the city council approved an amendment to the existing master development plan to allow façade improvements for Dick's Sporting Goods.
- 1.05 Darion Ziegler, on behalf of NELSON Worldwide, is now proposing additional site and building improvements for Dick's House of Sport (Dick's Sporting Goods). The improvements include: (1) an outdoor athletic field on the west side of the tenant space; (2) stormwater, pedestrian, and parking lot improvements; (3) site landscaping; (4) an extension of the façade improvements to allow Dick's to occupy additional space within the former Sears tenant space; and (5) new exterior signs.
- 1.06 On Nov. 18, 2021, the planning commission held a hearing on the proposed site and building improvements. The applicant was provided the opportunity to present information to the commission. The commission considered all of the comments received and the staff report, which are incorporated by reference into this resolution. The commission recommended the city council approve the proposal.

Section 2. Findings.

- 2.01 This ordinance is based on the following findings:
1. The proposed plan is consistent with the goals and policies of the 2030 Comprehensive Plan as it pertains to the Ridgedale Village Center.
 2. The proposed plans would allow for Dick's House of Sport to occupy additional space within a currently vacant anchor tenant space while still allowing for future tenants.
 3. The proposal would also allow for site and pedestrian improvements within the parking lot, including a connection from the mall to Ridgedale Commons (the new park at Ridgedale).

Section 3. Council Action.

- 3.01 Approval is subject to the following conditions:
1. Subject to staff approval, the site must be developed and maintained in substantial conformance with the following plans:
 - Site, grading, utility, and drainage plans, dated Nov. 10, 2021
 - Landscaping plan, dated Nov. 10, 2021
 - Floor plans, dated Nov. 11, 2021
 - Elevations, dated Nov. 11, 2021

The above plans are hereby adopted as the master development plan for the subject property.

2. The development must further comply with all conditions outlined in City Council Resolution No. 2021-XX, adopted by the Minnetonka City Council on Dec. 6, 2021.

Section 4. This ordinance is effective on the date of its adoption.

Adopted by the city council of the City of Minnetonka, Minnesota, on Dec. 6, 2021.

Brad Wiersum, Mayor

Attest:

Becky Koosman, City Clerk

Action on this Ordinance:

Date of introduction: Oct. 18, 2021

Date of adoption:

Motion for adoption:

Seconded by:

Voted in favor of:

Voted against:

Abstained:

Absent:

Ordinance adopted.

Date of publication:

I hereby certify that the foregoing is a true and correct copy of an ordinance adopted by the City Council of the City of Minnetonka, Minnesota, at a meeting held on Dec. 6, 2021.

Becky Koosman, City Clerk

Resolution No. 2021-

**Resolution approving a final site and building plans and a sign plan amendment for
Dick's House of Sport at 12437 Wayzata Blvd**

Be it resolved by the City Council of the City of Minnetonka, Minnesota, as follows:

Section 1. Background.

1.01 Darion Ziegler, on behalf of NELSON Worldwide, has requested final site and building plan approval and a sign plan amendment for Dick's House of Sport.

1.02 The property is located at 12437 Wayzata Blvd. It is legally described as follows:

Lot 2, Block 1, RIDGEDALE CENTER THIRD ADDITION, and Lot 3, Block 1, RIDGEDALE CENTER TENTH ADDITION according to the recorded plats thereof, Hennepin County, Minnesota.

Torrens Certificate Numbers are 1469396 and 1477447.

1.03 On Nov. 18, 2021, the planning commission held a hearing on the proposal. The applicant was provided the opportunity to present information to the commission. The planning commission considered all of the comments received and the staff report, which are incorporated by reference into this resolution. The commission recommended the city council approve the proposal.

Section 2. General Standards.

2.01 City Code §300.27, Subd. 5, states that in evaluating a site and building plan, the city will consider its compliance with the following:

1. Consistency with the elements and objectives of the city's development guides, including the comprehensive plan and water resources management plan;
2. Consistency with the ordinance;
3. Preservation of the site in its natural state to the extent practicable by minimizing tree and soil removal and designing grade changes to be in keeping with the general appearance of neighboring developed or

developing areas;

4. Creation of a harmonious relationship of buildings and open spaces with natural site features and with existing and future buildings having a visual relationship to the development;
5. Creation of a functional and harmonious design for structures and site features, with special attention to the following:
 - a) an internal sense of order for the buildings and uses on the site and provision of a desirable environment for occupants, visitors, and the general community;
 - b) the amount and location of open space and landscaping;
 - c) materials, textures, colors, and details of construction as an expression of the design concept and the compatibility of the same with the adjacent and neighboring structures and uses; and
 - d) vehicular and pedestrian circulation, including walkways, interior drives, and parking in terms of location and number of access points to the public streets, the width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic, and arrangement and amount of parking.
6. Promotion of energy conservation through design, location, orientation, and elevation of structures, the use and location of glass in structures and the use of landscape materials and site grading; and
7. Protection of adjacent and neighboring properties through reasonable provision for surface water drainage, sound and sight buffers, preservation of views, light, and air, and those aspects of design not adequately covered by other regulations which may have substantial effects on neighboring land uses.

2.02

By City Code §300.30 Subd.9(h), the city may consider and approve sign plans with differing standards for properties located within the PID district. Factors used in determining if an individual sign plan will be considered include the following:

1. The development includes a high rise (greater than a three-story) structure;
2. The development includes multiple structures and/or substantial site areas;
3. The development includes mixed uses;
4. A sign plan is uniquely adapted to address the visibility needs of a development while remaining consistent with the intent of this section to

direct high-quality signage; and

5. The sign plan includes permanent sign covenants, which can be enforced by the city.

Section 3. Findings.

3.01 The proposal would meet site and building plan standards outlined in the City Code §300.27, Subd. 5.

1. The site improvements have been reviewed by the city's planning, building, engineering, natural resources, fire, and public works staff. Staff finds the site improvements to be generally consistent with the city's development guides.
2. The site improvements are generally consistent with the ordinance
3. The proposal is a redevelopment of a developed site. Visually, the site will change but will be a vast improvement over existing conditions and will incorporate features of new developments and investments in the surrounding areas.
4. The proposal would provide vital connections from the mall to public and private investments around the mall.
5. Proposed stormwater facilities, landscaping, and pedestrian connections would result in improved circulation and conditions on the site. Building materials are consistent with the materials approved in Feb. 2021.
6. The proposal would require a building permit and would be required to meet minimum energy standards.
7. The site improvements would result in an improvement over existing conditions and would not negatively impact neighboring land uses.

3.02 The proposed signage would comply with the sign plan standards as outlined in City Code §325.06:

1. The proposed site is not considered a high rise but is governed by the Ridgedale Sign Plan.
2. The proposal is part of the larger Ridgedale Center mall development, which includes multiple structures and a substantial site area.
3. The proposed site is part of the Ridgedale Center mall, which includes a variety of uses and building scales.
4. The Ridgedale Center sign plan was adopted to accommodate the higher visibility needs of the anchor tenants and restaurants with exterior

façades. Staff finds the proposed signs would allow for increased visibility for Dick's as an anchor tenant.

5. If approved, the proposed signage on the plans would establish the placement, size, and scale of the signs for the building.

Section 4. Council Action.

4.01 Approval is subject to the following conditions:

1. Subject to staff approval, the site must be developed and maintained in substantial conformance with the following plans, except as modified by the conditions below:
 - Site, grading, utility, and drainage plans, dated Nov. 10, 2021
 - Landscaping plan, dated Nov. 10, 2021
 - Floor plans, dated Nov. 11, 2021
 - Elevations, dated Nov. 11, 2021
2. Prior to submission of a building permit, a pre-permit submittal meeting with appropriate city staff.
3. A site development permit is required for site work. Unless authorized by appropriate staff, no site work may begin until a complete application has been submitted, reviewed by staff, and approved.
 - a) This resolution must be recorded at Hennepin County.
 - b) Submit or complete items the following associated with site work:
 - 1) Final site, grading, drainage, utility, landscape, and tree mitigation plans, and a stormwater pollution prevention plan (SWPPP) for staff approval.
 - a. The final site and pedestrian amenity plan must:
 - Include ADA-compliant crosswalks, sidewalks, and pedestrian ramps.
 - Include screening of the loading dock and trash facilities.
 - Include a two-lane drive lane along the west and south sides of the proposed athletic field for fire truck access and align with the existing drive lane around the mall.
 - Provide information on the arbor in the southern pedestrian connection.

- Soften the curve of the running track for the athletic field.
 - Realign the pedestrian drive aisle crossings to be perpendicular.
 - Provide a minimum stall width of space on each side of the westernmost trail connection to increase visibility and safety.
 - Include bike racks and seating.
 - Incorporate architectural features inspired from Ridgedale Commons and Ridgedale Drive projects to enhance visibility, safety, and separation between vehicular and pedestrian traffic.
 - Be consistent with the Ridgedale Public Realm Guidelines list.
- b. Landscaping plan must:
- Meet minimum landscaping and mitigation requirements as outlined in the ordinance. However, at the sole discretion of natural resources staff, mitigation may be adjusted based on site conditions.

Note: only small shrubs, perennials, and grasses are allowed within public easements.
 - Include information related to species, sizes, quantities, locations, and values.
 - Include pollinator-friendly species.
- c. Utility and stormwater plan must:
- Comply with the Minnesota Plumbing Code for all utility work within the private property.
 - Demonstrate conformance with the following criteria:

- Rate: limit peak runoff flow rates to that of existing conditions from the 2-, 10-, and 100-year events at all points where stormwater leaves the site.
 - Volume: provide for onsite retention of 1.1 inches of runoff from the entire site's impervious surface. In addition, the BMP must account for the loss of stormwater storage within the parking lot.
 - Quality: provide for runoff to be treated to at least 60-percent total phosphorus annual removal efficiency and 90-percent total suspended solid annual removal efficiency.
 - Prevent backflow from the stormwater pond (south of Ridgedale Drive) into the underground stormwater chamber.
 - Provide evidence that the underground system will be able to support 83,000 pounds and 10,800 per square foot outrigger load.
 - The underground facilities must be inspected by a qualified third party during installation to ensure that the pressure requirements are adequately met.
- 2) A utility exhibit. The exhibit must show only property lines, buildings, sewer, water, stormwater facilities. The exhibit must clearly note which lines are private and which are public.
 - 3) A truck turning exhibit. This exhibit must use the templates for the city's largest fire truck and illustrate that the truck can maneuver throughout the site and the two-lane drive along the building.
 - 4) An illumination plan.
 - 5) A snow removal plan.

- 6) A MDH permit for the proposed water main or documentation that a permit is not required.
 - 7) A MPCA NPDES permit is required.
 - 8) Evidence that an erosion control inspector has been hired to monitor the site through the course of construction. This inspector must provide weekly reports to natural resources staff in a format acceptable to the city. At its sole discretion, the city may accept escrow dollars, in an amount determined by natural resources staff, to contract with an erosion control inspector to monitor the site through construction.
- c) Submit the following items for staff review and approval:
- 1) Individual letters of credit or cash escrow for 125% of a bid cost or 150% of an estimated cost to construct comply with grading permit and landscaping requirements and to restore the site. One itemized letter of credit is permissible if approved by staff. The city will not fully release the letters of credit or cash escrow until: (1) as-built drawings have been submitted; (2) a letter certifying that the underground facility has been completed according to the plans approved by the city has been submitted; (3) vegetated ground cover has been established; and (4) required landscaping or vegetation has survived one full growing season.
 - 2) A construction management plan. The plan must be in a city-approved format and must outline minimum site management practices and penalties for non-compliance.
 - 3) Cash escrow in the amount of \$2,500. This escrow must be accompanied by a document prepared by the city attorney and signed by the builder and property owner. Through this document, the builder and property owner will acknowledge:
 - The property will be brought into compliance within 48 hours of notification of a violation of the construction management plan, other conditions of approval, or city code standards; and
 - If compliance is not achieved, the city will use any or all of the escrow dollars to correct any erosion and/or grading problems.

- 4) A stormwater maintenance agreement in the city-approved format.
 - 5) A private hydrant maintenance agreement in city-approved format.
 - 6) A salt and chloride management plan.
 - 7) A screening plan for the area to the east of the loading dock. If the area is not developed as part of this project, written commitment from the property owner must also be submitted committing to build out of this area with the future tenant improvements. Future refinement of the plan for this area may be considered and approved by city staff. Substantial changes to the plan would require additional review by the planning commission as part of a site plan review.
- d) Install a temporary rock driveway, erosion control, tree and wetland protection fencing, and any other measures identified on the SWPPP for staff inspection. These items must be maintained throughout the course of construction.
 - e) Install heavy-duty fencing, which may include chain-link fencing, at the conservation easement. This fencing must be maintained throughout the course of construction.
4. Prior to the release of the certificate of occupancy, submit an electronic CAD file or certified as-builts for public infrastructure in microstation or DXF and PDF format.
 5. Athletic field fencing requires a building permit.
 6. Permits may be required from other outside agencies including, Hennepin County, the Nine-Mile Creek Watershed District, and the MPCA. It is the applicant's or property owner's responsibility to obtain any necessary permits.
 7. The tenant will be required to install address numbers with the street name on both the east and west-facing portions of their space.
 8. The property owner is responsible for replacing any required landscaping that dies.
 9. This resolution does not set a precedent for future sign plan amendments and does not apply to future tenant signage.
 10. Construction must begin by Dec. 31, 2022, unless the planning commission grants a time extension.

Adopted by the city council of the City of Minnetonka, Minnesota, on Dec. 6, 2021.

Brad Wiersum, Mayor

Attest:

Becky Koosman, City Clerk

Action on this Resolution:

Date of adoption:
Motion for adoption:
Seconded by:
Voted in favor of:
Voted against:
Abstained:
Absent:
Ordinance adopted.

Date of publication:

I hereby certify that the foregoing is a true and correct copy of an ordinance adopted by the City Council of the City of Minnetonka, Minnesota, at a meeting held on Dec. 6, 2021.

Becky Koosman, City Clerk

MINNETONKA PLANNING COMMISSION
Nov. 18, 2021

Brief Description

Items concerning Mister Car Wash at 17600 Hwy 7:

1. Final site and building plans, with a setback variance;
2. Conditional use permit;
3. Expansion permit for the parking lot

Recommendation

Adopt the resolution approving the requests

Trevor Buhl, on behalf of CWP West Corp., is proposing to remove the existing bank building at the corner of County Road 101 and Hwy 7 in order to construct a new car wash building. The proposal requires:

1. Site and building plan review to construct a new building;
2. Variance to reduce the front yard setback from 50 feet to 43 feet;
3. Conditional use permit for a car wash;
4. Expansion permit for the parking lot.

Proposal

The following is intended to summarize the applicant's proposal. Additional information associated with the proposal can be found in the "Supporting Information" section of this report.

- **Existing Conditions:** The site is 0.83 acres in size and is in the northwest corner of the County Road 101 and Hwy 7 intersection. The site is currently improved with a 4,200 square foot bank building originally constructed in 1966 and an associated parking lot. Access is via a shared access agreement off of Seven Hi Lane to the west and from the Walgreens site to the north.
- **Proposed Conditions:** The existing building, parking lot, landscaping, signage, and private utilities would be removed to accommodate the proposal.

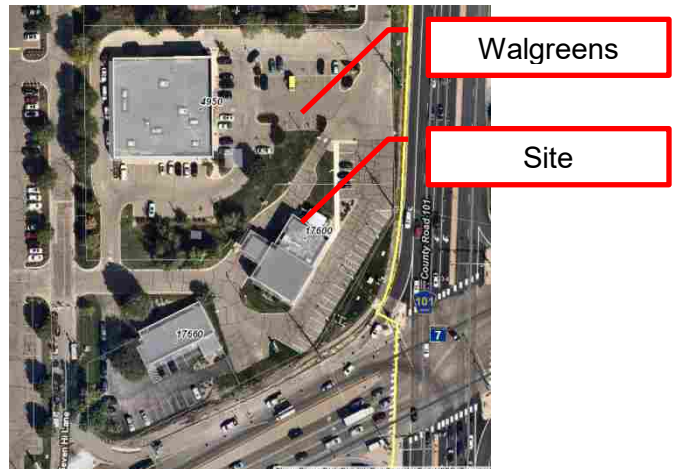


Figure 1: Existing site

Building: A 5,400 square foot car wash would be constructed. The building façade would predominately be stone and wood-grain siding. The remainder of the building would be Exterior Insulation Finishing System (EIFS), metal panels, and glass. Roughly 60 percent of the interior space would be occupied by the car wash. The remainder would be occupied by mechanical equipment and office space.

Site: The following is intended to summarize the site improvements:

- The site would be “cleared” to accommodate the proposal.
- Directional arrows would direct vehicles throughout the site. The 11 parking stalls would accommodate vacuum equipment for car detailing.
- New water and sanitary sewer services are proposed. Stormwater would be collected from the site and directed to an underground stormwater facility, which is proposed north of the building.
- Sidewalks are proposed around the perimeter of the building. MnDOT reviewed the plans and requested pedestrian connections to the adjacent sidewalks within their right-of-way. This has been included as a condition of approval.
- Proposed landscaping includes a mix of trees, shrubs, and perennials.



Figure 2: Building Elevations

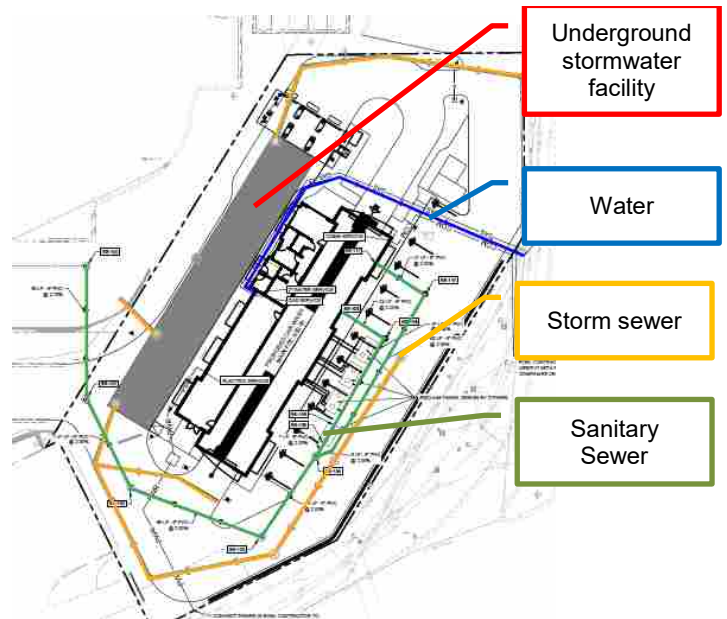


Figure 3: Utility Plan

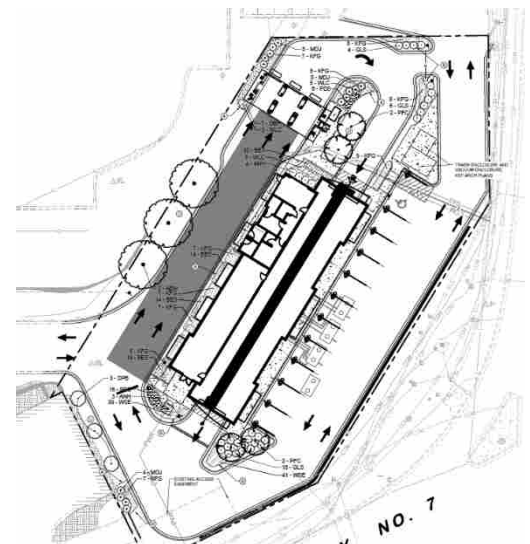


Figure 4: Landscaping Plan

Staff Analysis

A land-use proposal is comprised of many details. These details are reviewed by the members of the city’s economic development, engineering, fire, legal, natural resources, planning, and public work departments and divisions. These details are then aggregated into a few primary questions or issues. The analysis and recommendations outlined in the

following sections of this report are based on the collaborative efforts of this larger staff review team.

- **Is the proposed conditional use permit appropriate?**

Yes. The proposed use would meet the general and specific conditional use permit standards for service stations and other automobile-related uses. The standards and staff's findings can be found in the "Supporting Information" section of the report.

- **Are the proposed site and building plans reasonable?**

Generally, yes. A full list of the requirements and the staff's findings can be found in the "Supporting Information" section of this report. Staff finds that the proposal would generally improve onsite conditions. The following is intended to summarize:

Building: The new building is generally located in the footprint of the existing building. Despite the need for a front yard setback variance, the encroachments would be less than the existing building.

Building materials are generally of high quality. Staff will continue to work with the applicant on the elevations, particularly on the west elevation.

Trash enclosure: By code, the trash enclosure must be located behind the front line of the building. The proposed location is in front of the building. Staff is concerned about the visibility of the structure from the adjacent roadways. As a condition of approval, the applicant must relocate the trash enclosure.

Parking lot: The parking lot is generally located within the footprint of the existing parking lot. The existing parking lot encroaches into the right-of-way of Hwy 7. The remaining setbacks of the existing parking lot range from 0 to 20 feet.

The proposed parking lot is generally located within the footprint of the existing parking lot. Unlike the existing parking lot, the proposed lot would meet the parking lot setbacks from the south and west property lines. The parking lot would be removed from the right-of-way. Two small areas (shown in red in Fig. 5) are located outside of the footprint and require an expansion permit.



Figure 5: Existing and proposed site improvements

Staff Recommendation

Recommend the city council adopt the resolution approving the final site and building plans, with variance and expansion permit, and conditional use permit for Mister Car Wash at 17600 Hwy 7.

Originator: Ashley Cauley, Senior Planner

Through: Loren Gordon, AICP, City Planner

Supporting Information

Surrounding Land Uses

Northerly: Walgreens, zoned B-2, guided for commercial
 Easterly: County Road 101
 Southerly: Hwy 7
 Westerly: Commerical, zoned B-2, guided for commerical

Planning

Guide Plan designation: commercial
 Zoning: B-2

Operations

Based on the proposal:

- Hours of operation: 7:30 a.m. to 6 p.m. Monday – Saturday, and 8 a.m. to 6 p.m. on Sunday.
- Two to three employees would be available onsite.
- Roughly 62 percent of the water is reclaimed using a reverse osmosis system.

Misc. Standards

			Required	Existing	Proposed
Setbacks	Building	North	35 ft.	80 ft.	70 ft.
		East	50 ft.	41 ft.	50 ft. to building 45 ft. ¹ to trellis
		Southeast	50 ft.	48 ft.	43 ft. ¹
		Southwest	35 ft.	67 ft.	56 ft.
		West	35 ft.	38 ft.	44 ft.
	Parking lot and drive aisle	North	10 ft.	0 ft.	0 ft. ¹
		East/ SE	20 ft.	Within ROW	0 ft. ¹
		West/SW	10 ft.	0 ft.	10 ft.
	Trash enclosure		Behind the front building line and parking lot setbacks	Behind front line and 48 ft.	In front of the building line and 26 ft. ¹
	Standards	Building Height		35 ft. or 2 stories, whichever is less	n/a
FAR		0.8	.12	.15	
Impervious surface		85 percent	79 percent	83 percent	
Parking		11 stalls	N/A	11 stalls	
* rounded to the nearest 5 ft. ¹ requires variance					

SBP Standards

The proposal would comply with all site and building standards as outlined in City Code §300.27, Subd. 5:

Standards	Findings
<p>Consistency with the elements and objectives of the city's development guides, including the comprehensive guide plan and water resources management plans;</p>	<p>The proposal has been reviewed by the city's planning, building, engineering, natural resources, fire, and public works staff. Staff finds it to be generally consistent with the city's development guides.</p>
<p>Consistency with this ordinance;</p>	<p>But for the requested variance and expansion permit, the proposal is generally consistent with the ordinance. As a condition of approval, the trash enclosure must be relocated.</p>
<p>Preservation of the site in its natural state to the extent practicable by minimizing tree and soil removal and designing grade changes to be in keeping with the general appearance of neighboring developed or developing areas;</p>	<p>The subject property is a developed site. As such, the proposal would not impact natural topography or native vegetation.</p>
<p>Creation of harmonious relationship of buildings and open spaces with natural site features and with existing and future buildings and having a visual relationship to the development;</p>	<p>The site has been developed and is no longer considered a "natural site" surrounded by development.</p>
<p>Creation of a functional and harmonious design for structures and site features, with special attention to the following: a) An internal sense of order for the buildings and uses on the site and provisions of a</p>	<p>The proposal would result in an intuitive redevelopment of an existing commercial site.</p>

<p>desirable environment for occupants, visitors, and the general community;</p> <p>b) The amount of location of open space and landscaping;</p> <p>c) Materials, textures, colors, and details of construction as an expression of the design concept and the compatibility of the same with adjacent and neighboring structures and uses; and</p> <p>d) vehicular and pedestrian circulation, including walkways, interior drives, and parking in terms of location and number of access points to the public streets, the width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic and arrangement, and amount of parking.</p>	
<p>Promotion of energy conservation through design, location, orientation and elevation of structures, the use and location of the glass in structures and the use of landscape materials and site grading; and</p>	<p>As new construction, the proposed building would meet minimum energy standards.</p>
<p>Protection of adjacent and neighboring properties through reasonable provision for surface water drainage, sound, and light buffers, preservation of views, light and air, and those aspects of design not adequately covered by other regulations which may have substantial effects on neighboring land uses.</p>	<p>The proposal would not negatively impact neighboring land use, which is an existing retail area.</p>

Conditional Use

The proposal would meet the conditional use permit standards as outlined in City Code §300.21, Subd. 2:

Standard	Finding
The use is consistent with the intent of this ordinance;	The use is consistent with the intent of the ordinance.
The use is consistent with the goals, policies, and objectives of the comprehensive plan;	The comprehensive guide plan calls for future redevelopment of the Hwy 7 and County Road 101 community village center. This proposal allows for permanent investment into an existing property within the village center.
The use does not have an undue adverse impact on governmental facilities, utilities, services, or existing or proposed improvements; and	The proposed car wash has been reviewed by city departments and has not been found to have an undue adverse impact on governmental facilities, utilities, services or improvements.
The use does not have an undue adverse impact on public health, safety, or welfare.	The proposed use would not have an undue adverse impact on public health, safety, or welfare.
<i>The proposal would meet the specific conditional use permit standards outlined in City Code Sec. 300.21, Subd. 4 for service stations and automobile-related uses.</i>	
No vehicles which are unlicensed and inoperable shall be stored on premises except in appropriately designed and screened storage areas;	No vehicles will be stored on the property.
All repair, assembly, disassembly, and maintenance of vehicles shall occur within closed buildings except minor maintenance, including tire inflation, adding oil and wiper replacement;	No repair of vehicles would occur on the property.
No public address system shall be audible from any residential parcel;	The nearest residential property is 1,000 feet away. Nonetheless, this has been included as a condition of approval.
Stacking for gas pumps shall be provided for at least one car	No gas pumps are proposed.

<p>beyond the pump island in each direction in which access can be gained to the pump. The required stacking shall not interfere with internal circulation patterns or with designated parking areas and shall not be permitted in any public right-of-way, private access easement, or within the required parking setback;</p>	
<p>No sales, storage, or display of used automobiles, except when a conditional use permit is approved allowing automobile, truck, trailer, or boat sales or rentals;</p>	<p>No sales would occur on the property.</p>
<p>Shall not be located within 100 feet of any low-density residential parcel or adjacent to medium or high-density residential parcels, as designated in the city's land-use plan. The city may reduce separation requirements if the following are provided:</p> <ul style="list-style-type: none"> a. landscaping and berming to shield the auto service use; b. parking lots are not located in proximity to residential uses; and c. lighting plans which are unobtrusive to surrounding residential uses; 	<p>The nearest residential property is more than 1,000 feet away.</p>
<p>Canopies shall be set back at least 20 feet from all property lines, but in no case shall the setbacks be less than 30 feet from land that the city's land-use plan designates for residential use.</p>	<p>Building overhangs would have a setback of more than 20 feet.</p>

Variance and Expansion Permit Standards

An expansion permit is required for an expansion permit of a non-conforming structure when that expansion maintains the same setbacks as the existing non-conformity. By definition, a non-conforming structure is one that is not in full compliance with the regulations of the ordinance and either: (1) was legally established before the effective date of the ordinance provision with which it does

not comply; or (2) became non-conforming because of other governmental action, such as a court order or a taking by a governmental body under eminent domain or negotiated sale.

By City Code §300.07, Subd. 1, a variance may be granted from the requirements of this ordinance including those placed on nonconformities. A variance is only permitted when it is in harmony with the general purposes and intent of this ordinance and when the variance is consistent with the comprehensive plan. A variance may be granted when the applicant establishes that there are practical difficulties in complying with this ordinance. Practical difficulties means that the property owner proposes to use the property in a reasonable manner not permitted by this ordinance, the plight of the landowner is due to circumstances unique to the property not created by the landowner, and the variance, if granted, would not alter the essential character of the locality. Economic considerations alone do not constitute practical difficulties.

By city code, an expansion permit for a non-conforming use may be granted but is not mandated, when an applicant meets the burden of proving that:

1. The proposed expansion is reasonable use of the property, considering such things as:
 - Functional and aesthetic justifications for the expansions;
 - Adequacy of off-street parking for the expansion;
 - Absence of adverse off-site impacts from such things as traffic, noise, dust odors, and parking;
 - Improvement to the appearance and stability of the property and neighborhood.
2. The circumstances justifying the expansion are unique to the property, are not caused by the landowner, are not solely for the landowner's convenience, and are not solely because of economic considerations; and
3. The expansion would not adversely affect or alter the essential character of the neighborhood.

The proposal requires a front yard setback and an expansion permit for the parking lot:

Front yard setback variance from 50 ft. to 43 ft.	
Standard	Finding
Comprehensive plan:	One of the recognized policies of the comprehensive plan is to "support existing commercial areas and encourage new

	development techniques that contribute to the vitality and diversity of an area.” The requested variance would allow for permanent improvement into an existing retail area.
Intent of the ordinance:	The intent of the ordinance as it relates to front yard setback requirements is to ensure adequate separation from structures to adjacent roadways. The proposed building is generally located within the footprint of the existing building footprint but would actually reduce the encroachment into the front yard setback.
Reasonableness and character of the locality:	The proposal is the redevelopment of a developed site and would result in a reasonable development. The building would generally be located within the footprint of the existing building and would actually reduce the encroachment into the existing setback.
Unique circumstance:	The existing building does not meet the required setback. While a variance is still required, the proposed building would be set back further than the existing building.
Expansion permit for parking lot	
<p>The proposed expansion is reasonable use of the property, considering such things as:</p> <ul style="list-style-type: none"> • Functional and aesthetic justifications for the expansions; 	While the parking lot requires an expansion permit, it reduces the intensity and encroachment into the right-of-way.

<ul style="list-style-type: none"> • Adequacy of off-street parking for the expansion; • Absence of adverse off-site impacts from such things as traffic, noise, dust odors, and parking; • Improvement to the appearance and stability of the property and neighborhood. 	
<p>The circumstances justifying the expansion are unique to the property, are not caused by the landowner, are not solely for the landowner's convenience, and are not solely because of economic considerations; and</p>	<p>The proposed parking lot is generally located within the footprint of the existing parking lot. Overall, the proposed parking lot is an improvement over existing conditions.</p>
<p>The expansion would not adversely affect or alter the essential character of the neighborhood.</p>	<p>The proposal would reduce encroachment into the right-of-way and would maintain a similar setback to the existing parking lot.</p>

Noise

City staff has occasionally received noise complaints from residential property owners adjacent to car wash facilities. The facility is located within a commercial area with existing automotive service uses and is at the intersection of two arterial roadways.

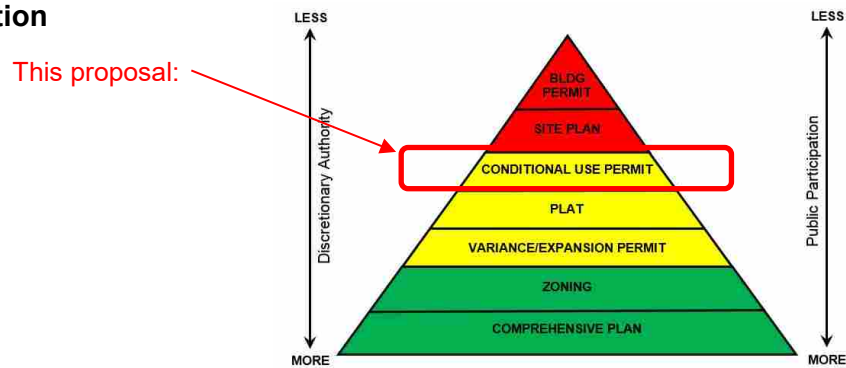
Additionally, the nearest residential property is located more than 1,000 feet away.

Nonetheless, the property would be regulated by the city's noise ordinance and would be required to meet the performance standards regulating noise and be in compliance with Minnesota Pollution Control Agency standards.

Natural Resources

Best management practices must be followed during the course of site preparation and construction activities. This would include installation and maintenance of a temporary rock driveway, erosion control, and tree protection fencing. As a condition of approval, the applicant must submit a construction management plan detailing these management practices.

Pyramid of Discretion



Voting Requirement

The planning commission will make a recommendation to the city council. A recommendation for approval requires an affirmative vote of a simple majority.

Motion Options

The planning commission has three options:

- 1) Concur with the staff recommendation. In this case a motion should be made recommending the city council approve the proposal.
- 2) Disagree with the staff's recommendation. In this case, a motion should recommending the council deny the request. This motion should include findings for denial.
- 3) Table the proposal. In this case, a motion should be made to table the item. The motion should include a statement as to why the proposal is being tabled with direction to the staff, the applicant, or both.

Neighborhood Comments

The city sent notices to 41 area property owners and received no comments.

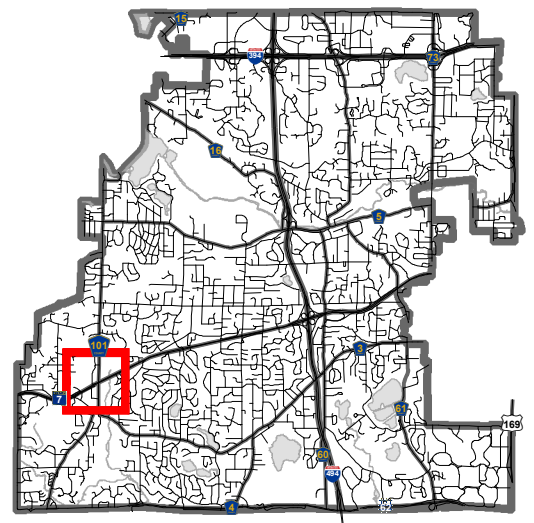
Deadline for Decision

Jan. 28, 2021



Location Map

Project: Mister Car Wash
Address: 17600 Hwy 7



To: City of Minnetonka Planning Department ATTN: Loren Gordon

From: Arik Lokensgard, Kimley-Horn
William D. Matzek, P.E., Kimley-Horn
Trevor Buhl, CWP West Corp.

Date: September 28, 2021

Subj: Mister Car Wash – Minnetonka, MN
Written Statement
17600 MN-7 Minnetonka, MN

CWP West Corp. is excited to present the enclosed Conditional Use Permit, Site Plan Review, and Variance applications to the City of Minnetonka for review and approval. The development team has been in contact with City Staff to ensure that the proposed project will be redeveloped in accordance with the Comprehensive Plan and the City Zoning Ordinances.

CWP West Corp. is proposing a redevelopment of the existing, Bremer Bank located at the northwest corner of County Road 101 and State Highway 7 in Minnetonka, MN. The proposed redevelopment site is approximately 0.83 acres and will remain under the current Limited Business District (B-2) zoning. After a preliminary review with City Staff, the development team understood that a Conditional Use Permit as well as a Variance would be needed to allow for a Car Wash development on the site.

The proposed redevelopment will construct a 5,300± square foot conveyor-type stand-alone express car wash building. Along with the building, the site redevelopment is proposed to include construction of new on-site sidewalks, parking, landscaping, utilities, stormwater management, vacuum equipment, signage, and lighting to support the proposed development. The site is accessible from the existing private drive (with a shared access easement agreement) off Seven Hi Lane or the existing access from the northern Walgreens parking lot. Both existing accesses are proposed to lead to a drive lane within along-side the eastern property line, allowing vehicular traffic to pass-through the site.

With regards to the operations of the Car Wash, it is anticipated that vehicles will enter the drive lane near the western portion of the site, and continue north towards the point of sale canopy where customers will pay for the car wash. Once past the order point, vehicles travel around the loop into the car wash tunnel that will generally operate between 7:30AM – 6PM Mon-Sat and 8AM – 6PM on Sunday. Once through the car wash, vehicles have the choice of continuing to the interior self-vacuums stalls or exiting the site to the shared private drive. In general, this is a quick-serve express car wash, and there are typically two or three employees on-site at any given time.

The proposed building materials will generally consist of CMU, EIFS, Stone Veneer, and Metal Panels. The materials and colors of the proposed building meet City Ordinances and provide a visually appealing and functional appearance for those passing by. In addition, two taller roof elements are proposed on either side of the car wash, providing visual cues for customers regarding the exit/entrance of the car wash tunnel.

The proposed grading, stormwater, and underground utilities conform to the requirements set

forth by the City of Minnetonka, Riley Purgatory Bluff Creek Watershed District, and the State of Minnesota. The Civil Engineering and Landscape Architecture drawings have been included as part of this application.

As part of this application, a statement explaining how the proposed request meets the conditional use permit standards as outlined in the City Code is required. The applicable standards and how this development achieves them are summarized below:

CUP Standard: Screening shall be provided from residential and office business property.

Development Response: The closest residentially zoned property is roughly 750 feet to the southwest (along Lynwood Terrace). There is ample screening with landscaping and Keether Lake to allow for very little to no light, noise, etc. to reach the properties along Lynwood Terrace.

CUP Standard: No public address system shall be audible from any residential property.

Development Response: The closest residentially zoned property is roughly 750 feet to the southwest (along Lynwood Terrace). There is a significant amount of trees around Keether Lake to allow for very little to no light, noise, etc. to reach the properties along Lynwood Terrace. There is no proposed public address system as part of the project, and there are additional signs throughout the development asking patrons to refrain from playing loud music while on the premises.

CUP Standard: Site shall be kept in a neat and orderly fashion.

Development Response: The site will be kept in a neat and orderly fashion. Per the site plan, there is enough room for maintenance and/or trash hauling vehicles to maneuver the site as necessary.

CUP Standard: Shall not be permitted within 100 feet of any residential parcel.

Development Response: The closest residentially zoned property is roughly 750 feet to the southwest (along Lynwood Terrace).

CUP Standard: Stacking areas shall provide for a minimum of six cars per aisle.

Development Response: Stacking areas are provided along the western portion of the site. It is anticipated that a total of 18 vehicles will be able to stack before the point of sale order canopy, and another 5 vehicles will be able to stack between the point of sale order canopy and the car wash entrance – allowing for a total of 23 stacking spaces for the single aisle.

Also, as part of this application, a statement explaining how the proposed request will meet the variance standards as outlined in the City Code is required. CWP West Corp. is requesting a variance for the parking setbacks along the eastern property line, northern property line, and

western property line. CWP West Corp. is also requesting a variance for the building setback along the western property line and southern property line to allow for the accessory structure (point of sale canopy) to be within the setback and the southernmost corner of the building to be within the setback. The applicable standards and how this development achieves them are summarized below:

Variance Standard: Variance must be consistent with the comprehensive plan.

Development Response: Per the 2040 Comprehensive Guide Plan draft chapters located on the City of Minnetonka's website, the site is guided for commercial development. The proposed use of a car wash is consistent with the 2040 comprehensive guide.

Variance Standard: The plight of the landowner is due to circumstances unique to the property not created by the landowner.

Development Response: The need for a variance is not caused by the landowner due mainly to the geometry of the Site. To adhere to the City's and Watershed's stormwater requirements, an underground stormwater system is required to treat and mitigate on-site stormwater. The outlet available to the system is along the northwestern portion of the site, setting the location for the underground system. This then sets the building in location shown on the site plan – as far away from the eastern property line as feasible. In general accordance with the existing vehicular movements, a variance is requested to allow for a row of parking and drive lane for traffic to safely navigate the site and pass through to Walgreen's parking lot. The site is in general non-conformance with parking and building setbacks in the existing (bank) condition. This is likely due to the development of the site prior to the updated City Zoning Ordinances. Without a variance, these current zoning ordinances would make redevelopment for this site extremely difficult.

Variance Standard: Variance will not alter essential character of locality.

Development Response: It is anticipated that the request for the variance will not alter the essential character of the neighborhood. There is a significant number of properties around the site in question that are designated as commercial zoning and guided for commercial development within the 2040 Comprehensive Guide Plan draft.

Variance Standard: Economic considerations alone do not constitute the need for a variance.

Development Response: Similar to the response above, the site was generally laid out in order to achieve the required stormwater treatment and mitigation necessary and to allow for safe vehicular movement throughout this portion of the overall regional shopping center area. It should be noted that the vacuum stalls that are to be provided are complimentary and are free to customers.

After reviewing the City's Strategic Profile document, CWP West Corp. and Kimley-Horn believe that the proposed use as well as site appurtenances help the City to generally achieve these Strategic Priorities for the site located at 17600 MN-7, while still providing an efficient and

feasible design for CWP West Corp. The development team will continue to work diligently with City staff, Planning Commission, and City Council on the proposed project to ensure that it meets the goals of the Comprehensive Plan and City Zoning Ordinances and we appreciate your consideration.

Please contact me at (612) 503-8547 if you have any questions.

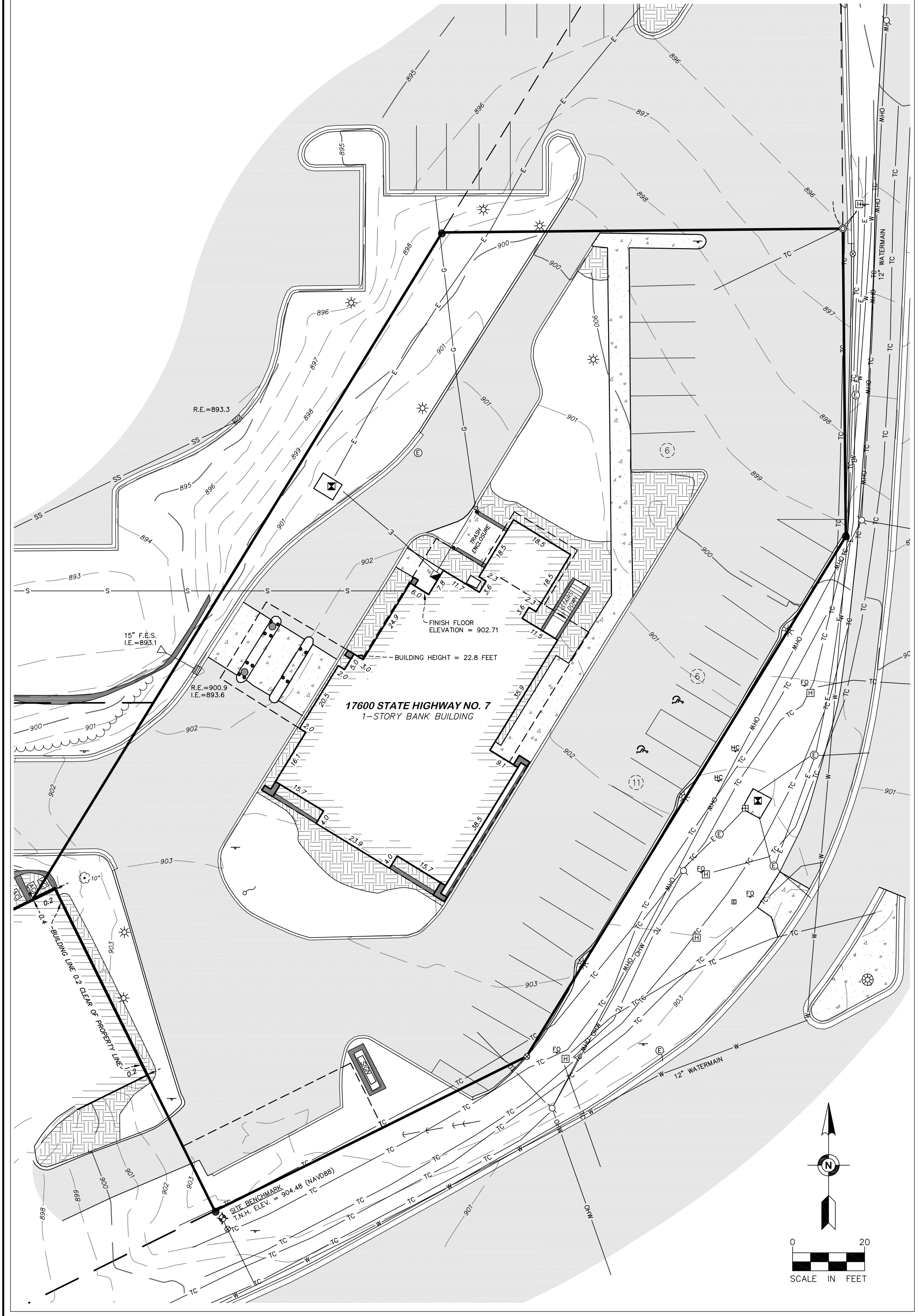
Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

A handwritten signature in black ink, appearing to read 'Arik Lokensgard', written in a cursive style.

Arik Lokensgard

DETAIL OF EXISTING CONDITIONS



LEGEND:

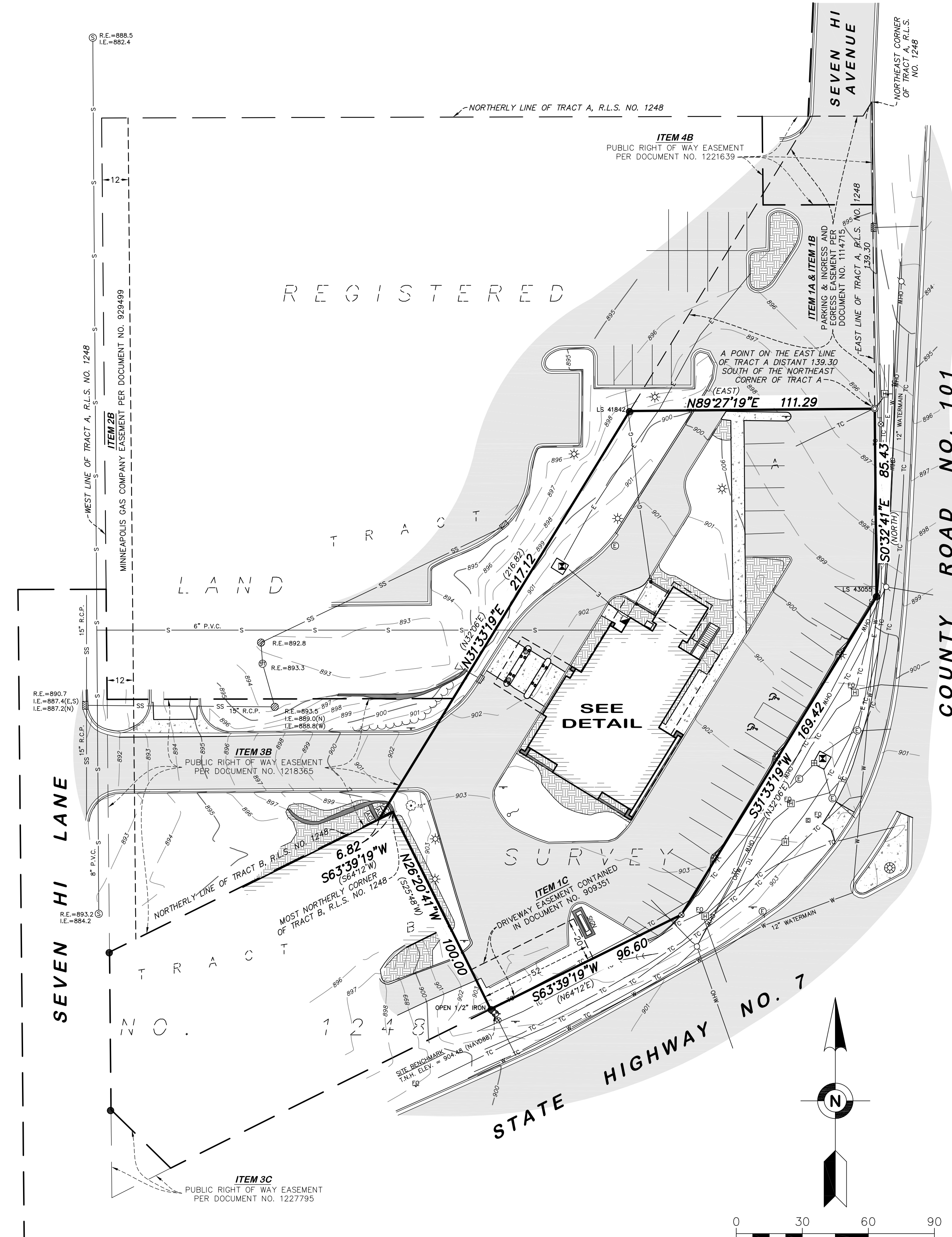
<ul style="list-style-type: none"> ⊙ SANITARY MANHOLE ⊙ STORM MANHOLE ⊙ CATCH BASIN ⊙ FLARED END SECTION ⊙ GATE VALVE ⊙ HYDRANT ⊙ GAS METER ⊙ HANDHOLE ⊙ COMMUNICATION BOX 	<ul style="list-style-type: none"> ⊙ AIR CONDITIONER ⊙ ELECTRIC MANHOLE ⊙ ELECTRIC BOX ⊙ ELECTRIC METER ⊙ LIGHT ⊙ UTILITY POLE ⊙ GUY WIRE ⊙ SEMAPHORE ⊙ FIBER OPTIC SIGN 	<ul style="list-style-type: none"> ⊙ FLAGPOLE ⊙ BOLLARD ⊙ HANDICAPPED PARKING SPACE ⊙ PARKING COUNT ⊙ HANDICAPPED PARKING SIGN ⊙ SIGN ⊙ EXISTING CONTOUR LINE ⊙ TREE 	<ul style="list-style-type: none"> — S — SANITARY SEWER — SS — STORM SEWER — W — WATERMAIN — E — UNDERGROUND ELECTRIC — OHW — OVERHEAD WIRE — TC — UNDERGROUND TELECOMMUNICATION — G — UNDERGROUND GAS — — TREE LINE
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FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS	
		TV	NO.	DATE
				DESCRIPTION
DRAWN BY: PMD				
CHECKED BY: CAT				

EXISTING CONDITIONS SURVEY

SURVEY FOR:
Kimley Horn & Associates

PROPERTY ADDRESS:
17600 State Highway No. 7
Minnetonka, Minnesota 55345



LEGEND:

<ul style="list-style-type: none"> ⊙ FOUND PK NAIL ● FOUND IRON MONUMENT, AS NOTED ⊙ SET IRON MONUMENT MARKED WITH LICENSE NUMBER 53536 (XXX.XX) RECORD DISTANCE (NXXX'XX'XX"E) RECORD BEARING 	<ul style="list-style-type: none"> — BITUMINOUS SURFACE — CONCRETE SURFACE — LANDSCAPED SURFACE
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------

EXISTING CONDITIONS SURVEY FOR: Kimley Horn & Associates

LEGAL DESCRIPTION:
Per Certificate of Title, Certificate Number 1515458:
That part of Tract A, Registered Land Survey No. 1248, Hennepin County, Minnesota, lying Southerly and Easterly of the following described line and its extension Southwesterly: Commencing at a point on the Northerly line of Tract B, said Registered Land Survey Number 1248 distant 6.82 feet Westerly along said Northerly line from the most Northerly corner of said Tract B; thence North 32 degrees 06 minutes East a distance of 216.82 feet; thence on a bearing of East 111.29 feet to a point on the East line of said Tract A distant 139.30 feet South along said East line from the Northeast corner of said Tract A and there terminating. For the purposes of this Survey the East line of Tract A is assumed to have a bearing of South.

- NOTES:**
- The orientation of this bearing system is based on the Hennepin County coordinate grid (NAD 83-2011 Adj.).
 - The total area of the property described herein is 36,237 square feet or 0.83189 acres.
 - Title work was not furnished to Egan, Field & Nowak, Inc. for the preparation of this survey to verify the legal description, or the existence of any easements or encumbrances.
 - Existing utilities, services and underground structures shown hereon were located either physically from existing records made available to us, by resident testimony, or by locations provided by Gopher State One Call, per Ticket No. 211472648. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Other utilities and services may be present and verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.
 - The property described hereon lies within Flood Zone X (Areas determined to be outside the 0.2% annual chance floodplain) per Federal Insurance Rate Map No. 27053 C 0317 F, dated November 4, 2016.
 - BENCHMARK:** Top of Minnesota Department of Transportation Geodetic Monument "2706 K" Elevation = 894.936 feet. (NAVD88)
SITE BENCHMARK: Top nut of hydrant located southeasterly of the most southerly corner of the surveyed property Elevation = 904.48 feet. (NAVD88)
 - As of the date of this survey the property described hereon contains a total of 25 parking spaces of which 23 are standard spaces and 2 are handicapped spaces.

- SURVEY ITEMS PER CERTIFICATE OF TITLES:**
- Per Certificate of Title, Certificate Number 1515458 (Surveyed Property):
- ITEM 1A:** Easement for parking and ingress and egress thereto and therefrom over, across and upon part of Tract A, Registered Land Survey Number 1248 as shown in deed Document No. 1114715. Said easement benefits the surveyed property and is depicted hereon.
 - ITEM 2A:** Final Certificate, State of Minnesota for highway purposes per Document No. T122500. The right of way of Highway No. 7 & County Road 101 are adjacent to the surveyed property and depicted hereon.
- Per Certificate of Title, Certificate Number 1335309 (Adjoiner Property):
- ITEM 1B:** Easement for parking and ingress and egress thereto and therefrom over, across and upon part of Tract A, Registered Land Survey Number 1248 as shown in deed Document No. 1114715. Said easement benefits the surveyed property and is depicted hereon.
 - ITEM 2B:** Easement, Minneapolis Gas Company, Document No. T929499. Said easement does not affect the surveyed property and is depicted hereon for reference.
 - ITEM 3B:** Quit Claim Deed, City of Minnetonka for easement for public right of way purposes per Document No. T1218365. Said easement does not affect the surveyed property and is depicted hereon for reference.
 - ITEM 4B:** Quit Claim Deed, City of Minnetonka for easement for public right of way purposes per Document No. T1221639. Said easement does not affect the surveyed property and is depicted hereon for reference.
- Per Certificate of Title, Certificate Number 1395020 (Adjoiner Property):
- ITEM 1C:** Easement for driveway purposes thereto and therefrom over, across and upon part of Tract A, Registered Land Survey Number 1248 as shown in deed Document No. 909351. Said easement affects the surveyed property and is depicted hereon.
 - ITEM 2C:** Final Certificate, State of Minnesota for highway purposes per Document No. T122500. The right of way of Highway No. 7 & County Road 101 are adjacent to the surveyed property and depicted hereon.
 - ITEM 3C:** Quit Claim Deed, City of Minnetonka for easement for public right of way purposes per Document No. T122795. Said easement does not affect the surveyed property and is depicted hereon for reference.
 - ITEM 4C:** Final Certificate, City of Minnetonka for easement for public right of way purposes per Document No. T1303701. Said easement does not affect the surveyed property and is depicted hereon for reference.

CERTIFICATION:
I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
Date of survey: June 17, 2021.
Date of signature: June 24, 2021.

Christopher A. Terwedo
Christopher A. Terwedo
Minnesota License No. 53536
cterwedo@fnsurvey.com



GOPHER STATE ONE CALL NOTE:
List of utilities notified per Gopher State One Call Ticket No. 211472648.
CITY OF MINNETONKA
COMCAST
CENTURYLINK - CTQL
MNDOT
MASTECC NORTH AMERICA, INC.
METROPOLITAN COUNCIL (MCES)
CENTER POINT ENERGY
MINNETONKA SCHOOLS ISD #276
XCEL ENERGY
ZAYO BANDWIDTH

EFN
Egan, Field & Nowak, Inc.
land surveyors since 1872
1229 Tyler Street NE, Suite 100
Minneapolis, Minnesota 55413
PHONE: (612) 466-3300
FAX: (612) 466-3383
WWW.EFNSURVEY.COM
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**SITE DEVELOPMENT PLANS
FOR**

MISTER CAR WASH - MINNETONKA, MN

**SECTION 30, TOWNSHIP 117N, RANGE 22W
MINNETONKA, HENNEPIN COUNTY, MN**

PROJECT TEAM:

ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.



PREPARED BY: WILLIAM D. MATZEK, P.E.
767 EUSTIS STREET, SUITE 100
ST. PAUL, MN 55114
TELEPHONE (651) 645-4197

LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATES, INC.
767 EUSTIS STREET, SUITE 100
ST. PAUL, MN 55114
TELEPHONE: (651) 645-4197

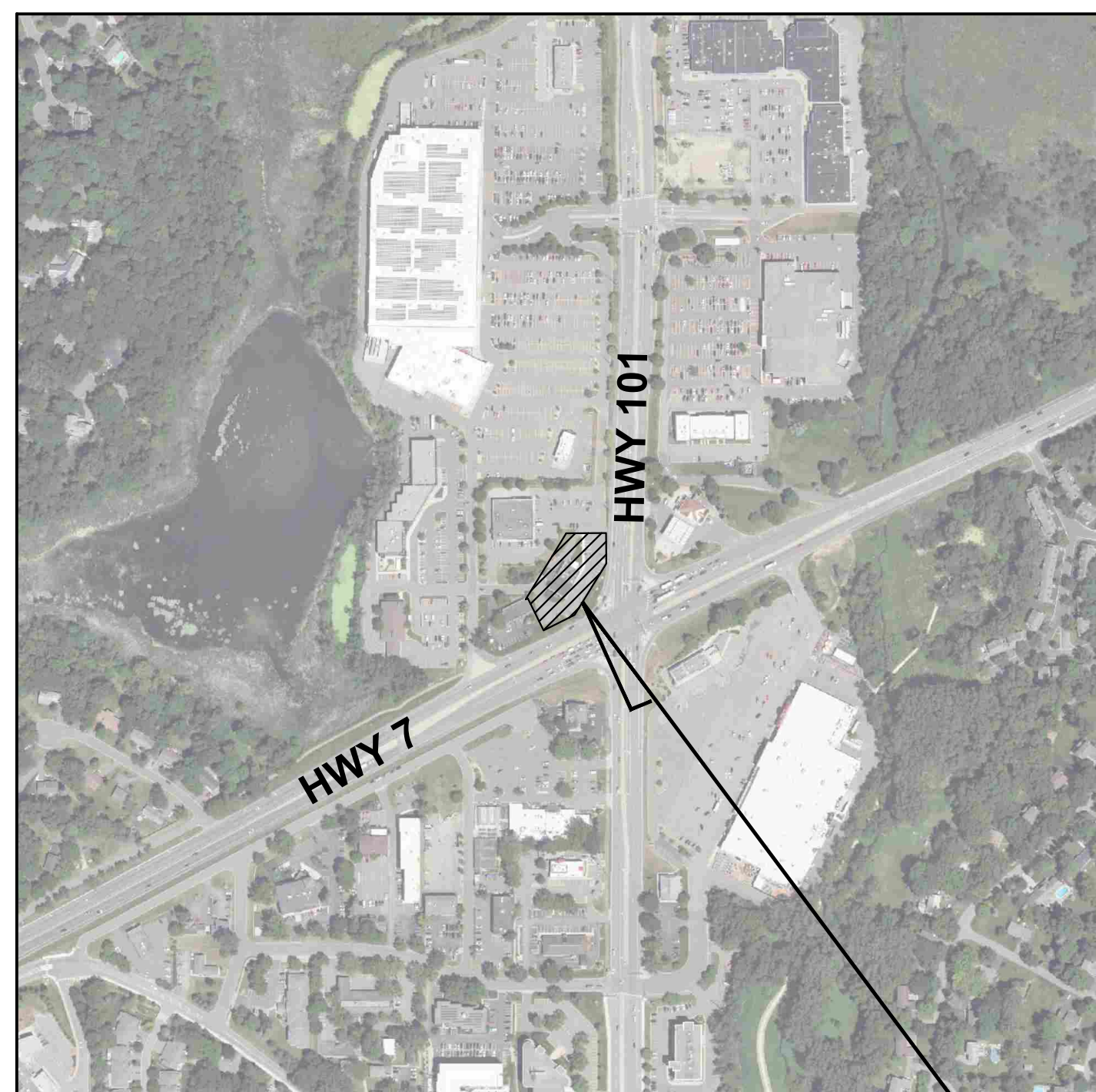
SURVEYOR
EGAN, FIELD & NOWAK, INC.
1229 TYLER STREET NE, SUITE 100
MINNEAPOLIS, MN 55413
TELEPHONE: (612) 466-3368
CONTACT: CHRISTOPHER TERWEDO

OWNER
MISTER CAR WASH



222 EAST 5TH AVE
TUSCON, AZ 85705
TELEPHONE: (520) 615-4000 EXT. 258
CONTACT: TREVOR BUHL

ARCHITECT
A23 STUDIOS
711 EAST 9TH STREET
TUCSON, AZ 85719
TELEPHONE: (520) 903-2323
CONTACT: BURAK BEKAT



VICINITY
N.T.S.

SITE

NOTES:

1. CONTRACTOR SHALL CONFIRM THAT THE EXISTING CONDITIONS FOR THE SITE MATCH WHAT IS SHOWN ON THE DRAWINGS INCLUDED PRIOR TO CONSTRUCTION.
2. IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A 22x34 SHEET.
3. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICES COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
4. ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

DRAWING INDEX	
Sheet Number	Sheet Title
C000	COVER SHEET
C100	GENERAL NOTES
C200	DEMO PLAN
C400	SITE PLAN
C500	GRADING PLAN
C600	UTILITY PLAN
L100	LANDSCAPE PLAN
L101	LANDSCAPE DETAILS

BENCHMARKS
<u>SITE BENCHMARKS:</u> (LOCATIONS SHOWN ON SURVEY)
SBM #1 TOP OF MINNESOTA DEPARTMENT OF TRANSPORTATION GEOGETIC MONUMENT "2706 K" ELEVATION=894.936 FEET. (NAVD88)
SBM #2 TOP NUT OF HYDRANT LOCATED SOUTHEASTERLY OF THE MOST SOUTHERLY CORNER OF THE SURVEYED PROPERTY ELEVATION=904.48 FEET. (NAVD88)



Know what's below.
Call before you dig.

PRELIMINARY - NOT FOR CONSTRUCTION

**MISTER CAR WASH
- MINNETONKA, MN**
PREPARED FOR
**MISTER CAR
WASH**
MINNETONKA MN

SHEET NUMBER
C000

COVER SHEET

KHA PROJECT 160284002	DATE 09/27/2021	SCALE AS SHOWN	DESIGNED BY ACL	DRAWN BY AJW	CHECKED BY WDM
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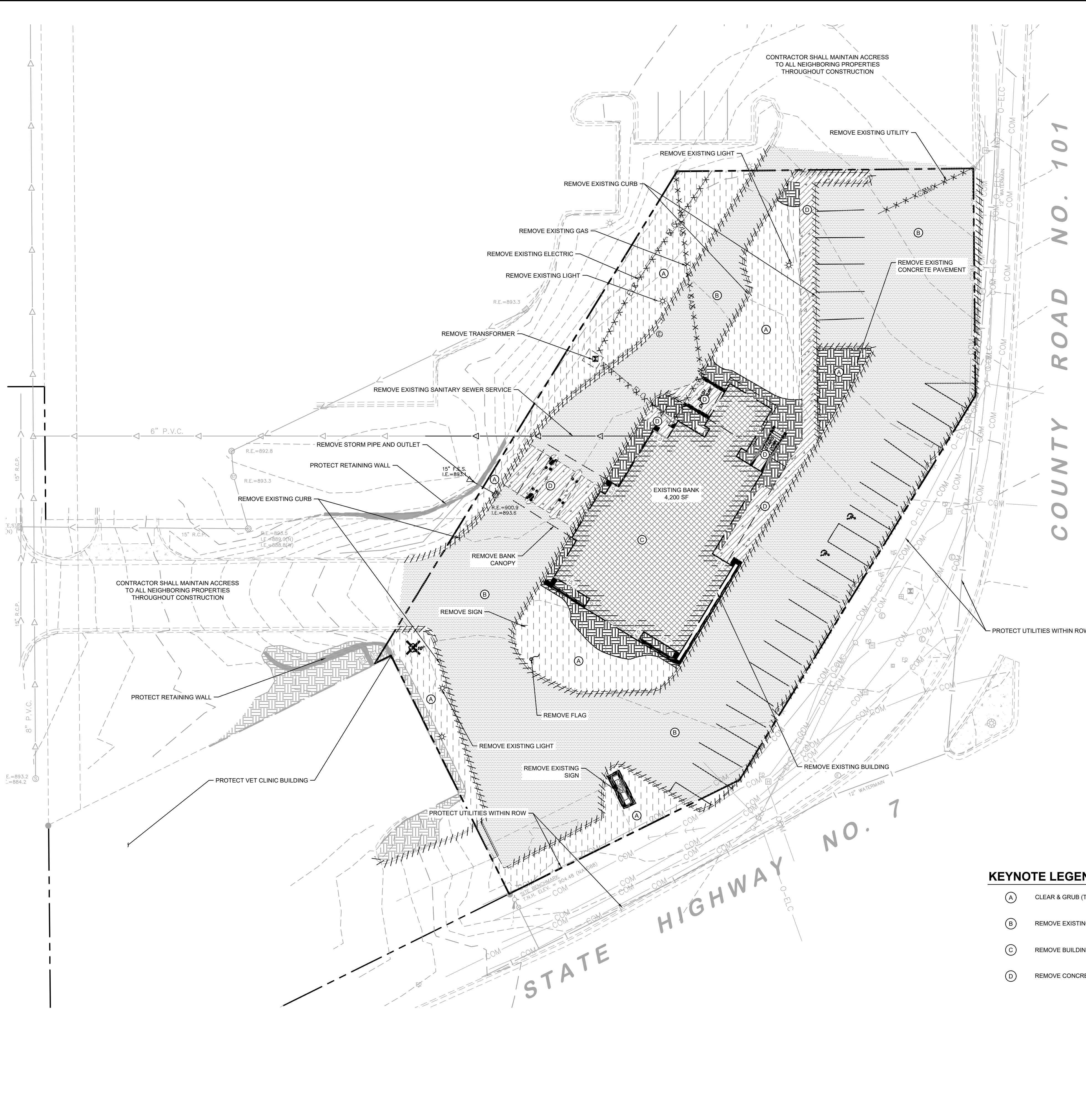
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WILLIAM D. MATZEK, P.E.
MILLICENT, MN
LIC. NO. 45790



2021 KIMLEY-HORN AND ASSOCIATES, INC.
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-645-4197
WWW.KIMLEY-HORN.COM

No.	REVISIONS	DATE	BY



DEMOLITION PLAN NOTES

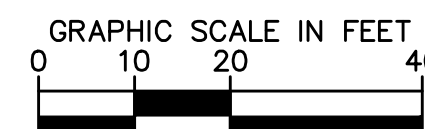
- 1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL OF MATERIALS TO THE OWNER AND OWNERS REPRESENTATIVE.
3. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER AND COORDINATION WITH THE ADJACENT PROPERTIES AND/OR THE CITY.
4. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
5. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES WITHIN ALL AREAS OF PROPOSED WORK.
6. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS ANY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PRECEDING WITH THE WORK.
7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
8. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH MINNETONKA, HENNEPIN COUNTY AND MNDOT.
9. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL NOTIFY ALL PROPERTIES IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION.
10. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
11. CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
12. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY WATER DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY OF MINNETONKA DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
13. REFER TO SURVEY FOR ALL EXISTING INVERT AND RIM ELEVATIONS.
14. ALL UTILITIES SHOWN ARE EXISTING UTILITIES.
15. IN THE EVENT A WELL IS FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND OWNER IMMEDIATELY. ALL WELLS SHALL BE SEALED BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH ALL STATE OF MN REQUIREMENTS.
16. IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY. ALL CONTAINERS SHALL BE DISPOSED OF AT A PERMITTED LANDFILL PER THE PROJECT DOCUMENTS.
17. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY EXISTING DRAIN TILE IS ENCOUNTERED ON SITE. NO ACTIVE DRAIN TILE SHALL BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER.

LEGEND

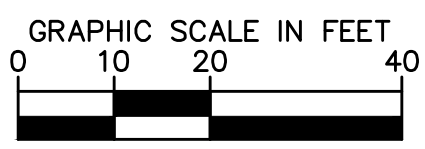
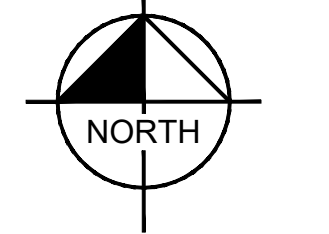
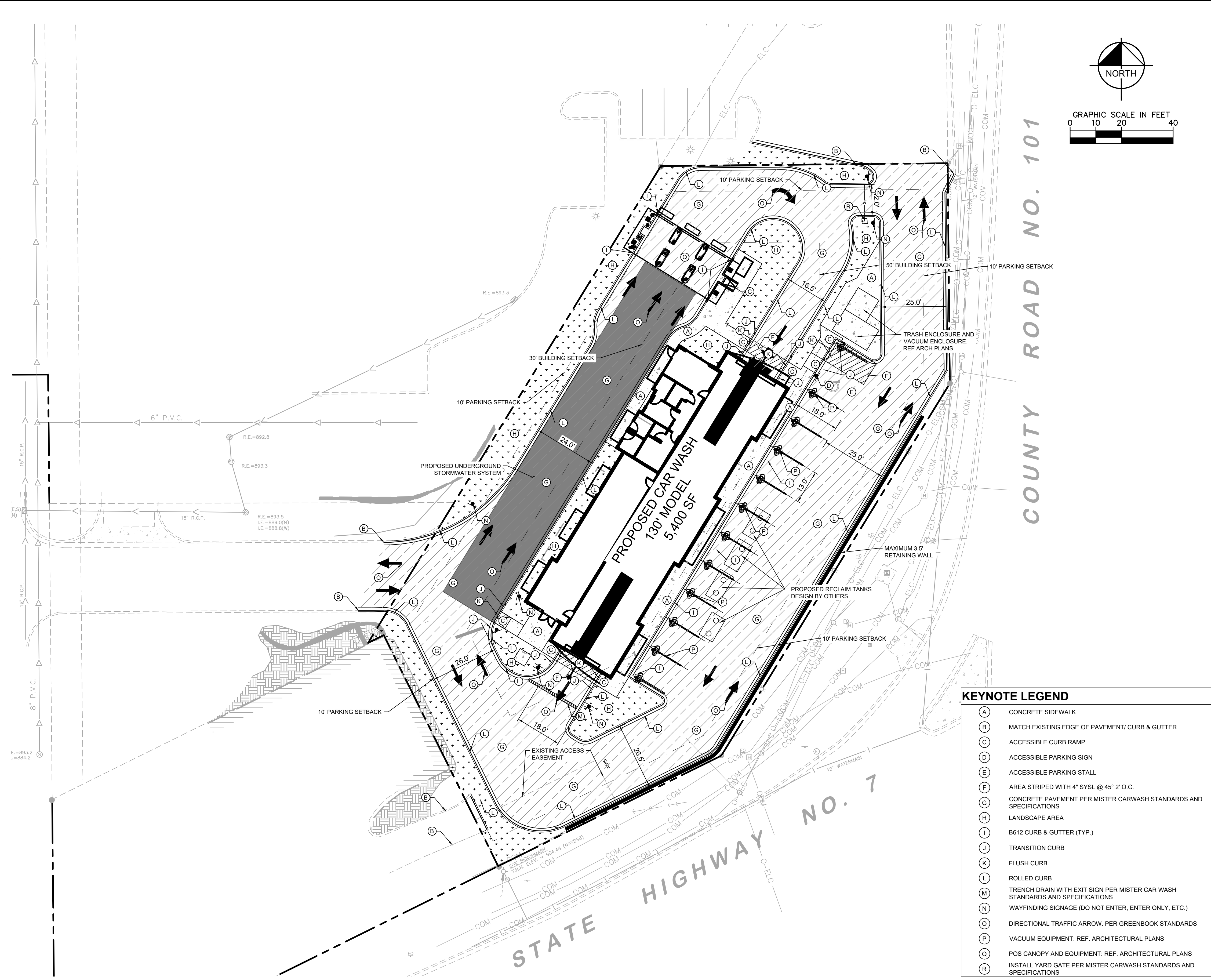
Table with 2 columns: Symbol and Description. Includes symbols for PROPERTY LINE, REMOVE BITUMINOUS SURFACE, REMOVE CONCRETE SURFACE, REMOVE BUILDING, CLEARING & GRUBBING, FULL DEPTH SAWCUT, REMOVE TREE, REMOVE CONCRETE CURB & GUTTER, REMOVE UTILITY LINES, etc.

KEYNOTE LEGEND

- (A) CLEAR & GRUB (TYP.)
(B) REMOVE EXISTING ASPHALT PAVEMENT (TYP.)
(C) REMOVE BUILDING
(D) REMOVE CONCRETE PAVEMENT (TYP.)



Vertical sidebar containing: PRELIMINARY - NOT FOR CONSTRUCTION; MISTER CAR WASH - MINNETONKA, MN; PREPARED FOR MISTER CAR WASH; SHEET NUMBER C200; Kimley-Horn logo; contact information for Kimley-Horn and Associates, Inc.; project details table; and a revision table.



LEGEND

	PROPERTY LINE
	PROPOSED FENCE
	SETBACK LINE
	PROPOSED CURB AND GUTTER
	PROPOSED CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK

PROPERTY SUMMARY

ROGERS, MN CAR WASH	
TOTAL PROPERTY AREA	0.83 AC
ZONING SUMMARY	
EXISTING ZONING	B-2 LIMITED BUSINESS DISTRICT
PROPOSED ZONING	B-2 LIMITED BUSINESS DISTRICT
PARKING SETBACKS	HWY 101 = 10' HWY 7 = 10' SOUTHWEST = 10' NORTHWEST = 10'
BUILDING SETBACKS	HWY 101 = 50' HWY 7 = 50' SOUTHWEST = 30' NORTHWEST = 30'

BUILDING DATA SUMMARY

AREAS	
PROPOSED PROPERTY	36,237 SF (0.83 AC)
BUILDING AREA	5,400 SF (6.7% OF TOTAL PROPERTY AREA)
PARKING	
REQUIRED PARKING	AS DETERMINED BY ZONING ADMINISTRATOR
PROPOSED PARKING	11 SPACES
ADA STALLS REQ'D / PROVIDED	1 STALLS / 1 STALLS

- SITE PLAN NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - ALL INNER CURBED RADII ARE TO BE 2' AND OUTER CURBED RADII ARE TO BE <10' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
 - ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY EGAN, FIELD & NOWAK, INC., DATED 06/17/2021.
KIMLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED THEREIN.
 - TOTAL LAND AREA IS 0.83 ACRES.
 - PYLON / MONUMENT SIGNS SHALL BE CONSTRUCTED BY OTHERS. SIGNS ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIZE, LOCATION AND ANY REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE PYLON / MONUMENT SIGN.
 - CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
 - NO PROPOSED LANDSCAPING SUCH AS TREES OR SHRUBS, ABOVE AND UNDERGROUND STRUCTURES OR OTHER OBSTRUCTIONS SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHTS OF WAY UNLESS SPECIFICALLY NOTED ON PLANS OTHERWISE.
 - REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
 - REFER TO FINAL PLAT OR ALTA SURVEY FOR EXACT LOT AND PROPERTY BOUNDARY DIMENSIONS.
 - ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
 - ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
 - ALL PARKING STALLS TO BE 13' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.

KEYNOTE LEGEND

(A)	CONCRETE SIDEWALK
(B)	MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
(C)	ACCESSIBLE CURB RAMP
(D)	ACCESSIBLE PARKING SIGN
(E)	ACCESSIBLE PARKING STALL
(F)	AREA STRIPED WITH 4" SYSL @ 45° 2" O.C.
(G)	CONCRETE PAVEMENT PER MISTER CARWASH STANDARDS AND SPECIFICATIONS
(H)	LANDSCAPE AREA
(I)	B612 CURB & GUTTER (TYP.)
(J)	TRANSITION CURB
(K)	FLUSH CURB
(L)	ROLLED CURB
(M)	TRENCH DRAIN WITH EXIT SIGN PER MISTER CAR WASH STANDARDS AND SPECIFICATIONS
(N)	WAYFINDING SIGNAGE (DO NOT ENTER, ENTER ONLY, ETC.)
(O)	DIRECTIONAL TRAFFIC ARROW, PER GREENBOOK STANDARDS
(P)	VACUUM EQUIPMENT, REF. ARCHITECTURAL PLANS
(Q)	POS CANOPY AND EQUIPMENT, REF. ARCHITECTURAL PLANS
(R)	INSTALL YARD GATE PER MISTER CARWASH STANDARDS AND SPECIFICATIONS

PRELIMINARY - NOT FOR CONSTRUCTION

MISTER CAR WASH
- MINNETONKA, MN
PREPARED FOR
MISTER CAR WASH
MINNETONKA MN

SITE PLAN

KHA PROJECT	160284002
DATE	09/27/2021
SCALE	AS SHOWN
DESIGNED BY	ACL
DRAWN BY	AJW
CHECKED BY	WDM

Kimley»Horn
© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
787 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-454-1197
WWW.KIMLEY-HORN.COM

No.	REVISIONS	DATE	BY

SHEET NUMBER
C400

For illustrative purposes only

Parking lot area requiring an expansion permit

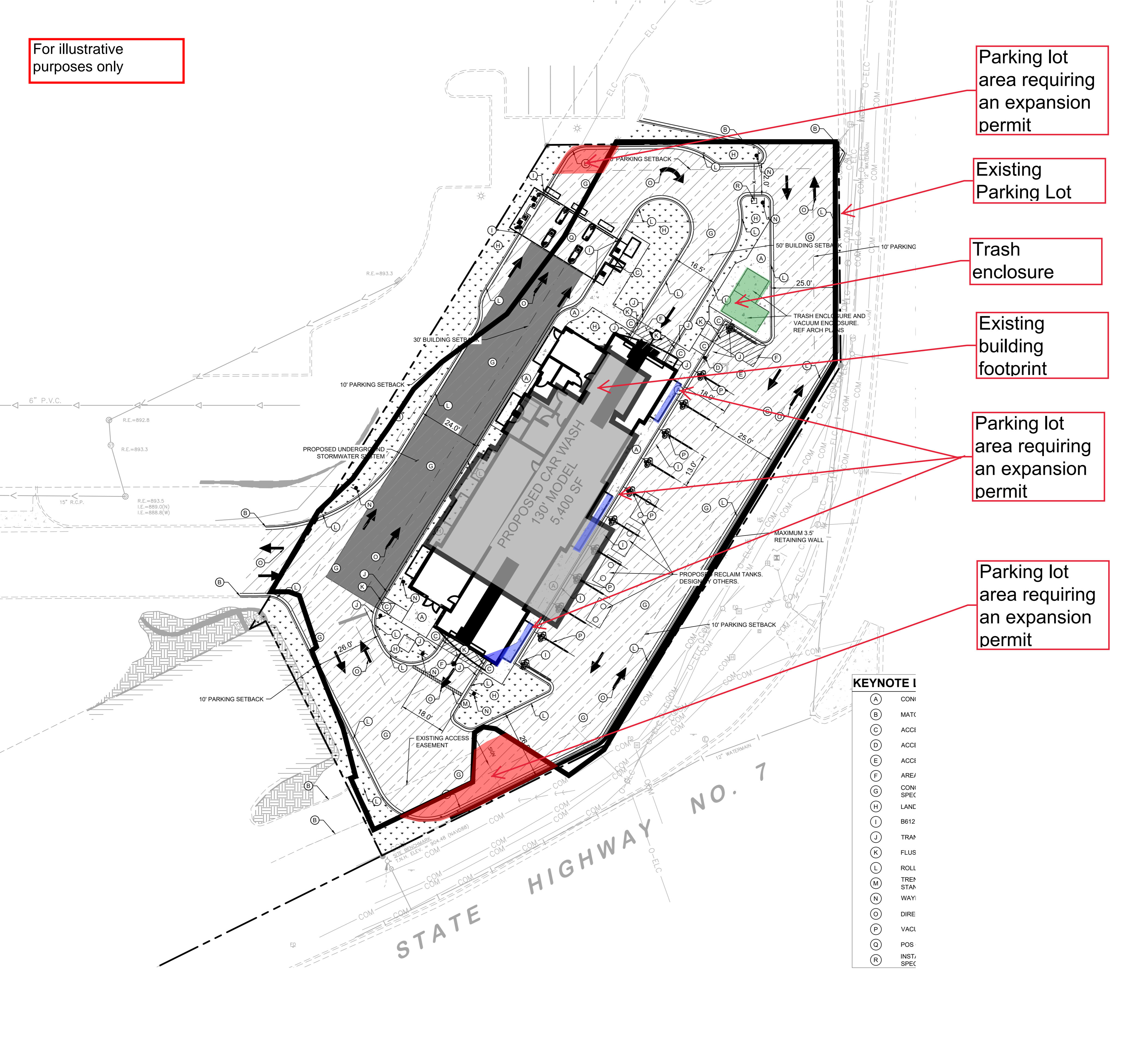
Existing Parking Lot

Trash enclosure

Existing building footprint

Parking lot area requiring an expansion permit

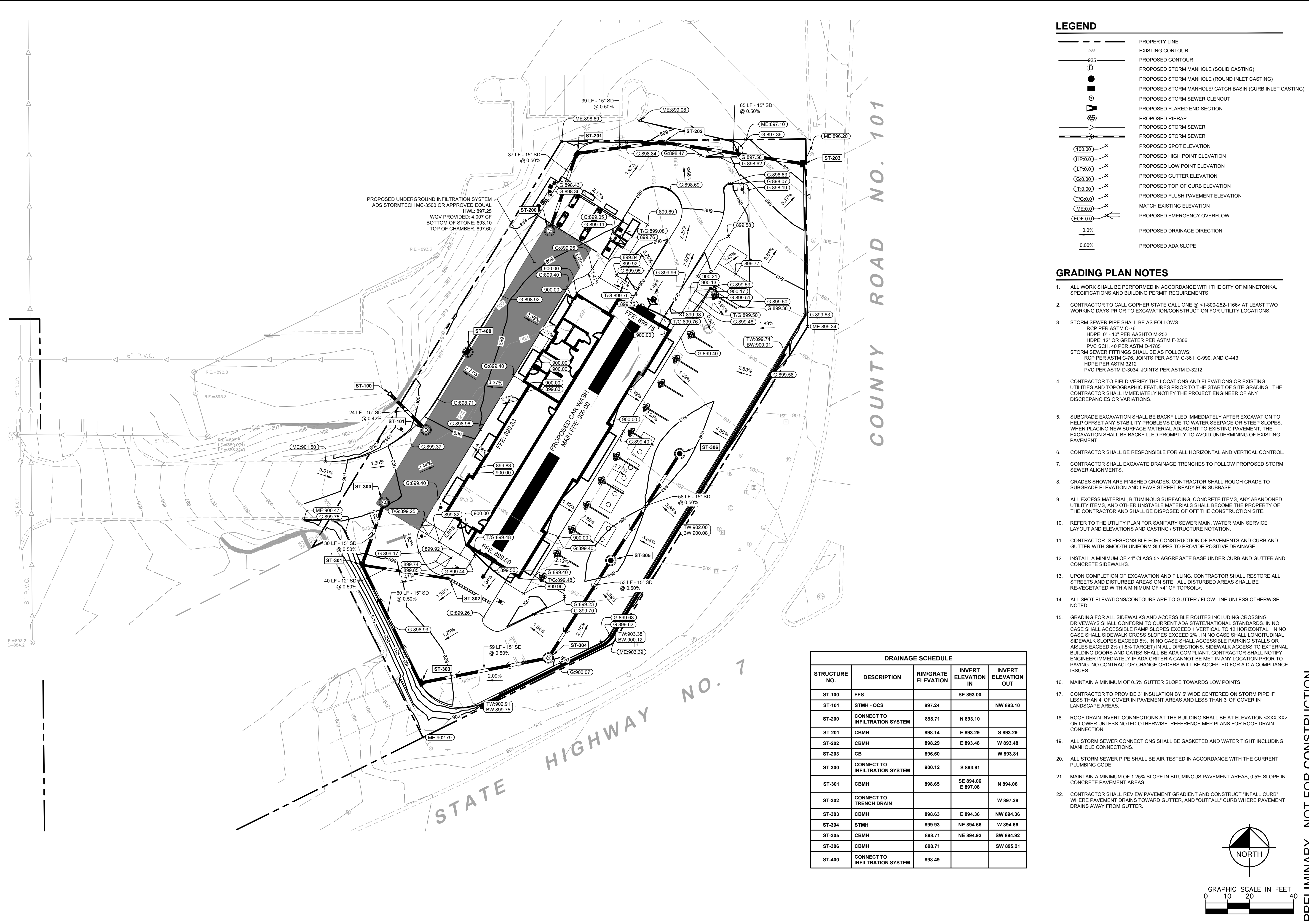
Parking lot area requiring an expansion permit



KEYNOTE I

(A)	CON
(B)	MATC
(C)	ACCI
(D)	ACCI
(E)	ACCI
(F)	ARE/
(G)	CON/
(H)	SPEC
(I)	LANE
(J)	B612
(K)	TRAN
(L)	FLUS
(M)	ROLL
(N)	TREN
(O)	STAN
(P)	WAY/
(Q)	DIRE
(R)	VACL
(S)	POS
(T)	INST/
(U)	SPEC

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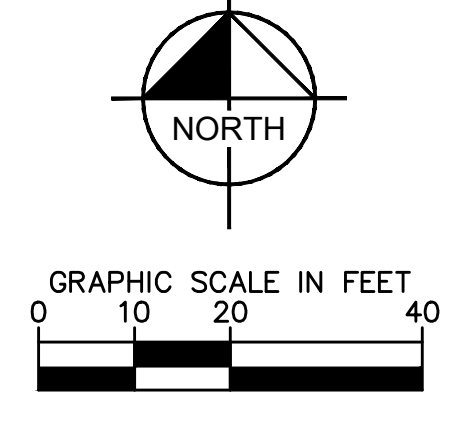


LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED STORM MANHOLE (SOLID CASTING)
- PROPOSED STORM MANHOLE (ROUND INLET CASTING)
- PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
- PROPOSED STORM SEWER CLENOUT
- PROPOSED FLARED END SECTION
- PROPOSED RIPRAP
- PROPOSED STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED SPOT ELEVATION
- PROPOSED HIGH POINT ELEVATION
- PROPOSED LOW POINT ELEVATION
- PROPOSED GUTTER ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED FLUSH PAVEMENT ELEVATION
- MATCH EXISTING ELEVATION
- PROPOSED EMERGENCY OVERFLOW
- PROPOSED DRAINAGE DIRECTION
- PROPOSED ADA SLOPE

- GRADING PLAN NOTES**
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF MINNETONKA, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
 2. CONTRACTOR TO CALL GOPHER STATE CALL ONE @ <1-800-252-1166> AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
 3. STORM SEWER PIPE SHALL BE AS FOLLOWS:
RCP PER ASTM C-76
HOPE: 0' - 10' PER AASHTO M-252
HOPE: 12' OR GREATER PER ASTM F-2306
PVC SCH. 40 PER ASTM D-1785
STORM SEWER FITTINGS SHALL BE AS FOLLOWS:
RCP PER ASTM C-76, JOINTS PER ASTM C-361, C-990, AND C-443
PVC PER ASTM D-3034, JOINTS PER ASTM D-3212
 4. CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
 5. SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
 7. CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
 8. GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
 9. ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
 10. REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING / STRUCTURE NOTATION.
 11. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
 12. INSTALL A MINIMUM OF 4" CLASS 5+ AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
 13. UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4" OF TOPSOIL.
 14. ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED.
 15. GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
 16. MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
 17. CONTRACTOR TO PROVIDE 3" INSULATION BY 5' WIDE CENTERED ON STORM PIPE IF LESS THAN 4" OF COVER IN PAVEMENT AREAS AND LESS THAN 3' OF COVER IN LANDSCAPE AREAS.
 18. ROOF DRAIN INVERT CONNECTIONS AT THE BUILDING SHALL BE AT ELEVATION <XXX.XX> OR LOWER UNLESS NOTED OTHERWISE. REFERENCE MEP PLANS FOR ROOF DRAIN CONNECTION.
 19. ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
 20. ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
 21. MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
 22. CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM GUTTER.

DRAINAGE SCHEDULE				
STRUCTURE NO.	DESCRIPTION	RIM/GRATE ELEVATION	INVERT ELEVATION IN	INVERT ELEVATION OUT
ST-100	FES		SE 893.00	
ST-101	STMH - OCS	897.24		NW 893.10
ST-200	CONNECT TO INFILTRATION SYSTEM	898.71	N 893.10	
ST-201	CBMH	898.14	E 893.29	S 893.29
ST-202	CBMH	898.29	E 893.48	W 893.48
ST-203	CB	896.60		W 893.81
ST-300	CONNECT TO INFILTRATION SYSTEM	900.12	S 893.91	
ST-301	CBMH	898.65	SE 894.06 E 897.08	N 894.06
ST-302	CONNECT TO TRENCH DRAIN			W 897.28
ST-303	CBMH	898.63	E 894.36	NW 894.36
ST-304	STMH	899.93	NE 894.66	W 894.66
ST-305	CBMH	898.71	NE 894.92	SW 894.92
ST-306	CBMH	898.71		SW 895.21
ST-400	CONNECT TO INFILTRATION SYSTEM	898.49		



PRELIMINARY - NOT FOR CONSTRUCTION

MISTER CAR WASH
- MINNETONKA, MN
PREPARED FOR
MISTER CAR WASH
MINNETONKA, MN

SHEET NUMBER
C500

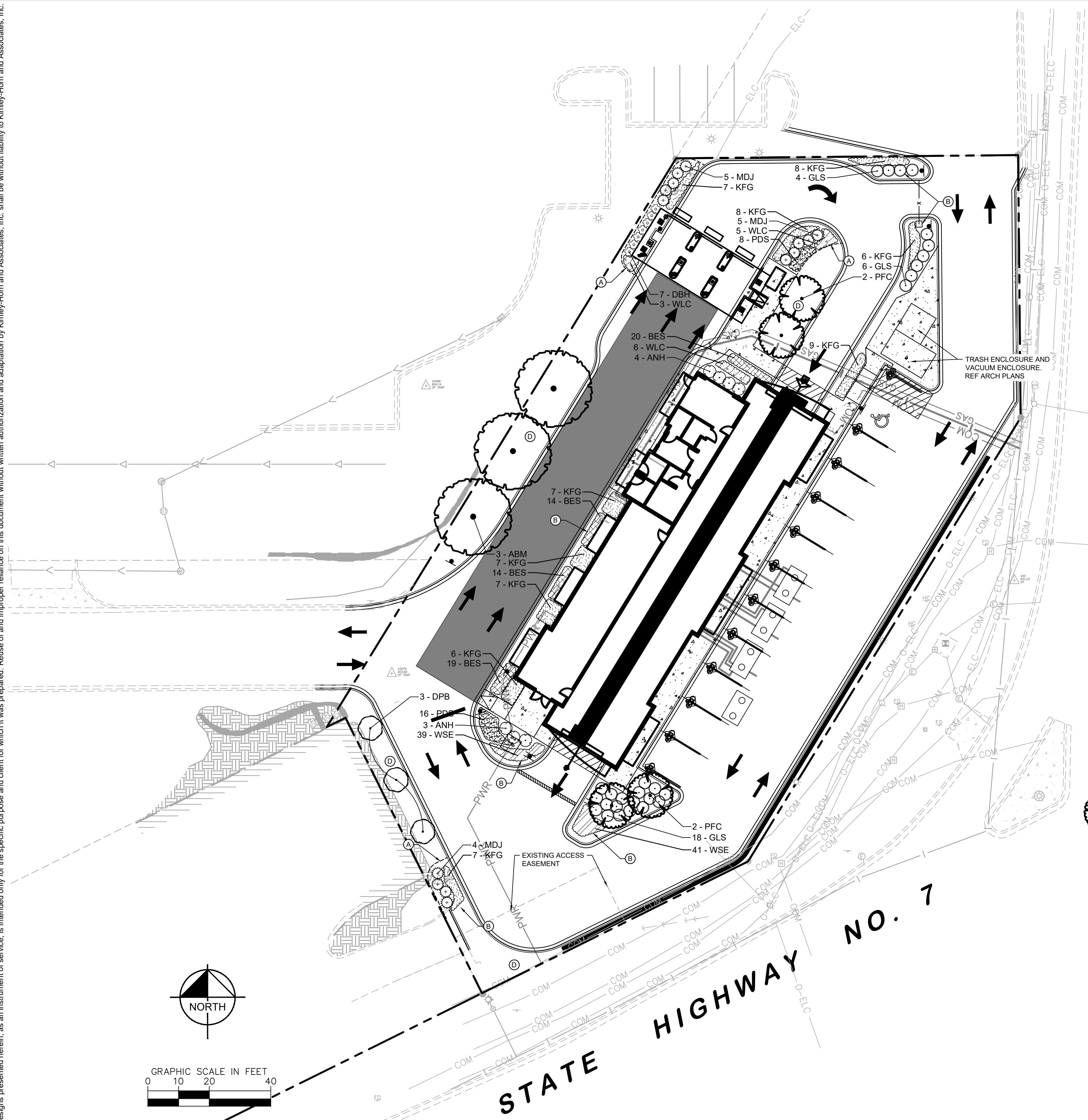
KHA PROJECT	160284002
DATE	09/27/2021
SCALE	AS SHOWN
DESIGNED BY	ACL
DRAWN BY	AJW
CHECKED BY	WDM

THIS PROJECT WAS DESIGNED BY AN ENGINEER REGISTERED UNDER THE PROFESSIONAL ENGINEERING ACT OF THE STATE OF MINNESOTA.
WILLIAM D. MATZEK
MINN. LIC. NO. 45780

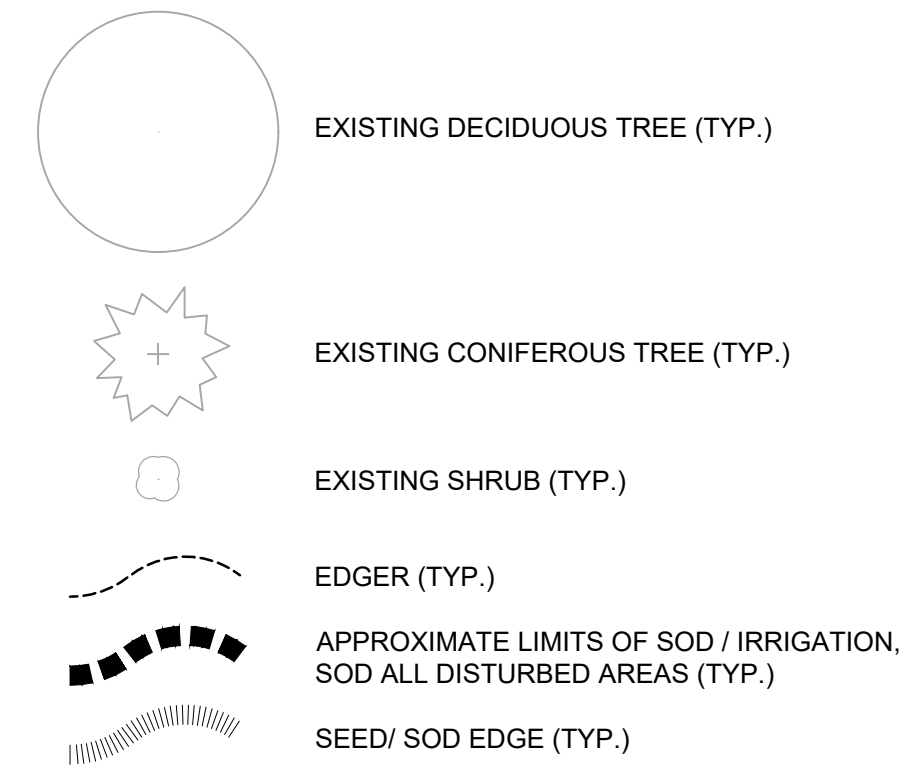
Kimley»Horn
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767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-454-1197
WWW.KIMLEY-HORN.COM

No.	REVISIONS	DATE	BY

K:\TWC_LDEV\mister car wash\minnetonka, mn\3 Design\CAD\plansheets\L1-LANDSCAPE PLAN.dwg September 28, 2021 - 11:04am
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LANDSCAPE LEGEND



LANDSCAPE KEYNOTES (A)

- (A) EDGER (TYP.)
- (B) DOUBLE SHREDDED HARDWOOD MULCH (TYP.)
- (C) ROCK MULCH (TYP.)
- (D) SOD (TYP.)
- (E) MAINTENANCE STRIP (TYP.)

LANDSCAPE SUMMARY

REQUIRED LANDSCAPE MINIMUM VALUE IN CONFORMANCE WITH THE FOLLOWING TABLE:

PROJECT VALUE, INCLUDING BUILDING CONSTRUCTION, SITE PREPARATION, AND SITE IMPROVEMENTS	MINIMUM LANDSCAPE VALUE
BELOW \$1,000,000	= 2%
\$1,000,000 - \$2,000,000	= \$20,000 + 1% OF PROJECT VALUE IN EXCESS OF \$1,000,000
\$2,000,000 - \$3,000,000	= \$30,000 + .75% OF PROJECT VALUE IN EXCESS OF \$2,000,000
\$3,000,000 - \$4,000,000	= \$37,500 + .25% OF PROJECT VALUE IN EXCESS OF \$3,000,000
OVER \$4,000,000	= 1%

*AT LEAST 25% OF PROPOSED PLANTS MUST BE BENEFICIAL TO POLLINATORS FROM THE CITY'S NATIVE PLANT LIST

*NO MORE THAN 25% OF TREES REQUIRED FROM 1 SPECIES

SCREENING REQUIRED: TRASH EQUIPMENT TO BE SCREENED YEAR ROUND FROM PUBLIC VIEW

SCREENING PROVIDED: SEE PLAN

PLANT SCHEDULE

ORNAMENTAL TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL/SIZE
	DPB	3	BETULA PLATYPHYLLA 'FARGO'	DAKOTA PINNACLE BIRCH	B & B	2" CAL.
	PFC	4	MALUS X 'PRAIRIFIRE'	PRAIRIFIRE CRAB APPLE	B & B	2" CAL.
OVERSTORY TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL/SIZE
	ABM	3	ACER X FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	B & B	2.5" CAL.
CONIFEROUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	MDJ	14	JUNIPERUS SCOPULORUM 'MEDORA'	MEDORA JUNIPER	#5 CONT.	4' O.C.
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	ANH	7	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	#5 CONT.	4' O.C.
	DBH	7	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	#5 CONT.	3' O.C.
	GLS	28	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	#5 CONT.	4' O.C.
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPACING	
	BES	67	RUDBECKIA FULGIDA 'GOLDSTURM'	BLACK-EYED SUSAN	18" o.c.	
	KFG	72	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	30" o.c.	
	PDS	24	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	24" o.c.	
	WLC	14	NEPETA X FAASSENII 'WALKERS LOW'	WALKERS LOW CATMINT	30" o.c.	
	WSE	80	ECHINACEA PURPUREA 'WHITE SWAN'	WHITE SWAN CONEFLOWER	15" o.c.	

PRELIMINARY - NOT FOR CONSTRUCTION

MISTER CAR WASH
 - MINNETONKA, MN
 PREPARED FOR
 MISTER CAR
 WASH
 MINNETONKA, MN

SHEET NUMBER
L100

Kimley»Horn

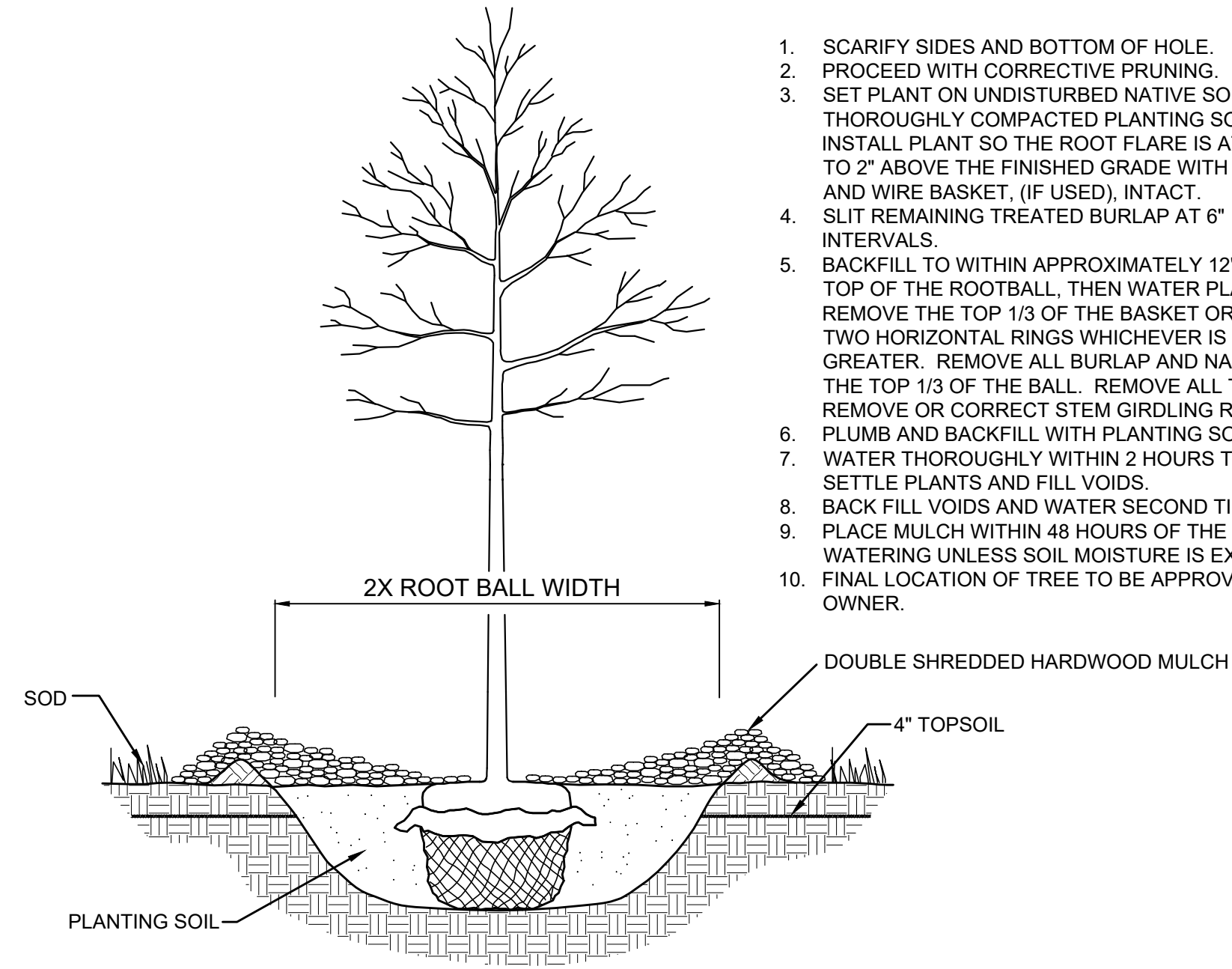
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 PHONE: 651-454-1197
 WWW.KIMLEY-HORN.COM

KHA PROJECT
 160284002
 DATE
 09/27/2021
 SCALE
 AS SHOWN
 DESIGNED BY
 CFK
 DRAWN BY
 CFK
 CHECKED BY
 MGC
 MITCHELL G. COOKS
 MN LIC. NO. 5652
 DATE: XXXXXXXX MN LIC. NO. 5652

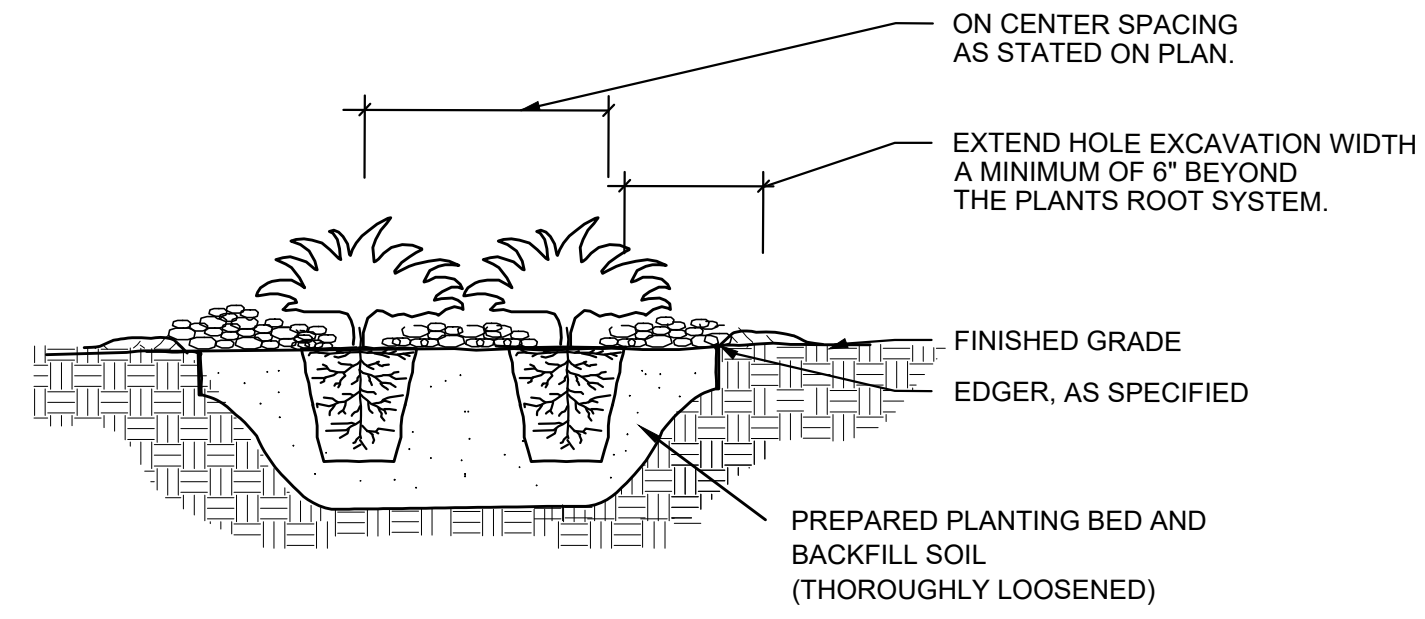
No.	REVISIONS	DATE	BY

NOTES:

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING.
3. SET PLANT ON UNDISTURBED NATIVE SOIL OR THOROUGHLY COMPACTED PLANTING SOIL. INSTALL PLANT SO THE ROOT FLARE IS AT OR UP TO 2" ABOVE THE FINISHED GRADE WITH BURLAP AND WIRE BASKET, (IF USED), INTACT.
4. SLIT REMAINING TREATED BURLAP AT 6" INTERVALS.
5. BACKFILL TO WITHIN APPROXIMATELY 12" OF THE TOP OF THE ROOTBALL, THEN WATER PLANT. REMOVE THE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS WHICHEVER IS GREATER. REMOVE ALL BURLAP AND NAILS FROM THE TOP 1/3 OF THE BALL. REMOVE ALL TWINE. REMOVE OR CORRECT STEM GIRDLING ROOTS.
6. PLUMB AND BACKFILL WITH PLANTING SOIL.
7. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
8. BACK FILL VOIDS AND WATER SECOND TIME.
9. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
10. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.



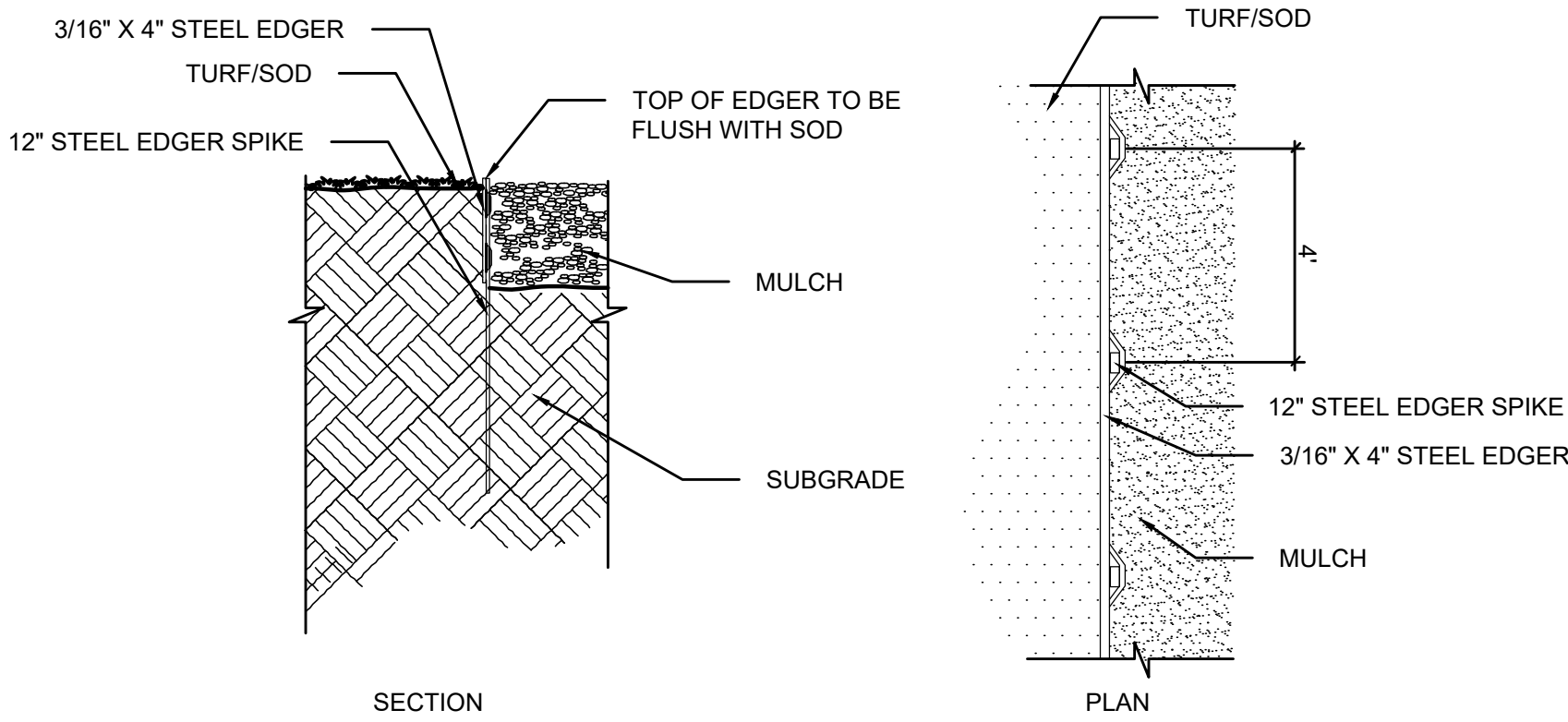
1 TREE PLANTING DETAIL
SCALE: N.T.S.



NOTES:

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING OF TOP AND ROOT.
3. REMOVE CONTAINER AND SCORE OUTSIDE OF SOIL MASS TO REDIRECT AND PREVENT CIRCLING FIBROUS ROOTS. REMOVE OR CORRECT STEM GIRDLING ROOTS.
4. PLUMB AND BACKFILL WITH PLANTING SOIL.
5. WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
6. BACK FILL VOIDS AND WATER SECOND TIME.
7. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
8. MIX IN 3-4\"/>

2 SHRUB / PERENNIAL PLANTING DETAIL
SCALE: N.T.S.



3 STEEL EDGER DETAIL
SCALE: N.T.S.

LANDSCAPE NOTES

1. CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
2. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
5. CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
6. ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS: ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC. ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES. ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES. ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING. CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
7. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
8. PLANTS TO BE INSTALLED AS PER MNLA & ANSI STANDARD PLANTING PRACTICES.
9. PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
10. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
11. OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
12. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
13. WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
14. STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
15. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
16. BACKFILL SOIL AND TOPSOIL TO ADHERE TO MN/DOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4\"/>
- 17. MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4\"/>
- 18. EDGING TO BE COMMERCIAL GRADE COL-MET (OR EQUAL) STEEL EDGING; 3/16\"/>
- 19. ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MN/DOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
- 20. PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
- 21. CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
- 22. REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
- 23. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
- 24. MAINTAIN TREES, SHRUBS, AND OTHER PLANTS UNTIL PROJECT COMPLETION, BUT IN NO CASE, LESS THAN FOLLOWING PERIOD: 1 YEAR AFTER PROJECT COMPLETION. MAINTAIN TREES, SHRUBS, AND OTHER PLANTS BY PRUNING, CULTIVATING, AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. REPLENISH MULCH TO THE REQUIRED DEPTH. MAINTAIN LAWNS FOR 45 DAYS AFTER INSTALLING SOD INCLUDING MOWING WHEN SOD RECHITES 4\"/>
- 25. SEE ELECTRICAL PLANS FOR SITE LIGHTING.

PRELIMINARY - NOT FOR CONSTRUCTION

MISTER CAR WASH
- MINNETONKA, MN

PREPARED FOR
MISTER CAR
WASH

LANDSCAPE
DETAILS

SHEET NUMBER
L101

I HEREBY CERTIFY THAT THIS IS AN
SPECIFICATION OR REPORT WAS PREPARED BY
ME OR UNDER MY DIRECT SUPERVISION AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF
THE STATE OF MINNESOTA.

KHA PROJECT
160284002
DATE
09/27/2021
SCALE
AS SHOWN
DESIGNED BY
KHA
DRAWN BY
KHA
CHECKED BY
MGC

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2021 KIMLEY-HORN AND ASSOCIATES, INC.
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-454-1197
WWW.KIMLEY-HORN.COM

MITCHELL G. COOKAS, P.E.
MN LIC. NO. 9652
DATE: 09/27/2021

NO. REVISIONS DATE BY

NO. REVISIONS DATE BY



1 CAR WASH TUNNEL EXIT
NOT TO SCALE

MATERIAL TAKE OFF

- Exterior Building Finishes - 8,417 sqft - 100%
- A. (SV-1) Natural Stone (Veneer) - 2,108 sqft - 24%
 - B. (ALU) Store Front and Glass - 511 sqft - 6%
 - C. (EIFS) EIFS - 1,609 sqft - 18%
 - D. (CU-1/2) CMU - 1,032 sqft - 12%
 - E. (MP-1) Alumaboard - 1,954sqft - 23%
 - F. (MP-2) Metal Wall Panel - 798 sqft - 9%
 - G. Polycarbonate Overhead Doors - 312 sqft - 3%
 - H. Painted Hollow Metal Doors - 93 sqft - 1%

- MP-2 METAL PANEL - CTMRS / PRE-FINISHED R-PANEL / IN THE NAVY - SW9178
- MP-4 METAL PANEL - CTMRS / PRE-FINISHED STANDING SEAM METAL ROOF / 436B3488 FLUROPON IN THE NAVY
- MP-1 METAL PANEL - ALUMABOARD / PRE-FINISHED METAL SCREEN SYSTEM / HAZELNUT BROWN
- SV-1 STONE VENEER - CORONADO / 6" LIMESTONE / CREAM
- PT-9 EXTERIOR PAINT - SHERWIN-WILLIAMS / IN THE NAVY SW9178
- PT-6 EXTERIOR PAINT - SHERWIN-WILLIAMS / MORNING FOG SW6225

FINISH LEGEND

- ALU WINDOWS & DOORS - THERMALLY BROKEN ANODIZED ALUMINUM / CLEAR
- CU-1 CMU (TEXTURED) - COLOR TO BE CLOSE TO WALL STREET SW7665
- CU-2 CMU (SMOOTH) - COLOR TO BE CLOSE TO MORNING FOG SW6255
- PT-3 EXTERIOR PAINT - SHERWIN-WILLIAMS / WALL STREET SW7665
- PT-7 EXTERIOR PAINT - SHERWIN-WILLIAMS / DRESS BLUES SW9176
- EIFS EXTERIOR INSULATION FINISHING SYSTEM



2 CAR WASH TUNNEL WALL ELEVATION
NOT TO SCALE



3 CAR WASH TUNNEL ENTRANCE
NOT TO SCALE

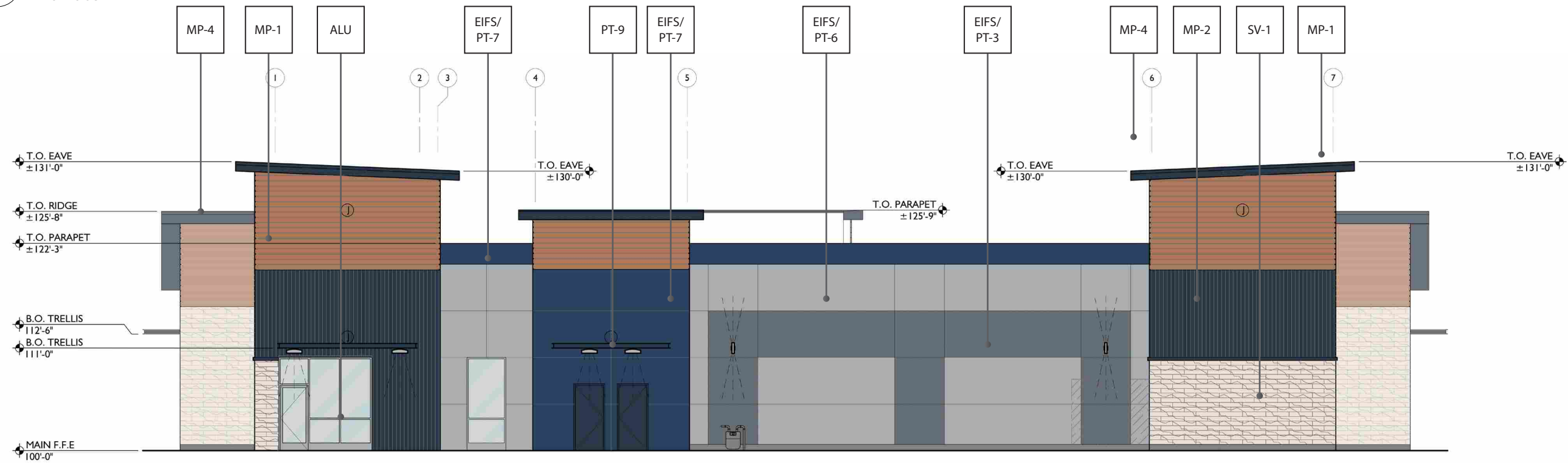
MATERIAL TAKE OFF

Exterior Building Finishes - 8,417 sqft - 100%

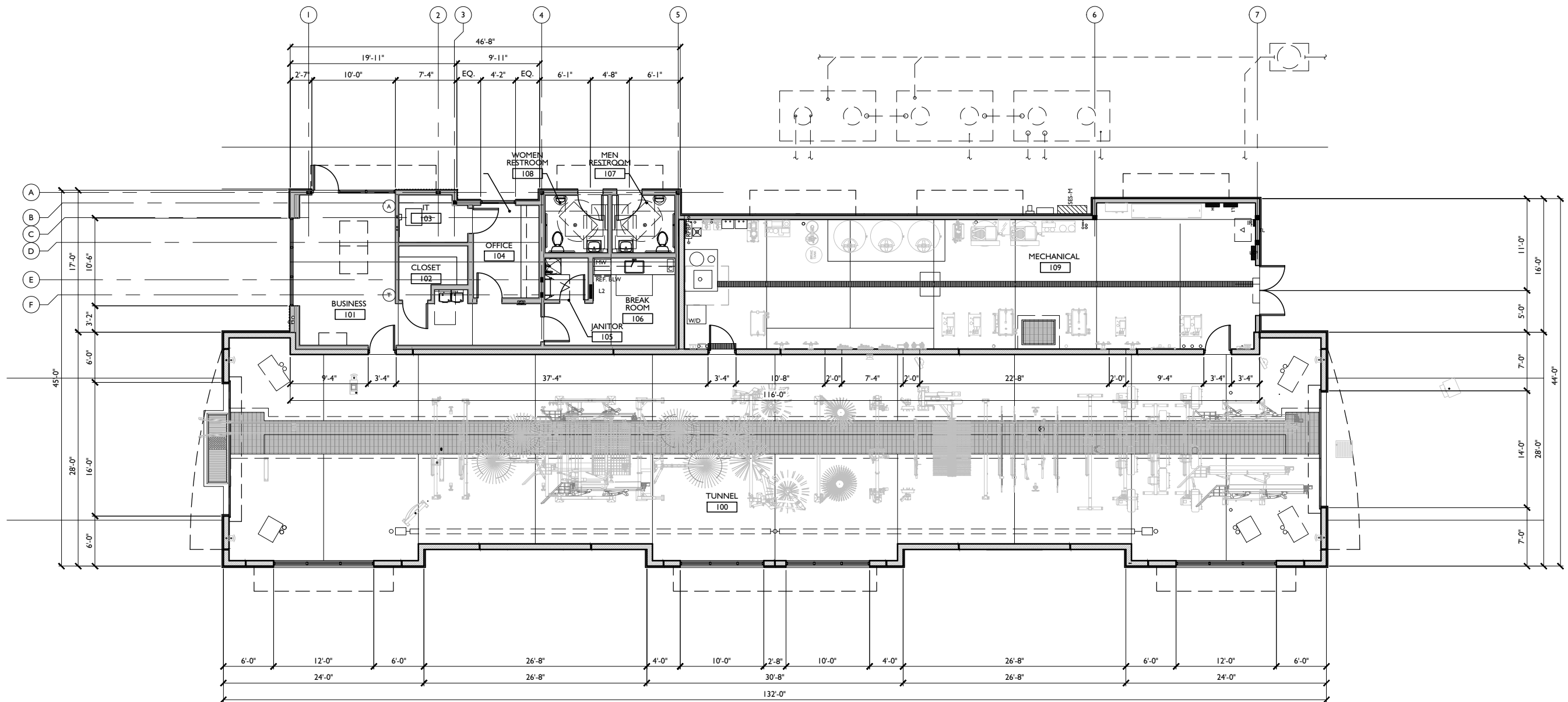
- A. (SV-1) Natural Stone (Veneer) - 2,108 sqft - 24%
- B. (ALU) Store Front and Glass - 511 sqft - 6%
- C. (EIFS) EIFS - 1,609 sqft - 18%
- D. (CU-1/2) CMU - 1,032 sqft - 12%
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FINISH LEGEND

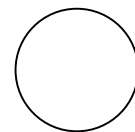
MP-2	METAL PANEL - CTMRS / PRE-FINISHED R-PANEL / IN THE NAVY - SW9178	ALU	WINDOWS & DOORS - THERMALLY BROKEN ANODIZED ALUMINUM / CLEAR
MP-4	METAL PANEL - CTMRS / PRE-FINISHED STANDING SEAM METAL ROOF / 436B3488 FLUROPON IN THE NAVY	CU-1	CMU (TEXTURED) - COLOR TO BE CLOSE TO WALL STREET SW7665
MP-1	METAL PANEL - ALUMABOARD / PRE-FINISHED METAL SCREEN SYSTEM / HAZELNUT BROWN	CU-2	CMU (SMOOTH) - COLOR TO BE CLOSE TO MORNING FOG SW6255
SV-1	STONE VENEER - CORONADO / 6" LIMESTONE / CREAM	PT-3	EXTERIOR PAINT - SHERWIN-WILLIAMS / WALL STREET SW7665
PT-9	EXTERIOR PAINT - SHERWIN-WILLIAMS / IN THE NAVY SW9178	PT-7	EXTERIOR PAINT - SHERWIN-WILLIAMS / DRESS BLUES SW9176
PT-6	EXTERIOR PAINT - SHERWIN-WILLIAMS / MORNING FOG SW6225	EIFS	EXTERIOR INSULATION FINISHING SYSTEM



4 BUSINESS/ MECHANICAL ELEVATION
NOT TO SCALE



NORTH



MISTER CAR WASH I30 COLD PROTOTYPE - FLOOR PLAN

NOT TO SCALE DATE: 07.08.21 JOB# I8080

a.23studios

711 E 9th St.
Tucson, AZ 85719
520.245.4010 phone

NOTE: THIS IS A SCHEMATIC ONLY FLOOR PLAN AND SUBJECT TO MUNICIPALITY APPROVALS. ALL DIMENSIONS REFERENCE USE ONLY.

Resolution No. 2021-

Resolution approving a final site and building plan, with variances and expansion permit, and a conditional use permit for Mister Car Wash at 17600 Hwy 7

Be it resolved by the City Council of the City of Minnetonka, Minnesota, as follows:

Section 1. Background.

1.01 Trevor Buhl, on behalf of CWP West Corp., has submitted a proposal for a car wash.

1.02 The property is located at 17600 Hwy 7. It is legally described as:

Per Certificate of Title, Certificate Number 1515458:

That part of Tract A, Registered Land Survey No. 1248, Hennepin County, Minnesota, lying Southerly and Easterly of the following described line and its extension Southwesterly: Commencing at a point on the Northerly line of Tract B, said Register Land Survey Number 1248 distant 6.82 feet Westerly along said Northerly line from the most Northerly corner of said Tract B; thence North 32 degrees 06 minutes East a distance of 216.82 feet; thence on a bearing of East 111.29 feet to a point on the East line of said Tract A distant 139.30 feet South along said East line from the Northeast corner of said Tract A and there terminating. For the purposes of this Survey the East line of Tract A is assumed to have a bearing of South.

1.03 By City Code §300.27 requires site and building plan approval when a new building is constructed.

1.04 By City Code §300.18, subd. 4 requires a conditional use permit for service stations and other automobile-related uses having service bays except for auto body repair painting.

1.05 By City Code §300.18, Subd. 5 requires a front yard setback of 50 feet. The applicant is proposing a front yard setback of 43 feet, requiring a variance.

1.06 By City Code §300.28, Subd. 12 requires a 10-foot setback from the north property line and 20 feet from the southeast property line. The proposal would maintain the existing parking lot's setback of zero feet, requiring an expansion permit.

1.07 On Nov. 18, 2021, the planning commission held a hearing on the proposal. The applicant was provided the opportunity to present information to the commission. The commission considered all of the comments received and the staff report incorporated by reference into this resolution. The commission recommended

that the city council approve the permit.

Section 2. Standards.

2.01 City Code §300.21 Subd. 2, outlines the general standards that must be met for granting a conditional use permit. These standards are incorporated into this resolution by reference.

2.02 City Code §300.21 Subd. 4, outlines the following specific standards that must be met for granting a conditional use permit for such facilities:

1. No vehicles which are unlicensed and inoperable shall be stored on-premises except in appropriately designed and screened storage areas;
2. All repair, assembly, disassembly, and maintenance of vehicles shall occur within closed buildings except minor maintenance, including tire inflation, adding oil and wiper replacement;
3. No public address system shall be audible from any residential parcel;
4. Stacking for gas pumps shall be provided for at least one car beyond the pump island in each direction in which access can be gained to the pump. The required stacking shall not interfere with internal circulation patterns or with designated parking areas and shall not be permitted in any public right-of-way, private access easement, or within the required parking setback;
5. No sales, storage, or display of used automobiles, except when a conditional use permit is approved allowing automobile, truck, trailer, or boat sales or rentals;
6. Shall not be located within 100 feet of any low-density residential parcel or adjacent to medium or high-density residential parcels, as designated in the city's land-use plan. The city may reduce separation requirements if the following are provided:
 - a) landscaping and berming to shield the auto service use;
 - b) parking lots are not located in proximity to residential uses; and
 - c) lighting plans which are unobtrusive to surrounding residential uses;
7. Canopies shall be set back at least 20 feet from all property lines, but in no case shall the setbacks be less than 30 feet from land that the city's land-use plan designates for residential use.

2.03 City Code §300.27, Subd. 5, states that in evaluating a site and building plan, the city will consider its compliance with the following:

1. Consistency with the elements and objectives of the city's development guides, including the comprehensive plan and water resources management plan;
2. Consistency with the ordinance;
3. Preservation of the site in its natural state to the extent practicable by minimizing tree and soil removal and designing grade changes to be in keeping with the general appearance of neighboring developed or developing areas;
4. Creation of a harmonious relationship of buildings and open spaces with natural site features and with existing and future buildings having a visual relationship to the development;
5. Creation of a functional and harmonious design for structures and site features, with special attention to the following:
 - a) an internal sense of order for the buildings and uses on the site and provision of a desirable environment for occupants, visitors, and the general community;
 - b) the amount and location of open space and landscaping;
 - c) materials, textures, colors, and details of construction as an expression of the design concept and the compatibility of the same with the adjacent and neighboring structures and uses; and
 - d) vehicular and pedestrian circulation, including walkways, interior drives, and parking in terms of location and number of access points to the public streets, the width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic, and arrangement and amount of parking.
6. Promotion of energy conservation through design, location, orientation, and elevation of structures, the use and location of the glass in structures and the use of landscape materials and site grading; and
7. Protection of adjacent and neighboring properties through reasonable provision for surface water drainage, sound and sight buffers, preservation of views, light, and air, and those aspects of design not adequately covered by other regulations which may have substantial effects on neighboring land uses.

2.04 By City Code §300.07 Subd. 1, a variance may be granted from the requirements of the zoning ordinance when: (1) the variance is in harmony with the general purposes and intent of this ordinance; (2) when the variance is consistent with the comprehensive plan; and (3) when the applicant establishes that there are practical difficulties in complying with the ordinance. Practical difficulties means:

(1) The proposed use is reasonable; (2) the need for a variance is caused by circumstances unique to the property, not created by the property owner, and not solely based on economic considerations; and (3) the proposed use would not alter the essential character of the surrounding area.

2.05 City Code §300.29 Subd. 7(c) states that an expansion permit may be granted but is not mandated when an applicant meets the burden of proving that:

1. The proposed expansion is a reasonable use of the property, considering such things as functional and aesthetic justifications for the expansion; adequacy of off-site parking for the expansion; absence of adverse off-site impacts from such things as traffic, noise, dust, odors, and parking; and improvement to the appearance and stability of the property and neighborhood.
2. The circumstances justifying the expansion are unique to the property, are not caused by the landowner, are not solely for the landowner's convenience, and are not solely because of economic considerations; and
3. The expansion would not adversely affect or alter the essential character of the neighborhood.

Section 3. Findings.

3.01 The proposal meets the general conditional use permit standards outlined in City Code §300.16 Subd.2.

3.02 The proposal meets of the specific conditional use permit standards outlined in City Code 300.16 Subd.3(a).

1. No vehicles will be stored on the property.
2. No repair of vehicles would occur on the property.
3. The nearest residential property is 1,000 feet away. Nonetheless, as a condition of this resolution, no public address systems may be audible from any residential parcel.
4. No gas pumps are proposed.
5. No sales would occur on the property.
6. The nearest residential property is more than 1,000 feet away.
7. Building overhangs would have a setback of more than 20 feet.

3.03 The proposal would comply with all site and building standards as outlined in City Code §300.27, Subd. 5:

1. The city's planning, building, engineering, natural resources, fire, and public works staff have reviewed the proposal. Staff finds it to be generally consistent with the city's development guides.
2. But for the requested variance and expansion permit, the proposal is generally consistent with the ordinance. As a condition of this resolution, the trash enclosure must be relocated.
3. The subject property is a developed site. As such, the proposal would not impact natural topography or native vegetation.
4. The site has been developed and is no longer considered a "natural site" surrounded by development.
5. The proposal would result in an intuitive redevelopment of an existing commercial site.
6. As new construction, the proposed building would meet minimum energy standards.
7. The proposal would not negatively impact neighboring land uses, which is an existing retail area.

3.04 The proposal meets the variance standard outlined in City Code §300.07, Subd. 1(a):

1. **PURPOSE AND INTENT OF THE ZONING ORDINANCE:** The intent of the ordinance as it relates to front yard setback requirements is to ensure adequate separation from structures to adjacent roadways. The proposed building is generally located within the footprint of the existing building footprint but would actually reduce the existing encroachment into the front yard setback.
2. **CONSISTENT WITH THE COMPREHENSIVE PLAN:** One of the recognized policies of the comprehensive plan is to "support existing commercial areas and encourage new development techniques that contribute to the vitality and diversity of an area." The requested variance would allow for permanent improvement into an existing retail area.
3. **PRACTICAL DIFFICULTIES:** There are practical difficulties in complying with the ordinance:
 - a. **REASONABLENESS and CHARACTER OF THE LOCALITY:** The proposal is the redevelopment of a developed site and would result in a reasonable development. The building would be located would generally be located within the footprint of the existing building and would actually reduce the encroachment into the existing setback.

- b. **UNIQUE CIRCUMSTANCE:** The existing building does not meet the required setback. While a variance is still required, the proposed building would be set back further than the existing building.

3.05 The application for the expansion permit is reasonable and would meet the required standards outlined in City Code §300.29 Subd. 7(c):

1. **REASONABLENESS and NEIGHBORHOOD CHARACTER:** While the parking lot requires an expansion permit, it reduces the existing intensity and encroachment into the right-of-way. The proposed parking lot is generally located within the footprint of the existing parking lot.
2. **UNIQUE CIRCUMSTANCE:** The proposal would reduce encroachment into the right-of-way and would maintain a similar setback to the existing parking lot, which has generally existed in its current configuration since the late 1960s.

Section 4. City Council Action.

4.01 The above-described proposal is approved, subject to the following conditions:

1. Subject to staff approval, the site must be developed and maintained in substantial conformance with the following plans, except as modified by the conditions below:
 - Demo and site plan dated Sept. 27, 2021
 - Grading and utility plans dated Sept. 27, 2021
 - Landscape plan dated Sept. 27, 2021
 - Elevations dated Nov. 9, 2021
2. Prior to submission of a building permit, a pre-permit submittal meeting with appropriate city staff.
3. Prior to issuance of a permit:
 - a) This resolution must be recorded at Hennepin County.
 - b) Continue to work with staff on improving building elevations.
 - c) Submit the following items for review and approval by the city attorney:
 - 1) A snow removal plan.
 - 2) A salt and chloride management plan.
 - 3) A stormwater maintenance agreement in the city-approved

format for review and approval of city staff.

- d) Submit the following associated with site work:
- 1) Written permission from the adjacent owners for work extending onto adjacent property.
 - 2) Final site, grading, drainage, utility, landscape, and tree mitigation plans, and a stormwater pollution prevention plan (SWPPP) for staff approval.
 - a. Final site plan must:
 - Including a connection to the sidewalks within the right-of-way per MnDOT requirements.
 - Relocate the trash enclosure behind the front line of the building.
 - b. Final landscaping plan must:
 - Meet minimum landscaping and mitigation requirements as outlined in the ordinance. However, at the sole discretion of natural resources staff, mitigation may be adjusted based on site conditions.
 - Note, only small shrubs, perennials, and grasses may be located in public easements.
 - Include information relating to species, sizes, quantities, locations, and landscape values.
 - Include pollinator-friendly species.
 - c. A utility exhibit. This plan must clearly show property lines, buildings, sewer, water, and stormwater facilities. This exhibit must clearly identify which lines are private and which are public.
 - d. Final utility plan must:

- Note sanitary sewer and water service construction is subject to the MN plumbing code.
- The proposed 2-inch water service line must be installed as per the 2015 Minnesota State Plumbing Code 4714.609.6.1 “minimum 10-foot horizontal separation from contamination source”.

Note, the 2-inch water service to the building may not be adequate for the fire sprinklers per Minnesota State Building chapter 1306. This will need to be evaluated by the applicant.

- e. Final stormwater management plan is required. This plan must demonstrate conformance with the following criteria:
 - Rate: limit peak runoff flow rates to that of existing conditions from the 2-, 10- and 100-year events at all points where stormwater leaves the site.
 - Volume: provide for onsite retention of 1-inch of runoff from the entire site’s impervious surface.
 - Quality: provide for runoff to be treated to at least 60-percent total phosphorus annual removal efficiency and 90-percent total suspended solid annual removal efficiency.
- e) Provide evidence that the underground system will be able to support 83,000 pounds and 10,800 per square foot outrigger load. The underground facilities must be inspected by a qualified third party during installation to ensure that the pressure requirements are adequately met.
- f) Submit a truck turning exhibit. This exhibit must use the templates for the city’s largest fire truck and illustrate that the truck can maneuver through the site.
- g) Submit individual letters of credit or cash escrow for 125% of a bid cost or 150% of an estimated cost to construct comply with grading permit and landscaping requirements and to restore the site. One itemized letter of credit is permissible if approved by staff. The city will not fully release the letters of credit or cash

- escrow until: (1) as-built drawings have been submitted; (2) a letter certifying that the underground facility has been completed according to the plans approved by the city has been submitted; (3) vegetated ground cover has been established; and (4) required landscaping or vegetation has survived one full growing season.
- h) Submit a construction management plan. The plan must be in a city-approved format and must outline minimum site management practices and penalties for non-compliance.
- i) Provide cash escrow in an amount to be determined by city staff. This escrow must be accompanied by a document prepared by the city attorney and signed by the builder and property owner. Through this document, the builder and property owner will acknowledge:
- The property will be brought into compliance within 48 hours of notification of a violation of the construction management plan, other conditions of approval, or city code standards; and
 - If compliance is not achieved, the city will use any or all of the escrow dollars to correct any erosion and/or grading problems.
- j) Install erosion control, and tree protection fencing, and any other measures identified on the SWPPP for staff inspection. These items must be maintained throughout the course of construction.
- k) Permits may be required from other outside agencies including, Hennepin County, the Nine-Mile Creek Watershed District, and the MPCA. It is the applicant's or property owner's responsibility to obtain any necessary permits.
4. Any use of, work within, or affecting, MnDOT right-of-way will require a permit.
5. No public address systems may be audible from any residential parcel.
6. The property owner is responsible for replacing any required landscaping that dies.
7. Construction must begin by Dec. 31, 2022, unless the planning commission grants a time extension.
8. The city council may reasonably add or revise conditions to address any future unforeseen problems.

9. Any change to the approved use that results in a significant increase in a significant change in character would require a revised conditional use permit.

Adopted by the City Council of the City of Minnetonka, Minnesota, on Dec. 6, 2021.

Brad Wiersum, Mayor

Attest:

Becky Koosman, City Clerk

Action on this resolution:

Motion for adoption:

Seconded by:

Voted in favor of:

Voted against:

Abstained:

Absent:

Resolution adopted.

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the City Council of the City of Minnetonka, Minnesota, at a meeting held on Dec. 6, 2021.

Becky Koosman, City Clerk

MINNETONKA PLANNING COMMISSION
Nov. 18, 2021

Brief Description	Concept plan review for DJR Architecture at 14317 Excelsior Blvd.
Action Requested	Discuss concept plan with the applicant. No formal action is required.

Background

The property at 14317 Excelsior Boulevard is widely referred to as the “Renneke Property.” It is roughly one acre in size and contains a single-family home. The site is zoned R-1, low-density residential, and designated for mixed-use in the 2040 Comprehensive Guide Plan.

Since 2000, the property has been generally considered as part of larger Glen Lake concept plans on three occasions.

Concept Plans/Studies	Conceptual Land Use
2003, Glen Lake Neighborhood Concept Plan	Commercial
2006, Glen Lake Redevelopment Plan	Mixed-use – condos/townhouses/retail
2017, Glen Lake Neighborhood Study	Mixed-use – office or retail/residential

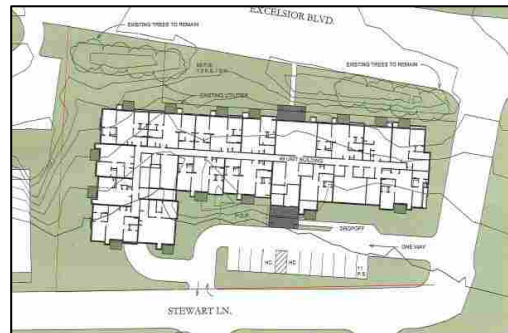
Though the ideas for the property changed over the years, all of the concepts suggest the single-family home on the site be replaced with a different and more intense use.

In [2019](#), Ron Clark Construction submitted applications for the redevelopment of the site. As proposed, the existing home would be removed, and a new apartment building would be constructed. The building would contain 58 market-rate apartments within three stories. The building would be served by underground parking and a surface parking lot, both accessed via Stewart Lane. The city council denied the proposal. Denial was based on concerns regarding vehicle and pedestrian safety, density, and lack of green space.



Ron Clark proposal

In 2021, Inland Development Partners submitted a concept plan for the redevelopment of the subject property. The concept plan contemplated the removal of the existing single-family home and the construction of a three-story, 49-unit apartment building. The plan was reviewed by the planning commission. Prior to review by the council, the applicant decided not to move forward with the concept.



Inland Development Concept

Proposal

DJR Architecture has now submitted a concept plan for the redevelopment of the site. The concept plan contemplates the removal of the existing single-family home and the construction of a four-story, 36-unit apartment building.

Concept Plan Review Process

Staff has outlined the following Concept Plan Review process for the proposal. At this time, a formal application has not been submitted.



DJR concept

- **Neighborhood Meeting.** A virtual neighborhood meeting will be held on Nov. 15. Staff will report on the meeting during the planning commission concept plan review on Nov. 18.
- **Planning Commission Concept Plan Review.** The purpose of concept plan review is to give commissioners the opportunity to identify – for the developer and city staff – what they see as the positive components of a development concept and any issues or challenges they foresee. The concept plan review meeting will include a presentation by the developer of conceptual sketches and ideas but not detailed engineering or architectural drawings. No staff recommendations are provided, no motions are made, and no votes will be taken.
- **City Council Concept Plan Review.** The city council concept plan review is intended as a follow-up to the planning commission meeting and would follow the same format. No staff recommendations are provided, the public is invited to offer comments, and council members are afforded the opportunity to ask questions and provide feedback without any formal motions or votes.

Key Topics

Staff has identified and requests the planning commission feedback on the following key topics.

- **Building Design.** Does the commission have comments on building design, size, or density?
- **Site Design.** Does the commission have comments on roadway access or lot configuration?
- **Other Considerations.** What other land use-related items would the commission like to comment on?

Staff Recommendation

Staff recommends the planning commission provide feedback on the key topics identified by staff and any other land use-related items that the commission deems appropriate. This discussion is intended to assist the applicant in the preparation of more detailed development plans.

Originator: Susan Thomas, AICP, Assistant City Planner

Through: Loren Gordon, AICP, City Planner

ADDITIONAL INFORMATION

Next Steps

- **Formal Application.** If the developer/applicant chooses to file a formal application, notification of the application would be mailed to area property owners. Area property owners are encouraged to view plans and provide feedback via the city's website. Through recent website updates: (1) staff can provide owners with ongoing project updates, (2) owners can "follow" projects they are particularly interested in by signing up for automatic notification of project updates; (3) owners may provide project feedback on the project; and (4) and staff can review resident comments.
- **Council Introduction.** The proposal would be introduced at a city council meeting. At that time, the council would be provided another opportunity to review the issues identified during the initial concept plan review meeting and to provide direction about any refinements or additional issues they wish to be researched and for which staff recommendations should be prepared.
- **Planning Commission Review.** The planning commission will review and subsequently make a recommendation to the city council on land use matters.
- **City Council Action.** Based on input from the planning commission, EDAC, professional staff, and the general public, the city council would take final action.

Roles and Responsibilities

- **Applicants.** Applicants are responsible for providing clear, complete, and timely information throughout the review process. They are expected to be accessible to both the city and the public and respect the integrity of the public process.
- **Public.** Neighbors and the general public will be encouraged and enabled to participate in the review process to the extent they are interested. However, effective public participation involves shared responsibilities. While the city has an obligation to provide information and feedback opportunities, interested residents are expected to accept the responsibility to educate themselves about the project and review process, provide constructive, timely, and germane feedback, and stay informed and involved throughout the entire process.
- **Planning Commission.** The planning commission hosts the primary forum for public input and provides clear and definitive recommendations to the city council. To serve in that role, the commission identifies and attempts to resolve development issues and concerns prior to the council's consideration by carefully balancing the interests of applicants, neighbors, and the general public.
- **City Council.** As the ultimate decision-maker, the city council must be in a position to equitably and consistently weigh all input from their staff, the general public, commissioners, applicants, and other advisors. Accordingly, council members

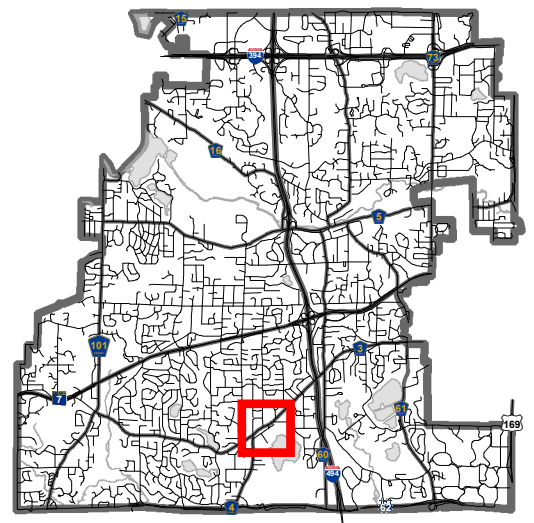
traditionally keep an open mind until all the facts are received. The council ensures that residents have an opportunity to participate in the process effectively.

- **City Staff.** The city staff is neither an advocate for the public nor the applicant. Rather, staff provides professional advice and recommendations to all interested parties, including the city council, planning commission, the applicant, property owners, and residents. Staff advocates for its professional position, not a project. Staff recommendations consider neighborhood concerns but necessarily reflect professional standards, legal requirements, and broader community interests.



Location Map

Project: DJR Architecture
Address: 14317 Excelsior Blvd





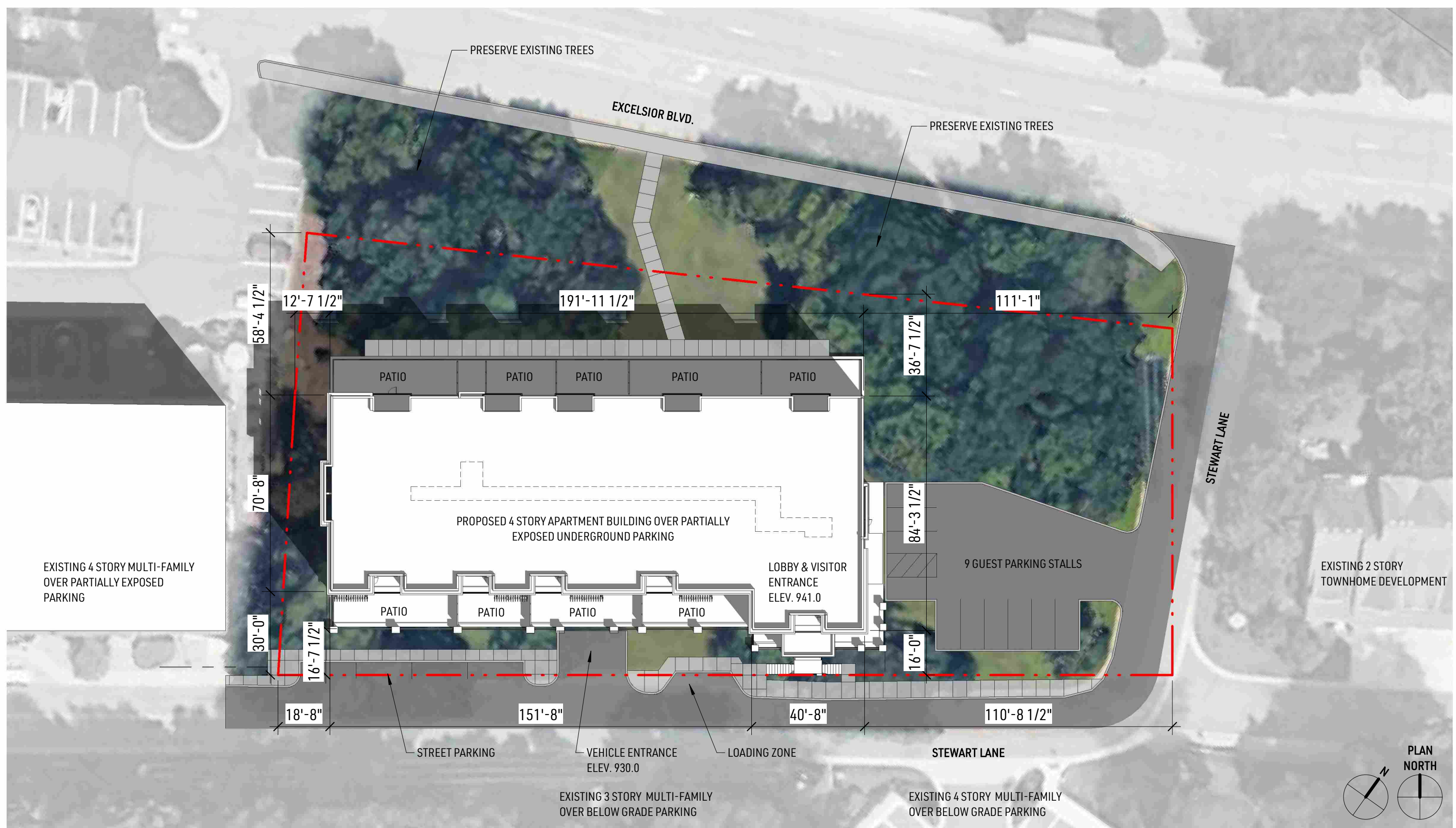
333 Washington Ave N
Suite 210 | Union Plaza
Minneapolis MN 55401
612.676.2700 | www.djrarch.com

PROJECT NARRATIVE

The proposed site 14317 Excelsior Boulevard is located at the corner of Excelsior Boulevard and Stewart Lane in Minnetonka, Minnesota and is presently zoned as R-1 . The site currently has a single-family, one-story home with walk out basement that will be demolished.

The proposed project will consist of a 4 story, 36 unit market rate apartment building with amenity spaces over enclosed partially exposed below grade parking garage. The unit mix will consist of one bedrooms, two bedrooms, two bedrooms plus den and a fourth floor penthouse. Enclosed parking will be entered from south side of the building along Stewart Lane and will include 36 standard parking stalls with 27 tandem stalls for a total of 63 enclosed parking stalls. Additionally, 9 off street guest parking stalls and 4 street parking stalls with a loading zone will be provided along Stewart Lane. The project will strive to maintain as much of the existing onsite trees as possible.

The exterior will consist of brick base with substantial windows and fiber cement siding and panels at the upper levels. Large walk out patios will be provided at the first floor apartment units over the below grade parking. Large recessed balconies will be provided at the upper floors units.





3D VIEW FROM STEWART LANE



3D VIEW FROM STEWART LANE